

ITEM: 6.13	REPORT SUMMARY MINOR VARIANCE APPLICATION FILE NUMBER A117/24
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Report Date: September 6, 2024

**THIS REPORT CONTAINS COMMENTS FROM THE FOLLOWING
DEPARTMENTS & AGENCIES (SEE SCHEDULE B):**

Additional comments from departments and agencies received after the publication of the report will be made available on the City's [website](#).

Internal Departments <small>*Comments Received</small>	Conditions Required		Nature of Comments
Committee of Adjustment	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>	General Comments
Building Standards (Zoning)	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>	General Comments
Development Planning	Yes <input type="checkbox"/>	No <input type="checkbox"/>	Application Under Review
Development Engineering	Yes <input checked="" type="checkbox"/>	No <input type="checkbox"/>	Recommend Approval w/Conditions
Development Finance	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>	General Comments

External Agencies <small>*Comments Received</small>	Conditions Required		Nature of Comments <small>*See Schedule B for full comments</small>
Alectra	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>	General Comments
TRCA	Yes <input checked="" type="checkbox"/>	No <input type="checkbox"/>	General Comments w/Conditions
Region of York	Yes <input type="checkbox"/>	No <input type="checkbox"/>	General Comments

PUBLIC & APPLICANT CORRESPONDENCE (SEE SCHEDULE C)				
<p>All personal information collected because of this public meeting (including both written and oral submissions) is collected under the authority of the Municipal Act, the Municipal Freedom of Information and Protection of Privacy Act (MFIPPA), the Planning Act and all other relevant legislation, and will be used to assist in deciding on this matter. All personal information (as defined by MFIPPA), including (but not limited to) names, addresses, opinions and comments collected will become property of the City of Vaughan, will be made available for public disclosure (including being posted on the internet) and will be used to assist the Committee of Adjustment and staff to process this application.</p>				
Correspondence Type	Name	Address	Date Received <small>(mm/dd/yyyy)</small>	Summary
None				

BACKGROUND (SCHEDULE D, IF REQUIRED)	
<p>* Background Information contains historical development approvals considered to be related to this file. This information should not be considered comprehensive.</p>	
Application No. (City File)	Application Description <small>(i.e. Minor Variance Application; Approved by COA / OLT)</small>
N/A	N/A

ADJOURNMENT HISTORY	
<p>* Previous hearing dates where this application was adjourned by the Committee and public notice issued.</p>	
Hearing Date	Reason for Adjournment <small>(to be obtained from NOD_ADJ)</small>
N/A	N/A

SCHEDULES	
Schedule A	Drawings & Plans Submitted with the Application
Schedule B	Comments from Agencies, Building Standards & Development Planning
Schedule C (if required)	Public & Applicant Correspondence
Schedule D (if required)	Background



MINOR VARIANCE APPLICATION FILE NUMBER A117/24

CITY WARD #:	4
APPLICANT:	Andy Schiavone & Katarina Nikolic
AGENT:	None
PROPERTY:	100 Lady Fenrose Ave, Maple
ZONING DESIGNATION:	See below.
VAUGHAN OFFICIAL PLAN (2010) DESIGNATION:	Vaughan Official Plan 2010 ('VOP 2010'): "Low-Rise Residential" & "Natural Areas".
RELATED DEVELOPMENT APPLICATIONS:	None
PROPOSAL:	Relief from the Zoning By-law is being requested to permit a proposed cabana.

The following variances are being requested from the City's Zoning By-law to accommodate the above proposal:

The subject lands are zoned R2A, Second Density Residential Zone and subject to the provisions of Exception 14.850 under Zoning By-law 001-2021.

#	Zoning By-law 001-2021	Variance requested
1	A minimum setback of 2.4 m is required from the northerly interior side lot line to a detached residential accessory structure (3.0 m high cabana).	To permit a minimum setback of 0.91 m from the northerly interior side lot line to a detached residential accessory structure (3.0m high cabana).

HEARING INFORMATION

DATE OF MEETING: Thursday, September 12, 2024
TIME: 6:00 p.m.
MEETING LOCATION: Vaughan City Hall, Woodbridge Room (2nd Floor), 2141 Major Mackenzie Drive
LIVE STREAM LINK: Vaughan.ca/LiveCouncil

PUBLIC PARTICIPATION

If you would like to speak to the Committee of Adjustment at the meeting, either remotely or in person, please complete the [Request to Speak Form](#) and submit to cofa@vaughan.ca

If you would like to submit written comments, please quote file number above and submit by mail or email to:

Email: cofa@vaughan.ca

Mail: City of Vaughan, Office of the City Clerk, Committee of Adjustment, 2141 Major Mackenzie Drive, Vaughan, ON, L6A 1T1

To speak electronically, pre-registration is required by completing the [Request to Speak Form](#) on-line and submitting it to cofa@vaughan.ca no later than NOON on the last business day before the meeting.

THE DEADLINE TO REGISTER TO SPEAK ELECTRONICALLY OR SUBMIT WRITTEN COMMENTS ON THE ABOVE NOTED FILE(S) IS NOON ON THE LAST BUSINESS DAY BEFORE THE MEETING.

INTRODUCTION

Staff and Agencies act as advisory bodies to the Committee of Adjustment. The comments contained in this report are presented as recommendations to the Committee.

Section 45(1) of the Planning Act sets the criteria for authorizing minor variances to the City of Vaughan's Zoning By-law. Accordingly, review of the application may consider the following:

INTRODUCTION

That the general intent and purpose of the by-law will be maintained.
 That the general intent and purpose of the official plan will be maintained.
 That the requested variance(s) is/are acceptable for the appropriate development of the subject lands.
 That the requested variance(s) is/are minor in nature.

Public written and oral submissions relating to this application are taken into consideration by the Committee of Adjustment as part of its deliberations and final decision on this matter.

COMMITTEE OF ADJUSTMENT

Date Public Notice Mailed:	August 29, 2024
Date Applicant Confirmed Posting of Sign:	August 14, 2024
Applicant Justification for Variances: <small>*As provided in Application Form</small>	My cabana is parallel to the foundation of my home.
Was a Zoning Review Waiver (ZRW) Form submitted by Applicant: <small>*ZRW Form may be used by applicant in instances where a revised submission is made, and zoning staff do not have an opportunity to review and confirm variances prior to the issuance of public notice.</small>	Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>
COMMENTS:	
None	
Committee of Adjustment Recommended Conditions of Approval:	None

BUILDING STANDARDS (ZONING)

**See Schedule B for Building Standards (Zoning) Comments	
Building Standards Recommended Conditions of Approval:	None

DEVELOPMENT PLANNING

**See Schedule B for Development Planning Comments.	
Development Planning Recommended Conditions of Approval:	TBD

DEVELOPMENT ENGINEERING

[Link to Grading Permit](#) [Link to Pool Permit](#) [Link to Curb Curt Permit](#) [Link Culvert Installation](#)

As the proposed cabana in the subject property is 34.56m², the Owner/ Applicant needs to obtain a 'Lot Grading Permit' from the Development Inspection and Lot Grading Division of the City's Development Engineering Department. Please note any in-ground structure over 10 m² requires a 'Grading Permit'. Please contact the Development Engineering Reviewer after receiving the Grading Permit to clear the condition. (Condition attached) The proposed work by the Owner/Applicant is increasing the lot coverage on the subject property. The added hardscape may have impacts on the City's Storm Water management system. Development Engineering strongly encourages the Owner / Applicant introduce Low-Impact Development (LID) measures (e.g., bioswales, permeable pavers, rain gardens, rain barrels etc.) to reduce the impacts to the stormwater system. Should further information be required, please contact the Development Engineering COA reviewer.

Development Engineering Recommended Conditions of Approval:	The Owner/Applicant shall submit an application and obtain an approved Grading Permit before initiating any work on the property. The Final Lot Grading and/or Servicing Plan will be required for the Grading Permit Application. Please visit the Permits page of the City of Vaughan's website: Permits City of Vaughan to apply for a Grading Permit. For any inquiries regarding the Grading Permit, please email DEPermits@vaughan.ca
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PARKS, FORESTRY & HORTICULTURE (PFH)

No comments received to date.	
PFH Recommended Conditions of Approval:	None

DEVELOPMENT FINANCE

No comment no concerns.

Development Finance Recommended Conditions of Approval:	None
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BY-LAW AND COMPLIANCE, LICENSING AND PERMIT SERVICES

No comments received to date.

BCLPS Recommended Conditions of Approval:	None
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BUILDING INSPECTION (SEPTIC)

No comments received to date.

Building Inspection Recommended Conditions of Approval:	None
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FIRE DEPARTMENT

No comments received to date.

Fire Department Recommended Conditions of Approval:	None
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RECOMMENDED CONDITIONS OF APPROVAL SUMMARY

Should the Committee find it appropriate to approve this application in accordance with request and the sketch submitted with the application, as required by Ontario Regulation 200/96, the following conditions have been recommended:

#	DEPARTMENT / AGENCY	CONDITION
1	Development Planning Alyssa.Panjilinan@vaughan.ca	TBD
2	Development Engineering jonal.hall@vaughan.ca	The Owner/Applicant shall submit an application and obtain an approved Grading Permit before initiating any work on the property. The Final Lot Grading and/or Servicing Plan will be required for the Grading Permit Application. Please visit the Permits page of the City of Vaughan's website: Permits City of Vaughan to apply for a Grading Permit. For any inquiries regarding the Grading Permit, please email DEPermits@vaughan.ca
3	TRCA yorkplan@trca.ca	That the applicant provides the required fee amount of \$660.00 payable to the Toronto and Region Conservation Authority.

All conditions of approval, unless otherwise stated, are considered to be incorporated into the approval "if required". If a condition is no longer required after an approval is final and binding, the condition may be waived by the respective department or agency requesting conditional approval. A condition cannot be waived without written consent from the respective department or agency.

IMPORTANT INFORMATION

CONDITIONS: It is the responsibility of the owner/applicant and/or authorized agent to obtain and provide a clearance letter from respective department and/or agency (**see condition chart above for contact**). This letter must be provided to the Secretary-Treasurer to be finalized. All conditions must be cleared prior to the issuance of a Building Permit.

IMPORTANT INFORMATION

APPROVALS: Making any changes to your proposal after a decision has been made may impact the validity of the Committee's decision.

An approval obtained from the Committee of Adjustment, where applicable, is tied to the building envelope shown on the plans and drawings submitted with the application and subject to the variance approval.

A building envelope is defined by the setbacks of the buildings and/or structures shown on the plans and drawings submitted with the application, as required by Ontario Regulation 200/96. Future development outside of an approved building envelope, where a minor variance was obtained, must comply with the provisions of the City's Zoning By-law.

Elevation drawings are provided to reflect the style of roof (i.e. flat, mansard, gable etc.) to which a building height variance has been applied. Where a height variance is approved, building height is applied to the style of roof (as defined in the City's Zoning By-law) shown on the elevation plans submitted with the application.

Architectural design features that are not regulated by the City's Zoning By-law are not to be considered part of an approval unless specified in the Committee's decision.

DEVELOPMENT CHARGES: That the payment of the Regional Development Charge, if required, is payable to the City of Vaughan before issuance of a building permit in accordance with the Development Charges Act and the Regional Development Charges By-law in effect at the time of payment.

That the payment of the City Development Charge, if required, is payable to the City of Vaughan before issuance of a building permit in accordance with the Development Charges Act and the City's Development Charges By-law in effect at the time of payment.

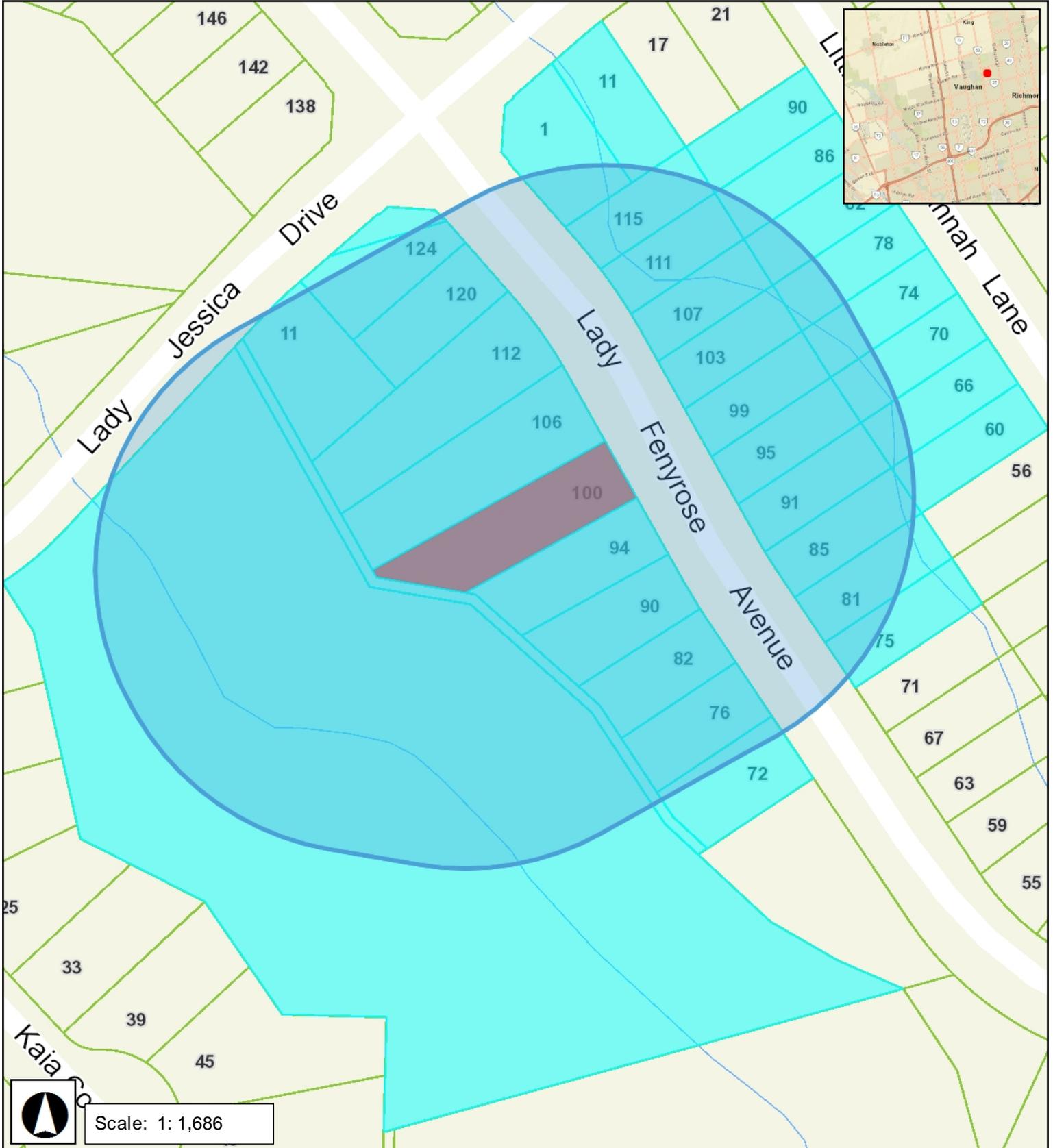
That the payment of the Education Development Charge if required, is payable to the City of Vaughan before issuance of a building permit in accordance with the Development Charges Act and the Boards of Education By-laws in effect at the time of payment

That the payment of Special Area Development charge, if required, is payable to the City of Vaughan before issuance of a building permit in accordance with the Development Charges Act and The City's Development Charge By-law in effect at the time of Building permit issuance to the satisfaction of the Reserves/Capital Department.

NOTICE OF DECISION: If you wish to be notified of the decision in respect to this application or a related Ontario Land Tribunal (OLT) hearing you must complete a Request for Decision form and submit to the Secretary Treasurer (ask staff for details). In the absence of a written request to be notified of the Committee's decision you will **not** receive notice.

SCHEDULE A: DRAWINGS & PLANS

100 Lady Fenrose Avenue, Maple



GENERAL NOTES:

- ALL DIMENSIONS ON DRAWINGS ARE IN MM [INCH].
- ALL DIMENSION TO BE CONFIRMED ON SITE.
- ALL WORK SHALL BE CARRIED OUT TO CONFORM WITH THE LATEST REVISION OF THE O.B.C.
- ALL STRUCTURAL LUMBER TO BE #1 OR #2 CONSTRUCTION GRADE SPRUCE PINE FIR.
- STEEL GRADE TO BE 350 MPA, STRUCTURAL QUALITY STEELS (CAS-G40.21)
- ALL INTERIOR AND EXTERIOR WOOD SIDING, TRIM, INTERIOR FINISHES TO BE SELECTION BY OWNER.
- PROVIDE MOISTURE RESISTANT GYPSUM BOARD AT BATHROOMS, KITCHEN AND LAUNDRY ROOMS AND PROVIDE SOUND BATTS AT BATHROOMS

- ALL LUMBER TO BE MIN. 6" ABOVE FINISH GRADE UNLESS PRESSURE TREATED OR SEPARATED FROM CONCRETE BY DAMP PROOFING MATERIAL.
- **SMOKE ALARMS** SHALL BE INSTALLED ON ALL FLOOR LEVELS AND BEDROOMS AS PER O.B.C., 9.10.18 & CARBON MONOXIDE ON FLOOR LEVELS WHERE THERE IS A SOLID FUEL BURNING APPLIANCE AS PER O.B.C., 9.32.3.8.

- CONTINUOUS HEADER JOIST WITH R24 BATT INSULATION FOR FLOOR INSULATION, EXTEND VAPOR / AIR BARRIER & SEAL TO JOIST & SUBFLOOR

FL1 FLOOR TYPES

- FLOOR FINISH
- 100 MM [4"] CONCRETE SLAB
- 6X6 - 6/6 WWM
- 6 MIL POLY. V.B.
- 150 MM [6"] COMPACTED GRANULAR A

RF ROOF TYPE

- 20 YEAR LOW SLOPE ROOF SHINGLE SYSTEM (CONFIRM SLOPE WITH SUPPLIER)
- ROOF MEMBRANE ICE AND WATER SHIELD
- 3/8" EXT. T&G PLYWOOD
- JOISTS FLOORING SYSTEM
- R31 SPRAY FOAM INSULATION, WHERE REQUIRED
- 6 MIL POLY VB
- 1X3 STRAPPING
- 1/2" GYPSUM BOARD

DESIGN LOADS

- ROOF LOADING
SN 30.0 PSF
DL 10.0 PSF
- SECOND FLOOR LOADING
LL 40.0 PSF, 30 PSF FOR BEDROOMS
DL 15.0 PSF
- GROUND FLOOR LOADING
LL 40.0 PSF
DL 15.0 PSF

MINIMUM LIVE LOAD DEFLECTION = 1/360

FLAT ROOF IS NOT DESIGNED FOR WATER ACCUMULATION LOAD.
MINIMUM 2 DRAINS AND 2 OVERFLOW SCUPPERS PER FOR IS REQUIRED.

EXTERIOR WALL TYPE

- (EX1) STUCCO WALL (EXT.-INT., LOAD BEARING WALL)**
 - STUCCO FINISH
 - 2" STYROFOAM
 - 20 MIL POLY FLASHING
 - MIN. 6" UP BEHIND THE SHEATHING PAPER
 - SHEATHING PAPER LAYERS TO OVERLAP EACH OTHER, AIR VENT SPACE
 - 1/2" THK. EXTERIOR TYPE SHEATHING
 - 2x6 WOOD STUDS @ 16" O.C.
 - 1" STUCCO FINISH
 - DOUBLE PLATE AT THE TOP AND SOLE PLATE AT THE BOTTOM, 2x6 MID-HEIGHT.

- (EX2) STUCCO WALL (EXT.-EXT., LOAD BEARING WALL)**
 - STUCCO FINISH
 - 2" STYROFOAM
 - 20 MIL POLY FLASHING
 - MIN. 6" UP BEHIND THE SHEATHING PAPER
 - SHEATHING PAPER LAYERS TO OVERLAP EACH OTHER, AIR VENT SPACE
 - 1/2" THK. EXTERIOR TYPE SHEATHING
 - 2x6 WOOD STUDS @ 16" O.C.
 - 1/2" THK. EXTERIOR TYPE SHEATHING
 - SHEATHING PAPER LAYERS TO OVERLAP EACH OTHER, AIR VENT SPACE
 - 20 MIL POLY FLASHING
 - MIN. 6" UP BEHIND THE SHEATHING PAPER
 - 2" STYROFOAM
 - STUCCO FINISH
 - DOUBLE PLATE AT THE TOP AND SOLE PLATE AT THE BOTTOM, 2x6 MID-HEIGHT.

- (EX3) STUCCO WALL (EXT.-EXT.)**
 - STUCCO FINISH
 - 2" STYROFOAM
 - 20 MIL POLY FLASHING
 - MIN. 6" UP BEHIND THE SHEATHING PAPER
 - SHEATHING PAPER LAYERS TO OVERLAP EACH OTHER, AIR VENT SPACE
 - 1/2" THK. EXTERIOR TYPE SHEATHING
 - 2x4 WOOD STUDS @ 16" O.C.

INTERIOR WALL TYPES

- (PT1) LOAD BEARING WALLS:**
 - 1/2" DRYWALL FINISH BOTH SIDES OF 2x6 WOOD STUDS @ 16" OR 12" O.C.
 - PROVIDE SOUND ATTENUATION INSULATION IN BATHROOM WALLS
 - PROVIDE MOISTURE RESISTANT DRYWALL IN BATHROOMS AND LAUNDRY ROOMS
- (PT2) PARTITIONS:**
 - 1" STUCCO FINISH BOTH SIDES OF 2x4 WOOD STUDS @ 16" O.C.
 - PROVIDE SOUND ATTENUATION INSULATION IN BATHROOM WALLS
 - PROVIDE MOISTURE RESISTANT DRYWALL IN BATHROOMS AND LAUNDRY ROOMS

REAR YARD LANDSCAPE STATISTICS		AREA
		SQ-M
WOODEN DECK/STAIRS		6.97
GREEN		200.86
SWIMMING POOL		39.00
CABANA		34.56
WALKWAY/PATIO		170.86
REAR YARD		452.25
		%
REAR YARD LANDSCAPE		46.96
REAR YARD SOFT LANDSCAPE		53.04

GENERAL NOTES:

- ALL WORK SHALL BE CARRIED OUT TO CONFORM WITH THE LATEST REVISION OF THE O.B.C.
- STEEL GRADE TO BE 350 MPA, STRUCTURAL QUALITY STEELS (CAS-G40.21)
- PILE INSTALLATION MUST BE DONE UNDER SUPERVISION OF A GEOTECHNICAL ENGINEER/REPRESENTATIVE.
- THIS DRAWING MUST BE USED IN CONJUNCTION WITH ARCHITECTURAL STRUCTURAL DRAWINGS.
- ALL STRUCTURAL STEEL WORK AND WELDING FABRICATION, AND NON-DESTRUCTIVE TESTING SHALL CONFORM TO THE CAN/CSA-S16 AND REFERENCED DOCUMENTS.
- ALL DIMENSIONS ARE IN INCH [MILLIMETERS].
- PILE LOCATIONS AND ELEVATIONS ARE BASED ON PROJECT DRAWINGS.
- TOLERANCES : PILES SHOULD BE DRIVEN WITHIN A TOLERANCE OF 50MM PLAN DISTANCE IN ANY DIRECTION.
- A CONCRETE MIX DESIGN WITH THE FOLLOWING MINIMUM SPECIFICATIONS SHALL BE USED:

- 1-MINIMUM 28-DAY STRENGTH OF 31 MPA
- 2-TYPE 50 SULFATE RESISTANT CEMENT
- 3-A MAXIMUM WATER/CEMENT RATIO OF 0.5
- 4-AIR INTERNMENT BETWEEN 4% TO 8%
- 5-SLUMP OF 70MM TO 110MM
- 6-5MM TO 20MM AGGREGATES CONFORMING TO CSA-A23.1 FOR NORMAL WEIGHT CONCRETE.

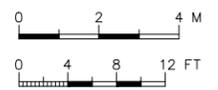
- ALL LUMBER TO BE MIN. 8" ABOVE FINISH GRADE UNLESS PRESSURE TREATED OR SEPARATED FROM CONCRETE BY DAMP PROOFING MATERIAL.
- SLOPE THE GRADE AWAY FROM FOUNDATION WALL, ALL AROUND THE BUILDING.
- 2x6 **SILL PLATE** FASTENED TO THE FOUNDATION WALL WITH MIN. 1/2" DIA. ANCHOR BOLTS EMBEDDED MIN. 4" INTO CONCRETE @ 4' O.C. (PROVIDE CAULKING OR GASKET BETWEEN PLATE & FOUNDATION WALL)

	AREA	
	(SQ-FT)	(SQ-M)
LOT AREA	9061.63	841.85
CABANA FOOTPRINT	372.00	34.56
LOT COVERAGE	4.1%	

GENERAL NOTES / LEGENDS :

LEGEND

- EXISTING
- NEW WALL
- REMOVED



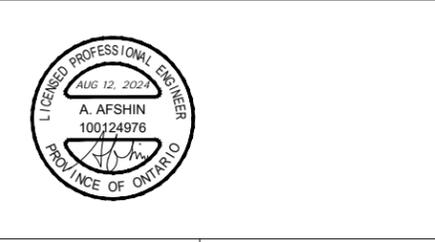
NO.	DATE	DESCRIPTION
2	2024-08-12	-REVISED REAR YARD LANDSCAPE STATISTICS
1	2024-08-12	-ADDED DIMENSIONS, SWIMMING POOL TO PROPERTY LINE

SITE PLAN

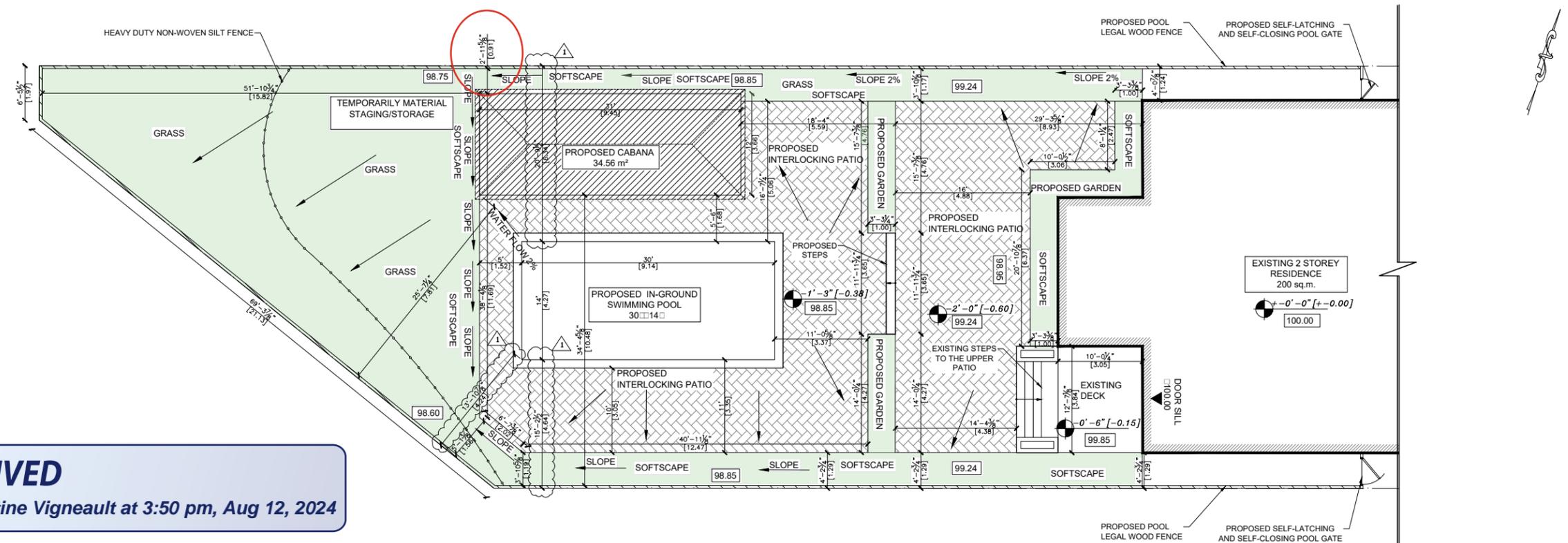
CABANA

LOCATION
**100 LADY FENYROSE AVE,
VAUGHAN, L6A 0E1**

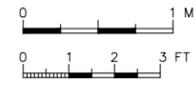
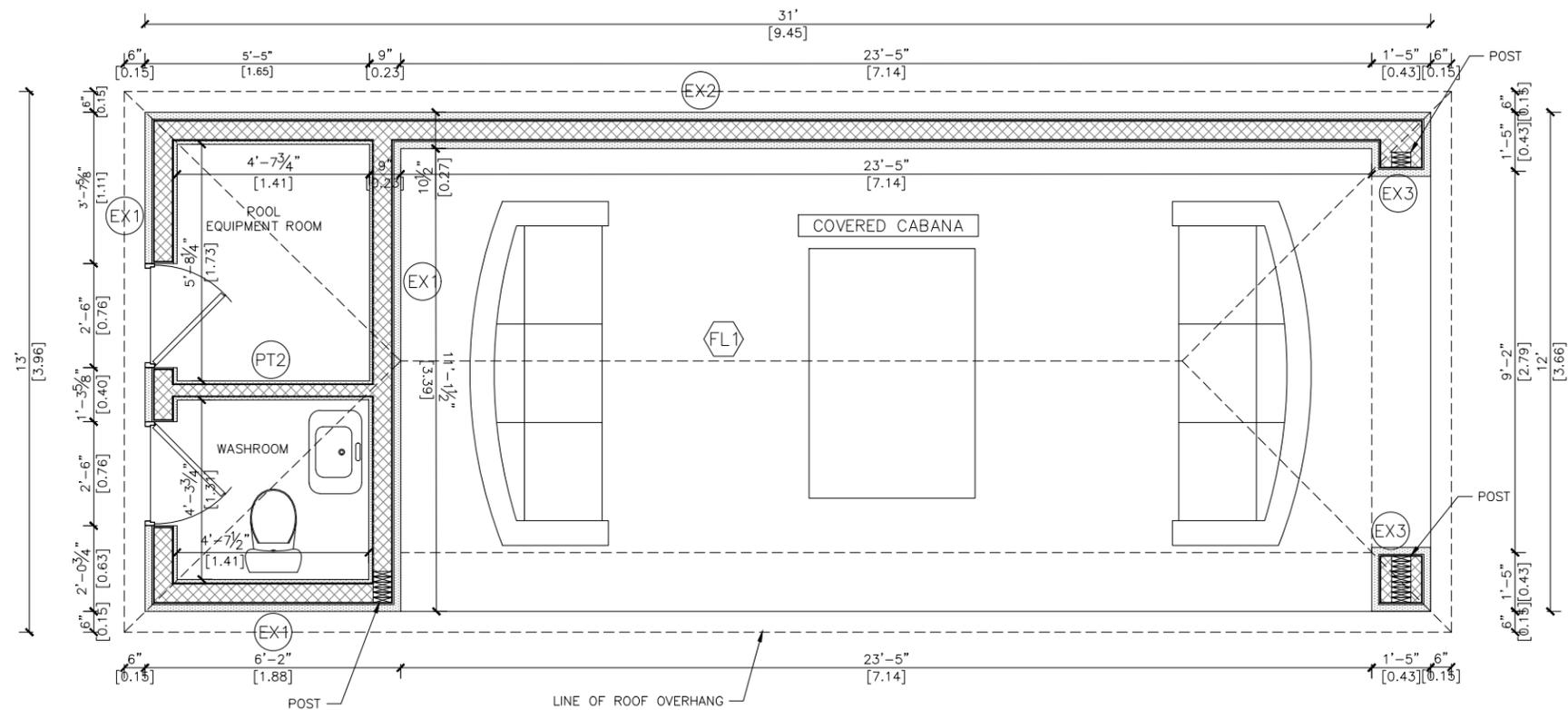
ARA DESIGN GROUP
203-7270 WOODBINE AVE
MARKHAM, ON, L3R 4B9
TEL: 905.962.8115
INFO@ARADDESIGNGROUP.COM



DESIGNED BY	DRAWING NO.
---	6630524-P1.0
DRAWN BY	SCALE:
---	1:192 [1/16"=1'-0"]
CHECKED BY	DATE
---	AUG 12, 2024



RECEIVED
By Christine Vigneault at 3:50 pm, Aug 12, 2024



NO.	DATE	REVISION / ISSUED

DRAWING
MAIN FLOOR PLAN

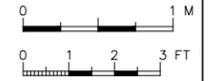
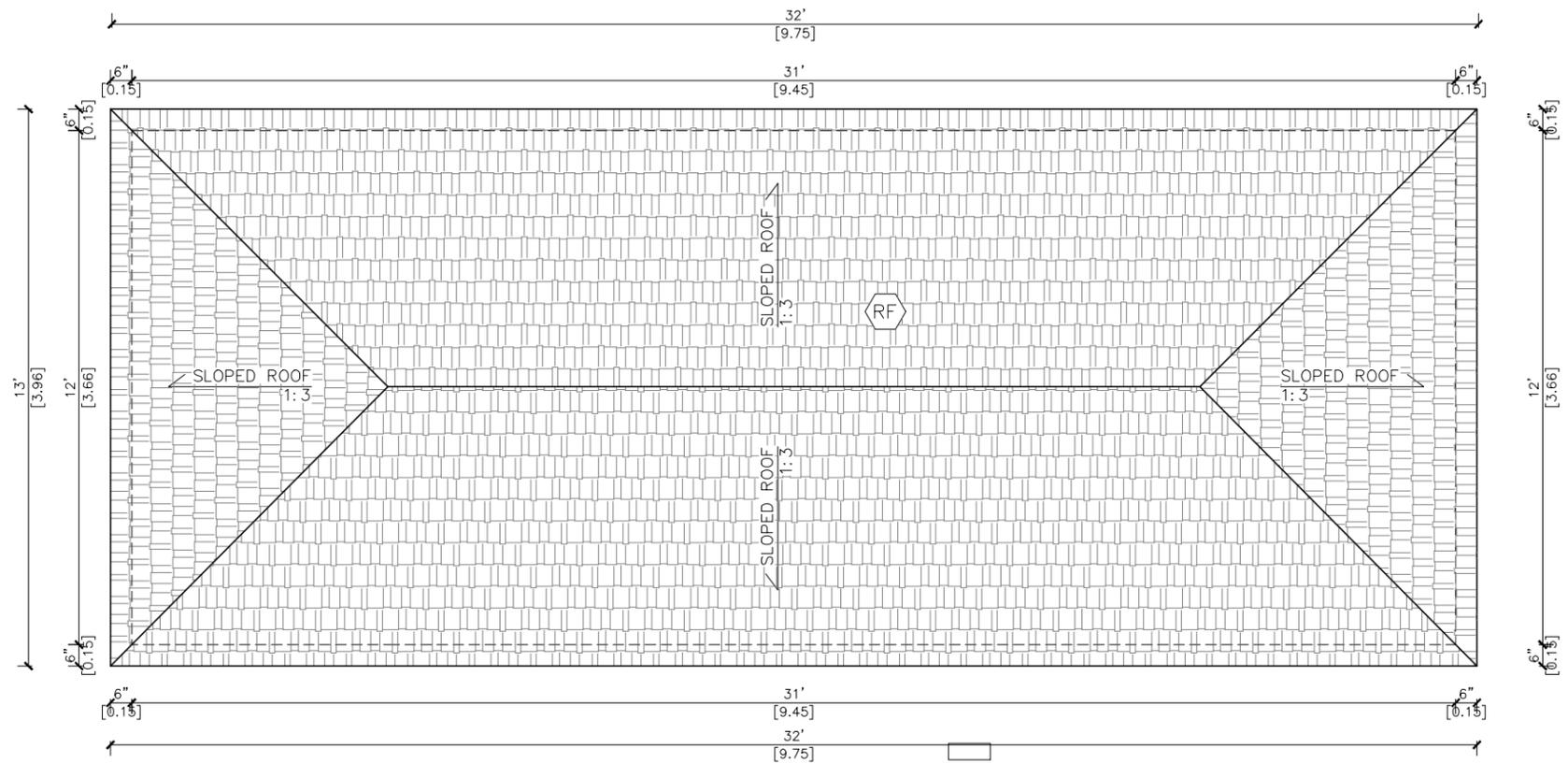
PROJECT
CABANA

PROJECT
**100 LADY FENYROSE AVE,
 VAUGHAN, L6A 0E1**

ALIREZA AFSHIN
 203-7270 WOODBINE AVENUE
 MARKHAM, ONTARIO L3R 4B9
 TEL: 905.962.8115
 INFO@ARADESIGNGROUP.COM



DESIGNED BY A. AFSHIN	DRAWING NO. 6630524-A1.1
DRAWN BY -	SCALE: 1:48 [1/4"=1'-0"]
CHECKED BY A. AFSHIN	DATE JULY 04, 2024



NO.	DATE	REVISION / ISSUED

DRAWING

ROOF PLAN

PROJECT

CABANA

PROJECT

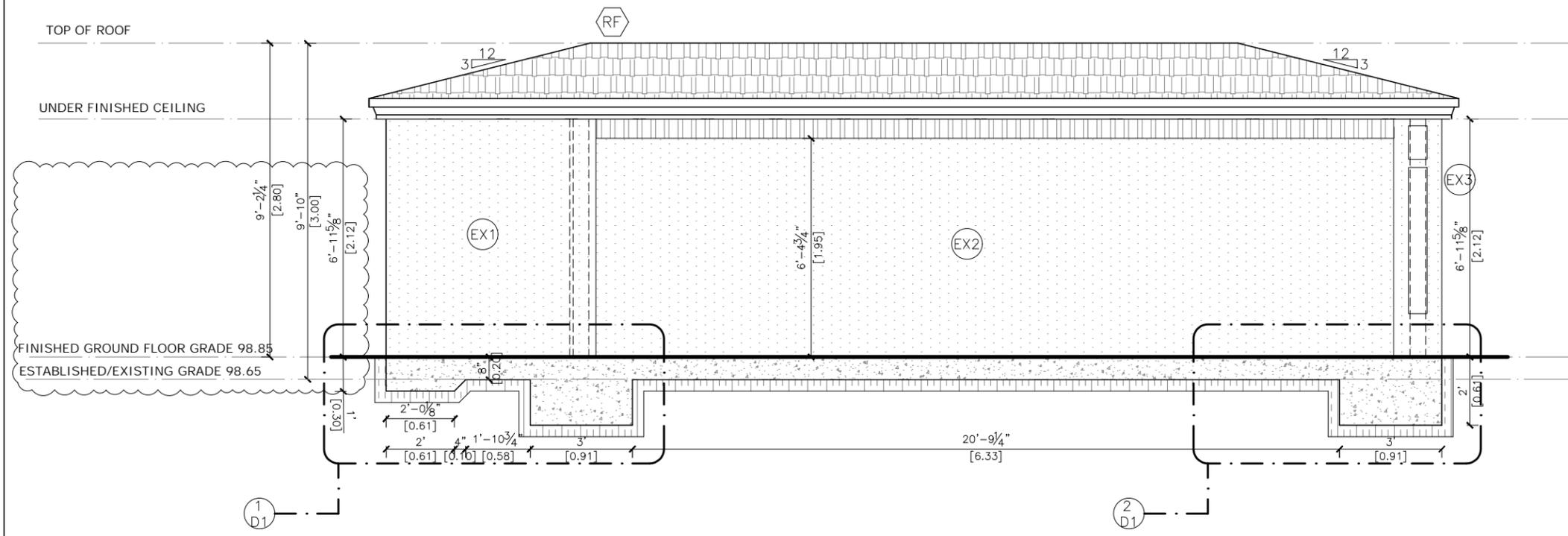
100 LADY FENYROSE AVE,
VAUGHAN, L6A 0E1

ALIREZA AFSHIN

203-7270 WOODBINE AVENUE
MARKHAM, ONTARIO L3R 4B9
TEL: 905.962.8115
INFO@ARADESIGNGROUP.COM



DESIGNED BY A. AFSHIN	DRAWING NO. 6630524-A1.2
DRAWN BY -	SCALE: 1:48 [1/4"=1'-0"]
CHECKED BY A. AFSHIN	DATE JULY 04, 2024



1 2024-07-04 CHANGED CABANA HEIGHT

DRAWING SOUTH ELEVATION (FRONT)

PROJECT CABANA

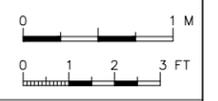
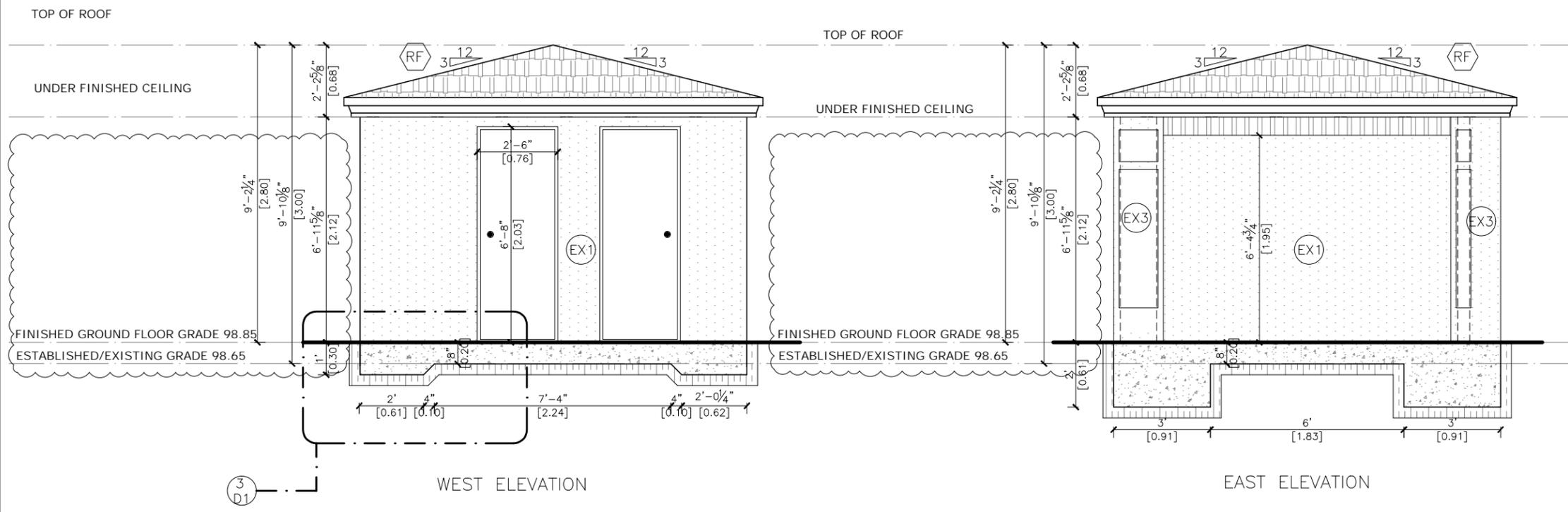
PROJECT 100 LADY FENYROSE AVE, VAUGHAN, L6A 0E1

ALIREZA AFSHIN

203-7270 WOODBINE AVENUE
MARKHAM, ONTARIO L3R 4B9
TEL: 905.962.8115
INFO@ARADESIGNGROUP.COM



DESIGNED BY A. AFSHIN	DRAWING NO. 6630524-A2.1
DRAWN BY -	SCALE: 1:48 [1/4"=1'-0"]
CHECKED BY A. AFSHIN	DATE JULY 04, 2024



FOR DETAILS REFER TO DRAWING #D1-1

1 2024-07-04 CHANGED CABANA HEIGHT

DRAWING EAST & WEST ELEVATIONS (SIDES)

PROJECT CABANA

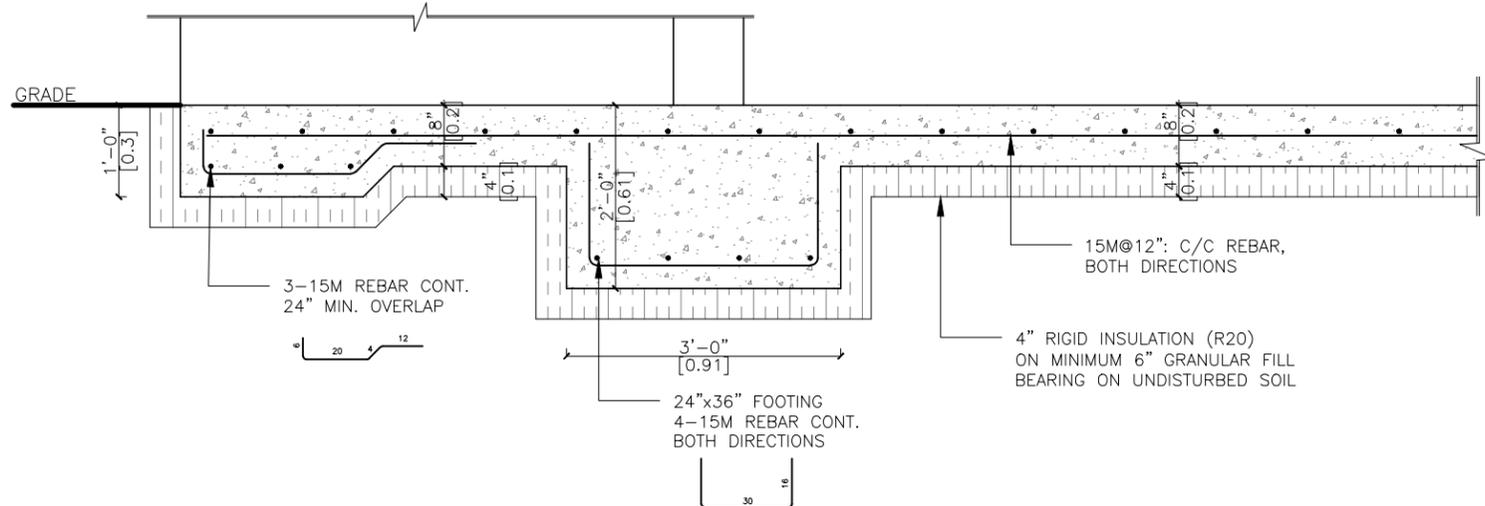
PROJECT 100 LADY FENYROSE AVE, VAUGHAN, L6A 0E1

ALIREZA AFSHIN

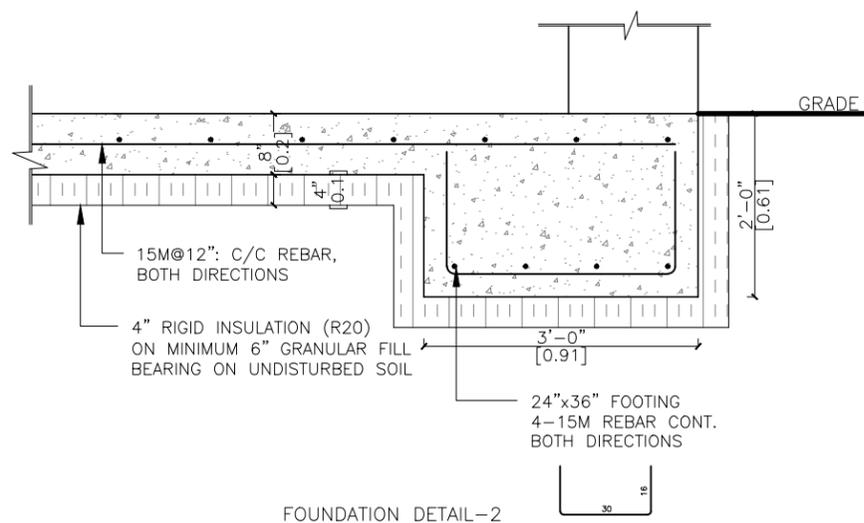
203-7270 WOODBINE AVENUE
 MARKHAM, ONTARIO L3R 4B9
 TEL: 905.962.8115
 INFO@ARADESIGNGROUP.COM



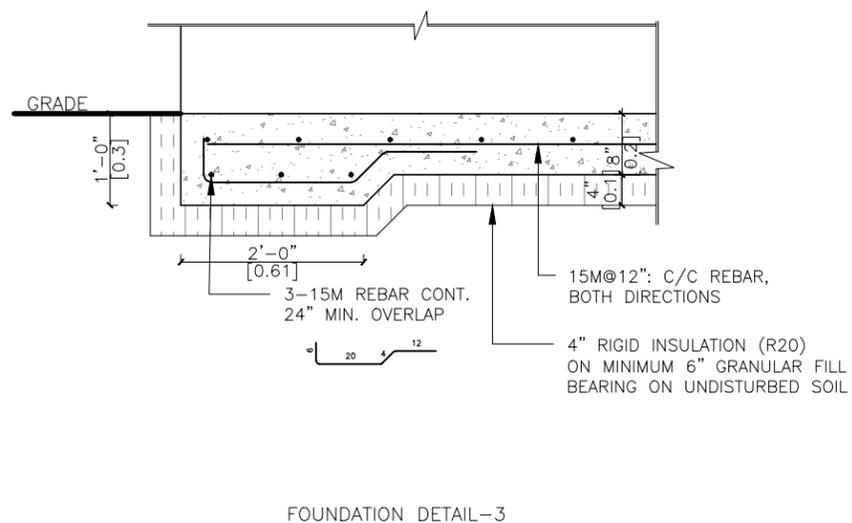
DESIGNED BY A. AFSHIN	DRAWING NO. 6630524-A2.2
DRAWN BY -	SCALE: 1:48 [1/4"=1'-0"]
CHECKED BY A. AFSHIN	DATE JULY 04, 2024



FOUNDATION DETAIL-1



FOUNDATION DETAIL-2



FOUNDATION DETAIL-3

NO.	DATE	REVISION / ISSUED

DRAWING
FOUNDATION DETAILS

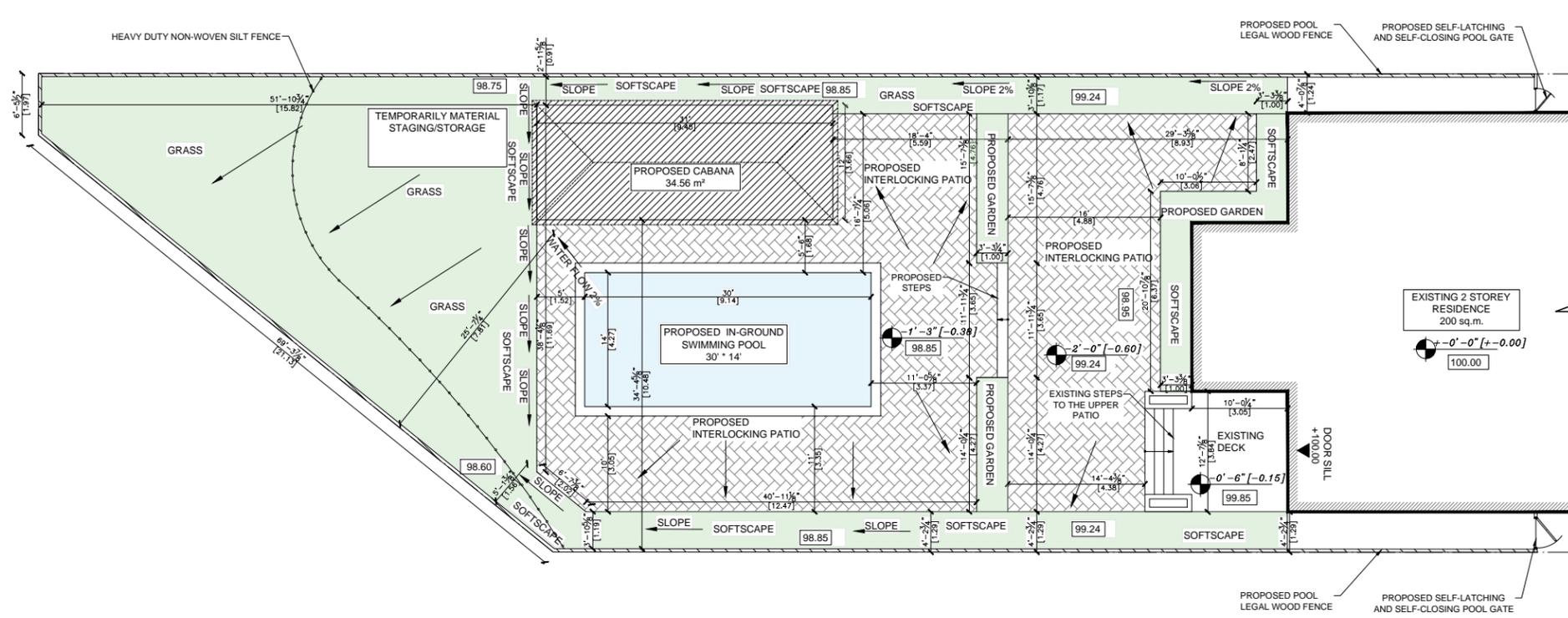
PROJECT
CABANA

PROJECT
**100 LADY FENYROSE AVE,
 VAUGHAN, L6A 0E1**

ALIREZA AFSHIN
 203-7270 WOODBINE AVENUE
 MARKHAM, ONTARIO L3R 4B9
 TEL: 905.962.8115
 INFO@ARADESIGNGROUP.COM



DESIGNED BY A. AFSHIN	DRAWING NO. 6630524-D1.1
DRAWN BY -	SCALE: 1:24 [1/2"=1'-0"]
CHECKED BY A. AFSHIN	DATE JULY 04, 2024



GENERAL NOTES / LEGENDS :

LEGEND		EXISTING
		NEW WALL
		REMOVED

Notes:

- All elevations and setbacks are to be confirmed by a registered professional engineer or registered Ontario Land Surveyor prior to the placing of any concrete.
- Existing boundary elevations along the site perimeter shall remain undisturbed. Drainage received from adjacent properties shall be accommodated and drainage from the subject lands shall be self-contained.
- Boundary Trees:** In addition to the municipal by-laws, it is required by law in the province of Ontario to obtain the consent of any boundary tree's owner prior to injuring or removing that tree. Paragraph 10 of the Forestry Act, R.S.O. 1990, c. F.26 states that: 10. (2) Every tree whose trunk is growing on the boundary between adjoining lands is the common property of the owners of the adjoining lands. 1998, c. 18, Sched. 1, s. 21. (3) Every person who injures or destroys a tree growing on the boundary between adjoining lands without the consent of the land owners is guilty of an offence under this Act. 1998, c. 18, Sched. 1, s. 21. The determination of ownership of the subject tree(s) is the responsibility of the applicant. Any civil or common-law issues between property owners with respect to joint/multiple ownership of trees must be resolved by the applicant. A permit/approval to Injure or Destroy (a) Tree(s) on Private Property does not grant authority to encroach in any manner or enter onto adjacent private properties. Please contact a Park & Natural Heritage Planning representative if you require more information.
- The applicant is responsible to ensure that all construction activity and final product conform to all City by-laws.
- Existing Drainage to remain unaltered.
- Any damages to municipal services and/or adjacent properties must be restored by this homeowner and/or pool contractor.
- Boulevard and sidewalk (if applicable) to be restored to original condition or better.
- The Owner is responsible to ensure all construction and grading is in conformity with this approved Site Grading Plan or/ Site Alteration Plan and to the satisfaction of City staff. Any deviation from this approved Site Grading Plan or/ Site Alteration Plan could result in an amendment to the Site Plan Agreement or/ Site Alteration Permit and/or delay release of the security deposit. Construction Activity includes, but is not limited to: demolition work; soil excavation; grading or boring; carpentry; electrical or plumbing work; and, movement/ storage of construction materials, equipment, vehicles, soil or debris.
- The owner/builder is responsible to ensure utility installation companies and/or contractors obtain a municipal consent permit for works within the municipal right-of-way such as boring, open cuts, or utility installation.
- The property is to be graded and self-contained so that surface drainage is directed away from the buildings and contained in storm water management facilities on site prior to discharge but not negatively affecting adjacent lots.

NO.	DATE	REVISION / ISSUED

DRAWING

GRADING PLAN

PROJECT

CABANA

LOCATION

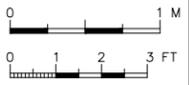
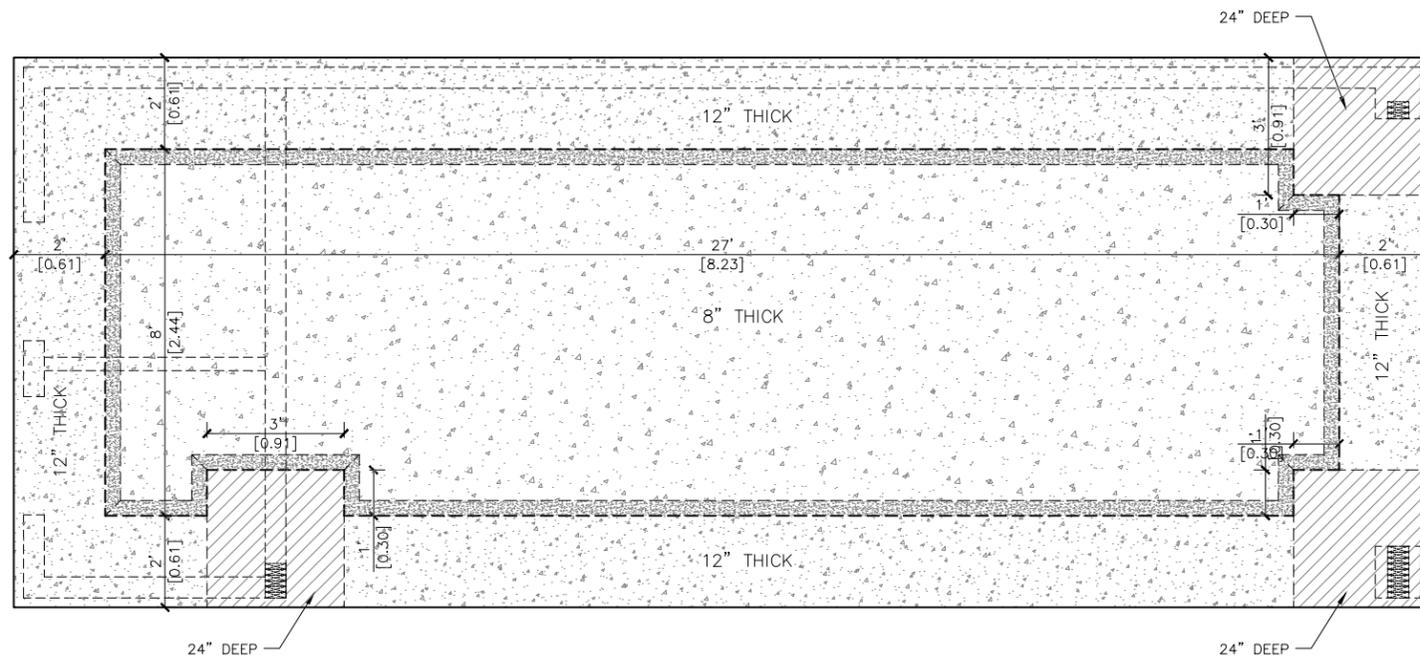
100 LADY FENYROSE AVE, VAUGHAN, L6A 0E1

ARA DESIGN GROUP

203-7270 WOODBINE AVE
MARKHAM, ON, L3R 4B9
TEL: 905.962.8115
INFO@ARADESIGNGROUP.COM



DESIGNED BY	—	DRAWING NO.	6830524-P2.0
DRAWN BY	—	SCALE:	1:192 [1/16"=1'-0"]
CHECKED BY	—	DATE	JULY 04, 2024



NO.	DATE	REVISION / ISSUED

DRAWING
FOUNDATION PLAN

PROJECT
CABANA

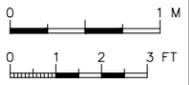
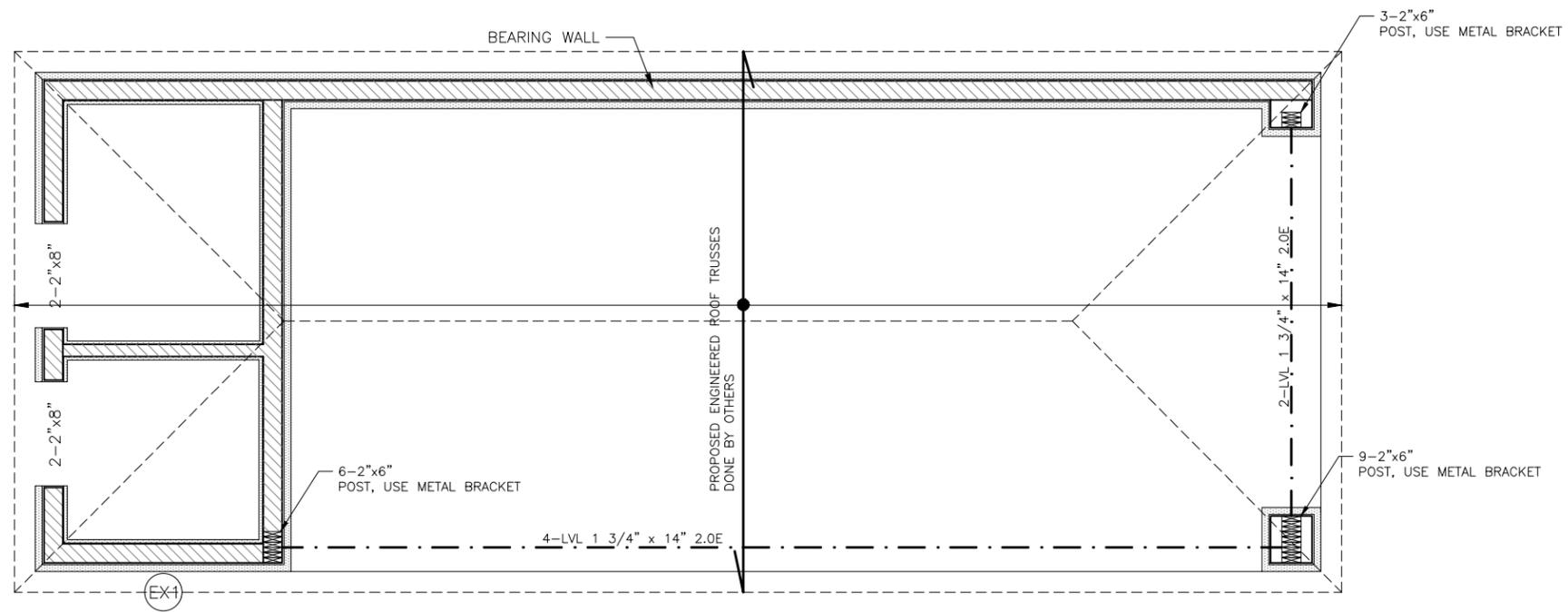
PROJECT
**100 LADY FENYROSE AVE,
VAUGHAN, L6A 0E1**

ALIREZA AFSHIN

203-7270 WOODBINE AVENUE
MARKHAM, ONTARIO L3R 4B9
TEL: 905.962.8115
INFO@ARADESIGNGROUP.COM



DESIGNED BY A. AFSHIN	DRAWING NO. 6630524-S1.1
DRAWN BY -	SCALE: 1:48 [1/4"=1'-0"]
CHECKED BY A. AFSHIN	DATE JULY 04, 2024



NO.	DATE	REVISION / ISSUED

DRAWING
ROOF FRAMING PLAN

PROJECT
CABANA

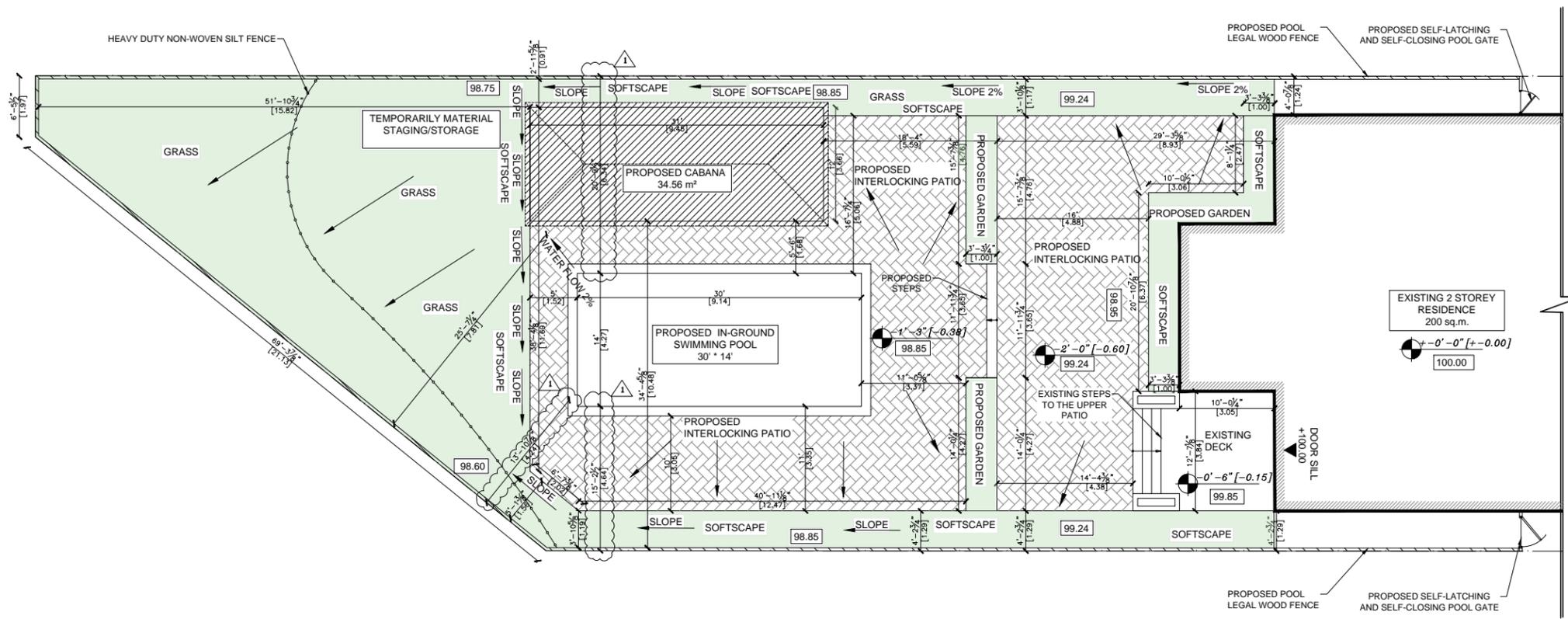
PROJECT
**100 LADY FENYROSE AVE,
 VAUGHAN, L6A 0E1**

ALIREZA AFSHIN
 203-7270 WOODBINE AVENUE
 MARKHAM, ONTARIO L3R 4B9
 TEL: 905.962.8115
 INFO@ARADESIGNGROUP.COM



DESIGNED BY A. AFSHIN	DRAWING NO. 6630524-S1.2
DRAWN BY -	SCALE: 1:48 [1/4"=1'-0"]
CHECKED BY A. AFSHIN	DATE JULY 04, 2024

LEGEND		EXISTING
		NEW WALL
		REMOVED



Notes:

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- The property is to be graded and self-contained so that surface drainage is directed away from the buildings and contained in storm water management facilities on site prior to discharge but not negatively affecting adjacent lots.

1	2024-08-12	ADDED DIMENSIONS. SWIMMING POOL TO PROPERTY LINE
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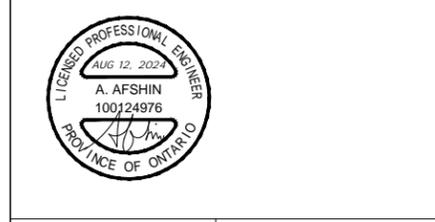
GRADING PLAN

CABANA

100 LADY FENYROSE AVE,
VAUGHAN, L6A 0E1

ARA DESIGN GROUP

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MARKHAM, ON, L3R 4B9
TEL: 905.962.8115
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DESIGNED BY	—	DRAWING NO.	6630524-P2.0
DRAWN BY	—	SCALE:	1:192 [1/16"=1'-0"]
CHECKED BY	—	DATE	AUG 12, 2024

**SCHEDULE B:
COMMENTS FROM AGENCIES, BUILDING STANDARDS &
DEVELOPMENT PLANNING**

Department / Agency <small>*Comments Received</small>	Conditions Required		Nature of Comments
Building Standards (Zoning) *See Schedule B	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>	General Comments
Development Planning	Yes <input type="checkbox"/>	No <input type="checkbox"/>	Application Under Review

External Agencies <small>*Comments Received</small>	Conditions Required		Nature of Comments <small>*See Schedule B for full comments</small>
Alectra	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>	General Comments
TRCA	Yes <input checked="" type="checkbox"/>	No <input type="checkbox"/>	General Comments w/Conditions
Region of York	Yes <input type="checkbox"/>	No <input type="checkbox"/>	General Comments

Date: August 13th 2024

Attention: **Christine Vigneault**

RE:

File No.: **A117-24**

Related Files:

Applicant Katarina Nolic

Location 100 Lady Fenrose Avenue



Discover the possibilities

COMMENTS:

- We have reviewed the proposed Variance Application and have no comments or objections to its approval.
- We have reviewed the proposed Variance Application and have no objections to its approval, subject to the following comments (attached below).
- We have reviewed the proposed Variance Application and have the following concerns (attached below).

Alectra Utilities (formerly PowerStream) has received and reviewed the proposed Variance Application. This review, however, does not imply any approval of the project or plan.

All proposed billboards, signs, and other structures associated with the project or plan must maintain minimum clearances to the existing overhead or underground electrical distribution system as specified by the applicable standards, codes and acts referenced.

In the event that construction commences, and the clearance between any component of the work/structure and the adjacent existing overhead and underground electrical distribution system violates the Occupational Health and Safety Act, the customer will be responsible for 100% of the costs associated with Alectra making the work area safe. All construction work will be required to stop until the safe limits of approach can be established.

In the event construction is completed, and the clearance between the constructed structure and the adjacent existing overhead and underground electrical distribution system violates the any of applicable standards, acts or codes referenced, the customer will be responsible for 100% of Alectra's cost for any relocation work.

References:

- Ontario Electrical Safety Code, latest edition (Clearance of Conductors from Buildings)
- Ontario Health and Safety Act, latest edition (Construction Protection)
- Ontario Building Code, latest edition (Clearance to Buildings)
- PowerStream (Construction Standard 03-1, 03-4), attached
- Canadian Standards Association, latest edition (Basic Clearances)

If more information is required, please contact either of the following:

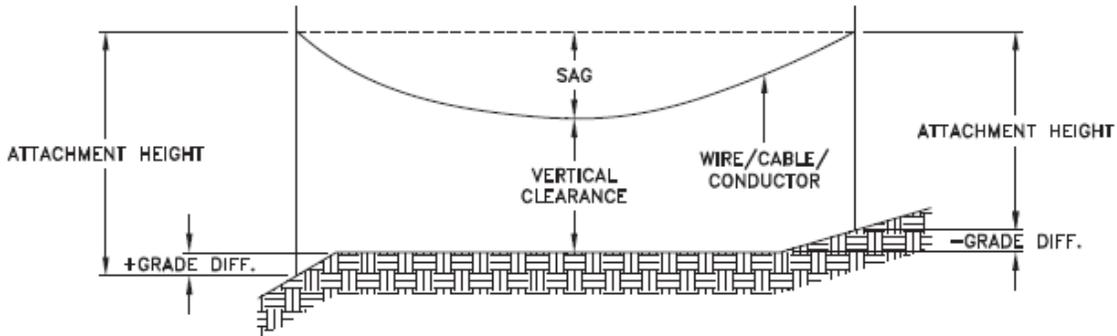
Mr. Stephen Cranley, C.E.T
Supervisor, Distribution Design, ICI & Layouts (North)
Phone: 1-877-963-6900 ext. 31297

E-mail: stephen.cranley@alectrautilities.com

Mitchell Penner
Supervisor, Distribution Design-Subdivisions
Phone: 416-302-6215

Email: Mitchell.Penner@alectrautilities.com

LOCATION OF WIRES, CABLES OR CONDUCTORS	SYSTEM VOLTAGE			
	SPAN GUYS AND COMMUNICATIONS WIRES	UP TO 600V AND NEUTRAL	4.16/2.4kV TO 27.6/16kV (SEE NOTE 1)	44kV
MINIMUM VERTICAL CLEARANCES (SEE NOTE 2)				
OVER OR ALONGSIDE ROADS, DRIVEWAYS OR LANDS ACCESSIBLE TO <u>VEHICLES</u>	442cm	442cm	480cm	520cm
OVER GROUND ACCESSIBLE TO <u>PEDESTRIANS AND BICYCLES ONLY</u>	250cm	310cm	340cm	370cm
ABOVE TOP OF RAIL AT <u>RAILWAY CROSSINGS</u>	730cm	730cm	760cm	810cm



MINIMUM ATTACHMENT HEIGHT = MAXIMUM SAG
 + MINIMUM VERTICAL CLEARANCE (FROM ABOVE TABLE)
 ± GRADE DIFFERENCE
 + 0.3m (VEHICLE OR RAILWAY LOCATION)
 + SNOW DEPTH (PEDESTRIAN LOCATION, SEE NOTE 3)

NOTES:

1. THE MULTIGROUNDED SYSTEM NEUTRAL HAS THE SAME CLEARANCE AS THE 600V SYSTEM.
2. THE VERTICAL CLEARANCES IN THE ABOVE TABLE ARE UNDER MAXIMUM SAG CONDITIONS.
3. REFER TO CSA STANDARD C22.3 No.1, ANNEX D FOR LOCAL SNOW DEPTH VALUES.
4. ALL CLEARANCES ARE IN ACCORDANCE TO CSA STANDARD C22.3.

CONVERSION TABLE

METRIC	IMPERIAL (APPROX)
810cm	27'-0"
760cm	25'-4"
730cm	24'-4"
520cm	17'-4"
480cm	16'-0"
442cm	15'-5"
370cm	12'-4"
340cm	11'-4"
310cm	10'-4"
250cm	8'-4"

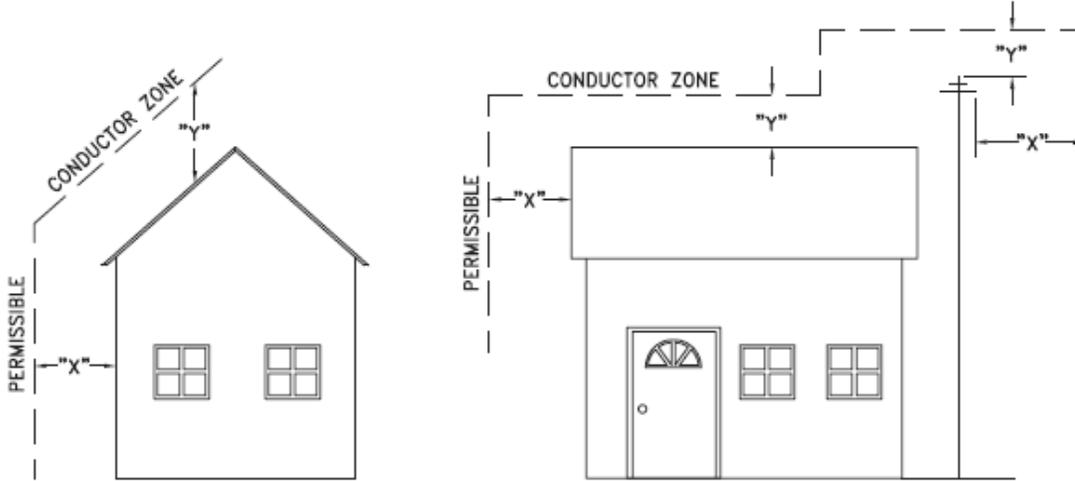
REFERENCES

SAGS AND TENSIONS | SECTION 02

MINIMUM VERTICAL CLEARANCES OF WIRES, CABLES AND CONDUCTORS ABOVE GROUND OR RAILS

ORIGINAL ISSUE DATE: 2010-DEC-24 REVISION NO: R1 REVISION DATE: 2012-JAN-09

Certificate of Approval	
This construction Standard meets the safety requirements of Section 4 of Regulation 22/04	
Joe Crozier, P.Eng.	2012-JAN-09
Name	Date
P.Eng. Approval By:	Joe Crozier



VOLTAGE	MINIMUM HORIZONTAL CLEARANCE UNDER MAXIMUM SWING CONDITIONS DIMENSION "X" (SEE NOTES 1, 3 & 4)	MINIMUM VERTICAL CLEARANCE UNDER MAXIMUM DESIGN SAG CONDITIONS DIMENSION "Y" (SEE NOTES 1, 2, 4 & 5)
0-600V AND NEUTRAL	100cm	250cm
4.16/2.4 TO 44kV	300cm	480cm

NOTES

1. UNDER NO CIRCUMSTANCES SHALL A CONDUCTOR BE PERMITTED TO PENETRATE THE ENVELOPE SHOWN BY THE DOTTED LINE.
2. THE VERTICAL CLEARANCES ARE UNDER CONDITIONS OF MAXIMUM DESIGN SAG.
3. THE HORIZONTAL CLEARANCES ARE UNDER CONDITIONS OF MAXIMUM SWING. WHERE THE CONDUCTOR SWING IS NOT KNOWN A HORIZONTAL CLEARANCE OF 480CM SHALL BE USED.
4. BUILDINGS THAT EXCEED 3 STOREYS OR 15M IN HEIGHT, THE MINIMUM HORIZONTAL CLEARANCE OF THE SECONDARY CONDUCTORS SHOULD BE INCREASED TO 300cm WHERE IT IS NECESSARY TO ALLOW FOR THE RAISING OF LADDERS BY LOCAL FIRE DEPARTMENTS.
5. IN SITUATIONS SUCH AS MULTI-LEVEL GARAGES, WHERE ROOFS ARE NORMALLY USED BY PERSONS AND VEHICLES, THE VERTICAL CLEARANCES OF POWERSTREAM STANDARD 03-1 SHALL APPLY.
6. DISTRIBUTION LINES CONSTRUCTED NEAR BUILDINGS SHALL BE BUILT TO AVOID OVERHANG WHEREVER POSSIBLE. WHERE LINES MUST BE CONSTRUCTED OVER OR ADJACENT TO BUILDINGS THE APPLICABLE HORIZONTAL AND VERTICAL CLEARANCES SHALL BE AT CONDITIONS OF MAXIMUM CONDUCTOR SWING AND MAXIMUM SAG. THE ABOVE CLEARANCES ARE DESIGNED TO PREVENT PERSONS ON OR IN BUILDINGS AS WELL AS EXTERNAL MACHINERY USED IN CONJUNCTION WITH A BUILDING TO COME IN CONTACT WITH CONDUCTORS. EFFORTS SHOULD BE MADE TO INCREASE THESE CLEARANCES WHERE POSSIBLE.
7. ALL CLEARANCES ARE IN ACCORDANCE TO CSA C22.3 NO.1-06 (TABLE-9).

METRIC	IMPERIAL (APPROX)
480cm	16'-0"
300cm	10'-0"
250cm	8'-4"
100cm	3'-4"

MINIMUM VERTICAL & HORIZONTAL CLEARANCES OF CONDUCTORS FROM BUILDINGS OR OTHER PERMANENT STRUCTURES (CONDUCTORS NOT ATTACHED TO BUILDINGS)

Certificate of Approval
This construction Standard meets the safety requirements of Section 4 of Regulation 22/04
Debbie Dadwani, P.Eng. 2010-MAY-05
Name Date
P. Eng. Approval By: *D. Dadwani*

ORIGINAL ISSUE DATE: 2010-MAY-05 REVISION NO: REVISION DATE:
PS:\System Planning and Standards\Standard Design\PowerStream Standards\PowerStream Standards working files\Section 3-1-02\WG 03-4 R0 May 5, 2010.dwg, 5/5/2010 10:22:02 AM, Adobe PDF

To: Committee of Adjustment
From: Catherine Saluri, Building Standards Department
Date: August 13, 2024
Applicant: Katarina Nolic
Location: 100 Lady Fenrose Avenue
 PLAN 65M4018 Lot 4
File No.(s): A117/24

Zoning Classification:

The subject lands are zoned R2A, Second Density Residential Zone and subject to the provisions of Exception 14.850 under Zoning By-law 001-2021.

#	Zoning By-law 001-2021	Variance requested
1	A minimum setback of 2.4 m is required from the northerly interior side lot line to a detached residential accessory structure (3.0 m high cabana).	To permit a minimum setback of 0.91 m from the northerly interior side lot line to a detached residential accessory structure (3.0 m high cabana).

Staff Comments:

Stop Work Order(s) and Order(s) to Comply:

There are no outstanding Orders on file.

Building Permit(s) Issued:

Building Permit Application No. 2024 114950 has been submitted for the construction of a cabana.

Other Comments:

General Comments	
1	The applicant shall be advised that additional variances may be required upon review of detailed drawing for building permit.
2	The subject lands may be subject to Ontario Regulation 166/06 (TRCA - Toronto and Region Conservation Authority).

Conditions of Approval:

If the committee finds merit in the application, the following conditions of approval are recommended.

None

* Comments are based on the review of documentation supplied with this application.

August 19, 2024

PAR-DPP-2024-00191

SENT BY E-MAIL: Christine.Vigneault@vaughan.ca

Christine Vigneault
Secretary Treasurer
Committee of Adjustment
City of Vaughan
2141 Major Mackenzie Drive
Vaughan, Ontario L6A 1T1

Dear Christine:

**Re: Minor Variance Application A117/24
Lot 4, Plan 65M4018
100 Lady Fenrose Avenue
City of Vaughan, Regional Municipality of York
Applicant: Katarina Nicolic**

This letter acknowledges receipt of the above-noted application circulated by the City of Vaughan. The materials were received by Toronto and Region Conservation Authority (TRCA) on August 13, 2024. TRCA staff have reviewed the application and offer the following comments for the consideration of the Committee of Adjustment.

Purpose of the Application

It is our understanding that the purpose of the above noted application is to request the following variances under By-Law 001-2021:

By-Law 001-2021:

- To permit a maximum setback of 0.91 metres from the northerly interior side lot line to a detached residential accessory structure (3.0-metre-high cabana).

The noted variances are being requested to facilitate the construction of cabana in the rear yard.

Ontario Regulation 41/24

The subject property is located within TRCA's Regulated Area due to a valley corridor associated with a tributary of the Don River Watershed. In accordance with Ontario Regulation 41/24, development, interference or alteration may be permitted in the Regulated Area where it can be demonstrated to TRCA's satisfaction that the control of flooding, erosion, dynamic beaches, unstable soils, or bedrock will not be affected.

Application-Specific Comments

TRCA staff have reviewed and issued a permit for the proposed cabana (TRCA Permit No. PER-DPP-2024-00061, issued July 12, 2024). The plans submitted with this application are consistent with the plans that were approved as part of TRCA's permit.

Based on the above, TRCA staff have no concerns with the proposed variance.

Fees

By copy of this letter, the applicant is advised that the TRCA has implemented a fee schedule for our planning application review services. This application is subject to a \$660.00 (Minor Variance – Residential - Minor) review fee. The applicant is responsible for fee payment and should forward the application fee to this office as soon as possible.

Recommendations

Based on the comments noted above, TRCA has **no objection** to the approval of Minor Variance Application A117/24 subject to the following conditions:

1. That the applicant provides the required fee amount of \$660.00 payable to the Toronto and Region Conservation Authority.

We trust these comments are of assistance. Should you have any questions, please contact me at 437-880-1925 or at cameron.mcdonald@trca.ca.

Sincerely,

Cameron McDonald

Cameron McDonald
Planner I
Development Planning and Permits | Development and Engineering Services
cameron.mcdonald@trca.ca, 437-880-1925

From: [Development Services](#)
To: [Christine Vigneault](#)
Cc: [Committee of Adjustment](#)
Subject: [External] RE: A117/24 (100 Fenyrrose Avenue) - REQUEST FOR COMMENTS, CITY OF VAUGHAN
Date: Monday, August 26, 2024 4:06:04 PM
Attachments: [image001.png](#)
[image003.png](#)

CAUTION! This is an external email. Verify the sender's email address and carefully examine any links or attachments before clicking. If you believe this may be a phishing email, please use the Phish Alert Button.

Hi Christine,

The Regional Municipality of York has completed its review of the minor variance application – A117/24 (100 Fenyrrose Avenue) and has no comment.

Please provide us with a digital copy of the notice of decision for our records.

Many thanks,

Our working hours may be different. Please do not feel obligated to reply outside of your scheduled working hours. Let's work together to help foster healthy work-life boundaries.

Niranjan Rajevan, M.Pl. | Associate Planner, Development Planning | Economic and Development Services Branch | Corporate Services Department

The Regional Municipality of York | 17250 Yonge Street | Newmarket, ON L3Y 6Z1
1-877-464-9675 ext. 71521 | niranjan.rajevan@york.ca | www.york.ca

Our Values: Integrity, Commitment, Accountability, Respect, Excellence



Our Mission: **Working together to serve our thriving communities – today and tomorrow**

Please consider the environment before printing this email.

SCHEDULE C: PUBLIC & APPLICANT CORRESPONDENCE

None

SCHEDULE D: BACKGROUND

None