

<b>ITEM: 6.9</b>	<b>REPORT SUMMARY MINOR VARIANCE APPLICATION FILE NUMBER A108/24</b>
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Report Date: September 6, 2024

**THIS REPORT CONTAINS COMMENTS FROM THE FOLLOWING  
DEPARTMENTS & AGENCIES (SEE SCHEDULE B):**

Additional comments from departments and agencies received after the publication of the report will be made available on the City's [website](#).

Internal Departments <small>*Comments Received</small>	Conditions Required		Nature of Comments
Committee of Adjustment	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>	General Comments
Building Standards (Zoning)	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>	General Comments
Development Engineering	Yes <input checked="" type="checkbox"/>	No <input type="checkbox"/>	General Comments w/Conditions
Development Planning	Yes <input type="checkbox"/>	No <input type="checkbox"/>	Application Under Review
Development Finance	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>	General Comments
Forestry	Yes <input checked="" type="checkbox"/>	No <input type="checkbox"/>	General Comments w/Conditions

External Agencies <small>*Comments Received</small>	Conditions Required		Nature of Comments <small>*See Schedule B for full comments</small>
Alectra	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>	General Comments
TRCA	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>	General Comments
Region of York	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>	General Comments

<b>PUBLIC &amp; APPLICANT CORRESPONDENCE (SEE SCHEDULE C)</b>				
<p>All personal information collected because of this public meeting (including both written and oral submissions) is collected under the authority of the Municipal Act, the Municipal Freedom of Information and Protection of Privacy Act (MFIPPA), the Planning Act and all other relevant legislation, and will be used to assist in deciding on this matter. All personal information (as defined by MFIPPA), including (but not limited to) names, addresses, opinions and comments collected will become property of the City of Vaughan, will be made available for public disclosure (including being posted on the internet) and will be used to assist the Committee of Adjustment and staff to process this application.</p>				
Correspondence Type	Name	Address	Date Received <small>(mm/dd/yyyy)</small>	Summary
None				

<b>BACKGROUND (SCHEDULE D, IF REQUIRED)</b>	
<p><small>* Background Information contains historical development approvals considered to be related to this file. This information should not be considered comprehensive.</small></p>	
Application No. (City File)	Application Description <small>(i.e. Minor Variance Application; Approved by COA / OLT)</small>
A077/21	COA; APPROVED (April 29, 2021)

<b>ADJOURNMENT HISTORY</b>	
<small>* Previous hearing dates where this application was adjourned by the Committee and public notice issued.</small>	
Hearing Date	Reason for Adjournment <small>(to be obtained from NOD_ADJ)</small>
None	N/A

<b>SCHEDULES</b>	
<b>Schedule A</b>	Drawings & Plans Submitted with the Application
<b>Schedule B</b>	Comments from Agencies, Building Standards & Development Planning
<b>Schedule C</b> (if required)	Public & Applicant Correspondence
<b>Schedule D</b> (if required)	Background



## MINOR VARIANCE APPLICATION FILE NUMBER A108/24

<b>CITY WARD #:</b>	3
<b>APPLICANT:</b>	Roberto & Rose Iaboni
<b>AGENT:</b>	Richard Kossak
<b>PROPERTY:</b>	110 Pine Valley Cr, Woodbridge
<b>ZONING DESIGNATION:</b>	See below.
<b>VAUGHAN OFFICIAL PLAN (2010) DESIGNATION:</b>	Vaughan Official Plan 2010 ('VOP 2010'): "Low-Rise Residential"
<b>RELATED DEVELOPMENT APPLICATIONS:</b>	None
<b>PURPOSE OF APPLICATION:</b>	Relief from the Zoning By-law is being requested to permit a proposed dwelling.

The following variances have been requested from the City's Zoning By-law:

**The subject lands are zoned RE(EN) – Estate Residential Zone (Established Neighbourhood) under Zoning By-law 001-2021, as amended.**

#	Zoning By-law 001-2021	Variance requested
1	The maximum building height permitted is 9.5 metres. [Table 7-3]	To permit a maximum building height of 10.22 metres.
2	The minimum interior side yard permitted is 35.84 metres. [Section 4.5, 2. b.]	To permit an interior side yard of 9.75 metres to the dwelling and 7.45 metres to the porch including access stairs on the west side of the dwelling.
3	The maximum driveway width permitted is 9.0 metres. [Table 6-11]	To permit a maximum driveway width of 14.84 metres.
4	A building or structure shall not be interpreted as an accessory building or accessory structure, respectively, if it is attached to the principal building in any way. [4.1.1, 3.]	To permit an accessory building (cabana) attached below grade to the principal building to be considered a detached accessory building.
5	In any Residential Zone, the maximum lot coverage of all accessory buildings and residential accessory structures excluding an accessory detached garage shall be 67.0 m <sup>2</sup> . [Section 4.1.3, 1.]	To permit a maximum lot coverage of 129.88 m <sup>2</sup> for all accessory buildings and residential accessory structures.
6	In any Residential Zone, the maximum height of an accessory building and residential accessory structure shall be 3.0 metres. [Section 4.1.4, 1.]	To permit an accessory building (cabana) with a maximum height of 4.17 metres from established grade.
7	The maximum encroachment permitted of a ground mounted air conditioner is 1.5 metres into the required rear yard. [Table 4-1]	To permit ground mounted air conditioner to encroach a maximum of 13.32 metres into the required rear yard.

### HEARING INFORMATION

**DATE OF MEETING:** Thursday, September 12, 2024  
**TIME:** 6:00 p.m.  
**MEETING LOCATION:** Vaughan City Hall, Woodbridge Room (2<sup>nd</sup> Floor), 2141 Major Mackenzie Drive  
**LIVE STREAM LINK:** [Vaughan.ca/LiveCouncil](http://Vaughan.ca/LiveCouncil)

### PUBLIC PARTICIPATION

## HEARING INFORMATION

If you would like to speak to the Committee of Adjustment at the meeting, either remotely or in person, please complete the [Request to Speak Form](#) and submit to [cofa@vaughan.ca](mailto:cofa@vaughan.ca)

If you would like to submit written comments, please quote file number above and submit by mail or email to:

**Email:** [cofa@vaughan.ca](mailto:cofa@vaughan.ca)

**Mail:** City of Vaughan, Office of the City Clerk, Committee of Adjustment, 2141 Major Mackenzie Drive, Vaughan, ON, L6A 1T1

To speak electronically, pre-registration is required by completing the [Request to Speak Form](#) on-line and submitting it to [cofa@vaughan.ca](mailto:cofa@vaughan.ca) no later than NOON on the last business day before the meeting.

**THE DEADLINE TO REGISTER TO SPEAK ELECTRONICALLY OR SUBMIT WRITTEN COMMENTS ON THE ABOVE NOTED FILE(S) IS NOON ON THE LAST BUSINESS DAY BEFORE THE MEETING.**

## INTRODUCTION

Staff and Agencies act as advisory bodies to the Committee of Adjustment. The comments contained in this report are presented as recommendations to the Committee.

Section 45(1) of the Planning Act sets the criteria for authorizing minor variances to the City of Vaughan's Zoning By-law. Accordingly, review of the application may consider the following:

- That the general intent and purpose of the by-law will be maintained.
- That the general intent and purpose of the official plan will be maintained.
- That the requested variance(s) is/are acceptable for the appropriate development of the subject lands.
- That the requested variance(s) is/are minor in nature.

Public written and oral submissions relating to this application are taken into consideration by the Committee of Adjustment as part of its deliberations and final decision on this matter.

## COMMITTEE OF ADJUSTMENT

<b>Date Public Notice Mailed:</b>	August 29, 2024
<b>Date Applicant Confirmed Posting of Sign:</b>	August 27, 2024
<b>Applicant Justification for Variances:</b> <small>*As provided in Application Form</small>	Due to the owners' design needs the owners request several variances to achieve the design.
<b>Was a Zoning Review Waiver (ZRW) Form submitted by Applicant:</b> <small>*ZRW Form may be used by applicant in instances where a revised submission is made, and zoning staff do not have an opportunity to review and confirm variances prior to the issuance of public notice.</small>	Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>
<b>COMMENTS:</b>	
None	
<b>Committee of Adjustment Recommended Conditions of Approval:</b>	None

## BUILDING STANDARDS (ZONING)

\*\*See Schedule B for Building Standards (Zoning) Comments

<b>Building Standards Recommended Conditions of Approval:</b>	None
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## DEVELOPMENT PLANNING

\*\*See Schedule B for Development Planning Comments.

<b>Development Planning Recommended Conditions of Approval:</b>	TBD
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## DEVELOPMENT ENGINEERING

[Link to Grading Permit](#)   [Link to Pool Permit](#)   [Link to Curb Curt Permit](#)   [Link Culvert Installation](#)

As the proposed residence in the subject property is 441.29 m<sup>2</sup>, the Owner / Applicant needs to obtain a Lot Grading Permit from Development Inspection and Lot Grading Division of the City's

## DEVELOPMENT ENGINEERING

[Link to Grading Permit](#)  
 [Link to Pool Permit](#)  
 [Link to Curb Curt Permit](#)  
 [Link Culvert Installation](#)

Development Engineering Department. Please note any in-ground structure over 10 m<sup>2</sup> requires a Grading Permit. Please contact the Development Engineering Reviewer after receiving the Grading Permit to clear the condition. (Conditions attached) The Owner / Applicant shall apply for a Pool Grading Permit with the Development Engineering (DE) Department. Please visit the grading permits page at City of Vaughan website to learn how to apply for the Pool Permit. If you have any question about Pool Grading Permit, please contact the Development Engineering Department through email at DEPermits@vaughan.ca. The proposed work by the Owner / Applicant is increasing the lot coverage on the subject property. The added hardscape may have impacts on the City's Storm Water management system. Development Engineering strongly encourages the Owner / Applicant introduce Low-Impact Development (LID) measures (e.g., bioswales, permeable pavers, rain gardens, rain barrels etc.) to reduce the impacts to the stormwater system. Should further information be required, please contact the Development Engineering COA reviewer. The Development Engineering Department does not object to the Minor Variance application A108/24, subject to the following condition(s):

<p><b>Development Engineering Recommended Conditions of Approval:</b></p>	<p>The Owner/Applicant shall submit an application and obtain an approved Grading Permit before initiating any work on the property. The Final Lot Grading and/or Servicing Plan will be required for the Grading Permit Application. Please visit the Permits page of the City of Vaughan's website: <a href="https://www.vaughan.ca/about-city-vaughan/departments/development-engineering/permits">https://www.vaughan.ca/about-city-vaughan/departments/development-engineering/permits</a> to apply for a Grading Permit. For any inquiries regarding the Grading Permit, please email DEPermits@vaughan.ca. The Owner/Applicant shall initiate the relocation or upgrade of service connections by reaching out to the Development Inspection and Grading Department at <a href="mailto:serviceconnections@vaughan.ca">serviceconnections@vaughan.ca</a> or by requesting a cost estimate through the Service Request Form. The Service Request Form can be accessed in the Vaughan website at <a href="https://www.vaughan.ca/about-city-vaughan/departments/development-engineering/service-connections">https://www.vaughan.ca/about-city-vaughan/departments/development-engineering/service-connections</a>. The completed form should be accompanied by the final Lot Grading and Servicing Plan and sent via email at <a href="mailto:serviceconnections@vaughan.ca">serviceconnections@vaughan.ca</a>. The Owner/Applicant is responsible with covering all associated fees, including administration charges upon confirmation of the service connection estimates for the installation of necessary services. The service connection application process typically takes 4-6 weeks, so the Owner/Applicant is encouraged to allow sufficient time for the entire procedure to be completed.</p>
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## PARKS, FORESTRY & HORTICULTURE (PFH)

Recommended condition of approval:

<p><b>PFH Recommended Conditions of Approval:</b></p>	<p>Applicant/owner shall obtain a "Private Property Tree Removal &amp; Protection" permit through the forestry division prior to any construction works on the subject property.</p>
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## DEVELOPMENT FINANCE

That the payment of the City Development Charge is payable to the City of Vaughan prior to issuance of a building permit in accordance with the Development Charges Act and City-wide Development Charge By-law in effect at time of payment.

That the payment of Region of York Development Charge is payable to the City of Vaughan prior to issuance of a building permit in accordance with the Development Charges Act and Regional Development Charges By-laws in effect at time of payment.

That the payment of Education Development Charge is payable to the City of Vaughan prior to issuance of a building permit in accordance with the Education Act and York Region District School Board and York Catholic District School Board Development Charges By-laws in effect at time of payment.

That the payment of applicable Area Specific Development Charges are payable to the City of Vaughan prior to issuance of a building permit in accordance with the Development Charges Act and Area Specific Development Charge By-laws in effect at time of payment.

### DEVELOPMENT FINANCE

Demolition development charge credit will expire on July 15, 2025.

Demolition development charge credits valid for a period of 48 months from date of demolition permit issuance. After 48 months, full development charges apply as per by-laws.

<b>Development Finance Recommended Conditions of Approval:</b>	None
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### BY-LAW AND COMPLIANCE, LICENSING AND PERMIT SERVICES

No comments received to date.

<b>BCLPS Recommended Conditions of Approval:</b>	None.
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### BUILDING INSPECTION (SEPTIC)

No comments received to date.

<b>Building Inspection Recommended Conditions of Approval:</b>	None.
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### FIRE DEPARTMENT

No comments received to date.

<b>Fire Department Recommended Conditions of Approval:</b>	None.
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### RECOMMENDED CONDITIONS OF APPROVAL SUMMARY

Should the Committee find it appropriate to approve this application in accordance with request and the sketch submitted with the application, as required by Ontario Regulation 200/96, the following conditions have been recommended:

#	DEPARTMENT / AGENCY	CONDITION
1	Development Planning <a href="mailto:Nicholas.delprete@vaughan.ca">Nicholas.delprete@vaughan.ca</a>	TBD
2	Development Engineering <a href="mailto:Rex.bondad@vaughan.ca">Rex.bondad@vaughan.ca</a>	The Owner/Applicant shall submit an application and obtain an approved Grading Permit before initiating any work on the property. The Final Lot Grading and/or Servicing Plan will be required for the Grading Permit Application. Please visit the Permits page of the City of Vaughan's website: <a href="https://www.vaughan.ca/about-city-vaughan/departments/development-engineering/permits">https://www.vaughan.ca/about-city-vaughan/departments/development-engineering/permits</a> to apply for a Grading Permit. For any inquiries regarding the Grading Permit, please email <a href="mailto:DEPermits@vaughan.ca">DEPermits@vaughan.ca</a> . The Owner/Applicant shall initiate the relocation or upgrade of service connections by reaching out to the Development Inspection and Grading Department at <a href="mailto:serviceconnections@vaughan.ca">serviceconnections@vaughan.ca</a> or by requesting a cost estimate through the Service Request Form. The Service Request Form can be accessed in the Vaughan website at <a href="https://www.vaughan.ca/about-city-vaughan/departments/development-engineering/service-connections">https://www.vaughan.ca/about-city-vaughan/departments/development-engineering/service-connections</a> . The completed form should be accompanied by the final Lot Grading and Servicing Plan and sent via email at <a href="mailto:serviceconnections@vaughan.ca">serviceconnections@vaughan.ca</a> . The Owner/Applicant is responsible with covering all associated fees, including administration charges upon confirmation of the service connection estimates for the installation of necessary services. The service connection application process typically takes 4-6 weeks, so the Owner/Applicant is encouraged to allow sufficient time for the entire procedure to be completed.

## RECOMMENDED CONDITIONS OF APPROVAL SUMMARY

Should the Committee find it appropriate to approve this application in accordance with request and the sketch submitted with the application, as required by Ontario Regulation 200/96, the following conditions have been recommended:

3	Parks, Forestry and Horticulture Operations <a href="mailto:zachary.quizzetti@vaughan.ca">zachary.quizzetti@vaughan.ca</a>	1) Applicant/owner shall obtain a "Private Property Tree Removal & Protection" permit through the forestry division prior to any construction works on the subject property.
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*All conditions of approval, unless otherwise stated, are considered to be incorporated into the approval "if required". If a condition is no longer required after an approval is final and binding, the condition may be waived by the respective department or agency requesting conditional approval. A condition cannot be waived without written consent from the respective department or agency.*

## IMPORTANT INFORMATION

**CONDITIONS:** It is the responsibility of the owner/applicant and/or authorized agent to obtain and provide a clearance letter from respective department and/or agency (**see condition chart above for contact**). This letter must be provided to the Secretary-Treasurer to be finalized. All conditions must be cleared prior to the issuance of a Building Permit.

**APPROVALS:** Making any changes to your proposal after a decision has been made may impact the validity of the Committee's decision.

An approval obtained from the Committee of Adjustment, where applicable, is tied to the building envelope shown on the plans and drawings submitted with the application and subject to the variance approval.

A building envelope is defined by the setbacks of the buildings and/or structures shown on the plans and drawings submitted with the application, as required by Ontario Regulation 200/96. Future development outside of an approved building envelope, where a minor variance was obtained, must comply with the provisions of the City's Zoning By-law.

Elevation drawings are provided to reflect the style of roof (i.e. flat, mansard, gable etc.) to which a building height variance has been applied. Where a height variance is approved, building height is applied to the style of roof (as defined in the City's Zoning By-law) shown on the elevation plans submitted with the application.

Architectural design features that are not regulated by the City's Zoning By-law are not to be considered part of an approval unless specified in the Committee's decision.

**DEVELOPMENT CHARGES:** That the payment of the Regional Development Charge, if required, is payable to the City of Vaughan before issuance of a building permit in accordance with the Development Charges Act and the Regional Development Charges By-law in effect at the time of payment.

That the payment of the City Development Charge, if required, is payable to the City of Vaughan before issuance of a building permit in accordance with the Development Charges Act and the City's Development Charges By-law in effect at the time of payment.

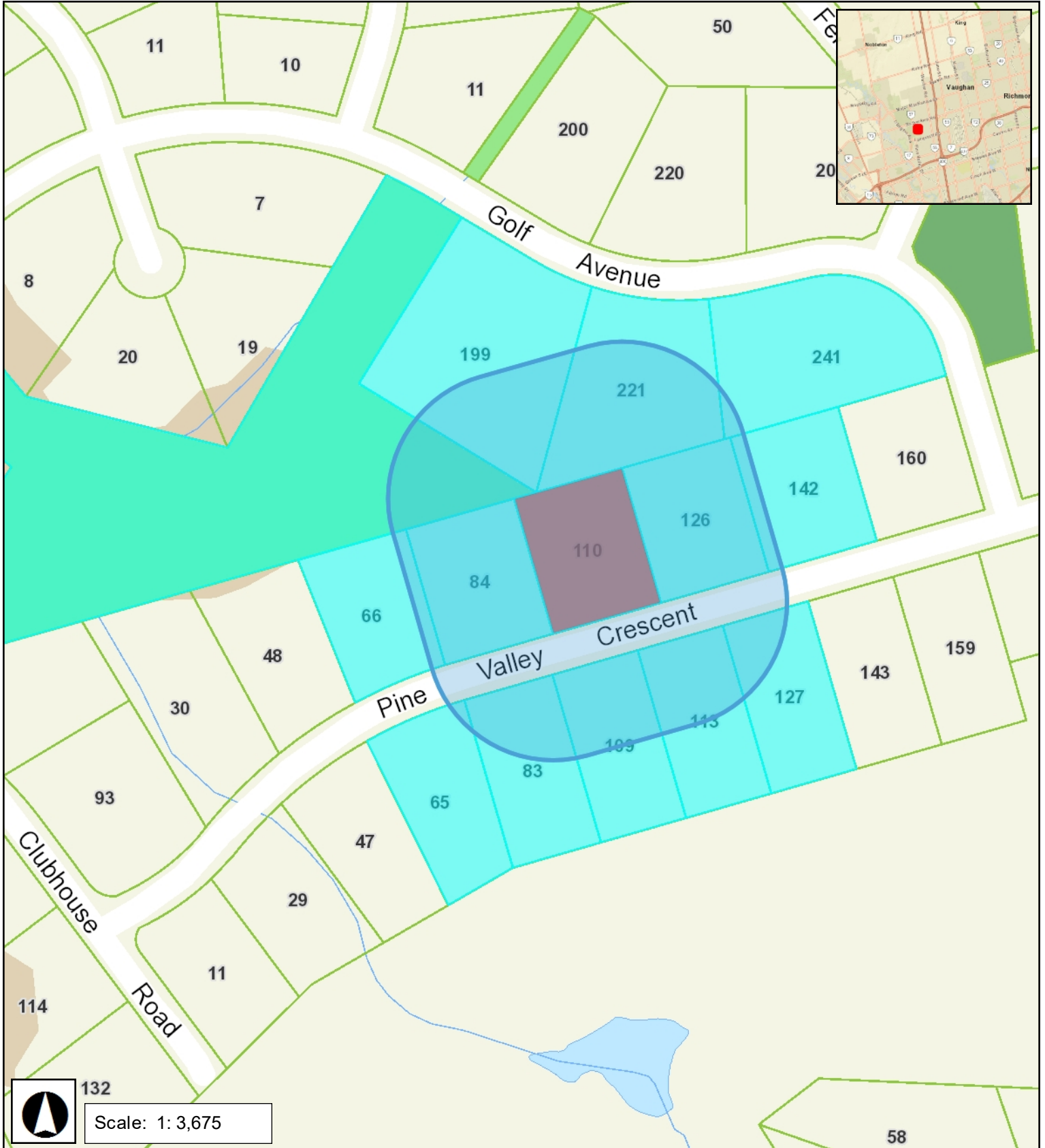
That the payment of the Education Development Charge if required, is payable to the City of Vaughan before issuance of a building permit in accordance with the Development Charges Act and the Boards of Education By-laws in effect at the time of payment

That the payment of Special Area Development charge, if required, is payable to the City of Vaughan before issuance of a building permit in accordance with the Development Charges Act and The City's Development Charge By-law in effect at the time of Building permit issuance to the satisfaction of the Reserves/Capital Department.

**NOTICE OF DECISION:** If you wish to be notified of the decision in respect to this application or a related Ontario Land Tribunal (OLT) hearing you must complete a Request for Decision form and submit to the Secretary Treasurer (ask staff for details). In the absence of a written request to be notified of the Committee's decision you will **not** receive notice.

**SCHEDULE A: DRAWINGS & PLANS**

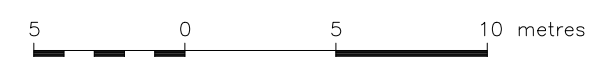




PLAN OF SURVEY WITH TOPOGRAPHY OF

LOT 34 REGISTERED PLAN 5757 CITY OF VAUGHAN REGIONAL MUNICIPALITY OF YORK

SCALE 1 : 250



UNDERGROUND SERVICES

THE LOCATION OF UNDERGROUND SERVICES SHOWN ON THIS PLAN IS ONLY APPROXIMATE AND IS FOR PLANNING AND DESIGN PURPOSES ONLY...

ELEVATION NOTE

ELEVATIONS ARE REFERRED TO CANADIAN GEODETIC VERTICAL DATUM-1928, AND WERE DERIVED FROM CITY OF VAUGHAN BENCHMARK No. 38-2...

SURVEY INFORMATION

SURVEY INFORMATION IS TAKEN FROM PLAN PREPARED BY TARASICK McMillan Kubicki Limited, ONTARIO LAND SURVEYORS, DATED APRIL 18, 2024...

EXISTING WELLS/SEPTIC SYSTEMS

IF A WELL IS DISCOVERED, IT WILL BE DECOMMISSIONED IN ACCORDANCE WITH THE ONTARIO WATER RESOURCES ACT REGULATION 903...

ANY SEPTIC SYSTEM ON SITE WILL BE DECOMMISSIONED AND REMOVED ACCORDING TO ALL APPLICABLE GUIDELINES AND REGULATIONS...

ANY SEPTIC SYSTEM ON SITE WILL BE DECOMMISSIONED AND REMOVED.

DEMOLITION NOTE

ALL EXISTING STRUCTURES NOTED TO BE REMOVED ON THIS SITE PLAN ARE TO BE DEMOLISHED AFTER ISSUANCE OF DEMOLITION PERMIT.

RAIN WATER

ALL DOWNSPOUTS SHALL DISCHARGE ONTO SPLASH PADS AT GROUND LEVEL AT THE LOCATIONS INDICATED ON THIS PLAN.

PROPOSED SWALES TO HAVE MAXIMUM 1:3 SIDE SLOPES.

SUMP PUMP

SUMP PUMP SHALL DISCHARGE ONTO SPLASH PAD AT GROUND LEVEL AT THE LOCATION INDICATED ON THIS PLAN - AS REQUIRED.

REPORT SUMMARY

PROPERTY DESCRIPTION: 110 PINE VALLEY CRESCENT, BEING LOT 34, REGISTERED PLAN 5757, CITY OF VAUGHAN, REGIONAL MUNICIPALITY OF YORK, PIN 03284-1171.

EASEMENTS/RIGHTS-OF-WAY: SUBJECT TO EASEMENT IN FAVOUR OF THE CORPORATION OF THE TOWNSHIP OF VAUGHAN AS IN VA43742.

BEARING NOTE

BEARINGS ARE ASTRONOMIC AND ARE REFERRED TO THE NORTHERLY LIMIT OF PINE VALLEY CRESCENT AS SHOWN ON REGISTERED PLAN 5757, HAVING A BEARING OF N74°26'00"E.

CERTIFICATION FOR PROPOSED GRADING

I HAVE REVIEWED THE PLANS FOR THE CONSTRUCTION OF A HOUSE LOCATED AT 110 PINE VALLEY CRESCENT AND HAVE PREPARED THIS PLAN TO INDICATE THE COMPATIBILITY OF THE PROPOSAL TO EXISTING ADJACENT PROPERTIES AND MUNICIPAL SERVICES...

JUNE 28, 2024

DATE

FILE No. 10068-SRPR-1

TARASICK McMillan Kubicki Limited

1181 SLOANVIEW CRESCENT, UNIT 42 MISSISSAUGA ON L5L 5R2

JACKIE HANG

ONTARIO LAND SURVEYOR

TEL: (905) 569-8849

FAX: (905) 569-3160

LOT GRADING NOTES

- 1. ALL SITE PLANS, DRAWINGS AND CONSTRUCTION SHALL COMPLY WITH THE CITY OF VAUGHAN LOT GRADING CRITERIA... 2. APPROVAL OF THIS SITE PLAN DOES NOT RELEASE THE BUILDER/APPLICANT/OWNER OF THEIR RESPONSIBILITIES... 3. ALTERATIONS TO EXISTING GRADES SHALL NOT BE PERMITTED WITHIN 600MM OF LOT LINES UNLESS SPECIFICALLY APPROVED AS PART OF THIS PERMIT...

LEGEND:

- DENOTES SURVEY MONUMENT PLANTED
■ DENOTES SURVEY MONUMENT FOUND
IB DENOTES IRON BAR
RIB DENOTES ROUND IRON BAR
SIB DENOTES STANDARD IRON BAR
SSIB DENOTES SHORT STANDARD IRON BAR
BB DENOTES BELL BOX
CB DENOTES CATCH BASIN
FHT DENOTES TOP OF FIRE HYDRANT
GUY DENOTES GUY WIRE ANCHOR
INV DENOTES INVERT
MM DENOTES MANHOLE
WUP DENOTES WOODEN UTILITY POLE
WV DENOTES WATER VALVE
P1 DENOTES REGISTERED PLAN 5757
P2 DENOTES AKSAN PILLER CORPORATION LTD., O.L.S., DECEMBER 3, 2020
P3 DENOTES ERTL-HUNT SURVEYORS, O.L.S., OCTOBER 27, 2022
P5 DENOTES REGISTERED PLAN M-1857

ZONING

RE - Estate Residential Zone

STATISTICS: LOT AREA: 4173.32 m2, 0.417332 ha.

DWELLING

LOT FRONTAGE: 57.92 m

PROPOSED G.F.A.: 1st FLOOR: 441.29 m2, 2nd FLOOR: 354.51 m2, THREE CAR GARAGE: 86.40 m2

TOTAL G.F.A.: 882.20 m2

THREE CAR GARAGE INTERIOR SIZE: 78.91 m2

PERMITTED SETBACKS:

NORTH REAR YARD: 15.00 m, WEST INTERIOR SIDE YARD: 35.84 m, SOUTH FRONT YARD: 15.00 m, SOUTH FRONT YARD (PORCH STEP): 13.00 m, EAST INTERIOR SIDE YARD: 4.50 m

PROPOSED SETBACKS:

NORTH REAR YARD: 24.96 m, WEST INTERIOR SIDE YARD: 7.45 m, SOUTH FRONT YARD: 24.75 m, SOUTH FRONT YARD (PORCH STEP): 20.78 m, EAST INTERIOR SIDE YARD: 9.79 m

PERMITTED HEIGHT:

SLOPED ROOF MID-POINT ROOF HEIGHT: 9.50 m, FLAT ROOF HIGHEST POINT OF ROOF: 9.50 m

PROPOSED HEIGHT:

SLOPED ROOF MID-POINT ROOF HEIGHT: 10.22 m, FLAT ROOF HIGHEST POINT OF ROOF: N/A

ESTABLISHED GRADE:

97.32

LANDSCAPING REQUIREMENTS:

TOTAL YARD AREA: 1588.07 m2, - IN FRONT YARD: 1894.72 m2, REQUIRED SOFT LANDSCAPE AREA: 952.84 m2, - IN REAR YARD (60% MIN.): 896.83 m2

PERMITTED COVERAGE:

MAXIMUM: 67.00 m2

PROPOSED COVERAGE:

311% OF LOT AREA: 129.88 m2

PERMITTED HEIGHT:

SLOPED ROOF MID-POINT ROOF HEIGHT: 3.00 m, FLAT ROOF HIGHEST POINT OF ROOF/PARAPET: 3.00 m

PROPOSED HEIGHT:

SLOPED ROOF MID-POINT ROOF HEIGHT: 4.17 m, FLAT ROOF HIGHEST POINT OF ROOF/PARAPET: 4.17 m

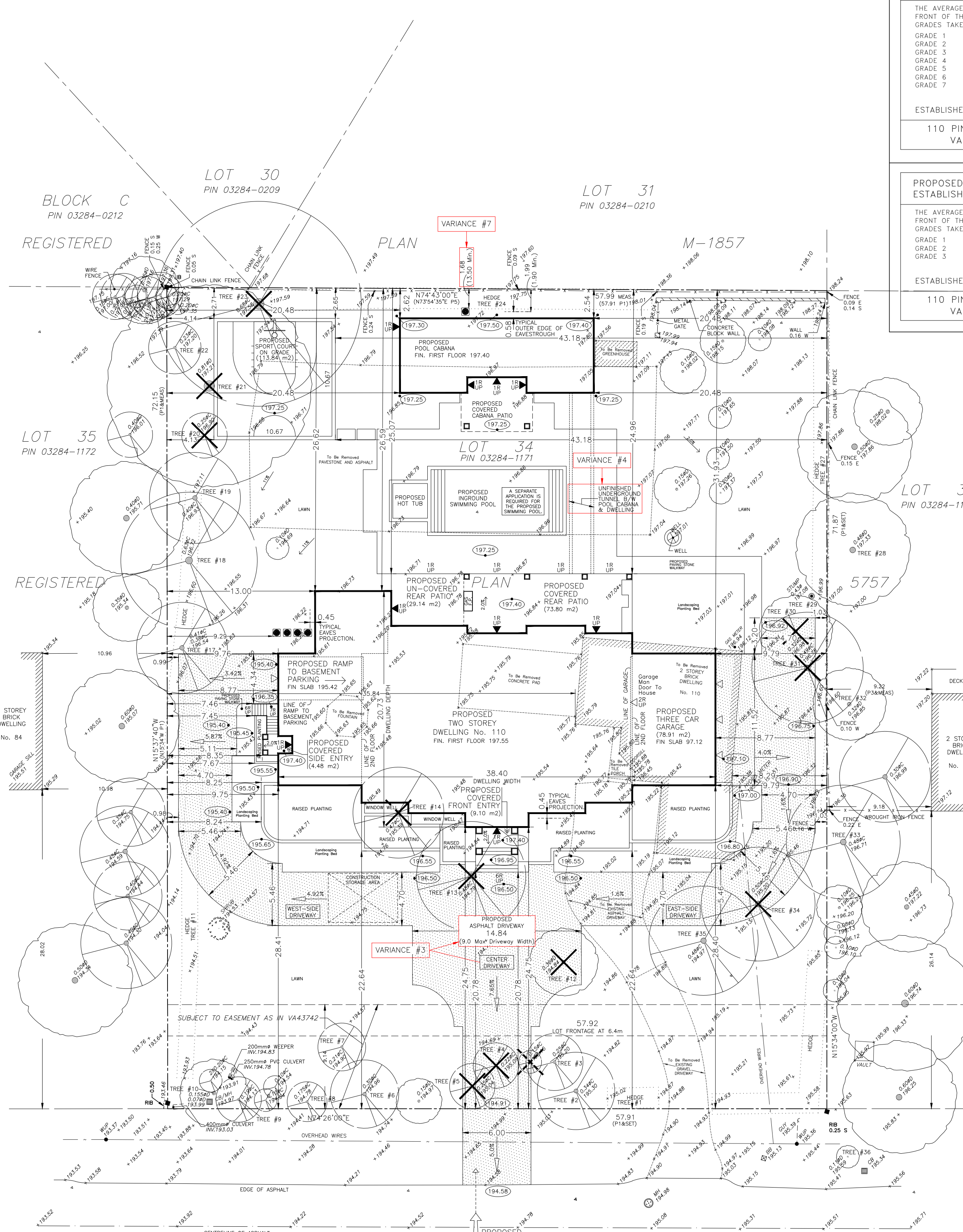
PERMITTED SETBACKS:

NORTH REAR YARD: 2.40 m, WEST INTERIOR SIDE YARD: 4.50 m, SOUTH FRONT YARD: 15.00 m, EAST INTERIOR SIDE YARD: 4.50 m

PROPOSED SETBACKS:

NORTH REAR YARD: 2.54 m, WEST INTERIOR SIDE YARD: 20.48 m, EAST INTERIOR SIDE YARD: 20.48 m

RECEIVED By Prabhdeep Kaur at 2:48 pm, Jul 08, 2024



METRIC DISTANCES SHOWN ON THIS PLAN ARE IN METRES AND CAN BE CONVERTED TO FEET BY DIVIDING BY 0.3048. VERIFY ALL DIMENSIONS PRIOR TO CONSTRUCTION. REPORT ALL DISCOVERIES OF ERRORS, OMISSIONS OR DISCREPANCIES TO THE ARCHITECTURAL TECHNOLOGIST BEFORE PROCEEDING WITH ANY CONSTRUCTION.

Table with 2 columns: GRADE, GRADES TAKEN FROM WEST TO EAST. Rows for GRADE 1 through GRADE 7, with values ranging from 195.50 to 197.25.

Table with 2 columns: GRADE, GRADES TAKEN FROM WEST TO EAST. Rows for GRADE 1 through GRADE 3, with values ranging from 197.25 to 197.75.

PROJECT NORTH arrow pointing up. DETAIL REFERENCE: DETAIL NO. SHEET NO.

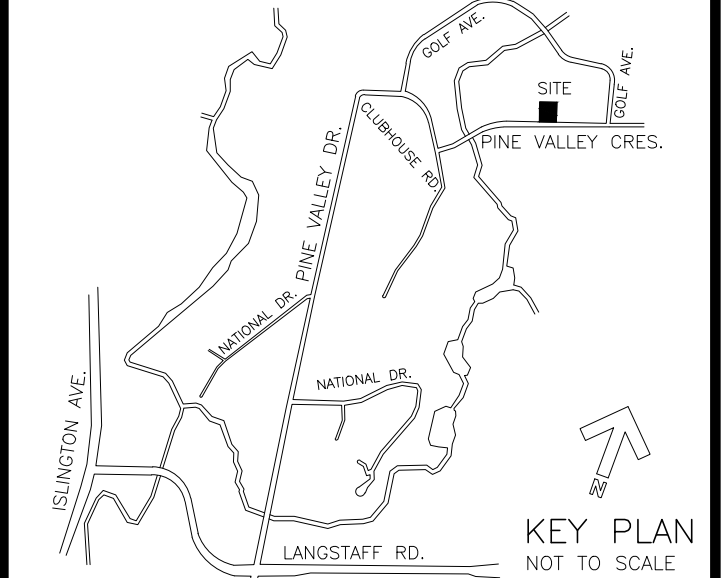
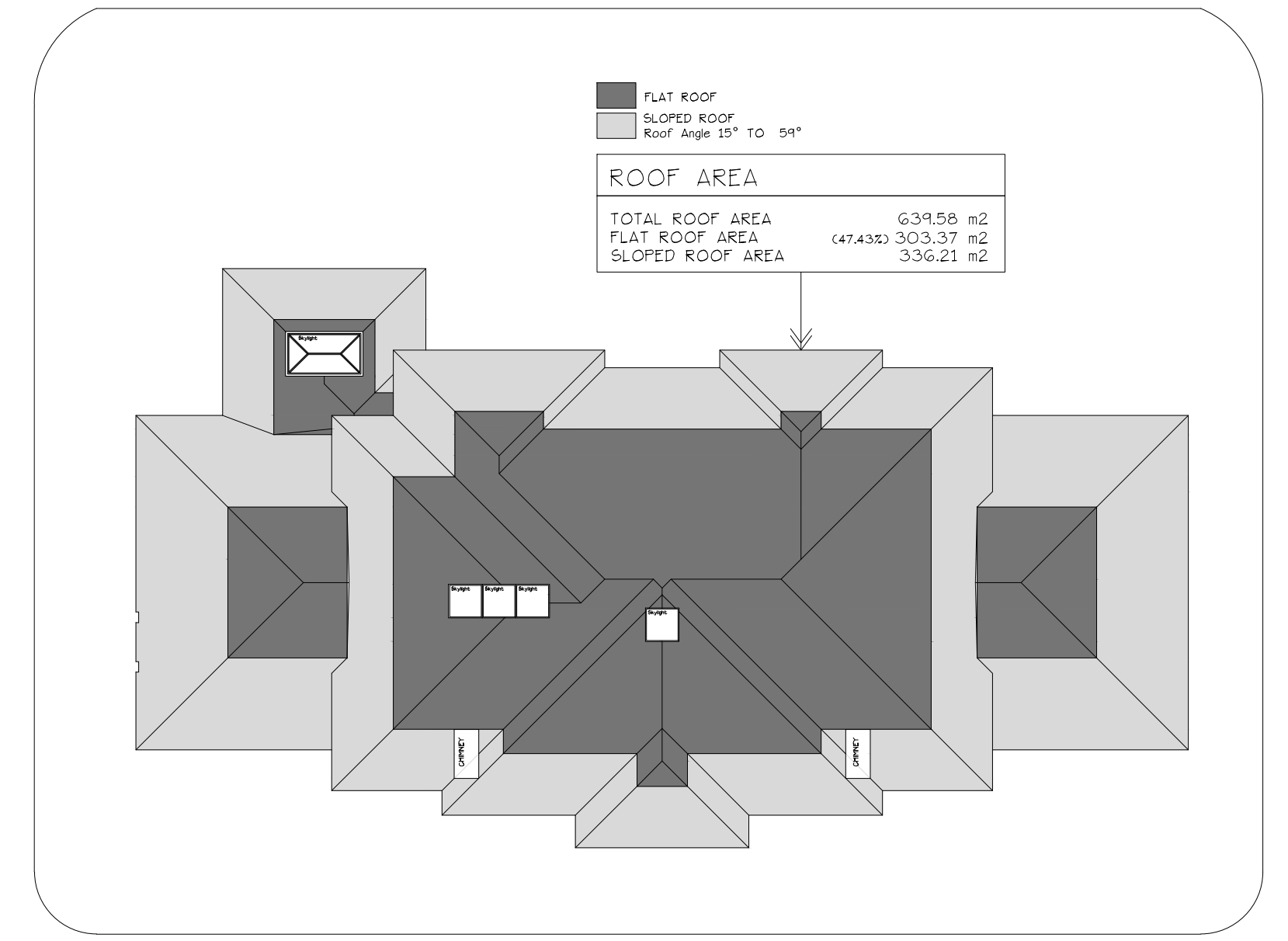
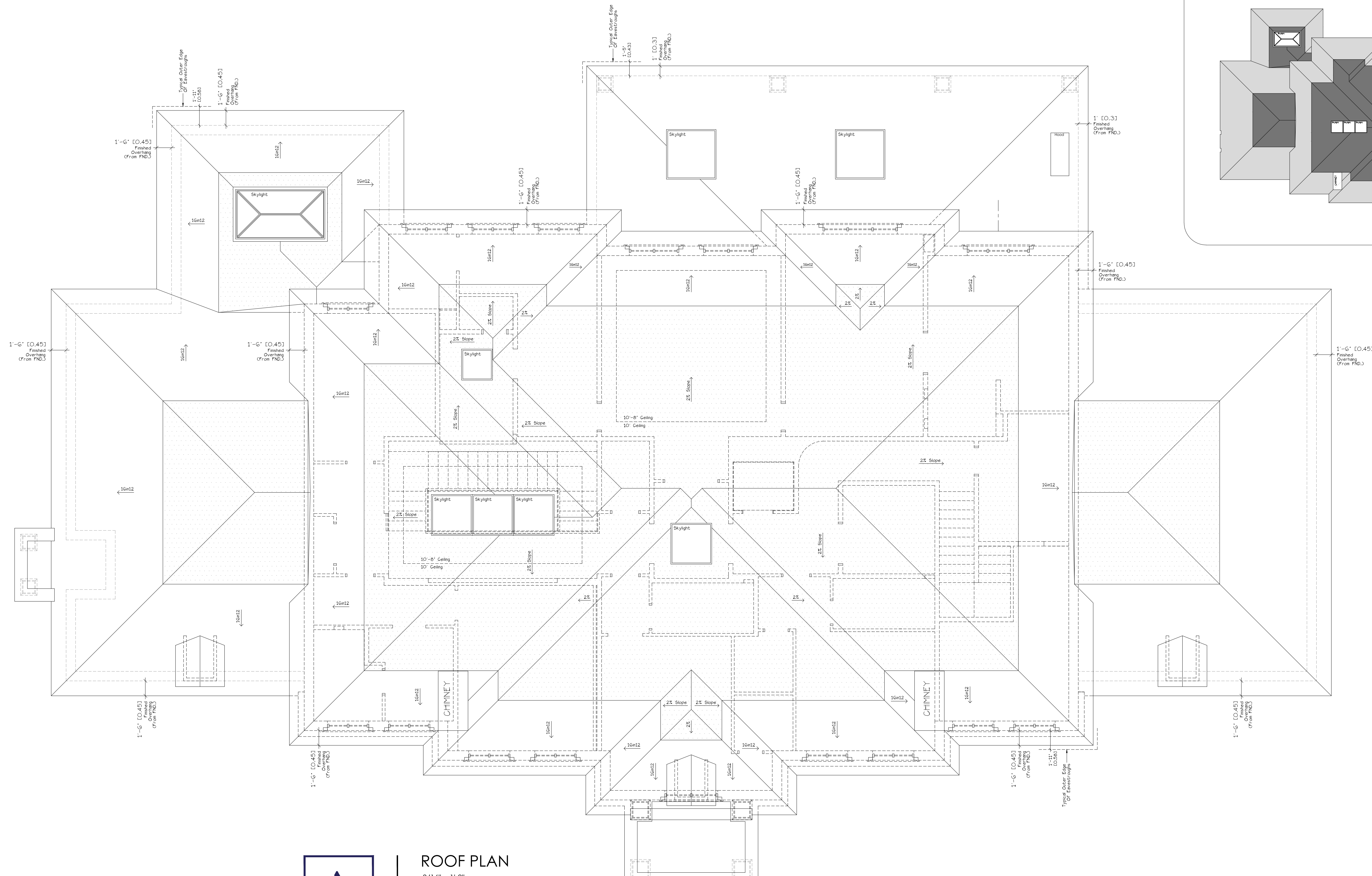
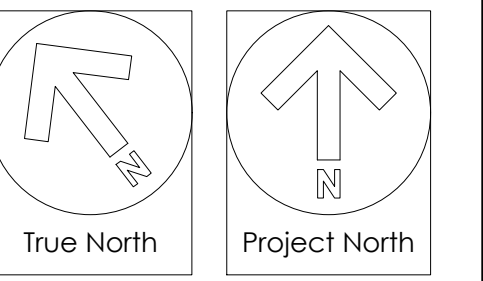


Table with 4 columns: NO., DESCRIPTION, DATE, BY. Contains revision history entries such as 'ISSUED TO COA' and 'UPDATES BASED ON ZONING REVIEW'.

NEW AGE DESIGN ARCHITECTURAL TECHNOLOGISTS logo and contact information: 2601 MATHESON BLVD. E. MISSISSAUGA, ONTARIO, L4W 5A8. Tel: 905-602-0354 info@newagedesign.ca www.newagedesign.ca

CUSTOM DWELLING UNIT FOUR 110 PINE VALLEY CRESCENT VAUGHAN, ONTARIO L4L 2W4. DRAWING TITLE: SITE GRADING PLAN. DRAWN: R.K. CHECKED: SCALE: 1:250 DATE: APRIL, 2024 PROJECT NUMBER: 2403 DRAWING NUMBER: SP1 REVISION NUMBER / DATE:

NOTE:  
DIMENSIONS SHOWN IN IMPERIAL WITH THE METRIC EQUIVALENT IN BRACKETS [1.23]



**ROOF PLAN**

3/16" = 1'-0"



**Custom Dwelling**

110 PINE VALLEY CRESCENT, WOODBRIDGE

PRIVATE RESIDENCE

JUNE 03, 2024



**NEW AGE DESIGN**  
ARCHITECTURAL TECHNOLOGISTS

2601 MATHESON BLVD. E.  
UNIT FOUR  
MISSISSAUGA, ONTARIO, L4W 5A8  
Tel: 905-802-0354  
info@newagedesign.ca  
www.newagedesign.ca

NOTE:  
DIMENSIONS SHOWN IN IMPERIAL WITH THE METRIC EQUIVALENT IN BRACKETS [1, 23]



**SOUTH ELEVATION**

3/16" = 1'-0"



Custom Dwelling  
110 PINE VALLEY CRESCENT, WOODBRIDGE  
PRIVATE RESIDENCE  
JUNE 03, 2024

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Tel: 905-602-0354  
info@newagedesign.ca  
www.newagedesign.ca

NOTE:  
DIMENSIONS SHOWN IN IMPERIAL WITH THE METRIC EQUIVALENT IN BRACKETS [1.23]



EAST ELEVATION  
3/16" = 1'-0"



Custom Dwelling  
110 PINE VALLEY CRESCENT, WOODBRIDGE  
PRIVATE RESIDENCE  
JUNE 03, 2024

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Tel: 905-802-0354  
info@newagedesign.ca  
www.newagedesign.ca

NOTE:  
DIMENSIONS SHOWN IN IMPERIAL WITH THE METRIC EQUIVALENT IN BRACKETS [1, 23]

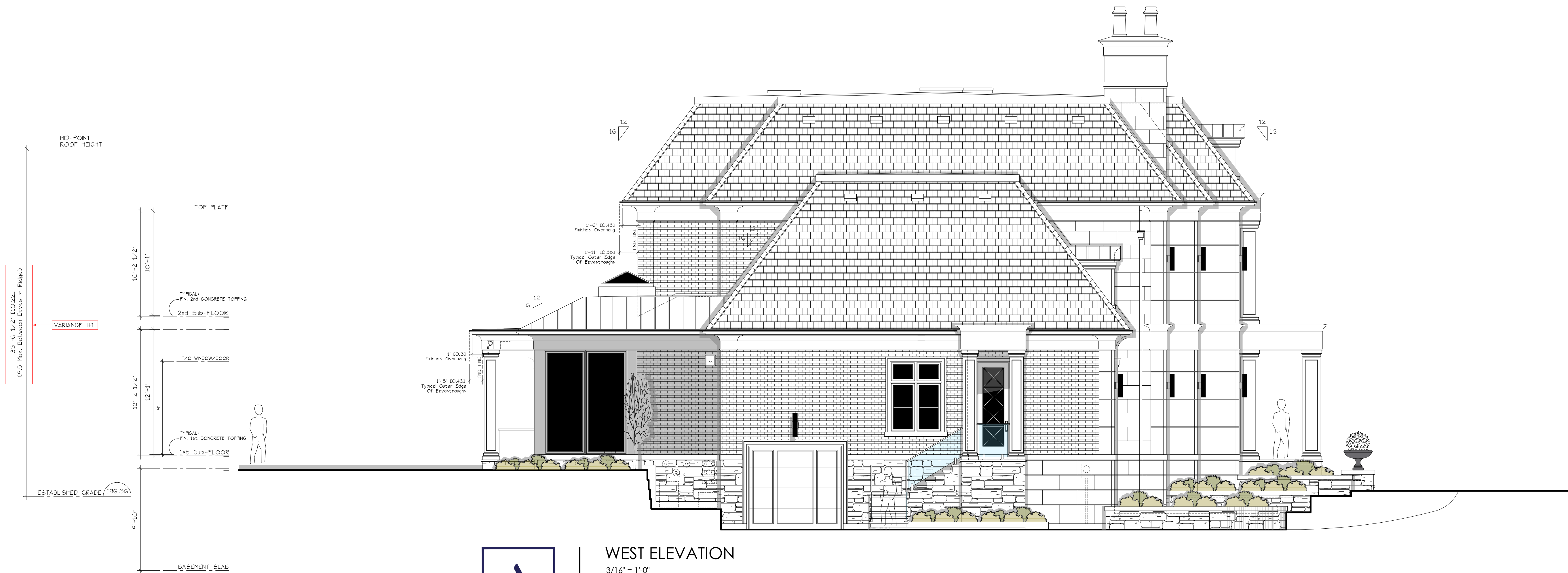


**NORTH ELEVATION**  
3/16" = 1'-0"  
0 2 4 6 8 10 12

Custom Dwelling  
110 PINE VALLEY CRESCENT, WOODBRIDGE  
PRIVATE RESIDENCE  
JUNE 03, 2024

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Tel: 905-602-0354  
info@newagedesign.ca  
www.newagedesign.ca

NOTE:  
DIMENSIONS SHOWN IN IMPERIAL WITH THE METRIC EQUIVALENT IN BRACKETS [1.23]



WEST ELEVATION  
3/16" = 1'-0"



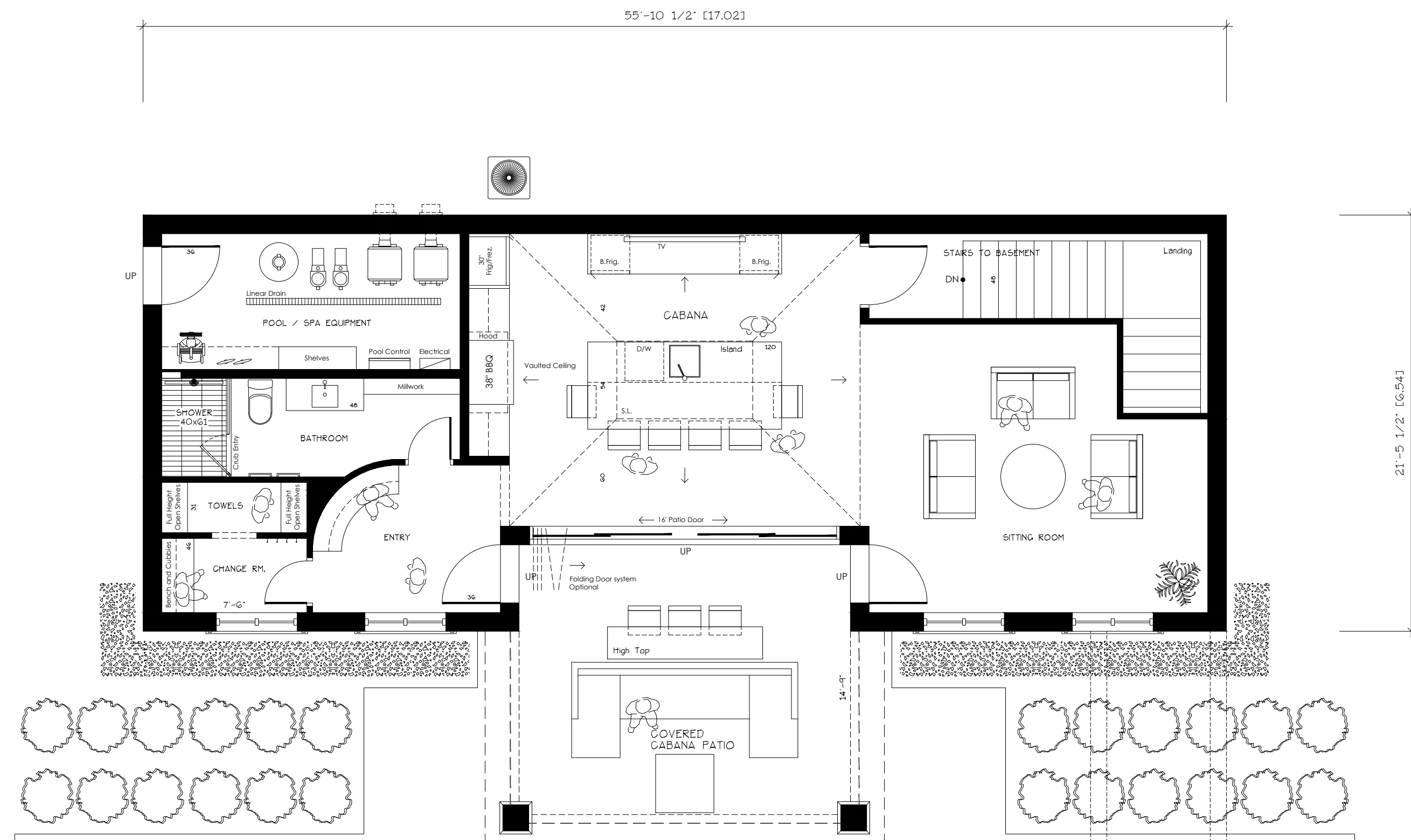
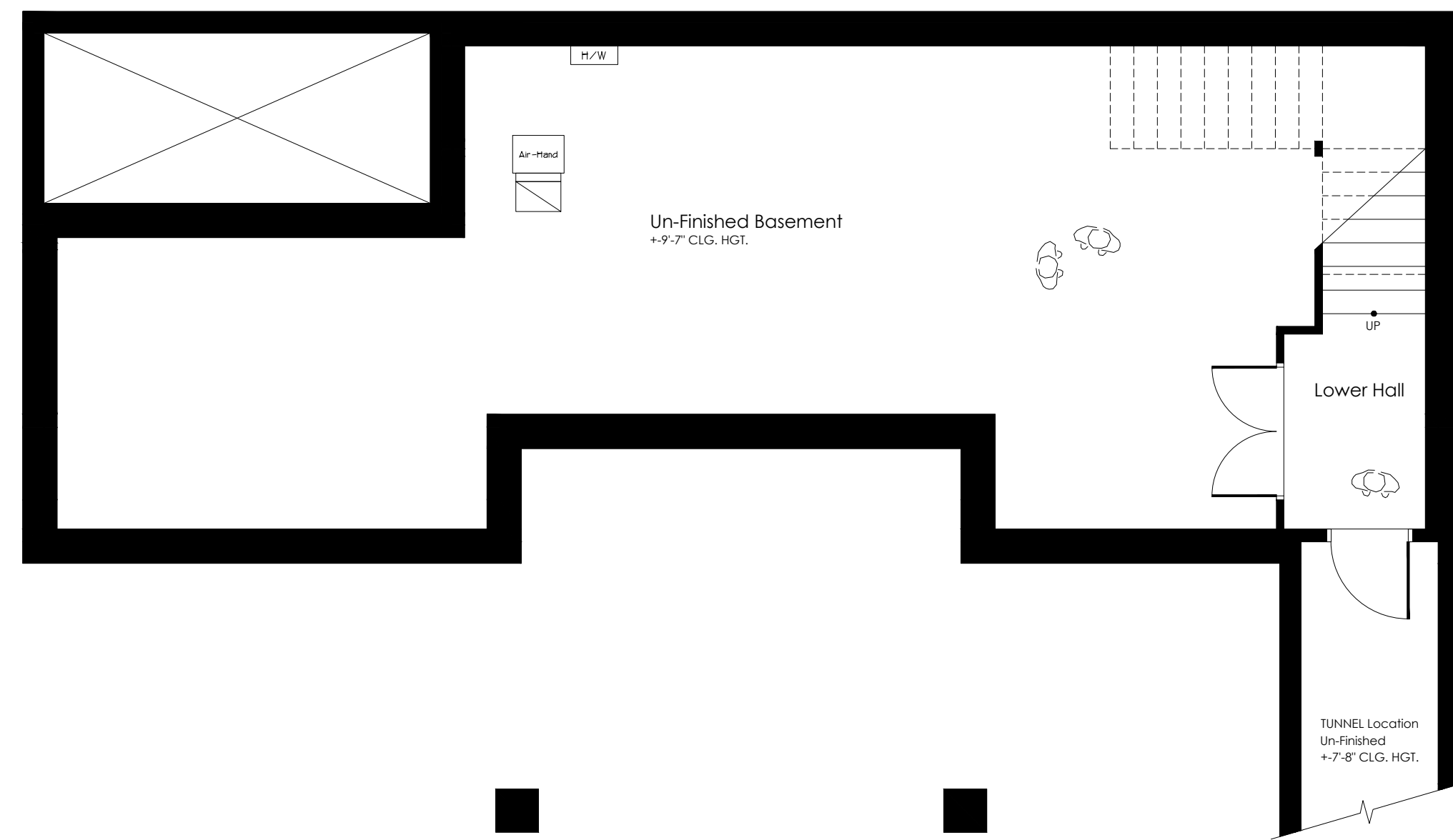
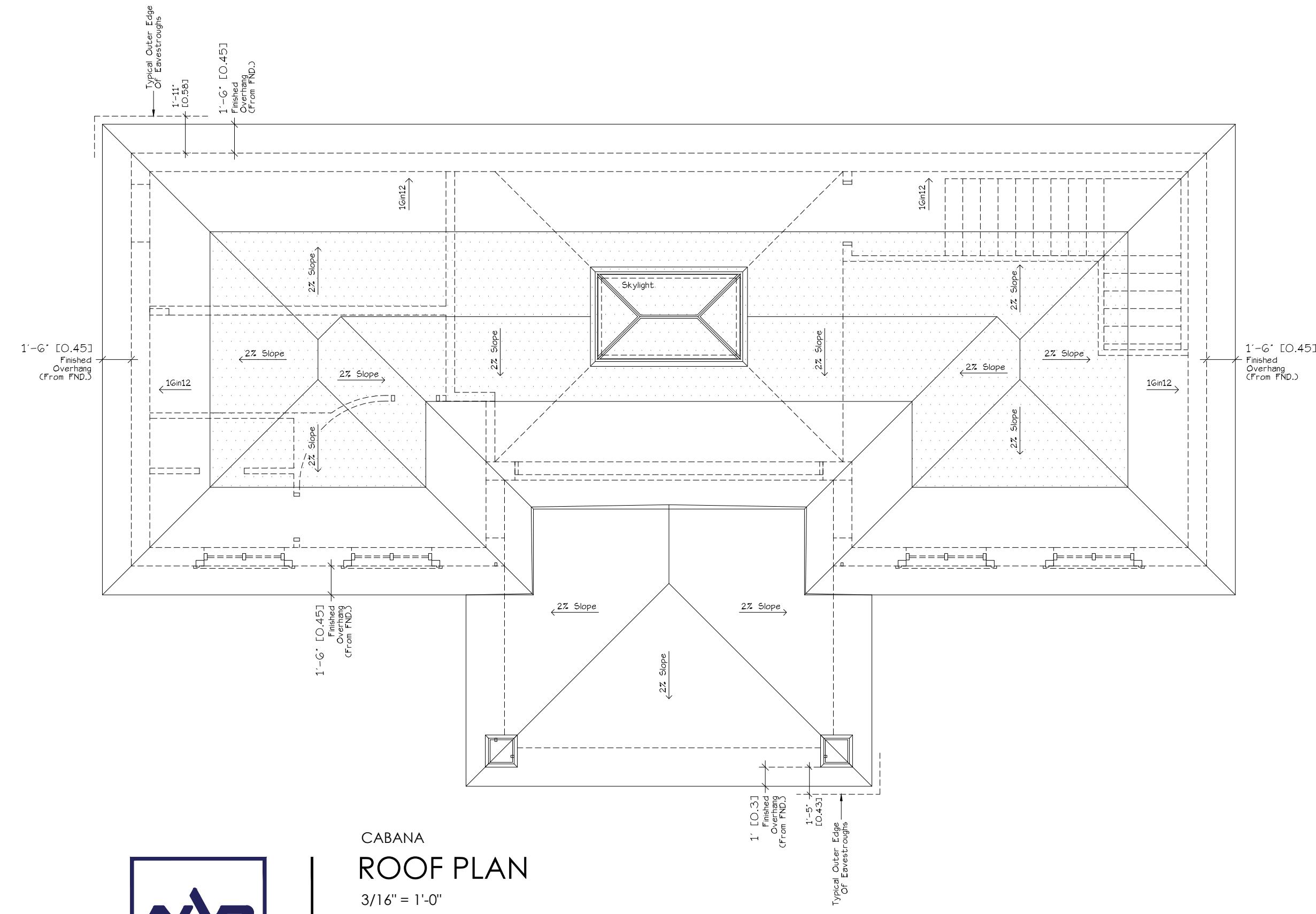
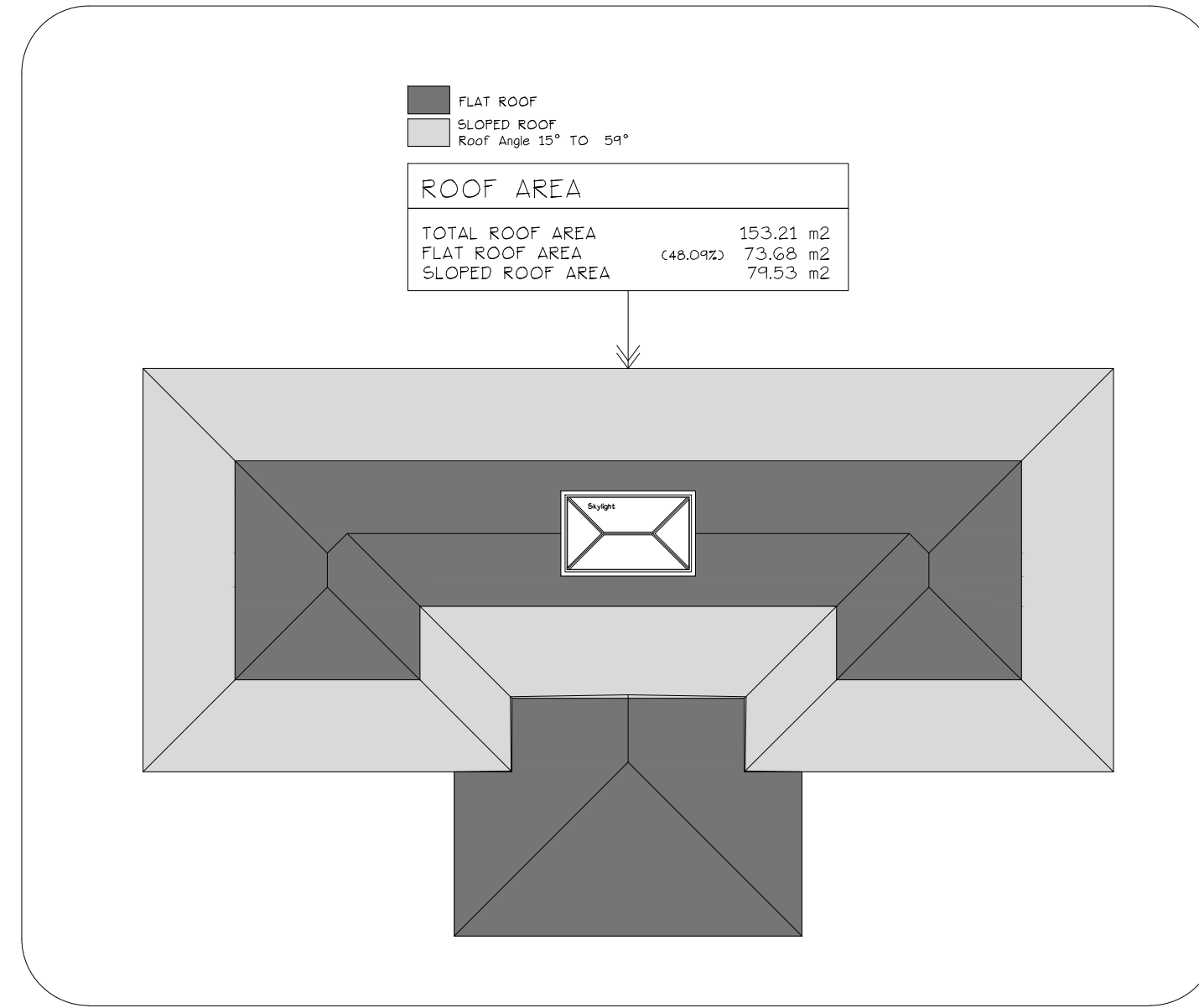
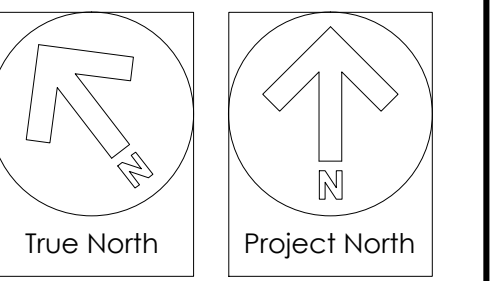
Custom Dwelling  
110 PINE VALLEY CRESCENT, WOODBRIDGE  
PRIVATE RESIDENCE  
JUNE 03, 2024

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NOTE:  
DIMENSIONS SHOWN IN IMPERIAL WITH THE METRIC EQUIVALENT IN BRACKETS [1.23]

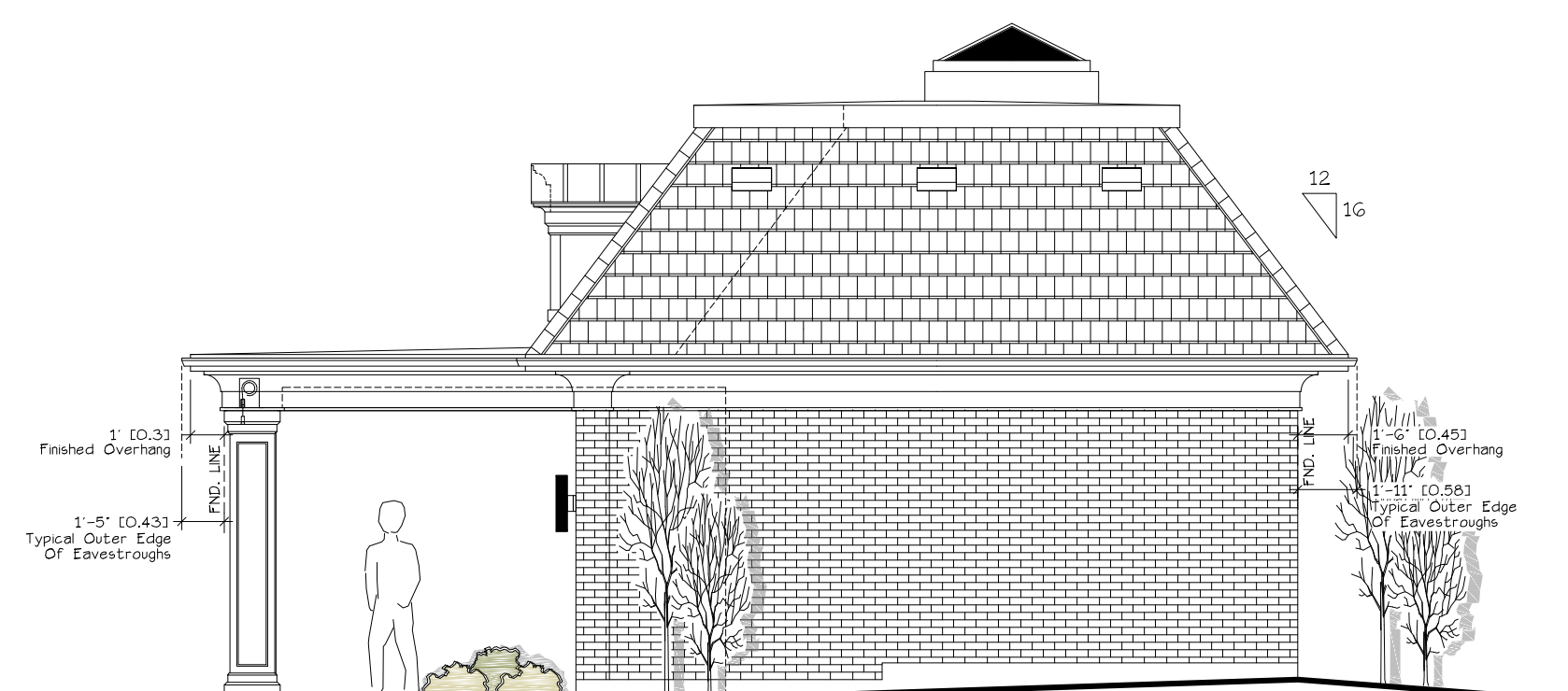


Custom Dwelling  
110 PINE VALLEY CRESCENT, WOODBRIDGE  
PRIVATE RESIDENCE  
JUNE 03, 2024

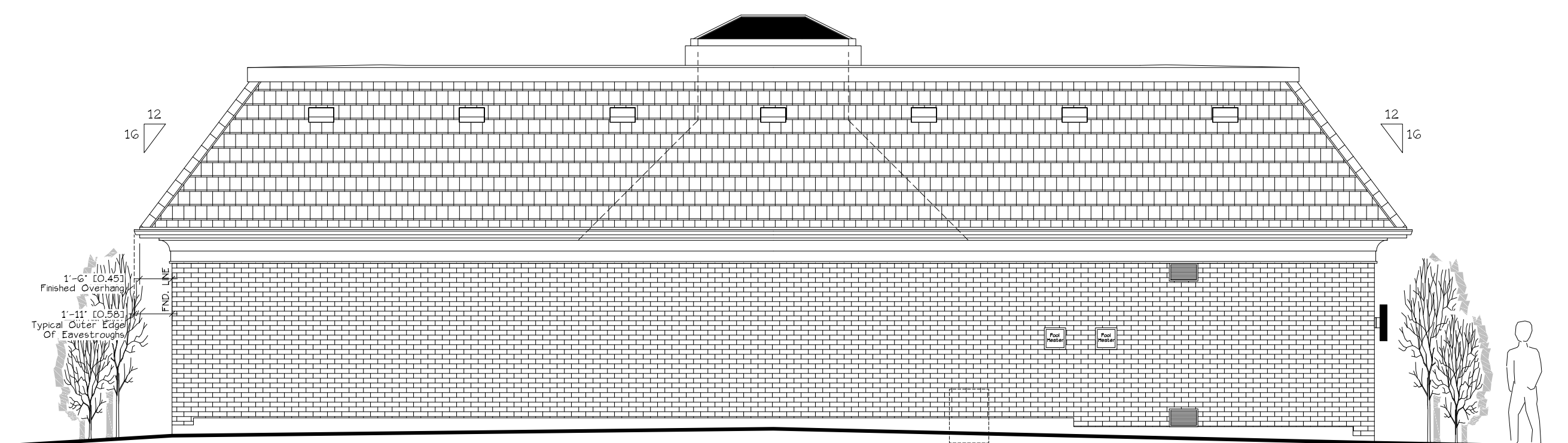
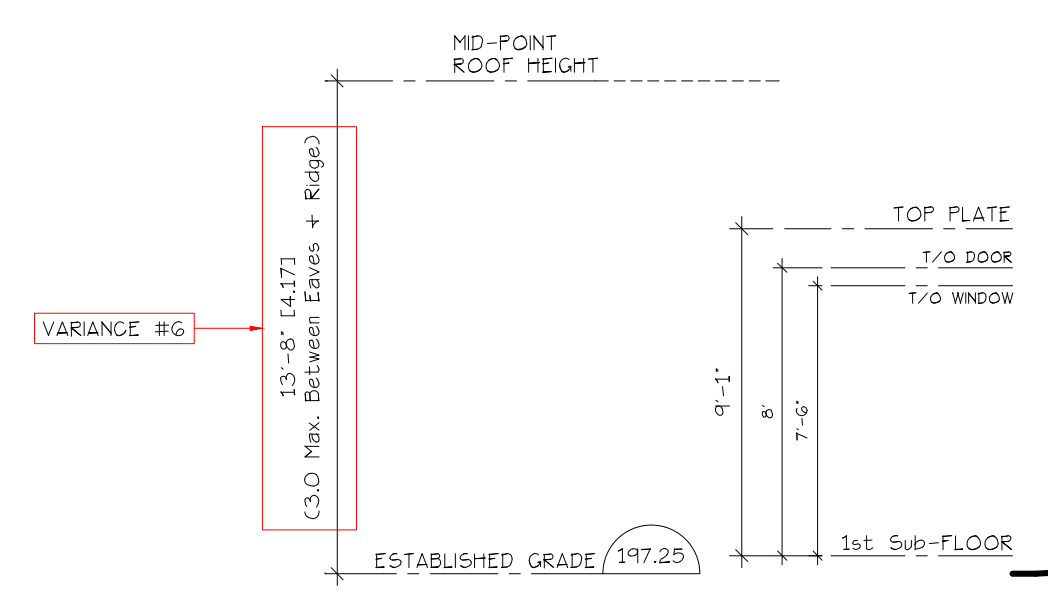




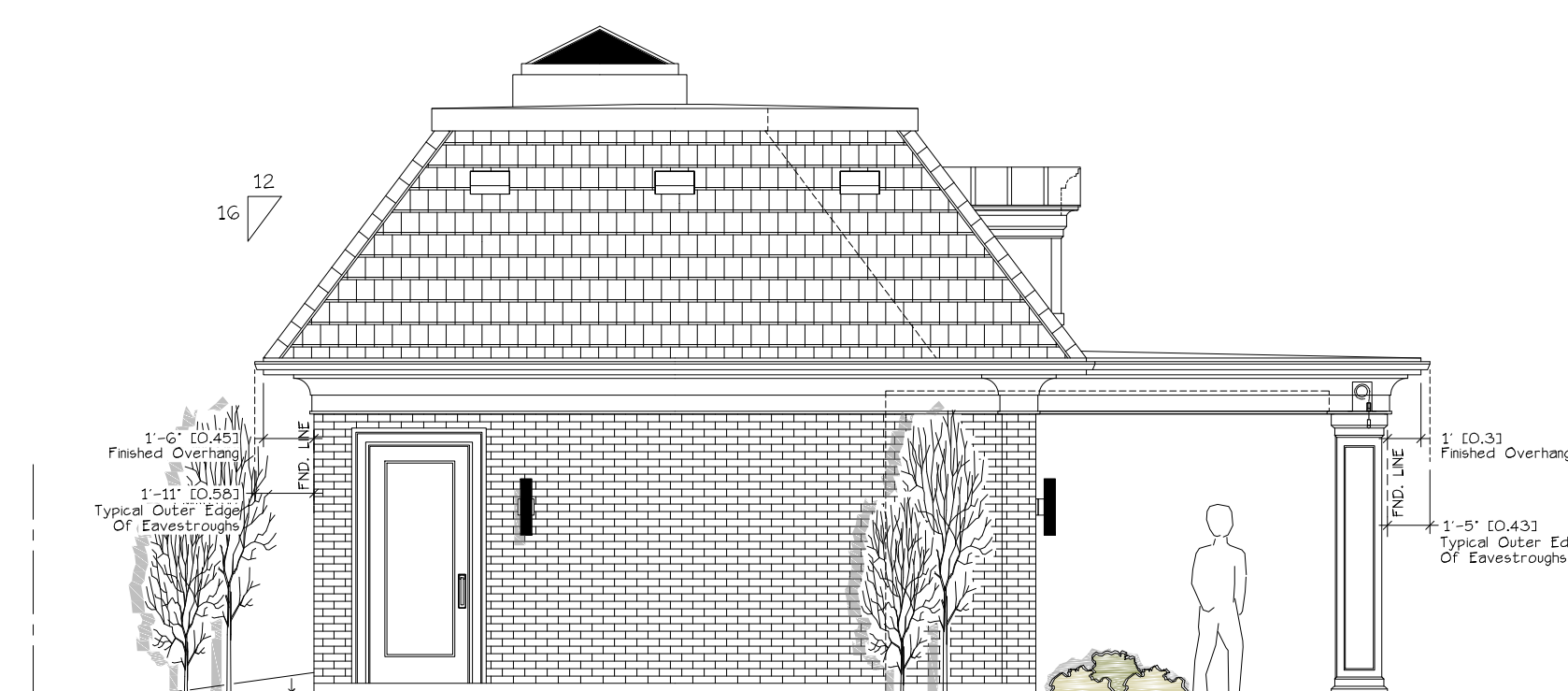
NOTE:  
DIMENSIONS SHOWN IN IMPERIAL WITH THE METRIC EQUIVALENT IN BRACKETS [1.23]



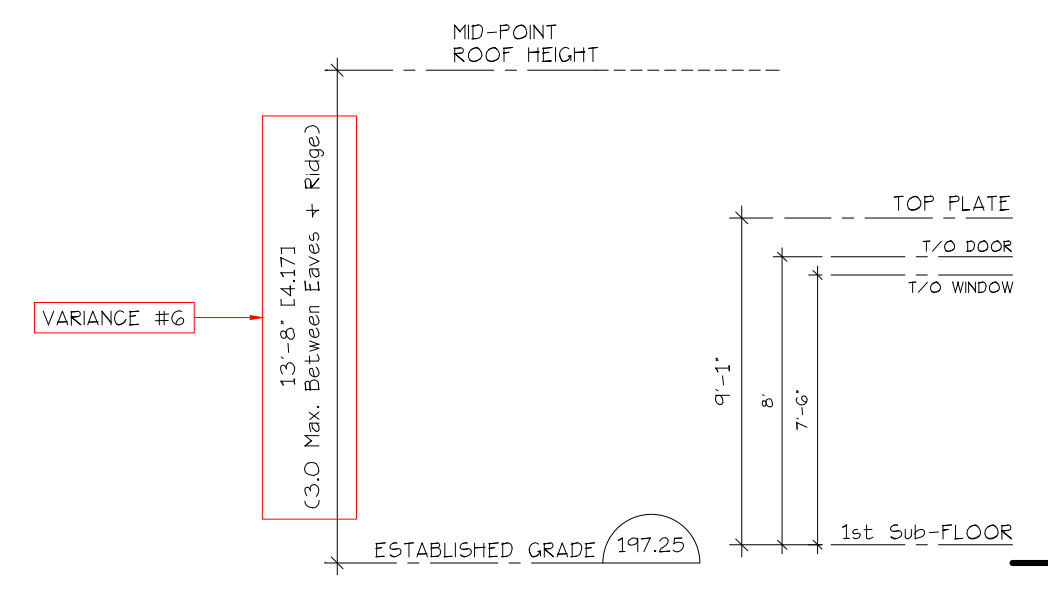
CABANA  
**EAST ELEVATION**  
3/16" = 1'-0"  
0 2' 4' 6' 8' 10' 12'



CABANA  
**NORTH ELEVATION**  
3/16" = 1'-0"  
0 2' 4' 6' 8' 10' 12'



CABANA  
**WEST ELEVATION**  
3/16" = 1'-0"  
0 2' 4' 6' 8' 10' 12'



CABANA  
**SOUTH ELEVATION**  
3/16" = 1'-0"  
0 2' 4' 6' 8' 10' 12'

**NEW AGE DESIGN**  
ARCHITECTURAL TECHNOLOGISTS

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Custom Dwelling  
110 PINE VALLEY CRESCENT, WOODBRIDGE  
PRIVATE RESIDENCE  
JUNE 03, 2024

**SCHEDULE B:  
COMMENTS FROM AGENCIES, BUILDING STANDARDS &  
DEVELOPMENT PLANNING**

Department / Agency <small>*Comments Received</small>	Conditions Required		Nature of Comments
Building Standards (Zoning) *See Schedule B	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>	General Comments
Development Planning	Yes <input type="checkbox"/>	No <input type="checkbox"/>	Application Under Review
Alectra	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>	General Comments
TRCA	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>	General Comments
Region of York	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>	General Comments

**Date:** July 9<sup>th</sup> 2024

**Attention:** **Christine Vigneault**

**RE:**

**File No.:** **A108-24**

**Related Files:**

**Applicant** New Age Design Ltd.

**Location** 110 Pine Valley Crescent



Discover the possibilities

### COMMENTS:

- We have reviewed the proposed Variance Application and have no comments or objections to its approval.
- We have reviewed the proposed Variance Application and have no objections to its approval, subject to the following comments (attached below).
- We have reviewed the proposed Variance Application and have the following concerns (attached below).

Alectra Utilities (formerly PowerStream) has received and reviewed the proposed Variance Application. This review, however, does not imply any approval of the project or plan.

All proposed billboards, signs, and other structures associated with the project or plan must maintain minimum clearances to the existing overhead or underground electrical distribution system as specified by the applicable standards, codes and acts referenced.

In the event that construction commences, and the clearance between any component of the work/structure and the adjacent existing overhead and underground electrical distribution system violates the Occupational Health and Safety Act, the customer will be responsible for 100% of the costs associated with Alectra making the work area safe. All construction work will be required to stop until the safe limits of approach can be established.

In the event construction is completed, and the clearance between the constructed structure and the adjacent existing overhead and underground electrical distribution system violates the any of applicable standards, acts or codes referenced, the customer will be responsible for 100% of Alectra's cost for any relocation work.

### References:

- Ontario Electrical Safety Code, latest edition (Clearance of Conductors from Buildings)
- Ontario Health and Safety Act, latest edition (Construction Protection)
- Ontario Building Code, latest edition (Clearance to Buildings)
- PowerStream (Construction Standard 03-1, 03-4), attached
- Canadian Standards Association, latest edition (Basic Clearances)

If more information is required, please contact either of the following:

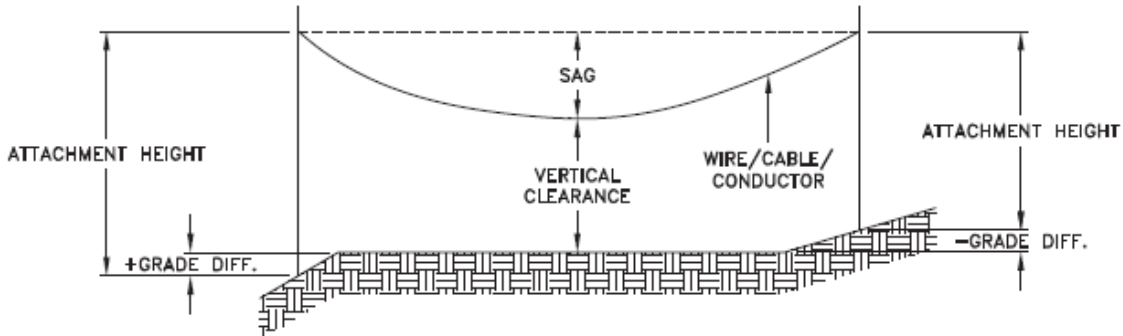
Mr. Stephen Cranley, C.E.T  
Supervisor, Distribution Design, ICI & Layouts (North)  
**Phone:** 1-877-963-6900 ext. 31297

**E-mail:** [stephen.cranley@alectrautilities.com](mailto:stephen.cranley@alectrautilities.com)

Mitchell Penner  
Supervisor, Distribution Design-Subdivisions  
**Phone:** 416-302-6215

**Email:** [Mitchell.Penner@alectrautilities.com](mailto:Mitchell.Penner@alectrautilities.com)

LOCATION OF WIRES, CABLES OR CONDUCTORS	SYSTEM VOLTAGE			
	SPAN GUYS AND COMMUNICATIONS WIRES	UP TO 600V AND NEUTRAL	4.16/2.4kV TO 27.6/16kV (SEE NOTE 1)	44kV
MINIMUM VERTICAL CLEARANCES (SEE NOTE 2)				
OVER OR ALONGSIDE ROADS, DRIVEWAYS OR LANDS ACCESSIBLE TO <u>VEHICLES</u>	442cm	442cm	480cm	520cm
OVER GROUND ACCESSIBLE TO <u>PEDESTRIANS AND BICYCLES ONLY</u>	250cm	310cm	340cm	370cm
ABOVE TOP OF RAIL AT <u>RAILWAY CROSSINGS</u>	730cm	730cm	760cm	810cm



MINIMUM ATTACHMENT HEIGHT = MAXIMUM SAG  
 + MINIMUM VERTICAL CLEARANCE (FROM ABOVE TABLE)  
 ± GRADE DIFFERENCE  
 + 0.3m (VEHICLE OR RAILWAY LOCATION)  
 + SNOW DEPTH (PEDESTRIAN LOCATION, SEE NOTE 3)

**NOTES:**

1. THE MULTIGROUNDED SYSTEM NEUTRAL HAS THE SAME CLEARANCE AS THE 600V SYSTEM.
2. THE VERTICAL CLEARANCES IN THE ABOVE TABLE ARE UNDER MAXIMUM SAG CONDITIONS.
3. REFER TO CSA STANDARD C22.3 No.1, ANNEX D FOR LOCAL SNOW DEPTH VALUES.
4. ALL CLEARANCES ARE IN ACCORDANCE TO CSA STANDARD C22.3.

**CONVERSION TABLE**

METRIC	IMPERIAL (APPROX)
810cm	27'-0"
760cm	25'-4"
730cm	24'-4"
520cm	17'-4"
480cm	16'-0"
442cm	15'-5"
370cm	12'-4"
340cm	11'-4"
310cm	10'-4"
250cm	8'-4"

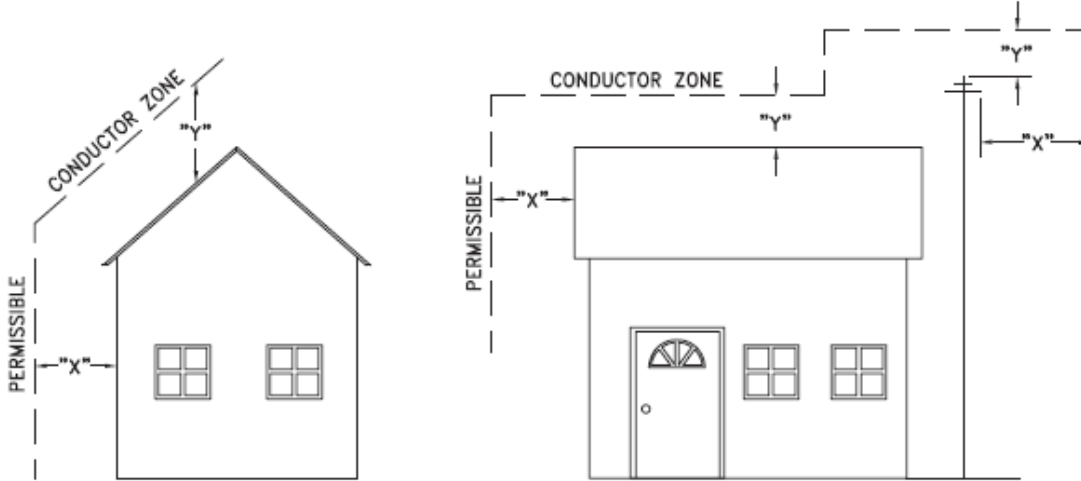
**REFERENCES**

SAGS AND TENSIONS | SECTION 02

**MINIMUM VERTICAL CLEARANCES OF WIRES, CABLES AND CONDUCTORS ABOVE GROUND OR RAILS**

ORIGINAL ISSUE DATE: 2010-DEC-24 REVISION NO: R1 REVISION DATE: 2012-JAN-09

Certificate of Approval	
This construction Standard meets the safety requirements of Section 4 of Regulation 22/04	
Joe Crozier, P.Eng.	2012-JAN-09
Name	Date
P.Eng. Approval By:	Joe Crozier



VOLTAGE	MINIMUM HORIZONTAL CLEARANCE UNDER MAXIMUM SWING CONDITIONS DIMENSION "X" (SEE NOTES 1, 3 & 4)	MINIMUM VERTICAL CLEARANCE UNDER MAXIMUM DESIGN SAG CONDITIONS DIMENSION "Y" (SEE NOTES 1, 2, 4 & 5)
0-600V AND NEUTRAL	100cm	250cm
4.16/2.4 TO 44kV	300cm	480cm

**NOTES**

1. UNDER NO CIRCUMSTANCES SHALL A CONDUCTOR BE PERMITTED TO PENETRATE THE ENVELOPE SHOWN BY THE DOTTED LINE.
2. THE VERTICAL CLEARANCES ARE UNDER CONDITIONS OF MAXIMUM DESIGN SAG.
3. THE HORIZONTAL CLEARANCES ARE UNDER CONDITIONS OF MAXIMUM SWING. WHERE THE CONDUCTOR SWING IS NOT KNOWN A HORIZONTAL CLEARANCE OF 480CM SHALL BE USED.
4. BUILDINGS THAT EXCEED 3 STOREYS OR 15M IN HEIGHT, THE MINIMUM HORIZONTAL CLEARANCE OF THE SECONDARY CONDUCTORS SHOULD BE INCREASED TO 300cm WHERE IT IS NECESSARY TO ALLOW FOR THE RAISING OF LADDERS BY LOCAL FIRE DEPARTMENTS.
5. IN SITUATIONS SUCH AS MULTI-LEVEL GARAGES, WHERE ROOFS ARE NORMALLY USED BY PERSONS AND VEHICLES, THE VERTICAL CLEARANCES OF POWERSTREAM STANDARD 03-1 SHALL APPLY.
6. DISTRIBUTION LINES CONSTRUCTED NEAR BUILDINGS SHALL BE BUILT TO AVOID OVERHANG WHEREVER POSSIBLE. WHERE LINES MUST BE CONSTRUCTED OVER OR ADJACENT TO BUILDINGS THE APPLICABLE HORIZONTAL AND VERTICAL CLEARANCES SHALL BE AT CONDITIONS OF MAXIMUM CONDUCTOR SWING AND MAXIMUM SAG. THE ABOVE CLEARANCES ARE DESIGNED TO PREVENT PERSONS ON OR IN BUILDINGS AS WELL AS EXTERNAL MACHINERY USED IN CONJUNCTION WITH A BUILDING TO COME IN CONTACT WITH CONDUCTORS. EFFORTS SHOULD BE MADE TO INCREASE THESE CLEARANCES WHERE POSSIBLE.
7. ALL CLEARANCES ARE IN ACCORDANCE TO CSA C22.3 NO.1-06 (TABLE-9).

METRIC	IMPERIAL (APPROX)
480cm	16'-0"
300cm	10'-0"
250cm	8'-4"
100cm	3'-4"

**MINIMUM VERTICAL & HORIZONTAL CLEARANCES OF CONDUCTORS FROM BUILDINGS OR OTHER PERMANENT STRUCTURES (CONDUCTORS NOT ATTACHED TO BUILDINGS)**

**Certificate of Approval**  
This construction Standard meets the safety requirements of Section 4 of Regulation 22/04  
Debbie Dadwani, P.Eng. 2010-MAY-05  
Name Date  
P. Eng. Approval By: *D. Dadwani*

ORIGINAL ISSUE DATE: 2010-MAY-05 REVISION NO: REVISION DATE:  
PS:\System Planning and Standards\Standard Design\PowerStream Standards\PowerStream Standards working files\Section 3-1-02\WG 03-4 R0 May 5, 2010.dwg, 5/5/2010 10:22:02 AM, Adobe PDF

**To:** Committee of Adjustment  
**From:** Christian Tinney, Building Standards Department  
**Date:** July 8, 2024  
**Applicant:** New Age Design Ltd.  
**Location:** 110 Pine Valley Crescent  
 PLAN RP5757 Lot 34  
**File No.(s):** A108/24

**Zoning Classification:**

The subject lands are zoned RE(EN) – Estate Residential Zone (Established Neighbourhood) under Zoning By-law 001-2021, as amended.

#	Zoning By-law 001-2021	Variance requested
1	The maximum building height permitted is 9.5 metres. [Table 7-3]	To permit a maximum building height of 10.22 metres.
2	The minimum interior side yard permitted is 35.84 metres. [Section 4.5, 2. b.]	To permit an interior side yard of 9.75 metres to the dwelling and 7.45 metres to the porch including access stairs on the west side of the dwelling.
3	The maximum driveway width permitted is 9.0 metres. [Table 6-11]	To permit a maximum driveway width of 14.84 metres.
4	A building or structure shall not be interpreted as an accessory building or accessory structure, respectively, if it is attached to the principal building in any way. [4.1.1, 3.]	To permit an accessory building (cabana) attached below grade to the principal building to be considered a detached accessory building.
5	In any Residential Zone, the maximum lot coverage of all accessory buildings and residential accessory structures excluding an accessory detached garage shall be 67.0 m <sup>2</sup> . [Section 4.1.3, 1.]	To permit a maximum lot coverage of 129.88 m <sup>2</sup> for all accessory buildings and residential accessory structures.
6	In any Residential Zone, the maximum height of an accessory building and residential accessory structure shall be 3.0 metres. [Section 4.1.4, 1.]	To permit an accessory building (cabana) with a maximum height of 4.17 metres from established grade.
7	The maximum encroachment permitted of a ground mounted air conditioner is 1.5 metres into the required rear yard. [Table 4-1]	To permit ground mounted air conditioner to encroach a maximum of 13.32 metres into the required rear yard.

**Staff Comments:**

**Building Permit(s) Issued:**

Building Permit No. 21-114551 for Single Detached Dwelling - Residential Demolition, Issue Date: Jul 15, 2021.  
 Building Permit No. 21-114551 for Single Detached Dwelling - Residential Demolition, Issue Date: Mar 05, 2024.

**Other Comments:**

General Comments	
1	The applicant shall be advised that additional variances may be required upon review of detailed drawing for building permit/site plan approval.

**Conditions of Approval:**

If the committee finds merit in the application, the following conditions of approval are recommended.

\* Comments are based on the review of documentation supplied with this application.

**From:** [Cameron McDonald](#)  
**To:** [Committee of Adjustment](#)  
**Subject:** [External] RE: A108/24 (110 Pine Valley Crescent) – REQUEST FOR COMMENTS, CITY OF VAUGHAN  
**Date:** Wednesday, July 10, 2024 4:20:51 PM  
**Attachments:** [image002.png](#)

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**CAUTION!** This is an external email. Verify the sender's email address and carefully examine any links or attachments before clicking. If you believe this may be a phishing email, please use the Phish Alert Button.

Good morning,

Based on a review of our screening mapping, I can confirm that the subject property is not located within TRCA's Regulated Area. As such, any site alteration or development on the property would not require a permit from TRCA.

Based on the above, we have no comments/requirements.

Regards,

**Cameron McDonald**

Planner I

Development Planning and Permits | Development and Engineering Services

T: [\(437\) 880-1925](tel:437-880-1925)

E: [cameron.mcdonald@trca.ca](mailto:cameron.mcdonald@trca.ca)

A: [101 Exchange Avenue, Vaughan, ON, L4K 5R6](https://www.trca.ca) | [trca.ca](https://www.trca.ca)





**From:** [Rajevan, Niranjan](#)  
**To:** [Christine Vigneault](#)  
**Cc:** [Committee of Adjustment](#)  
**Subject:** [External] RE: A108/24 (110 Pine Valley Crescent) – REQUEST FOR COMMENTS, CITY OF VAUGHAN  
**Date:** Wednesday, July 24, 2024 7:23:33 PM  
**Attachments:** [image001.png](#)  
[image003.png](#)

**CAUTION!** This is an external email. Verify the sender's email address and carefully examine any links or attachments before clicking. If you believe this may be a phishing email, please use the Phish Alert Button.

Hi Christine,

The Regional Municipality of York has completed its review of the minor variance application – A108/24 (110 Pine Valley Crescent) and has no comment.

Please provide us with a digital copy of the notice of decision for our records.

Many thanks,

*Our working hours may be different. Please do not feel obligated to reply outside of your scheduled working hours. Let's work together to help foster healthy work-life boundaries.*

**Niranjan Rajevan, M.Pl.** | Associate Planner, Development Planning | Economic and Development Services Branch | Corporate Services Department

The Regional Municipality of York | 17250 Yonge Street | Newmarket, ON L3Y 6Z1  
1-877-464-9675 ext. 71521 | [niranjan.rajevan@york.ca](mailto:niranjan.rajevan@york.ca) | [www.york.ca](http://www.york.ca)

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**SCHEDULE C: PUBLIC & APPLICANT CORRESPONDENCE**

<b>Correspondence Type</b>	<b>Name</b>	<b>Address</b>	<b>Date Received (mm/dd/yyyy)</b>	<b>Summary</b>
None				

## SCHEDULE D: BACKGROUND

Application No. (City File)	Application Description (i.e. Minor Variance Application; Approved by COA / OLT)
A077/21	COA; APPROVED (April 29, 2021)

**NOTICE OF DECISION**  
**Minor Variance Application A077/21**  
 Section 45 of the Planning Act, R.S.O., 1990, c.P.13

**Date of Hearing:** Thursday, April 29, 2021  
**Applicant:** Giuseppe Di Manno  
**Agent:** Allyssa Hrynyk  
**Property:** **110 Pine Valley Cres, Woodbridge**  
**Zoning:** The subject lands are zoned RR under By-law 1-88 as amended.  
**OP Designation:** Vaughan Official Plan 2010 ("VOP 2010"): "Low-Rise Residential"  
**Related Files:** None  
**Purpose:** Relief from the By-law is being requested to permit the proposed construction of a single family dwelling.

The following variances are being requested from By-Law 1-88, as amended, to accommodate the above proposal:

By-law Requirement	Proposal
1. A maximum lot coverage of 10% is permitted	1. To permit a maximum lot coverage of 16.74% (9.46% house, 4.15% garage, 3.13% sunroom).
2. A maximum building height of 9.5 metres is permitted.	2. To permit a maximum building height of 11.81 metres.

**Sketch:** A sketch illustrating the request has been attached to the decision.

**Having regard to the requirements of Section 45 of the *Planning Act*, R.S.O. 1990, c. P. 13, as amended, including the written and oral submissions related to the application, it is the decision of the Committee:**

THAT Application No. A077/21 on behalf of Giuseppe Di Manno be **APPROVED**, in accordance with the sketch submitted with the application (as required by Ontario Regulation 200/96) and subject to the following conditions:

	Department/Agency	Condition
1	Development Engineering Farzana Khan  905-832-8585 x 3608 <a href="mailto:Farzana.Khan@Vaughan.ca">Farzana.Khan@Vaughan.ca</a>	The Owner/applicant shall submit the final Lot Grading and/or Servicing Plan to the Development Inspection and Lot Grading division of the City's Development Engineering Department for final lot grading and/or servicing approval prior to any work being undertaken on the property. Please visit or contact the Development Engineering Department through email at <a href="mailto:DEPermits@vaughan.ca">DEPermits@vaughan.ca</a> or visit <a href="https://www.vaughan.ca/services/residential/dev_eng/permits/Pages/default.aspx">https://www.vaughan.ca/services/residential/dev_eng/permits/Pages/default.aspx</a> to learn how to apply for lot grading and/or servicing approval.
2	Parks, Forestry and Horticulture Operations Zachary Guizzetti  905-832-8585 x3614 <a href="mailto:Zachary.Guizzetti@vaughan.ca">Zachary.Guizzetti@vaughan.ca</a>	Applicant/owner shall obtain a "Private Property Tree Removal & Protection" permit through the forestry division prior to building permit approval.

**For the following reasons:**

1. The general intent and purpose of the by-law will be maintained.
2. The general intent and purpose of the official plan will be maintained.
3. The requested variance(s) is/are acceptable for the appropriate development of the subject lands.
4. The requested variance(s) is/are minor in nature.

**Please Note:**

It is the responsibility of the owner/applicant and/or authorized agent to address any condition(s) of approval noted in this decision to the satisfaction of the commenting department or agency. Once conditions have been satisfied, the Secretary Treasurer will be in a position to issue a clearance letter which is required prior to the issuance of a Building Permit.

Relief granted from the City's Zoning By-law is determined to be the building envelope considered and approved by the Committee of Adjustment.

Development outside of the approved building envelope (subject to this application) must comply with the provisions of the City's Zoning By-law or additional variances may be required.

Elevation drawings are provided to reflect the style of roof to which building height has been applied (i.e. flat, mansard, gable etc.) as per By-law 1-88 and the Committee of Adjustment approval. Please note, that architectural design features (i.e. window placement), that do not impact the style of roof approved by the Committee, are not regulated by this decision.

**Written & oral submissions considered in the making of this decision were received from the following:**

<b>Public Written Submissions</b>	<b>Public Oral Submissions</b>
* Public Correspondence received and considered by the Committee in making this decision	*Please refer to the approved Minutes of the Thursday , April 29, 2021 meeting for submission details.
None	None

**Late Written Public Submissions: N/A**

Public written submissions on an Application shall only be received by the Secretary Treasurer until **noon** on the last business day prior to the day of the scheduled Meeting.

**MEMBERS PRESENT WHO CONCUR IN THIS DECISION:**

<i>Hao Zheng</i>	<i>Assunta Perrella</i>	<i>Robert Buckler</i>
H. Zheng Member	A. Perrella Chair	R. Buckler Member
<i>Steve Kerwin</i>		<i>Adolfo Antinucci</i>
S. Kerwin Vice Chair		A. Antinucci Member

<b>DATE OF HEARING:</b>	<b>April 29, 2021</b>
<b>DATE OF NOTICE:</b>	<b>May 7, 2021</b>
<b>LAST DAY FOR *APPEAL:</b> *Please note that appeals must be received by this office no later than 4:30 p.m. on the last day of appeal.	<b>May 19, 2021 4:30 p.m.</b>
<b>CERTIFICATION:</b> I hereby certify that this is a true copy of the decision of the City of Vaughan’s Committee of Adjustment and this decision was concurred in by a majority of the members who heard the application.  <div align="center"><i>Christine Vigneault</i></div> <hr/> Christine Vigneault, AMP, ACST Manager Development Services & Secretary Treasurer to the Committee of Adjustment	

\*Electronic signatures have been used to process this decision as approved by the Committee of Adjustment at the May 28, 2020 hearing.

**Appealing to The Local Planning Appeal Tribunal**  
The *Planning Act*, R.S.O. 1990, as amended, Section 45

The applicant, the Minister or any other person or public body who has an interest in the matter may within 20 days of the making of the decision appeal to the Local Planning Appeal Tribunal (LPAT) against the decision of the Committee by filing with the Secretary-Treasurer of the Committee a notice of appeal (A1 Appeal Form) setting out the objection to the decision and the reasons in support of the objection accompanied by payment to the Secretary-Treasurer of the fee prescribed by the Tribunal under the *Local Planning Appeal Tribunal Act*.

A notice of appeal may not be filed by an unincorporated association or group. However, a notice of appeal may be filed in the name of an individual who is a member of the association or group on its behalf.

When **no appeal is lodged** within twenty days of the date of the making of the decision, the decision becomes final and binding and notice to that effect will be issued by the Secretary-Treasurer.

**PLEASE NOTE:** As a result of COVID-19, Vaughan City Hall and all other City facilities are closed to the public at this time. Please mail or courier appeals and prescribed fees to:

Office of the City Clerk - Committee of Adjustment  
2141 Major Mackenzie Drive  
Vaughan Ontario, L6A 1T1

If you have questions regarding the appeal process, please email [cofa@vaughan.ca](mailto:cofa@vaughan.ca)

**Appeal Fees & Forms**

**Local Planning Appeal Tribunal:** The LPAT appeal fee is \$400 plus \$25 for each additional consent/variance appeal filed by the same appellant against connected applications. The LPAT Appeal Fee must be paid by certified cheque or money order payable to the “Minister of Finance”. Appeal forms (A1 Appeal Form – Minor Variance) can be obtained at [www.elto.gov.on.ca](http://www.elto.gov.on.ca) or by contacting our office at 905-832-8585 Ext. 8332 or [cofa@vaughan.ca](mailto:cofa@vaughan.ca)

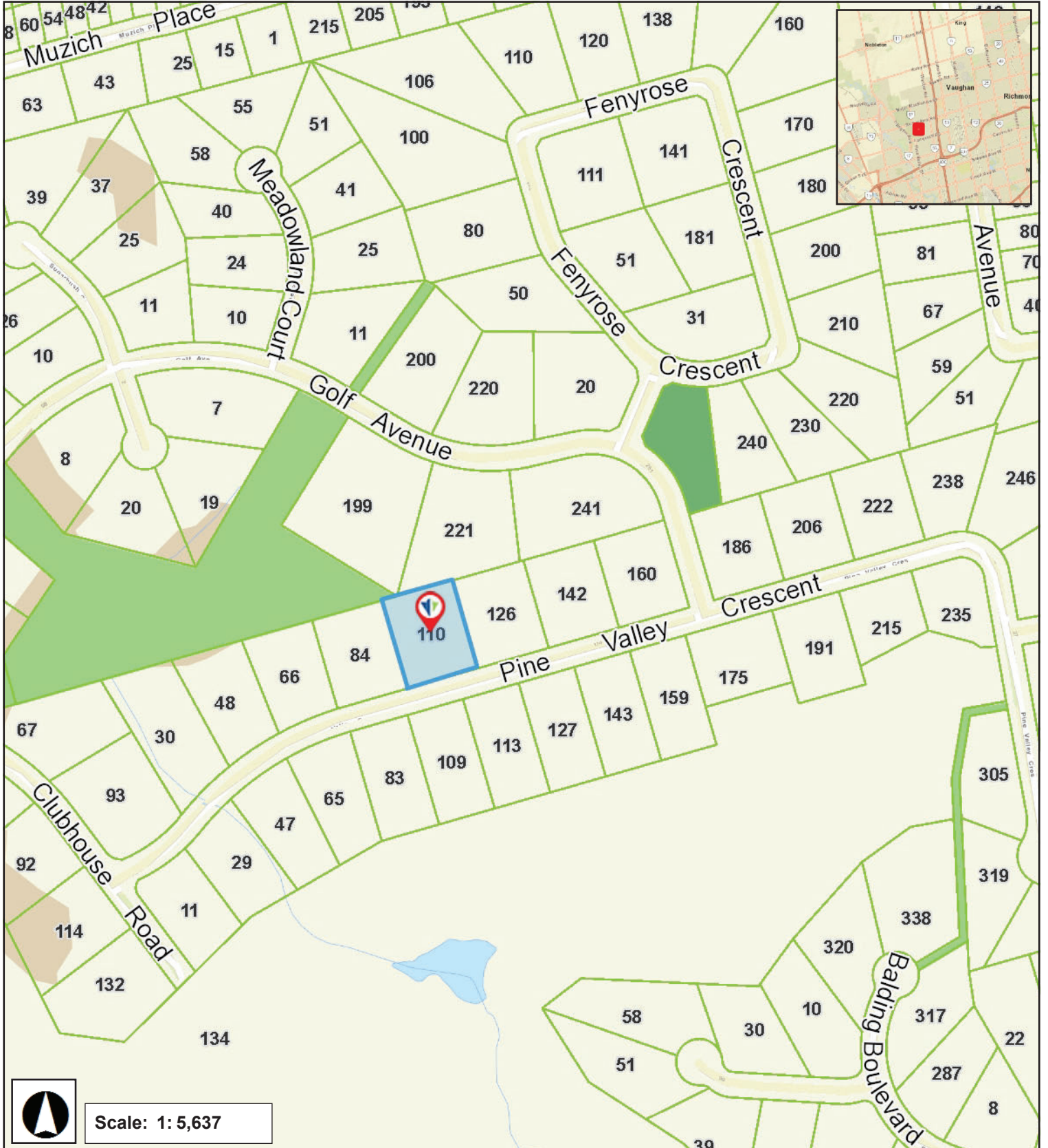
**City of Vaughan LPAT Processing Fee:** \$866.00 per application

\*Please note that all fees are subject to change.



# A077/21 - Location Map

110 Pine Valley Crescent, Woodbridge



Langstaff Road

April 13, 2021 8:28 AM

## Proposal:

1. To permit a maximum lot coverage of 16.74% (9.46% house, 4.15% garage, 3.13% sunroom).
2. To permit a maximum building height of 11.81 metres.

All material herein remains the property of Giancarlo Gatto  
www.gbo.com

943 St. Clair  
Toronto, ON M5S 1A6  
t: 416-461-1416  
e: info@gbo.com

THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND REPORTING DIMENSIONS AND REPORTING TO THE ARCHITECT. DIMENSIONS ARE TO FACE UNLESS OTHERWISE NOTED. THIS DRAWING IS NOT TO BE USED FOR ANY OTHER PURPOSES UNLESS OTHERWISE NOTED.

Consultant:  
Address: \_\_\_\_\_  
Phone: \_\_\_\_\_  
Fax: \_\_\_\_\_  
email: \_\_\_\_\_

ASSOCIATION OF ARCHITECTS OF ONTARIO  
GIANCARLO GATTO  
1500 SHEPPARD AVENUE EAST  
SUITE 100  
SCARBOROUGH, ONTARIO M1S 1S4

No.	Date	ISSUED FOR
1		
2		

**DIMANNO**  
110 Pine Valley Crescent

**PROPOSED SITE PLAN**

Project number: \_\_\_\_\_  
Date: \_\_\_\_\_  
Drawn by: \_\_\_\_\_  
Checked by: \_\_\_\_\_  
Scale: \_\_\_\_\_

**SITE STATISTICS:**  
SITE AREA = 4175.21m<sup>2</sup> (44925.35 ft<sup>2</sup>)  
\*TOTAL LOT COVERAGE = 698.96m<sup>2</sup> (7521 ft<sup>2</sup>) @16.74% (INCLUDING GARAGE AND SUN ROOM)

**LOT COVERAGE BREAK-UPS:**  
- HOUSE = 395.07m<sup>2</sup> (4251 ft<sup>2</sup>) @9.46%  
- GARAGE = 173.04m<sup>2</sup> (1862 ft<sup>2</sup>) @4.15%  
- SUN ROOM = 130.85m<sup>2</sup> (1408 ft<sup>2</sup>) @3.13%

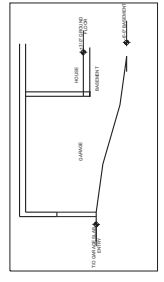
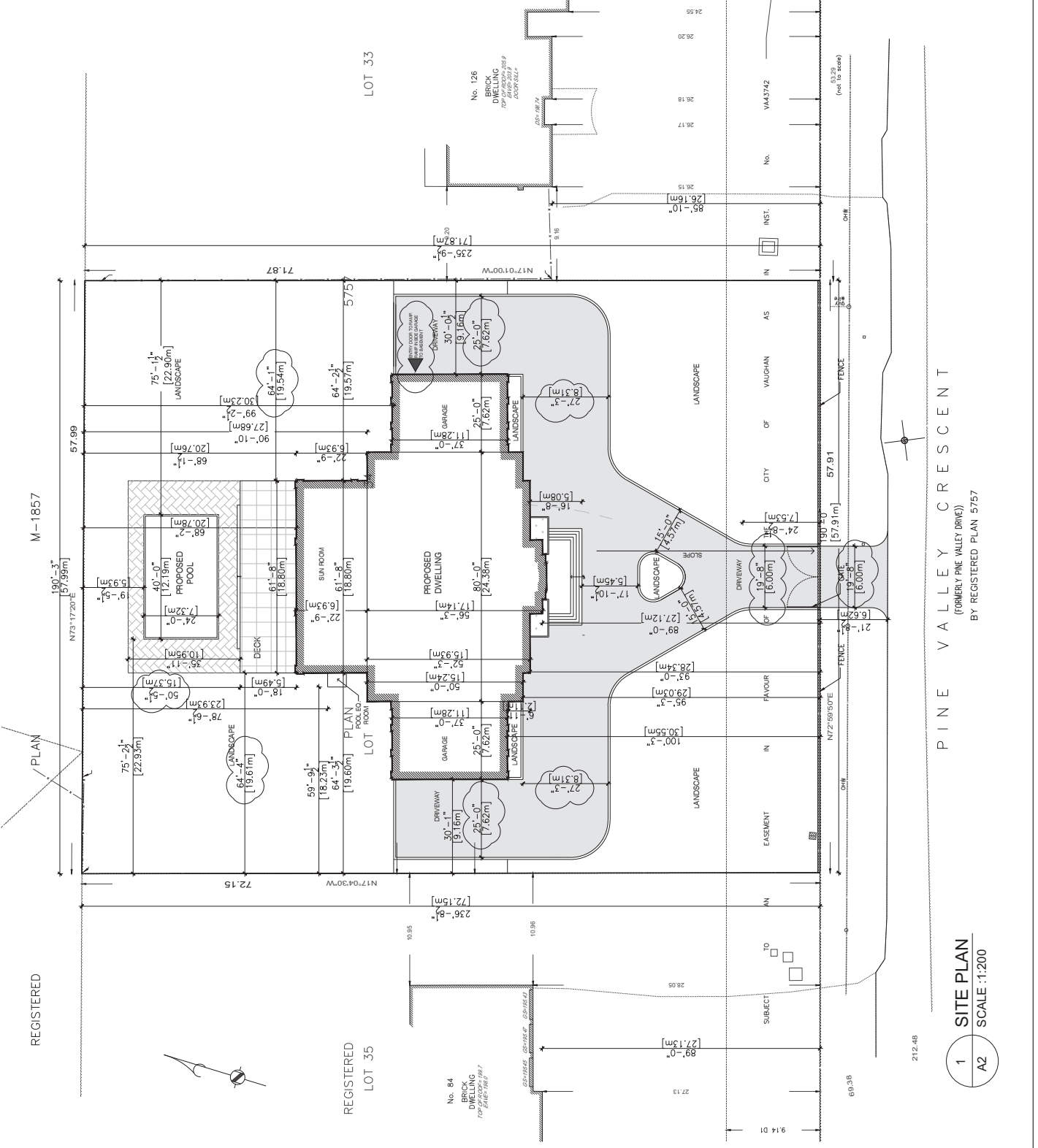
**G.F.A.:**  
GROUND FLOOR (MAIN HOUSE) = 395.07m<sup>2</sup> (4251 ft<sup>2</sup>)  
SECOND FLOOR = 325.83m<sup>2</sup> (3506 ft<sup>2</sup>)  
SUN ROOM = 130.85m<sup>2</sup> (1408 ft<sup>2</sup>)

**TOTAL G.F.A.**  
= 851.75m<sup>2</sup> (9165 ft<sup>2</sup>)  
GARAGE AREA = 173.04m<sup>2</sup> (1862 ft<sup>2</sup>)  
\*BUILDING HEIGHT = 11.81m<sup>2</sup>

**SETBACKS:**  
FRONT = 27.12m  
SIDE = 9.16m  
REAR = 20.76m

**FRONT YARD = 1709.10m<sup>2</sup>**  
**DRIVEWAY = 674.25m<sup>2</sup>** @ 60.55%  
**LANDSCAPE = 1034.85m<sup>2</sup>** @ 96.03%  
**SOFT LANDSCAPE = 993.56m<sup>2</sup>**  
**REAR YARD = 1658.82m<sup>2</sup>**  
**SWIMMING POOL = 89.23m<sup>2</sup>**  
**DECK = 103.21m<sup>2</sup>** @ 87.65%  
**LANDSCAPE = 1366.38m<sup>2</sup>** @ 91.73%  
**SOFT LANDSCAPE = 1253.43m<sup>2</sup>** @ 91.73%

**\* VARIANCES :**  
1) ALLOWED BUILDING HEIGHT = 9.5m  
- PROPOSED BUILDING HEIGHT = 11.81m<sup>2</sup>  
2) ALLOWED LOT COVERAGE = 10%  
- PROPOSED LOT COVERAGE = 16.74%



1  
A2  
SCALE 1:1200

212.48

PINE VALLEY CRESCENT  
(FORMERLY PINE VALLEY DRIVE)  
BY REGISTERED PLAN 5757

LOT 33

LOT 35

LOT 36

LOT 34

LOT 32

LOT 31

LOT 30

LOT 29

LOT 28

LOT 27

LOT 26

LOT 25

LOT 24

LOT 23

LOT 22

LOT 21

LOT 20

LOT 19

LOT 18

LOT 17

LOT 16

LOT 15

LOT 14

LOT 13

LOT 12

LOT 11



All material herein remains property of the architect noted below.

Glancarlo Gardulo Architect Inc.  
www.ggarchitect.ca



943 St. Clair Ave. West  
Toronto, Ontario M6E 1B7  
T: 416.531.1285  
F: 416.531.4723  
e: info@ggarchitect.ca

THE GENERAL CONTRACTOR SHALL REPORT AND VERIFY ALL DIMENSIONS AND REPORT ERRORS AND OMISSIONS TO THE ARCHITECT. DIMENSIONS MUST NOT BE SOLID.  
THIS DRAWING SHALL NOT BE USED FOR CONSTRUCTION PURPOSES UNLESS SO INDICATED BY THE ARCHITECT.

Consultant  
Address  
Phone  
Facsimile  
Fax  
email

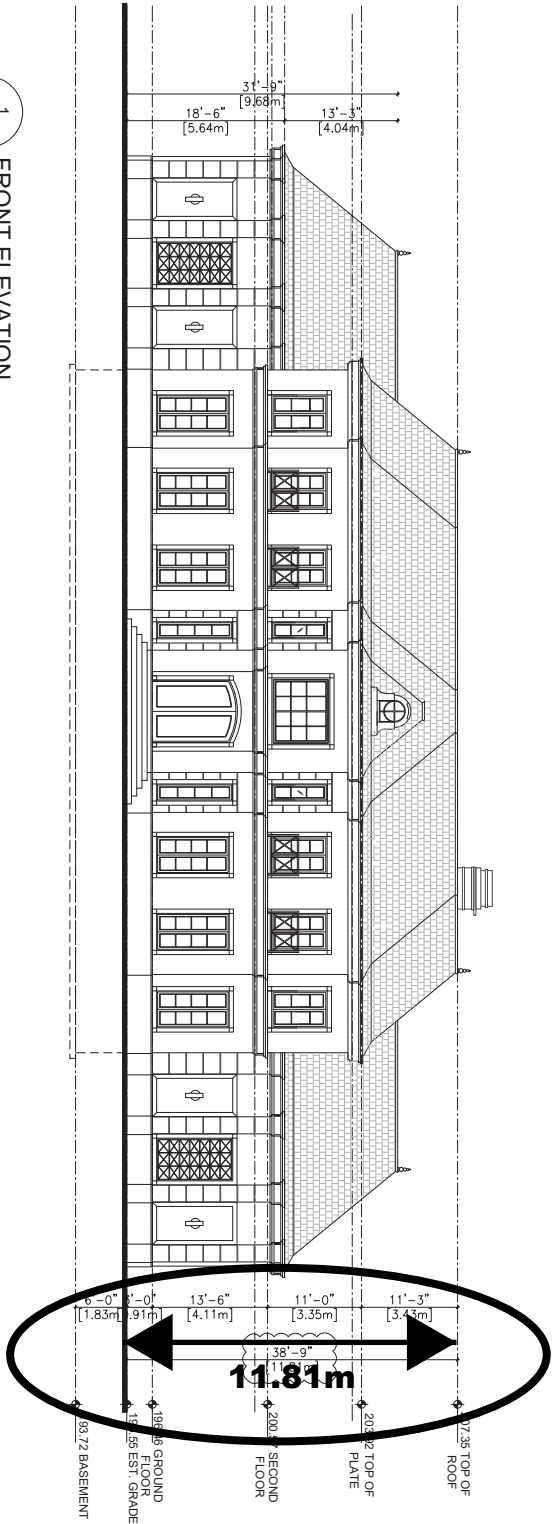


No.	Description	Date
1	ISSUED FOR REVIEW	21/09/21

**DIMANNO RESIDENCE**  
110 Pine Valley Crescent, Woodbridge, ON L4L 2W4

**PROPOSED FRONT ELEVATION**

Project number: \_\_\_\_\_  
 Date: DEC 2020  
 Drawn by: H.P.  
 Checked by: G.G.  
**A6**  
 Scale: 85 mm x 61



**1 FRONT ELEVATION**  
SCALE: 1:100