

ITEM: 6.5	REPORT SUMMARY MINOR VARIANCE APPLICATION A101/24
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Report Date: September 6, 2024

**THIS REPORT CONTAINS COMMENTS FROM THE FOLLOWING
DEPARTMENTS & AGENCIES (SEE SCHEDULE B):**

Additional comments from departments and agencies received after the publication of the report will be made available on the City's [website](#).

Internal Departments <small>*Comments Received</small>	Conditions Required		Nature of Comments
Committee of Adjustment	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>	General Comments
Building Standards (Zoning)	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>	General Comments
Development Planning	Yes <input type="checkbox"/>	No <input type="checkbox"/>	Application Under Review
Development Engineering	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>	General Comments
Development Finance	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>	General Comments
By-law & Compliance	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>	General Comments

External Agencies <small>*Comments Received</small>	Conditions Required		Nature of Comments <small>*See Schedule B for full comments</small>
Alectra	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>	General Comments
TRCA	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>	General Comments
Region of York	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>	General Comments

PUBLIC & APPLICANT CORRESPONDENCE (SEE SCHEDULE C)

All personal information collected because of this public meeting (including both written and oral submissions) is collected under the authority of the Municipal Act, the Municipal Freedom of Information and Protection of Privacy Act (MFIPPA), the Planning Act and all other relevant legislation, and will be used to assist in deciding on this matter. All personal information (as defined by MFIPPA), including (but not limited to) names, addresses, opinions and comments collected will become property of the City of Vaughan, will be made available for public disclosure (including being posted on the internet) and will be used to assist the Committee of Adjustment and staff to process this application.

Correspondence Type	Name	Address	Date Received <small>(mm/dd/yyyy)</small>	Summary
None				

BACKGROUND (SCHEDULE D, IF REQUIRED)

* Background Information contains historical development approvals considered to be related to this file.
This information should not be considered comprehensive.

Application No. (City File)	Application Description <small>(i.e. Minor Variance Application; Approved by COA / OLT)</small>
None	N/A

ADJOURNMENT HISTORY

* Previous hearing dates where this application was adjourned by the Committee and public notice issued.

Hearing Date	Reason for Adjournment <small>(to be obtained from NOD_ADJ)</small>
None	N/A

SCHEDULES

Schedule A	Drawings & Plans Submitted with the Application
Schedule B	Comments from Agencies, Building Standards & Development Planning
Schedule C (if required)	Public & Applicant Correspondence
Schedule D (if required)	Background



MINOR VARIANCE APPLICATION FILE NUMBER A101/24

CITY WARD #:	2
APPLICANT:	Deokallie Mahadan & Shameer Azib Mootoo
AGENT:	Ravinder Singh
PROPERTY:	73 View North Court, Woodbridge
ZONING DESIGNATION:	See below.
VAUGHAN OFFICIAL PLAN (2010) DESIGNATION:	Vaughan Official Plan 2010 ('VOP 2010'): "Low-Rise Residential"
RELATED DEVELOPMENT APPLICATIONS:	None
PURPOSE OF APPLICATION:	Relief from the Zoning By-law is being requested to permit a proposed secondary suite and an existing shed onsite.

The following variances have been requested from the City's Zoning By-law:

The subject lands are zoned R4 (EN) - Fourth Density Residential Zone (Established Neighbourhood) and subject to the provisions of Exception 14.424 under Zoning By-law 001-2021, as amended.

The subject lands are zoned R4 (EN) - Fourth Density Residential Zone (Established Neighbourhood) and subject to the provisions of Exception 14.424 under Zoning By-law 001-2021, as amended.

#	Zoning By-law 001-2021	Variance requested
1	The entrance to the secondary suite be accessible from the street by an unobstructed hard landscaped surface walkway measuring a minimum of 1.2m in width, or from a driveway [Section 5.21.10.b.].	To permit the secondary suite to be accessible from an unobstructed hard landscape surface walkway measuring a minimum of 0.93m in width along the window wells.
2	Access stairs are permitted to encroach a maximum of 0.3m into the minimum required interior side yard [Section 4.13, Table 4-1].	To permit the access stair to encroach a maximum of 0.70m into the required interior side yard.
3	The maximum gross floor area of a secondary suite shall not exceed 45% of the total gross floor area of the principal dwelling [Section 5.21.7.].	To permit the gross floor area of the proposed secondary suite to be 50.6% of the total gross floor area of the principal dwelling.
4	A residential accessory structure with a height greater than 2.8 m shall not be located closer than 2.4 m to any lot line [Section 4.1.2.b.].	To permit the accessory structure (Shed) with a height greater than 2.8 m to be located minimum 0.6m from the interior side lot line.
5	A residential accessory structure with a height greater than 2.8 m shall not be located closer than 2.4 m to any lot line [Section 4.1.2.b.].	To permit the accessory structure (Shed) with a height greater than 2.8 m to be located minimum 1.93m from the rear lot line.

HEARING INFORMATION

DATE OF MEETING: Thursday, September 12, 2024

TIME: 6:00 p.m.

MEETING LOCATION: Vaughan City Hall, Woodbridge Room (2nd Floor), 2141 Major Mackenzie Drive

LIVE STREAM LINK: Vaughan.ca/LiveCouncil

PUBLIC PARTICIPATION

If you would like to speak to the Committee of Adjustment at the meeting, either remotely or in person, please complete the [Request to Speak Form](#) and submit to cofa@vaughan.ca

If you would like to submit written comments, please quote file number above and submit by mail or email to:

HEARING INFORMATION

Email: cofa@vaughan.ca

Mail: City of Vaughan, Office of the City Clerk, Committee of Adjustment, 2141 Major Mackenzie Drive, Vaughan, ON, L6A 1T1

To speak electronically, pre-registration is required by completing the [Request to Speak Form](#) on-line and submitting it to cofa@vaughan.ca no later than NOON on the last business day before the meeting.

THE DEADLINE TO REGISTER TO SPEAK ELECTRONICALLY OR SUBMIT WRITTEN COMMENTS ON THE ABOVE NOTED FILE(S) IS NOON ON THE LAST BUSINESS DAY BEFORE THE MEETING.

INTRODUCTION

Staff and Agencies act as advisory bodies to the Committee of Adjustment. The comments contained in this report are presented as recommendations to the Committee.

Section 45(1) of the Planning Act sets the criteria for authorizing minor variances to the City of Vaughan's Zoning By-law. Accordingly, review of the application may consider the following:

- That the general intent and purpose of the by-law will be maintained.
- That the general intent and purpose of the official plan will be maintained.
- That the requested variance(s) is/are acceptable for the appropriate development of the subject lands.
- That the requested variance(s) is/are minor in nature.

Public written and oral submissions relating to this application are taken into consideration by the Committee of Adjustment as part of its deliberations and final decision on this matter.

COMMITTEE OF ADJUSTMENT

Date Public Notice Mailed:	August 29, 2024
Date Applicant Confirmed Posting of Sign:	August 30, 2024
Applicant Justification for Variances: <small>*As provided in Application Form</small>	Required side yard setback is 1.2 m however 0.93 m proposed and basement second unit area required less than 45% however 49.35% proposed
Was a Zoning Review Waiver (ZRW) Form submitted by Applicant: <small>*ZRW Form may be used by applicant in instances where a revised submission is made, and zoning staff do not have an opportunity to review and confirm variances prior to the issuance of public notice.</small>	Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>
COMMENTS:	
None	
Committee of Adjustment Recommended Conditions of Approval:	None

BUILDING STANDARDS (ZONING)

**See Schedule B for Building Standards (Zoning) Comments

Building Standards Recommended Conditions of Approval:	None
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DEVELOPMENT PLANNING

**See Schedule B for Development Planning Comments.

Development Planning Recommended Conditions of Approval:	None
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DEVELOPMENT ENGINEERING

[Link to Grading Permit](#) [Link to Pool Permit](#) [Link to Curb Curt Permit](#) [Link Culvert Installation](#)

Development Engineering has reviewed the proposed entrance in the sideyard and does not object to the Minor Variance application A101/24.

Development Engineering Recommended Conditions of Approval:	None
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PARKS, FORESTRY & HORTICULTURE (PFH)

No comments received to date.

PFH Recommended Conditions of Approval:	None
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DEVELOPMENT FINANCE

No comment no concerns

Development Finance Recommended Conditions of Approval:	None
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BY-LAW AND COMPLIANCE, LICENSING AND PERMIT SERVICES

No comments.

BCLPS Recommended Conditions of Approval:	None
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BUILDING INSPECTION (SEPTIC)

No comments received to date.

Building Inspection Recommended Conditions of Approval:	None
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FIRE DEPARTMENT

No comments received to date.

Fire Department Recommended Conditions of Approval:	None
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RECOMMENDED CONDITIONS OF APPROVAL SUMMARY

Should the Committee find it appropriate to approve this application in accordance with request and the sketch submitted with the application, as required by Ontario Regulation 200/96, the following conditions have been recommended:

#	DEPARTMENT / AGENCY	CONDITION
1	Development Planning Nicholas.delprete@vaughan.ca	TBD

All conditions of approval, unless otherwise stated, are considered to be incorporated into the approval “if required”. If a condition is no longer required after an approval is final and binding, the condition may be waived by the respective department or agency requesting conditional approval. A condition cannot be waived without written consent from the respective department or agency.

IMPORTANT INFORMATION

CONDITIONS: It is the responsibility of the owner/applicant and/or authorized agent to obtain and provide a clearance letter from respective department and/or agency (**see condition chart above for contact**). This letter must be provided to the Secretary-Treasurer to be finalized. All conditions must be cleared prior to the issuance of a Building Permit.

APPROVALS: Making any changes to your proposal after a decision has been made may impact the validity of the Committee’s decision.

An approval obtained from the Committee of Adjustment, where applicable, is tied to the building envelope shown on the plans and drawings submitted with the application and subject to the variance approval.

A building envelope is defined by the setbacks of the buildings and/or structures shown on the plans and drawings submitted with the application, as required by Ontario Regulation 200/96. Future development outside of an approved building envelope, where a minor variance was obtained, must comply with the provisions of the City’s Zoning By-law.

Elevation drawings are provided to reflect the style of roof (i.e. flat, mansard, gable etc.) to which a building height variance has been applied. Where a height variance is approved, building height is applied to the style of roof (as defined in the City’s Zoning By-law) shown on the elevation plans submitted with the application.

Architectural design features that are not regulated by the City’s Zoning By-law are not to be considered part of an approval unless specified in the Committee’s decision.

DEVELOPMENT CHARGES: That the payment of the Regional Development Charge, if required, is payable to the City of Vaughan before issuance of a building permit in accordance with the Development Charges Act and the Regional Development Charges By-law in effect at the time of payment.

IMPORTANT INFORMATION

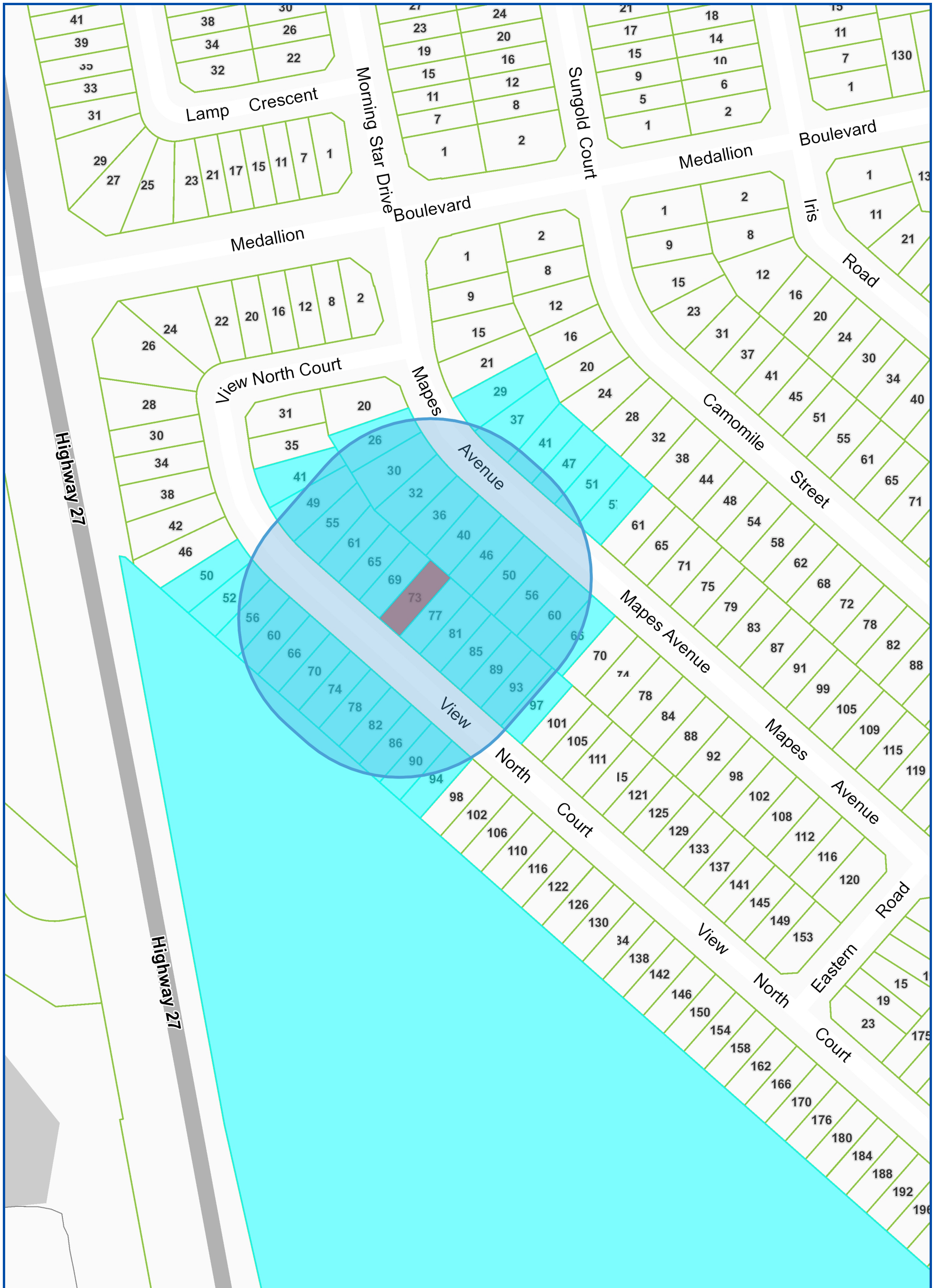
That the payment of the City Development Charge, if required, is payable to the City of Vaughan before issuance of a building permit in accordance with the Development Charges Act and the City's Development Charges By-law in effect at the time of payment.

That the payment of the Education Development Charge if required, is payable to the City of Vaughan before issuance of a building permit in accordance with the Development Charges Act and the Boards of Education By-laws in effect at the time of payment

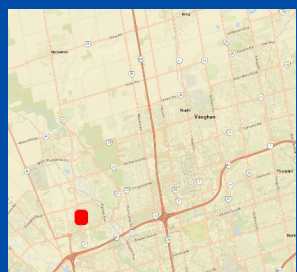
That the payment of Special Area Development charge, if required, is payable to the City of Vaughan before issuance of a building permit in accordance with the Development Charges Act and The City's Development Charge By-law in effect at the time of Building permit issuance to the satisfaction of the Reserves/Capital Department.

NOTICE OF DECISION: If you wish to be notified of the decision in respect to this application or a related Ontario Land Tribunal (OLT) hearing you must complete a Request for Decision form and submit to the Secretary Treasurer (ask staff for details). In the absence of a written request to be notified of the Committee's decision you will **not** receive notice.

SCHEDULE A: DRAWINGS & PLANS



Map Information:



Title: **73 View North Court, Woodbridge**

NOTIFICATION MAP - A101/24

Disclaimer:

Every reasonable effort has been made to ensure that the information appearing on this map is accurate and current. We believe the information to be reliable, however the City of Vaughan assumes no responsibility or liability due to errors or omissions. Please report any discrepancies to Infrastructure Programming.



Scale: **1: 2,257**

0 0.04 km



Created By:
Infrastructure Delivery
Department
June 17, 2024 11:47 AM

Projection:
NAD 83
UTM Zone
17N

RECEIVED

By Christine Vigneault at 4:47 pm, Aug 30, 2024

FRONT YARD STATISTICS			
DESCRIPTION	AREAS		
	IMPERIAL	METRIC	%
LOT AREA	4826.11 SFT	448.52 SM	
FRONT YARD	1338.06 SFT	124.35 SM	
HARDSCAPE AREA	594.44 SFT	55.24 SM	44.42
SOFTSCAPE AREA	743.94 SFT	69.13 SM	55.59

RELEASED FOR BUILDING PERMIT
 - CONTRACTOR SHALL SITE VERIFY ALL DIMENSIONS AND REPORT DISCREPANCIES IF ANY TO THE CONSULTANT'S BEFORE CONSTRUCTION.
 - ALL DRAWINGS AND SPECIFICATIONS ARE THE PROPERTY OF CONSULTANTS AND MUST BE RETURNED AT THE COMPLETION OF WORK.
 - THIS DRAWING IS NOT TO BE USED FOR CONSTRUCTION UNLESS SIGNED BY THE ARCHITECT / P.ENG.
 - IF THIS SHEET IS NOT 11" x 17", IT IS A REDUCED / ENLARGED PRINT. READ DRAWING ACCORDINGLY.

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NO	DATE	REVISION / ISSUED
00	2023.12.14	SCHEMATIC DESIGN
00	2024.02.16	PERMIT APPLICATION
01	2024.03.13	CITY COMMENTS
02	2024.03.21	CITY COMMENTS



OWNER

(SULTAN ALI) AHMED

DESIGNER



225 - 2980 DREW RD, MISSISSAUGA, ON L4T 0A7
 c: 647.896.9785, e: ravinder@aemdesigns.ca
 www.aemdesigns.ca

ARCHITECT



C-Architecture Ltd

202 - 3485 REBECCA ST, OAKVILLE ON L6L 0H4
 905.847.7177, e: info@c-archi.com
 SEAL

ALTERATIONS (SU)

73 VIEW NORTH CRT, WOODBRIDGE

SITE PLAN

SCALE: 3/32" = 1'-0"

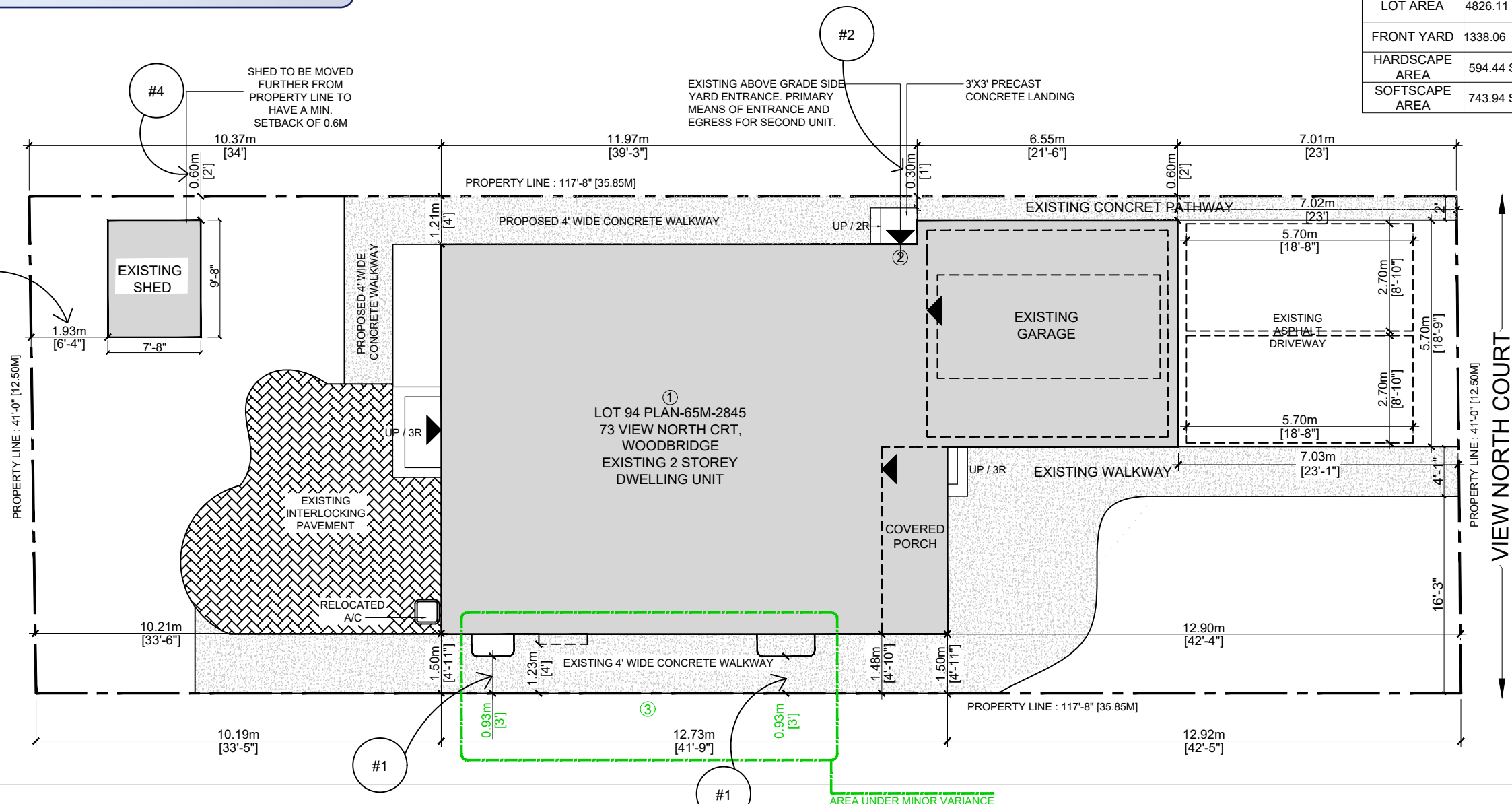
DATE: 2024.03.21

PROJECT: 23-660

DRAWING NO:

A-001

REVISION: 02



1 SITE PLAN
 A-001 SCALE: 3/32" = 1'-0"

LEGEND

- PROPERTY LINE
- ▲ ENTRANCE & EGRESS

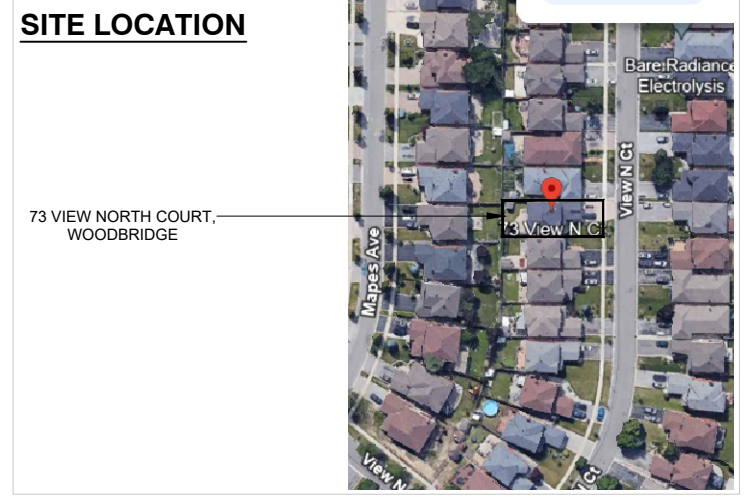
PARKING SPACES PROVIDED

THREE PARKING SPACES PROVIDED (TWO OUTSIDE & ONE INSIDE THE GARAGE)

AREA STATISTICS

MAIN FLOOR AREA	= 1137.63 SFT / 113.80 SM
SECOND FLOOR AREA	= 1097.70 SFT / 107.94 SM
TOTAL ABOVE GRADE GFA	= 2235.33 SFT / 221.74 SM
PORCH	= 85.76 SFT / 7.97 SM
GARAGE	= 371.94 SFT / 34.56 SM
BASEMENT	
- NEW BASEMENT APARTMENT GFA	= 1103.19 SFT / 97.85 SM
- FURNACE AREA	= 76.19 SFT / 7.08 SM
- PRINCIPAL RESIDENCE AREA	= 32.43 SFT / 3.01 SM
TOTAL BASEMENT GFA	= 1211.81 SFT / 107.94 SM
BASEMENT APARTMENTS GFA IS	44.12 % OF TOTAL PRINCIPAL RESIDENCE GFA
TOTAL LOT AREA	: 4826.11 SFT / 448.52 SM
TOTAL AREA OF SHED	: 74.05 SFT / 6.88 SM
TOTAL HEIGHT OF SHED	: 3.2 M
GFA (BUILDING + SHED)	: 158.32 SM + 6.88 SM = 165.20
TOTAL LOT COVERAGE	: 36.83 %

- SCOPE OF WORK**
- BASEMENT APARTMENT
 - EXISTING ABOVE GRADE SIDE YARD ENTRANCE. PRIMARY MEANS OF ENTRANCE AND EGRESS FOR SECOND UNIT.
 - MINOR VARIANCE APPLICATION FOR PROPOSED WALKWAY



SPECIFICATION:

① FOUNDATION WALL INSULATION
EXISTING FOUNDATION WALL, MOISTURE BARRIER, 2 BY 4 STUDS @ 16" O.C., R12 INSULATION, 6 MIL POLYETHYLENE V.B., 1/2" GYPSUM DRYWALL JOINTS TAPED AND SEALED AND PAINTED.

①A FOUNDATION WALL INSULATION (NOT APPLICABLE)
EXISTING FOUNDATION WALL, MOISTURE BARRIER, 2 BY 6 STUDS WOODEN OR STEEL @ 16" O.C OR 24" O.C R22 INSULATION, 6 MIL POLYETHYLENE FOR WOOD STUDS VAPOUR BARRIER, 1/2" OR 5/8" GYPSUM DRYWALL JOINTS TAPED AND SEALED AND PAINTED

② INTERNAL WALLS
1/2" DRY WALL ON BOTH SIDES OF NEW OR EXISTING FRAMED WALL CONSISTING OF 2 BY 4 WOOD STUDS @ 16" O.C. WITH JOINTS TAPED AND SEALED. **SB-3: W1** (WATER RESISTANT GWB ON BATHROOMS' WALLS).

②A INTERNAL WALLS
1/2" TYPE X DRYWALL ON BOTH SIDES OF NEW OR EXISTING FRAMED WALL CONSISTING OF 2 BY 4 WOOD STUDS @ 16" O.C. WITH ABSORPTIVE MATERIAL (INSULATION). **SB-3: W1b. FIRE RESISTANCE : 45 MIN, STC: 34**

②B INTERNAL WALLS (NOT APPLICABLE)
TWO 5/8" TYPE X DRYWALL ON ONE SIDE AND ONE 5/8" TYPE X DRYWALL ON RESILIENT CHANNEL ON THE OTHER SIDE OF NEW OR EXISTING FRAMED WALL CONSISTING OF 2 BY 4 WOOD STUDS @ 16" O.C. WITH ABSORPTIVE MATERIAL (INSULATION). **SB-3: W4a. FIRE RESISTANCE : 1 HOUR, STC: 51**

③ CEILING (NOT APPLICABLE)
1/2" DRY WALL CEILING ATTACHED TO BOTTOM OF JOISTS OF FLOOR ASSEMBLY ABOVE. **SB-3: F3e**

③A CEILING (NOT APPLICABLE)
5/8" TYPE X DRY WALL CEILING (WITH SONOPAN) ATTACHED TO RESILIENT CHANNELS WITH OR WITHOUT ABSORPTIVE MATERIAL IN CAVITY, TO BOTTOM OF JOISTS OF FLOOR ASSEMBLY ABOVE. **FIRE RESISTANCE : 30 MIN WITHOUT INSULATION SB-3: F10c & 45 Min WITH INSULATION SB-3: F10c STC: 51**

③B CEILING
5/8" TYPE X DRY WALL CEILING ATTACHED TO BOTTOM OF JOISTS OF FLOOR ASSEMBLY ABOVE ABSORPTIVE MATERIAL IN CAVITY. **SB-3: F3b. FIRE RESISTANCE : 31 MIN, STC : 30.**

③C CEILING (FOR COLD ROOMS TO BE FINISHED) (NOT APPLICABLE)
DRY WALL CEILING ATTACHED TO BOTTOM OF JOISTS OF FLOOR ASSEMBLY ABOVE. 1/2" REGULAR GYPSUM BOARD WITH ABSORPTIVE MATERIAL IN CAVITY AND R31 INSULATION.

④ 20 MIN. RATED DOOR FOR FURNACE ROOM AND BETWEEN BASEMENT APARTMENT AND BASEMENT AREA WHICH IS PART OF PRINCIPAL RESIDENCE

⑤ EXISTING DUCT WORK LOCATED IN THE CEILING SHALL BE RELOCATED SO THAT THE DIRECTION OF THE HEAT FLOW IS TOWARDS THE FLOOR

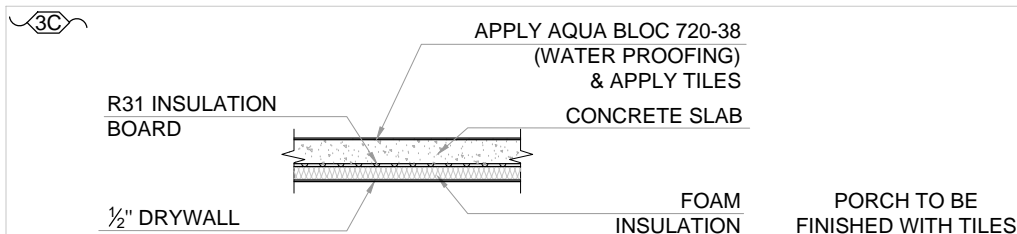
⑥ MECHANICAL VENTILATION
5 L/S EXHAUST FANS IN KITCHEN AND WASHROOM AND 37.5 L.S FOR PRINCIPAL EXHAUST

⑦ INTERCONNECTED AND WIRED SMOKE ALARMS AT EACH FLOOR AND EACH UNIT INCLUDING FINISHED BASEMENT AND LEGAL BASEMENT THROUGH ENTIRE HOUSE ALARM - AS PER OBC 9.10.19.

⑧ PERMANENTLY CONNECTED TO ELECTRICAL CIRCUIT CARBON MONOXIDE DETECTOR AS PER OBC 2012 B 9.33.4.3.

⑨ FOR ALL ELECTRICAL WORK AND PERMIT CONTACT ELECTRICAL SAFETY AUTHORITY

⑩ SELF CONTAINED EMERGENCY LIGHTING UNIT CONFORMING TO CSA C22.2 NO.141, *EMERGENCY LIGHTING EQUIPMENT* - AS PER OBC 9.9.12



SCHEDULES

ROOM FINISH SCHEDULE

RM. NO	ROOM NAME	FLOOR		BASE		WALLS		CEILING		HEIGHT	REMARKS
		MATERIAL	FINISH	MATERIAL	FINISH	MATERIAL	FINISH	MATERIAL	FINISH		
BASEMENT FLOOR											
1	LIVING / DINING	WOOD	STAIN	VINYL		DRYWALL	PAINT	DRYWALL	PAINT	7'-7"	
2	KITCHEN	WOOD	STAIN	VINYL		DRYWALL	PAINT	DRYWALL	PAINT	7'-7"	
3	BEDROOM	WOOD	STAIN	VINYL		DRYWALL	PAINT	DRYWALL	PAINT	7'-7"	
4	W.I.C	WOOD	STAIN	VINYL		DRYWALL	PAINT	DRYWALL	PAINT	7'-0"	
5	CLOSET	WOOD	STAIN	VINYL		DRYWALL	PAINT	DRYWALL	PAINT	7'-7"	
6	BATH	CERAMIC		VINYL		DRYWALL	PAINT	DRYWALL	PAINT	7'-7"	

DOOR SCHEDULE

- ALL INTERIOR DOORS ARE SLAB DOOR 1-3/8 TH. HOLLOW CORE OR SLIDING DOORS. THE SIZES ARE MENTIONED ON THE FLOOR PLAN. THE HEIGHT OF ALL DOORS ARE 80".
- ALL FIRE RATED DOORS SHALL HAVE SELF-CLOSING DEVICES

GENERAL NOTES

- ALL WORK ACCORDING TO ONTARIO BUILDING CODE 2012 AND AHJ BY-LAWS AND STANDARDS
- ALL DIMENSIONS AND LOCATIONS TO BE VERIFIED ON SITE PRIOR TO CONSTRUCTION.
- ALL WOOD USED IN THE CONSTRUCTION SHALL BE SPF NO.1 OR NO.2
- MINIMUM BEARING OF STEEL LINTELS 150 MM.
- MINIMUM BEARING OF WOOD BEAM / LINTELS 90 MM
- MINIMUM BEARING OF WOOD JOISTS 40MM
- VERIFY EXISTING SUPPORT SYSTEM, INCLUDING FOUNDATIONS, FOR LOADS IMPOSED BY THE PROPOSED CONSTRUCTION
- PROVIDE ALL BRACING, SHORING AND NEEDLING NECESSARY FOR THE SAFE EXECUTION OF THIS WORK
- INFORM CITY OF ALL INSPECTION AHEAD OF TIME AND AT EACH STAGE OF CONSTRUCTION

\$₃
4 3 OR 4 WAY SWITCH INSTALL AT 3'-3" AFF
E EXISTING 3 DENOTES 3-WAY SWITCH
N NEW SPECIFICATION GRADE WHITE, WITH
WHITE COVER PLATE 4 DENOTES 4-WAY
SWITCH SHALL BE INSTALLED AT
THE ENDS OF EACH STAIRWAYS

C GFI 15A, 120V DUPLEX RECEPTACLE
WP SPECIFICATION GRADE, WHITE
C/W WHITE COVER PLATE
GFI- GROUND FAULT TYPE
WP- WEATHERPROOF COVER
C - ABOVE COUNTER

A RECEPTACLE 50A, 208V,
STOVE OR DRYER OUTLET.

⊕ EXHAUST FAN

⊗ FD: FLOOR DRAIN

⊕ SPRINKLER

⏏ EMERGENCY LIGHT

Ⓜ SD: SMOKE ALARM W/
STROBE LIGHT

Ⓜ CO: CARBON MONOXIDE
ALARM

Ⓜ LIGHT

Ⓜ POT LIGHT

INSTALL DUCT TYPE SMOKE
DETECTOR IN FURNACE.

2/ 2x10 SPR WOOD LINTEL.

EGRESS WINDOW:
TO BE OPERABLE FROM INSIDE
WITHOUT USE OF ANY TOOLS
UNOBSTRUCTED OPEN PORTION
HAVING A MINIMUM AREA OF
0.35M²/3.76 Sq.Ft WITH NO DIMENSION
LESS THAN 1'-3" 380MM)

BULKHEAD / STAIR CEILING 45 MIN.
FIRE SEPARATION, 2 LAYERS 1/2"
TYPE X GYPSUM (NOTE: NO
OPENINGS PERMITTED THIS
MEMBRANE ONLY FIRE SEPARATION.

RELEASED FOR BUILDING PERMIT
CONTRACTOR SHALL SITE VERIFY ALL DIMENSIONS AND
REPORT DISCREPANCIES IF ANY TO THE CONSULTANT'S
BEFORE CONSTRUCTION.
ALL DRAWINGS AND SPECIFICATIONS ARE THE PROPERTY
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PROPERTY OF ARCHITECT. REPRODUCTION OR USE FOR ANY
PURPOSE OTHER THAN THAT AUTHORIZED BY ARCHITECT IS
FORBIDDEN.

NO	DATE	REVISION / ISSUED
00	2023.12.14	SCHEMATIC DESIGN
00	2024.02.16	PERMIT APPLICATION

OWNER

(SULTAN ALI) AHMED

DESIGNER



225 - 2980 DREW RD, MISSISSAUGA,
ON L4T 0A7
c: 647.896.9785, e:
ravinder@aemdesigns.ca
www.aemdesigns.ca

ARCHITECT



C-Architecture Ltd

202 - 3485 REBECCA ST, OAKVILLE
ON L6L 0H4
905.847.7177, e: info@c-archi.com



ALTERATIONS (SU)

73 VIEW NORTH CRT,
WOODBRIDGE

GENERAL NOTES

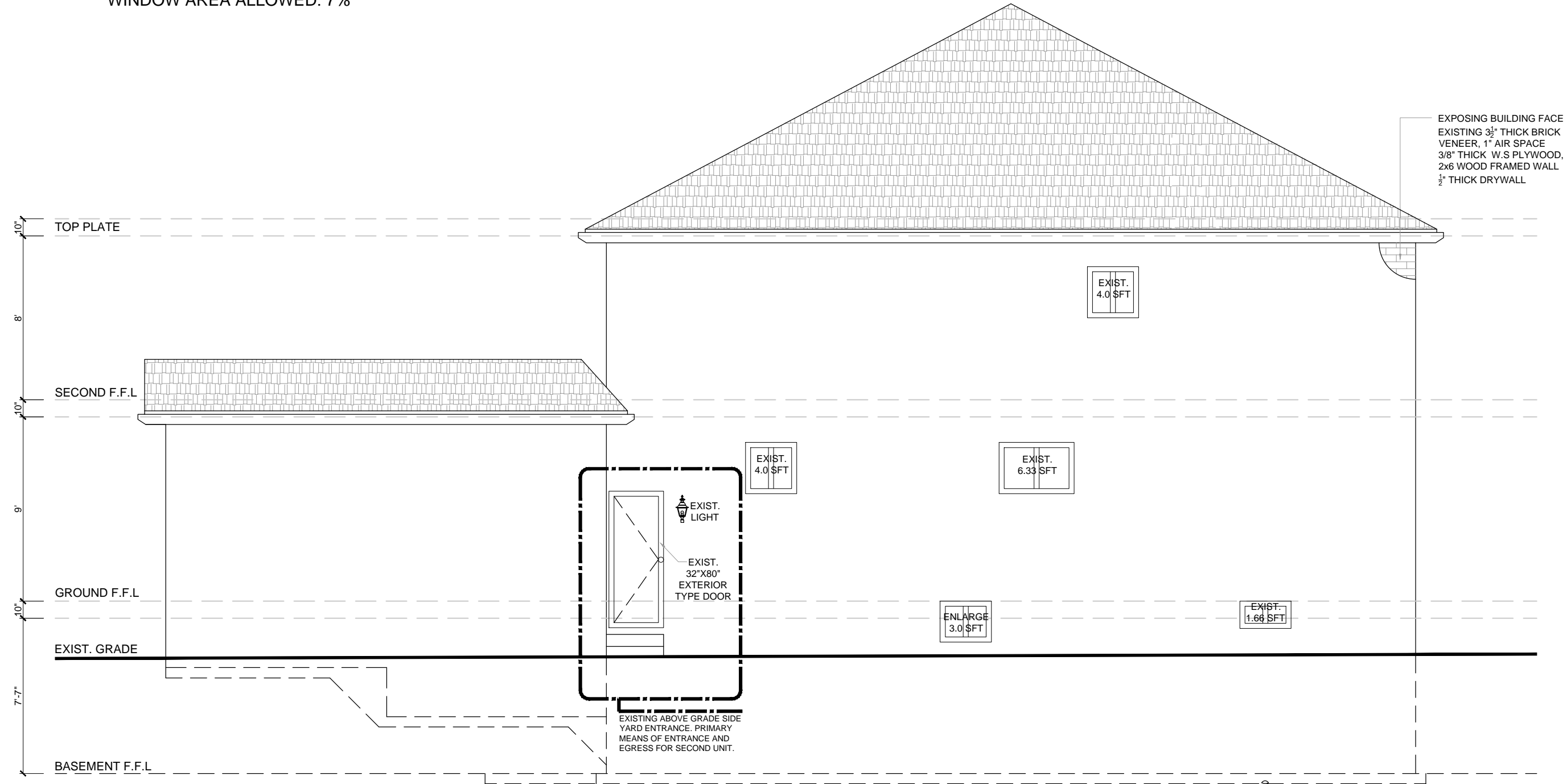
SCALE: N.T.S
DATE: 2024.02.16
PROJECT: 23-660
DRAWING NO:

A-002

REVISION: 00

GLAZED OPENINGS:

WALL AREA: = 795.12 SFT / 73.89
 LIMITING DISTANCE: 1.21 M
 WINDOW AREA PROVIDED: 18.99 SFT / 1.76 M² (2.38%)
 WINDOW AREA ALLOWED: 7%



EXPOSING BUILDING FACE
 EXISTING 3/4" THICK BRICK
 VENEER, 1" AIR SPACE
 3/8" THICK W.S PLYWOOD,
 2x6 WOOD FRAMED WALL
 1/2" THICK DRYWALL

10" TOP PLATE
 8
 10" SECOND F.F.L.
 9
 10" GROUND F.F.L.
 EXIST. GRADE
 7'-7"
 BASEMENT F.F.L.

EXIST. LIGHT
 EXIST. 32"X80" EXTERIOR TYPE DOOR
 EXISTING ABOVE GRADE SIDE YARD ENTRANCE. PRIMARY MEANS OF ENTRANCE AND EGRESS FOR SECOND UNIT.

EXIST. 4.0 SFT

EXIST. 6.33 SFT

ENLARGE 3.0 SFT

EXIST. 1.66 SFT

RELEASED FOR BUILDING PERMIT
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NO	DATE	REVISION / ISSUED
00	2023.12.14	SCHEMATIC DESIGN
00	2024.02.16	PERMIT APPLICATION

OWNER

(SULTAN ALI) AHMED

DESIGNER



225 - 2980 DREW RD, MISSISSAUGA, ON L4T 0A7
 c: 647.896.9785, e: ravinder@aemdesigns.ca
 www.aemdesigns.ca

ARCHITECT



C-Architecture Ltd

202 - 3485 REBECCA ST, OAKVILLE ON L6L 0H4
 905.847.7177, e: info@c-archi.com

SEAL



ALTERATIONS (SU)

73 VIEW NORTH CRT, WOODBRIDGE

EAST ELEVATION

SCALE: 3/16" = 1'-0"

DATE: 2024.02.16

PROJECT: 23-660

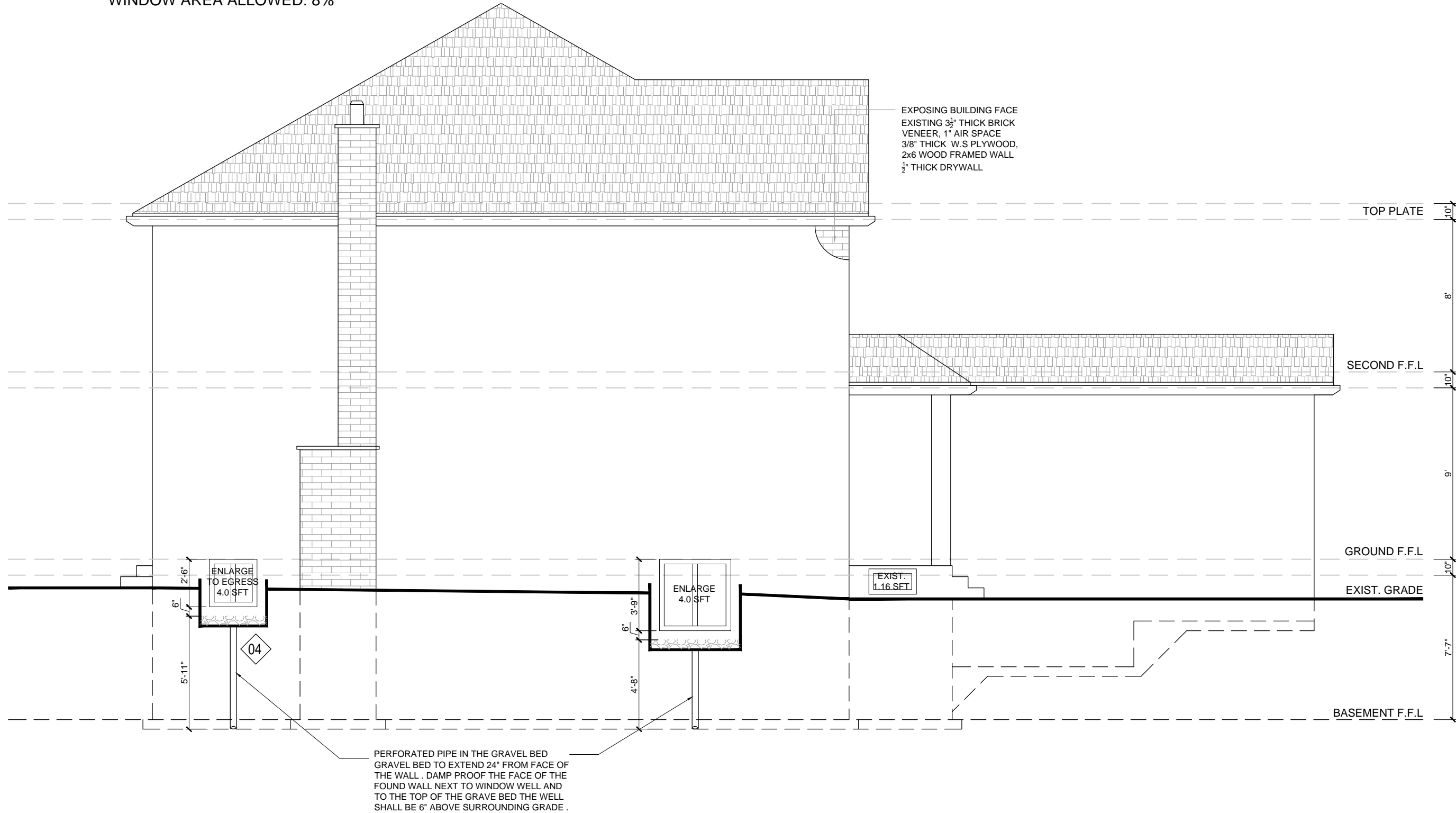
DRAWING NO:

A-201

REVISION: 00

GLAZED OPENINGS:

WALL AREA: = 705.71 SFT / 65.58
 LIMITING DISTANCE: 1.50 M
 WINDOW AREA PROVIDED: 8.0 SFT / 0.74 M² (1.14%)
 WINDOW AREA ALLOWED: 8%



EXPOSING BUILDING FACE
 EXISTING 3½" THICK BRICK
 VENEER, 1" AIR SPACE
 3/8" THICK W.S PLYWOOD,
 2x6 WOOD FRAMED WALL
 ½" THICK DRYWALL

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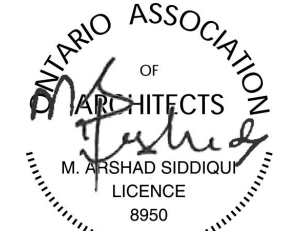


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 SEAL



ALTERATIONS
 (SU)

73 VIEW NORTH CRT,
 WOODBRIDGE

WEST ELEVATION

SCALE: 3/16" = 1'-0"

DATE: 2024.02.16

PROJECT: 23-660

DRAWING NO:

A-202

REVISION: 00

GENERAL NOTES

- ALL WORK ACCORDING TO ONTARIO BUILDING CODE 2012 AND CITY OF WOODBRIDGE BY-LAWS
- ALL WORKING ACCORDING TO GOOD CONSTRUCTION PRACTICES
- ALL FOOTINGS SHALL REST ON NATURAL UNDISTURBED SOIL OR COMPACTED GRANULAR FILL WITH A MINIMUM BEARING CAPACITY OF 75 KPA
- WHERE THE FOUNDATIONS OF A BUILDING ARE TO BE CONSTRUCTED BELOW THE LEVEL OF THE FOOTINGS OF AN ADJACENT BUILDING AND WITHIN THE ANGLE OF REPOSE OF THE SOIL, OR THE UNDERPINNING EXCEEDS 1200MM OF LATERALLY UNSUPPORTED HEIGHT OR THE SOIL IS CLAY OR SILT, THE UNDERPINNING & RELATED CONSECUTION SHALL BE DESIGNED BY A PROFESSIONAL ENGINEER.
- EXCAVATION SHALL BE UNDERTAKEN IN A MANNER SO AS TO PREVENT MOVEMENT WHICH WOULD CAUSE DAMAGE TO ADJACENT PROPERTIES, STRUCTURES, UTILITIES, ROADS & SIDEWALKS. CONTACT YOUR LOCAL UTILITIES PRIOR TO COMMENCING EXCAVATION.
- SHORE & BRACE WHERE NECESSARY TO ENSURE THE SAFETY & STABILITY OF THE EXISTING STRUCTURE DURING UNDERPINNING.

CONCRETE

1. MINIMUM COMPRESSIVE STRENGTH OF CONCRETE 32MPA @ 28 DAYS W/5% TO 8% AIR ENTRAINMENT.
2. MINIMUM YIELD STRENGTH OF STEEL 60 KSI.

1. EXTERIOR DOOR

EXTERIOR TYPE DOOR (42MM INSULATED STEEL DOOR) SIZE 2'-8"x6'-8", W/ DEADBOLT AS PER OBC 9.6.5 & 9.6.8 TO RESIST FORCED ENTRY. PROVIDE LINTEL AS FOLLOWS:

- SL1: STEEL LINTEL 3 $\frac{1}{2}$ " X 3 $\frac{1}{2}$ " X $\frac{3}{8}$ "
 WL1: WOOD LINTEL 2 - 2 X 8 SPF NO.1 OR 2

MIN. CLEAR OPENING AREA OF
0.35 SM (3.8 SFT)

RIGIDLY FASTEN WINDOW

NO DIMENSION LESS THAN
380MM (15") CEILING

MIN. 550MM
(22") CLEAR

MIN. CLEAR OPENING AREA OF
0.35 SM (3.8 SFT)

WINDOW IN OPEN POSITION

NO DIMENSION LESS THAN
380MM (15")

NO LIMIT

FLOOR

FIN. GRADE

WINDOW WELL
DRAIN TO
WEeping TILE

MIN. 48"

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SEAL



ALTERATIONS
(SU)

73 VIEW NORTH CRT,
WOODBRIDGE

EGRESS WINDOW
DETAIL

SCALE: $\frac{3}{8}$ " = 1'-0"

DATE: 2024.02.16

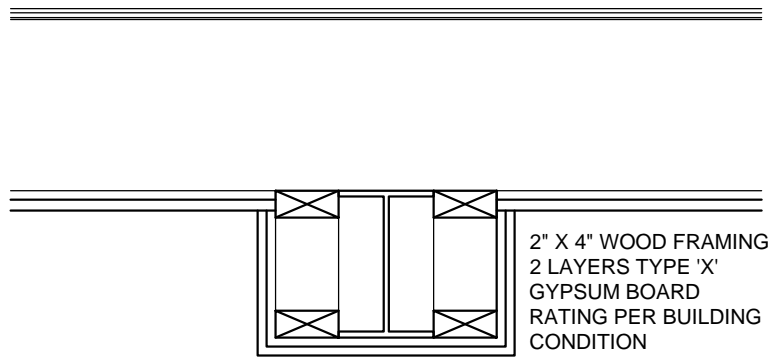
PROJECT: 23-660

DRAWING NO:

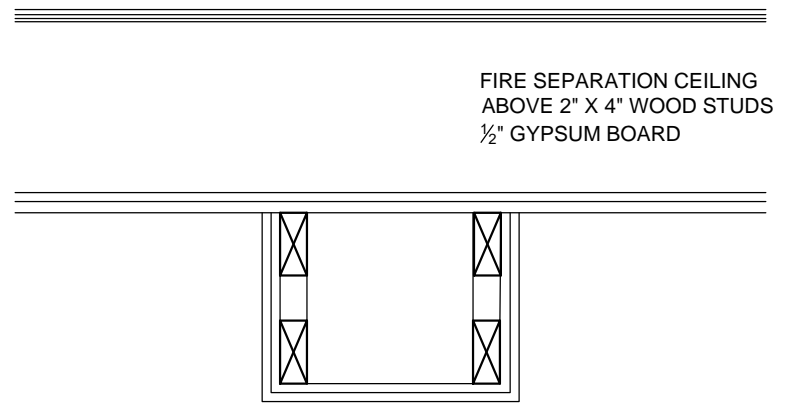
A-301

REVISION: 00

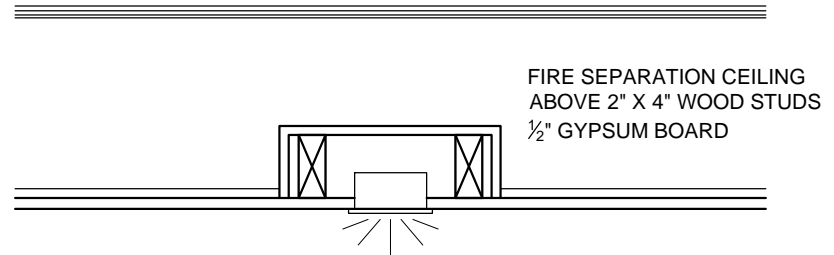
1
A-301 EGRESS WINDOW DETAIL
SCALE : $\frac{3}{8}$ " = 1'-0"



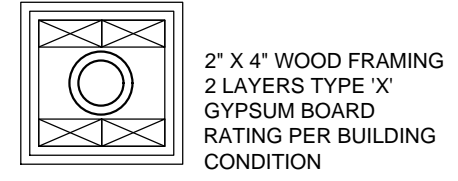
1 STEEL BEAM SEPERATION
A-302



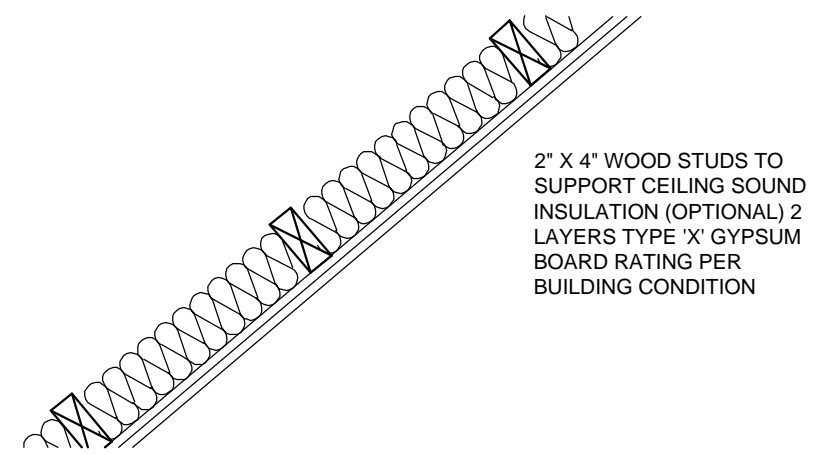
2 BULKHEAD BELOW FIRE SEPERATION
A-302



3 POT LIGHT FIRE SEPERATION
A-302



4 STEEL COLUMN SEPERATION
A-302



5 UNDERSIDE OF STAIR FIRE SEPERATION
A-302

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00	2024.02.16	PERMIT APPLICATION

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SEAL

 ONTARIO ASSOCIATION
 OF
 ARCHITECTS
 M. ARSHAD SIDDIQUI
 LICENCE
 8950

ALTERATIONS
(SU)

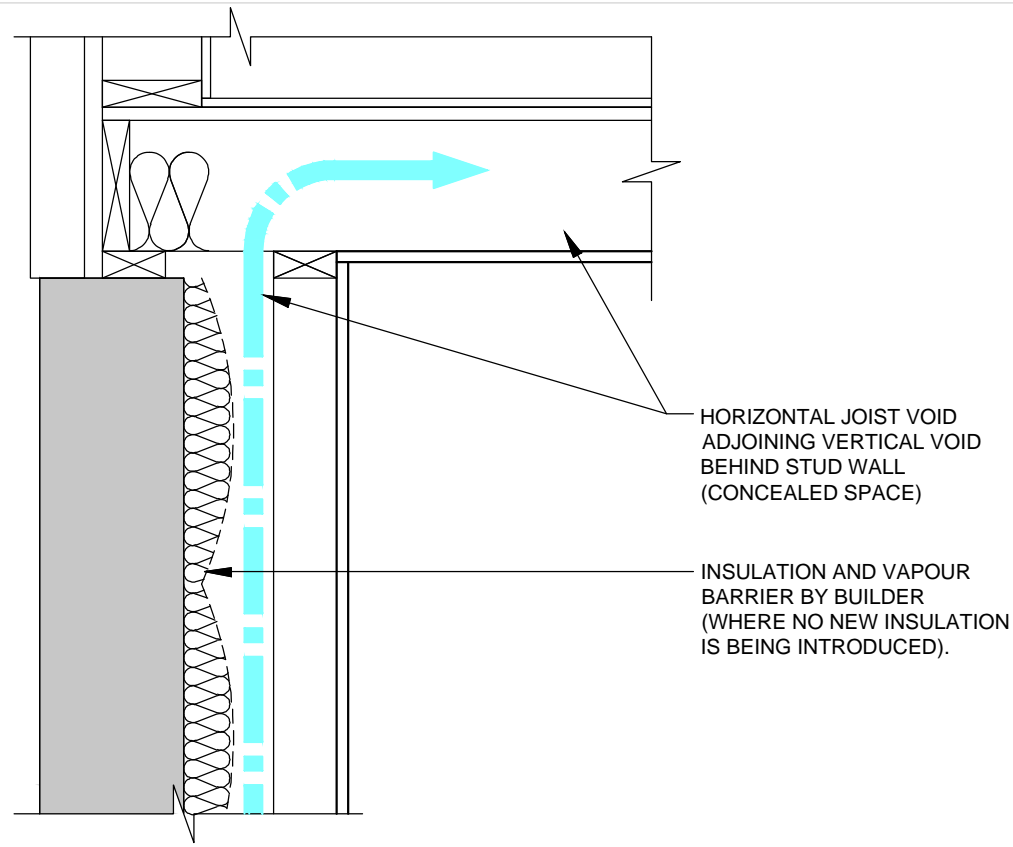
73 VIEW NORTH CRT,
WOODBRIDGE

TYPICAL DETAILS

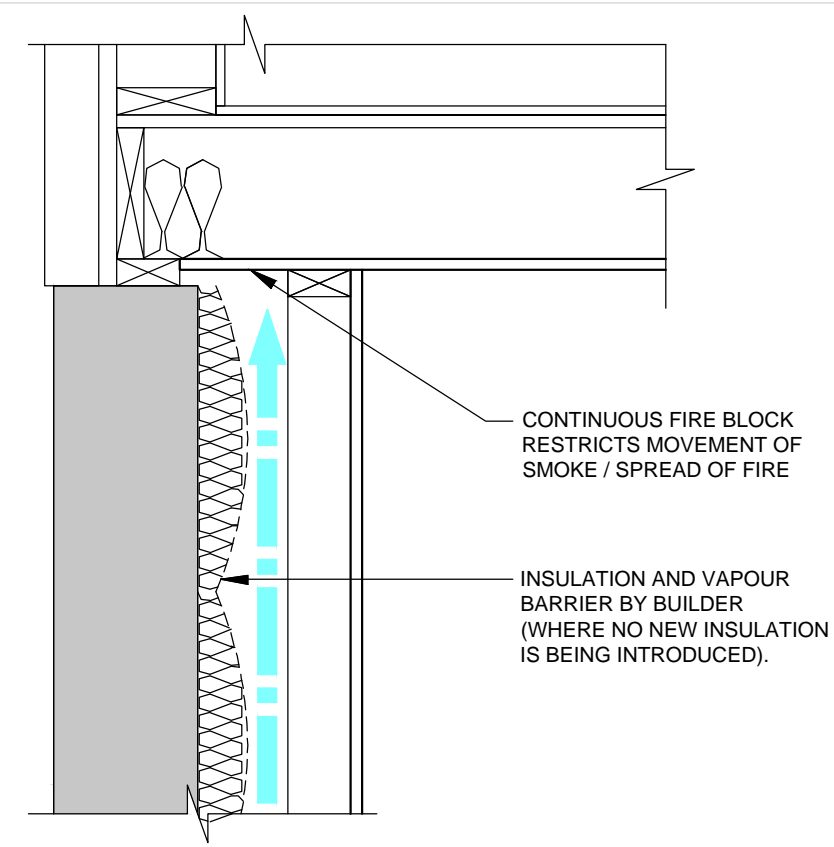
SCALE: 3/8" = 1'-0"
 DATE: 2024.02.16
 PROJECT: 23-660
 DRAWING NO:

A-302

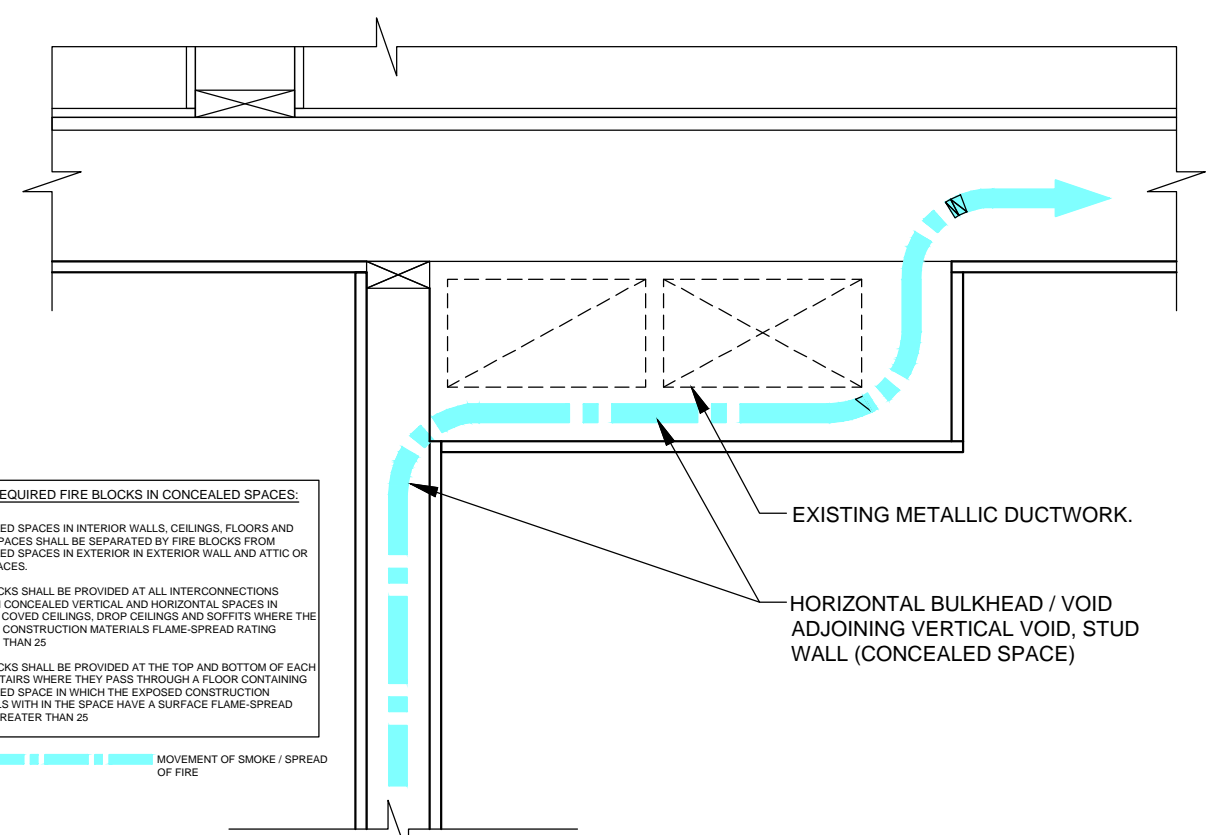
REVISION: 00



4 NON COMPLIANT FIRE BLOCKING DETAIL PERIMETER WALL CONDITION
A-303



2 COMPLIANT FIRE BLOCKING DETAIL PERIMETER WALL CONDITION
A-303

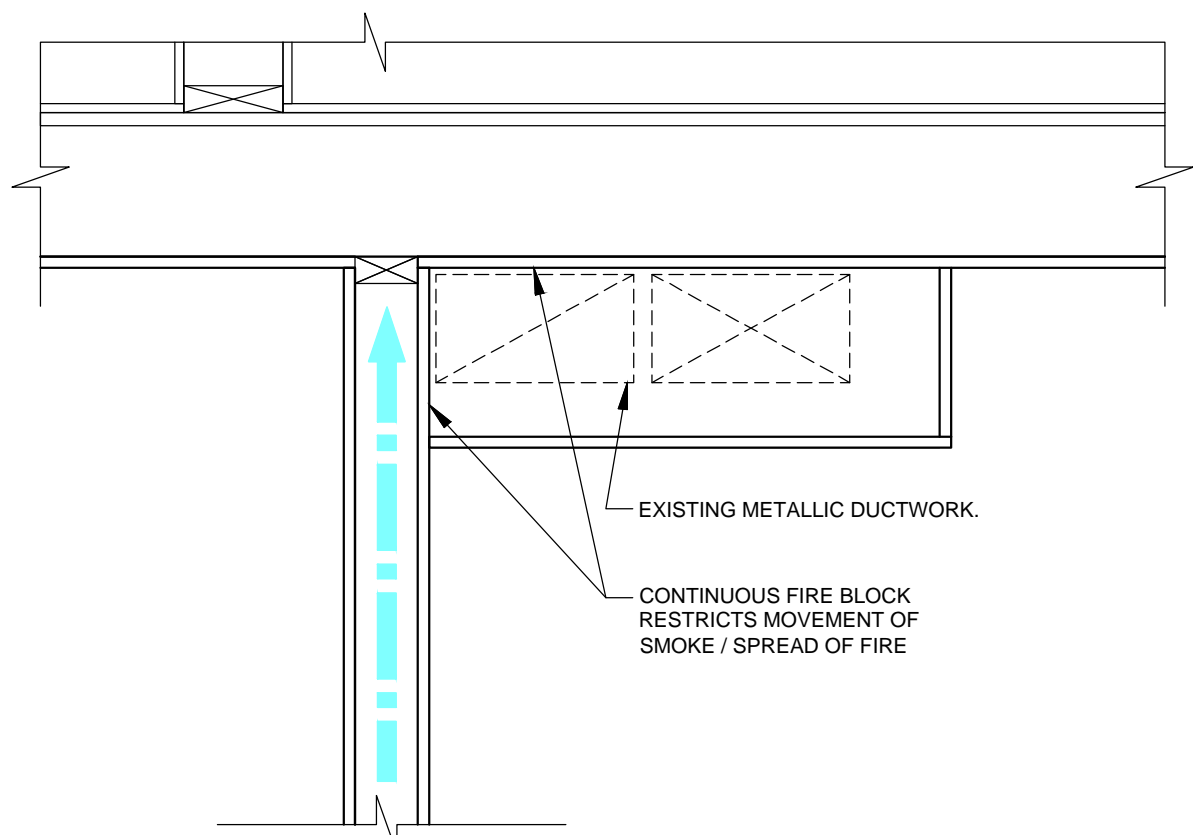


9.10.16.1. REQUIRED FIRE BLOCKS IN CONCEALED SPACES:

- 1) CONCEALED SPACES IN INTERIOR WALLS, CEILINGS, FLOORS AND CRAWL SPACES SHALL BE SEPARATED BY FIRE BLOCKS FROM CONCEALED SPACES IN EXTERIOR WALL AND ATTIC OR ROOF SPACES.
- 2) FIRE BLOCKS SHALL BE PROVIDED AT ALL INTERCONNECTIONS BETWEEN CONCEALED VERTICAL AND HORIZONTAL SPACES IN INTERIOR COVERED CEILINGS, DROP CEILINGS AND SOFFITS WHERE THE EXPOSED CONSTRUCTION MATERIALS FLAME-SPREAD RATING GREATER THAN 25
- 3) FIRE BLOCKS SHALL BE PROVIDED AT THE TOP AND BOTTOM OF EACH RUN OF STAIRS WHERE THEY PASS THROUGH A FLOOR CONTAINING CONCEALED SPACE IN WHICH THE EXPOSED CONSTRUCTION MATERIALS WITH IN THE SPACE HAVE A SURFACE FLAME-SPREAD RATING GREATER THAN 25

← MOVEMENT OF SMOKE / SPREAD OF FIRE

3 NON COMPLIANT FIRE BLOCKING DETAIL INTERIOR WALL / FIRE SEPARATION
A-303



1 COMPLIANT FIRE BLOCKING DETAIL INTERIOR WALL / FIRE SEPARATION
A-303

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SEAL



ALTERATIONS (SU)

73 VIEW NORTH CRT,
WOODBRIDGE

FIRE BLOCKING
DETAILS

SCALE: 3/8" = 1'-0"
DATE: 2024.02.16
PROJECT: 23-660
DRAWING NO:

A-303
REVISION: 00

**SCHEDULE B:
COMMENTS FROM AGENCIES, BUILDING STANDARDS &
DEVELOPMENT PLANNING**

Department / Agency <small>*Comments Received</small>	Conditions Required		Nature of Comments
Building Standards (Zoning) *See Schedule B	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>	General Comments
Development Planning	Yes <input type="checkbox"/>	No <input type="checkbox"/>	Application Under Review
Alectra	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>	General Comments
TRCA	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>	General Comments
Region of York	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>	General Comments

Date: July 25th 2024

Attention: Christine Vigneault

RE:

File No.: A101-24

Related Files:

Applicant Aem Designs

Location 73 View North Court



Discover the possibilities

COMMENTS:

- We have reviewed the proposed Variance Application and have no comments or objections to its approval.
- We have reviewed the proposed Variance Application and have no objections to its approval, subject to the following comments (attached below).
- We have reviewed the proposed Variance Application and have the following concerns (attached below).

Alectra Utilities (formerly PowerStream) has received and reviewed the proposed Variance Application. This review, however, does not imply any approval of the project or plan.

All proposed billboards, signs, and other structures associated with the project or plan must maintain minimum clearances to the existing overhead or underground electrical distribution system as specified by the applicable standards, codes and acts referenced.

In the event that construction commences, and the clearance between any component of the work/structure and the adjacent existing overhead and underground electrical distribution system violates the Occupational Health and Safety Act, the customer will be responsible for 100% of the costs associated with Alectra making the work area safe. All construction work will be required to stop until the safe limits of approach can be established.

In the event construction is completed, and the clearance between the constructed structure and the adjacent existing overhead and underground electrical distribution system violates the any of applicable standards, acts or codes referenced, the customer will be responsible for 100% of Alectra's cost for any relocation work.

References:

- Ontario Electrical Safety Code, latest edition (Clearance of Conductors from Buildings)
- Ontario Health and Safety Act, latest edition (Construction Protection)
- Ontario Building Code, latest edition (Clearance to Buildings)
- PowerStream (Construction Standard 03-1, 03-4), attached
- Canadian Standards Association, latest edition (Basic Clearances)

If more information is required, please contact either of the following:

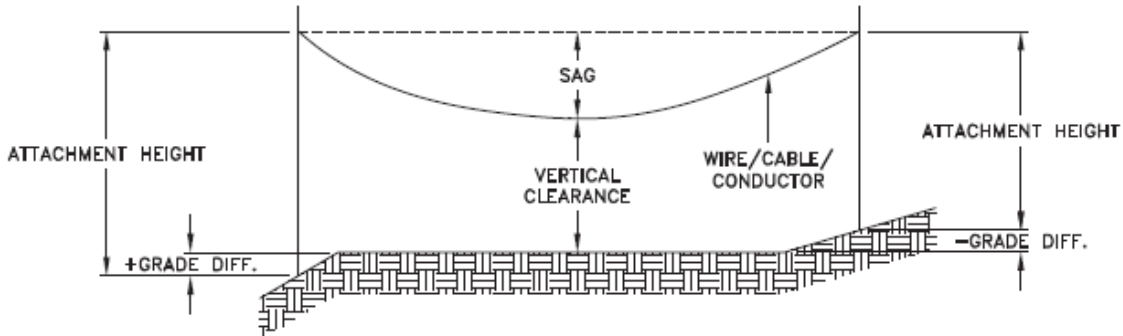
Mr. Stephen Cranley, C.E.T
Supervisor, Distribution Design, ICI & Layouts (North)
Phone: 1-877-963-6900 ext. 31297

E-mail: stephen.cranley@alectrautilities.com

Mitchell Penner
Supervisor, Distribution Design-Subdivisions
Phone: 416-302-6215

Email: Mitchell.Penner@alectrautilities.com

LOCATION OF WIRES, CABLES OR CONDUCTORS	SYSTEM VOLTAGE			
	SPAN GUYS AND COMMUNICATIONS WIRES	UP TO 600V AND NEUTRAL	4.16/2.4kV TO 27.6/16kV (SEE NOTE 1)	44kV
MINIMUM VERTICAL CLEARANCES (SEE NOTE 2)				
OVER OR ALONGSIDE ROADS, DRIVEWAYS OR LANDS ACCESSIBLE TO <u>VEHICLES</u>	442cm	442cm	480cm	520cm
OVER GROUND ACCESSIBLE TO <u>PEDESTRIANS AND BICYCLES ONLY</u>	250cm	310cm	340cm	370cm
ABOVE TOP OF RAIL AT <u>RAILWAY CROSSINGS</u>	730cm	730cm	760cm	810cm



MINIMUM ATTACHMENT HEIGHT = MAXIMUM SAG
 + MINIMUM VERTICAL CLEARANCE (FROM ABOVE TABLE)
 ± GRADE DIFFERENCE
 + 0.3m (VEHICLE OR RAILWAY LOCATION)
 + SNOW DEPTH (PEDESTRIAN LOCATION, SEE NOTE 3)

NOTES:

1. THE MULTIGROUNDED SYSTEM NEUTRAL HAS THE SAME CLEARANCE AS THE 600V SYSTEM.
2. THE VERTICAL CLEARANCES IN THE ABOVE TABLE ARE UNDER MAXIMUM SAG CONDITIONS.
3. REFER TO CSA STANDARD C22.3 No.1, ANNEX D FOR LOCAL SNOW DEPTH VALUES.
4. ALL CLEARANCES ARE IN ACCORDANCE TO CSA STANDARD C22.3.

CONVERSION TABLE

METRIC	IMPERIAL (APPROX)
810cm	27'-0"
760cm	25'-4"
730cm	24'-4"
520cm	17'-4"
480cm	16'-0"
442cm	15'-5"
370cm	12'-4"
340cm	11'-4"
310cm	10'-4"
250cm	8'-4"

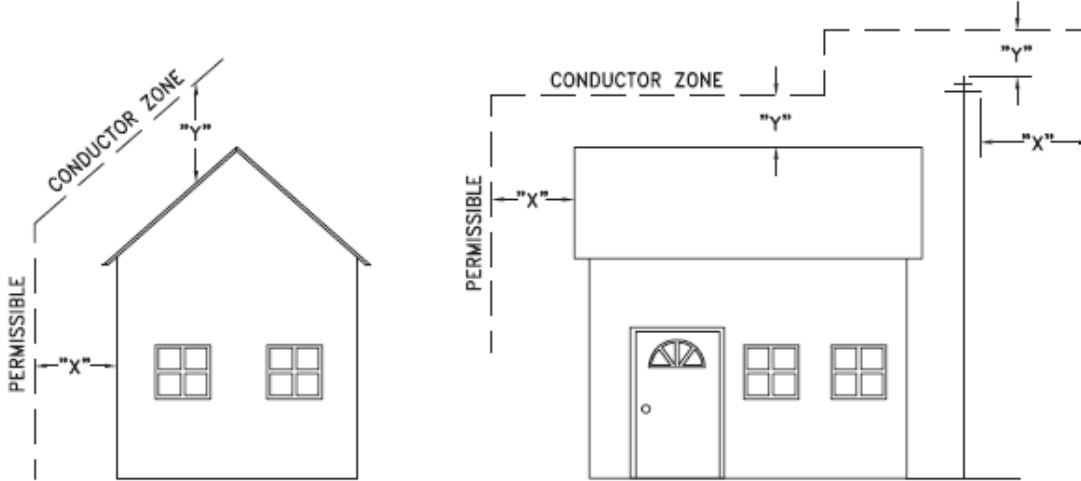
REFERENCES

SAGS AND TENSIONS | SECTION 02

MINIMUM VERTICAL CLEARANCES OF WIRES, CABLES AND CONDUCTORS ABOVE GROUND OR RAILS

ORIGINAL ISSUE DATE: 2010-DEC-24 REVISION NO: R1 REVISION DATE: 2012-JAN-09

Certificate of Approval	
This construction Standard meets the safety requirements of Section 4 of Regulation 22/04	
Joe Crozier, P.Eng.	2012-JAN-09
Name	Date
P.Eng. Approval By:	Joe Crozier



VOLTAGE	MINIMUM HORIZONTAL CLEARANCE UNDER MAXIMUM SWING CONDITIONS DIMENSION "X" (SEE NOTES 1, 3 & 4)	MINIMUM VERTICAL CLEARANCE UNDER MAXIMUM DESIGN SAG CONDITIONS DIMENSION "Y" (SEE NOTES 1, 2, 4 & 5)
0-600V AND NEUTRAL	100cm	250cm
4.16/2.4 TO 44kV	300cm	480cm

NOTES

1. UNDER NO CIRCUMSTANCES SHALL A CONDUCTOR BE PERMITTED TO PENETRATE THE ENVELOPE SHOWN BY THE DOTTED LINE.
2. THE VERTICAL CLEARANCES ARE UNDER CONDITIONS OF MAXIMUM DESIGN SAG.
3. THE HORIZONTAL CLEARANCES ARE UNDER CONDITIONS OF MAXIMUM SWING. WHERE THE CONDUCTOR SWING IS NOT KNOWN A HORIZONTAL CLEARANCE OF 480CM SHALL BE USED.
4. BUILDINGS THAT EXCEED 3 STOREYS OR 15M IN HEIGHT, THE MINIMUM HORIZONTAL CLEARANCE OF THE SECONDARY CONDUCTORS SHOULD BE INCREASED TO 300cm WHERE IT IS NECESSARY TO ALLOW FOR THE RAISING OF LADDERS BY LOCAL FIRE DEPARTMENTS.
5. IN SITUATIONS SUCH AS MULTI-LEVEL GARAGES, WHERE ROOFS ARE NORMALLY USED BY PERSONS AND VEHICLES, THE VERTICAL CLEARANCES OF POWERSTREAM STANDARD 03-1 SHALL APPLY.
6. DISTRIBUTION LINES CONSTRUCTED NEAR BUILDINGS SHALL BE BUILT TO AVOID OVERHANG WHEREVER POSSIBLE. WHERE LINES MUST BE CONSTRUCTED OVER OR ADJACENT TO BUILDINGS THE APPLICABLE HORIZONTAL AND VERTICAL CLEARANCES SHALL BE AT CONDITIONS OF MAXIMUM CONDUCTOR SWING AND MAXIMUM SAG. THE ABOVE CLEARANCES ARE DESIGNED TO PREVENT PERSONS ON OR IN BUILDINGS AS WELL AS EXTERNAL MACHINERY USED IN CONJUNCTION WITH A BUILDING TO COME IN CONTACT WITH CONDUCTORS. EFFORTS SHOULD BE MADE TO INCREASE THESE CLEARANCES WHERE POSSIBLE.
7. ALL CLEARANCES ARE IN ACCORDANCE TO CSA C22.3 NO.1-06 (TABLE-9).

METRIC	IMPERIAL (APPROX)
480cm	16'-0"
300cm	10'-0"
250cm	8'-4"
100cm	3'-4"

MINIMUM VERTICAL & HORIZONTAL CLEARANCES OF CONDUCTORS FROM BUILDINGS OR OTHER PERMANENT STRUCTURES (CONDUCTORS NOT ATTACHED TO BUILDINGS)

Certificate of Approval
This construction Standard meets the safety requirements of Section 4 of Regulation 22/04
Debbie Dadwani, P.Eng. 2010-MAY-05
Name Date
P. Eng. Approval By: *D. Dadwani*

ORIGINAL ISSUE DATE: 2010-MAY-05 REVISION NO: REVISION DATE:
PS:\System Planning and Standards\Standard Design\PowerStream Standards\PowerStream Standards working files\Section 3-1-02\WG 03-4 R0 May 5, 2010.dwg, 5/5/2010 10:22:02 AM, Adobe PDF

To: Committee of Adjustment
From: Niloufar Youssefi, Building Standards Department
Date: September 03, 2024
Applicant: Aem Designs
Location: 73 View North Court
 PLAN 65M2845 Part of Lot 95
 PLAN 65M2845 Part of Lot 94
File No.(s): A101/24

Zoning Classification:

The subject lands are zoned R4 (EN) - Fourth Density Residential Zone (Established Neighbourhood) and subject to the provisions of Exception 14.424 under Zoning By-law 001-2021, as amended.

#	Zoning By-law 001-2021	Variance requested
1	The entrance to the secondary suite be accessible from the street by an unobstructed hard landscaped surface walkway measuring a minimum of 1.2m in width, or from a driveway [Section 5.21.10.b.].	To permit the secondary suite to be accessible from an unobstructed hard landscape surface walkway measuring a minimum of 0.93m in width along the window wells.
2	Access stairs are permitted to encroach a maximum of 0.3m into the minimum required interior side yard [Section 4.13, Table 4-1].	To permit the access stair to encroach a maximum of 0.705m into the required interior side yard.
3	The maximum gross floor area of a secondary suite shall not exceed 45% of the total gross floor area of the principal dwelling [Section 5.21.7.].	To permit the gross floor area of the proposed secondary suite to be 50.6% of the total gross floor area of the principal dwelling.
4	A residential accessory structure with a height greater than 2.8 m shall not be located closer than 2.4 m to any lot line [Section 4.1.2.b.].	To permit the accessory structure (Shed) with a height greater than 2.8 m to be located minimum 0.6m from the interior side lot line.
5	A residential accessory structure with a height greater than 2.8 m shall not be located closer than 2.4 m to any lot line [Section 4.1.2.b.].	To permit the accessory structure (Shed) with a height greater than 2.8 m to be located minimum 1.93m from the rear lot line.

Staff Comments:

Stop Work Order(s) and Order(s) to Comply:

There are no outstanding Orders on file.

Building Permit(s) Issued:

A Building Permit has not been issued. The Ontario Building Code requires a building permit for structures that exceed 10m².

Other Comments:

General Comments	
1	The applicant shall be advised that additional variances may be required upon review of detailed drawing for building permit/site plan approval.

Conditions of Approval:

If the committee finds merit in the application, the following conditions of approval are recommended.

* Comments are based on the review of documentation supplied with this application.

From: [Cameron McDonald](#)
To: [Committee of Adjustment](#)
Subject: [External] RE: A101/24 (73 View North Court) - REQUEST FOR COMMENTS, CITY OF VAUGHAN
Date: Friday, July 26, 2024 1:40:15 PM
Attachments: [image002.png](#)

CAUTION! This is an external email. Verify the sender's email address and carefully examine any links or attachments before clicking. If you believe this may be a phishing email, please use the Phish Alert Button.

Good afternoon,

Based on a review of our screening mapping, I can confirm that the subject property is not located within TRCA's Regulated Area. As such, any site alteration or development on the property would not require a permit from TRCA.

Based on the above, we have no comments/requirements.

Regards,

Cameron McDonald

Planner I

Development Planning and Permits | Development and Engineering Services

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From: [Nguyen, Analisa](#)
To: [Christine Vigneault](#)
Cc: [Committee of Adjustment](#)
Subject: [External] RE: A101/24 (73 View North Court) - REQUEST FOR COMMENTS, CITY OF VAUGHAN
Date: Friday, July 26, 2024 11:22:44 AM

CAUTION! This is an external email. Verify the sender's email address and carefully examine any links or attachments before clicking. If you believe this may be a phishing email, please use the Phish Alert Button.

Hi Christine,

The Region has reviewed minor variance application A101/24 and has no comment. Please provide a copy of the notice of decision for our records.

Thanks,

Our working hours may be different. Please do not feel obligated to reply outside of your scheduled working hours. Let's work together to help foster healthy work-life boundaries.

Analisa Nguyen (she/her) | Planning Assistant, Economic and Development Services, Corporate Services

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SCHEDULE C: PUBLIC & APPLICANT CORRESPONDENCE

Correspondence Type	Name	Address	Date Received (mm/dd/yyyy)	Summary
None				

SCHEDULE D: BACKGROUND

Hearing Date	Reason for Adjournment (to be obtained from NOD_ADJ)
None	N/A