

ITEM: 6.2	REPORT SUMMARY MINOR VARIANCE APPLICATION FILE NUMBER A038/24
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Report Date: September 6, 2024

**THIS REPORT CONTAINS COMMENTS FROM THE FOLLOWING
DEPARTMENTS & AGENCIES (SEE SCHEDULE B):**

Additional comments from departments and agencies received after the publication of the report will be made available on the City's [website](#).

Internal Departments <small>*Comments Received</small>	Conditions Required		Nature of Comments
Building Standards (Zoning) *See Schedule B	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>	General Comments
Committee of Adjustment	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>	General Comments
Development Planning	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>	Recommend Approval/No Conditions
Development Engineering	Yes <input checked="" type="checkbox"/>	No <input type="checkbox"/>	Recommend Approval w/Conditions
Development Finance	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>	General Comments
Forestry	Yes <input checked="" type="checkbox"/>	No <input type="checkbox"/>	General Comments w/Conditions

External Agencies <small>*Comments Received</small>	Conditions Required		Nature of Comments <small>*See Schedule B for full comments</small>
Alectra	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>	General Comments
TRCA	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>	General Comments
Region of York	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>	General Comments

PUBLIC & APPLICANT CORRESPONDENCE (SEE SCHEDULE C)

All personal information collected because of this public meeting (including both written and oral submissions) is collected under the authority of the Municipal Act, the Municipal Freedom of Information and Protection of Privacy Act (MFIPPA), the Planning Act and all other relevant legislation, and will be used to assist in deciding on this matter. All personal information (as defined by MFIPPA), including (but not limited to) names, addresses, opinions and comments collected will become property of the City of Vaughan, will be made available for public disclosure (including being posted on the internet) and will be used to assist the Committee of Adjustment and staff to process this application.

Correspondence Type	Name	Address	Date Received <small>(mm/dd/yyyy)</small>	Summary
Applicant			07/29/2024	Application Cover Letter
Applicant			05/31/2024	Planning Justification Report

BACKGROUND (SCHEDULE D, IF REQUIRED)	
<small>* Background Information contains historical development approvals considered to be related to this file. This information should not be considered comprehensive.</small>	
Application No. (City File)	Application Description <small>(i.e. Minor Variance Application; Approved by COA / OLT)</small>
None	N/A

ADJOURNMENT HISTORY	
<small>* Previous hearing dates where this application was adjourned by the Committee and public notice issued.</small>	
Hearing Date	Reason for Adjournment <small>(to be obtained from NOD_ADJ)</small>
None	N/A

SCHEDULES	
Schedule A	Drawings & Plans Submitted with the Application
Schedule B	Comments from Agencies, Building Standards & Development Planning
Schedule C (if required)	Public & Applicant Correspondence
Schedule D (if required)	Background



MINOR VARIANCE APPLICATION FILE NUMBER A038/24

CITY WARD #:	2
APPLICANT:	2835085 Ontario Ltd.
AGENT:	Nimrit Chahal & Raj Dass
PROPERTY:	372 New Enterprise Way, Woodbridge
ZONING DESIGNATION:	See Below
VAUGHAN OFFICIAL PLAN (2010) DESIGNATION:	Vaughan Official Plan 2010 ('VOP 2010'): "General Employment" by Volume 2, Section 12.12 Huntington Business Park.
RELATED DEVELOPMENT APPLICATIONS:	None
PURPOSE OF APPLICATION:	Relief from the Zoning By-law is being requested to permit a proposed addition to the existing industrial building to be used for warehouse and office purposes. To facilitate the development, relief is required to vary parking, lot coverage, driveway and aisle width and landscaping provisions under the By-law.

The following variances have been requested from the City's Zoning By-law:

The subject lands are zoned EM1, PRESTIGE EMPLOYMENT ZONE and subject to the provisions of Exception 14.897 under Zoning By-law 001-2021.

#	Zoning By-law 001-2021	Variance requested
1	A minimum of 114 parking spaces are required. [Table 6-2]	To permit a minimum of 58 parking spaces.
2	A minimum landscape strip of 3 m is required abutting a street line. [Table 11-3]	To permit a minimum landscape strip of 2 m abutting a street line (New Enterprise Way).
3	A maximum lot coverage of 60% is permitted. [Table 11-3]	To permit a maximum lot coverage of 61.2%.
4	In all zones other than a Residential Zone, the minimum driveway width of a driveway access to a parking area and permitting two directions of traffic shall be 6 m. [6.6.3.2]	To permit a minimum driveway width of a driveway access to a parking area and permitting two directions of traffic to be 2.75 m.
5	The minimum width of an aisle providing access to a loading space within a building and having two directions of traffic shall be 6 m. [6.11.3.1a]	To permit a minimum width of an aisle providing access to a loading space within a building and having two directions of traffic to be 2.75 m.

HEARING INFORMATION

DATE OF MEETING: Thursday, September 12, 2024

TIME: 6:00 p.m.

MEETING LOCATION: Vaughan City Hall, Woodbridge Room (2nd Floor), 2141 Major Mackenzie Drive

LIVE STREAM LINK: [Vaughan.ca/LiveCouncil](https://vaughan.ca/LiveCouncil)

PUBLIC PARTICIPATION

If you would like to speak to the Committee of Adjustment at the meeting, either remotely or in person, please complete the [Request to Speak Form](#) and submit to cofa@vaughan.ca

If you would like to submit written comments, please quote file number above and submit by mail or email to:

Email: cofa@vaughan.ca

Mail: City of Vaughan, Office of the City Clerk, Committee of Adjustment, 2141 Major Mackenzie Drive, Vaughan, ON, L6A 1T1

HEARING INFORMATION

To speak electronically, pre-registration is required by completing the [Request to Speak Form](#) on-line and submitting it to cofa@vaughan.ca no later than NOON on the last business day before the meeting.

THE DEADLINE TO REGISTER TO SPEAK ELECTRONICALLY OR SUBMIT WRITTEN COMMENTS ON THE ABOVE NOTED FILE(S) IS NOON ON THE LAST BUSINESS DAY BEFORE THE MEETING.

INTRODUCTION

Staff and Agencies act as advisory bodies to the Committee of Adjustment. The comments contained in this report are presented as recommendations to the Committee.

Section 45(1) of the Planning Act sets the criteria for authorizing minor variances to the City of Vaughan's Zoning By-law. Accordingly, review of the application may consider the following:

- That the general intent and purpose of the by-law will be maintained.
- That the general intent and purpose of the official plan will be maintained.
- That the requested variance(s) is/are acceptable for the appropriate development of the subject lands.
- That the requested variance(s) is/are minor in nature.

Public written and oral submissions relating to this application are taken into consideration by the Committee of Adjustment as part of its deliberations and final decision on this matter.

COMMITTEE OF ADJUSTMENT

Date Public Notice Mailed:	August 29, 2024
Date Applicant Confirmed Posting of Sign:	August 26, 2024
Applicant Justification for Variances: <small>*As provided in Application Form</small>	Variances are needed for maximum lot coverage, minimum width of a landscape strip, and minimum parking space requirements
Was a Zoning Review Waiver (ZRW) Form submitted by Applicant: <small>*ZRW Form may be used by applicant in instances where a revised submission is made, and zoning staff do not have an opportunity to review and confirm variances prior to the issuance of public notice.</small>	Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>
COMMENTS:	
None	
Committee of Adjustment Recommended Conditions of Approval:	None

BUILDING STANDARDS (ZONING)

**See Schedule B for Building Standards (Zoning) Comments	
Building Standards Recommended Conditions of Approval:	None

DEVELOPMENT PLANNING

**See Schedule B for Development Planning Comments.	
Development Planning Recommended Conditions of Approval:	None

DEVELOPMENT ENGINEERING

[Link to Grading Permit](#) [Link to Pool Permit](#) [Link to Curb Curt Permit](#) [Link Culvert Installation](#)

The proposed parking supply is found adequate based on the supporting analysis provided in the consultant's report. Development Engineering does not object to the Minor Variance application A038/24, subject to the following condition(s).

Development Engineering Recommended Conditions of Approval:	The Owner/Applicant shall submit an application and obtain an approved Grading Permit before initiating any work on the property. The Final Lot Grading and/or Servicing Plan will be required for the Grading Permit Application. Please visit the Permits page of the City of Vaughan's website: Permits City of Vaughan to apply for a Grading Permit. For any inquiries regarding the Grading Permit, please email DEPermits@vaughan.ca
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PARKS, FORESTRY & HORTICULTURE (PFH)

Recommended condition of approval:

PFH Recommended Conditions of Approval:	Please obtain a private tree removal permit.
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DEVELOPMENT FINANCE

No comment no concerns.

Development Finance Recommended Conditions of Approval:	None
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BY-LAW AND COMPLIANCE, LICENSING AND PERMIT SERVICES

No comments received to date.

BCLPS Recommended Conditions of Approval:	None
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BUILDING INSPECTION (SEPTIC)

No comments received to date.

Building Inspection Recommended Conditions of Approval:	None
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FIRE DEPARTMENT

No comments received to date.

Fire Department Recommended Conditions of Approval:	None
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RECOMMENDED CONDITIONS OF APPROVAL SUMMARY

Should the Committee find it appropriate to approve this application in accordance with request and the sketch submitted with the application, as required by Ontario Regulation 200/96, the following conditions have been recommended:

#	DEPARTMENT / AGENCY	CONDITION
1	Development Engineering Rex.bondad@vaughan.ca	The Owner/Applicant shall submit an application and obtain an approved Grading Permit before initiating any work on the property. The Final Lot Grading and/or Servicing Plan will be required for the Grading Permit Application. Please visit the Permits page of the City of Vaughan's website: Permits City of Vaughan to apply for a Grading Permit. For any inquiries regarding the Grading Permit, please email DEPermits@vaughan.ca
2	Parks, Forestry and Horticulture Operations zachary.quizzetti@vaughan.ca	Please obtain a private tree removal permit.

All conditions of approval, unless otherwise stated, are considered to be incorporated into the approval "if required". If a condition is no longer required after an approval is final and binding, the condition may be waived by the respective department or agency requesting conditional approval. A condition cannot be waived without written consent from the respective department or agency.

IMPORTANT INFORMATION

CONDITIONS: It is the responsibility of the owner/applicant and/or authorized agent to obtain and provide a clearance letter from respective department and/or agency (**see condition chart above for contact**). This letter must be provided to the Secretary-Treasurer to be finalized. All conditions must be cleared prior to the issuance of a Building Permit.

IMPORTANT INFORMATION

APPROVALS: Making any changes to your proposal after a decision has been made may impact the validity of the Committee's decision.

An approval obtained from the Committee of Adjustment, where applicable, is tied to the building envelope shown on the plans and drawings submitted with the application and subject to the variance approval.

A building envelope is defined by the setbacks of the buildings and/or structures shown on the plans and drawings submitted with the application, as required by Ontario Regulation 200/96. Future development outside of an approved building envelope, where a minor variance was obtained, must comply with the provisions of the City's Zoning By-law.

Elevation drawings are provided to reflect the style of roof (i.e. flat, mansard, gable etc.) to which a building height variance has been applied. Where a height variance is approved, building height is applied to the style of roof (as defined in the City's Zoning By-law) shown on the elevation plans submitted with the application.

Architectural design features that are not regulated by the City's Zoning By-law are not to be considered part of an approval unless specified in the Committee's decision.

DEVELOPMENT CHARGES: That the payment of the Regional Development Charge, if required, is payable to the City of Vaughan before issuance of a building permit in accordance with the Development Charges Act and the Regional Development Charges By-law in effect at the time of payment.

That the payment of the City Development Charge, if required, is payable to the City of Vaughan before issuance of a building permit in accordance with the Development Charges Act and the City's Development Charges By-law in effect at the time of payment.

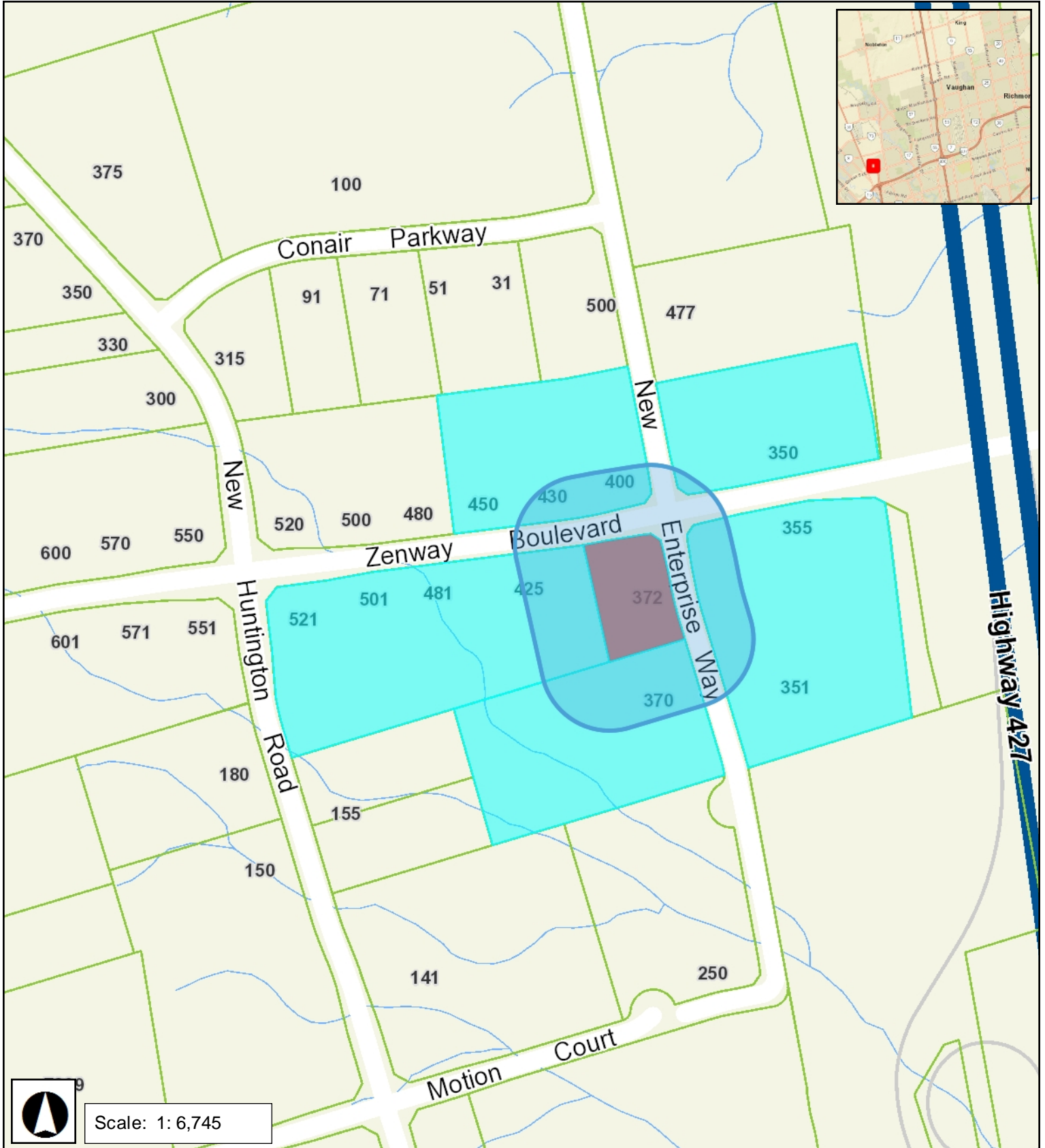
That the payment of the Education Development Charge if required, is payable to the City of Vaughan before issuance of a building permit in accordance with the Development Charges Act and the Boards of Education By-laws in effect at the time of payment

That the payment of Special Area Development charge, if required, is payable to the City of Vaughan before issuance of a building permit in accordance with the Development Charges Act and The City's Development Charge By-law in effect at the time of Building permit issuance to the satisfaction of the Reserves/Capital Department.

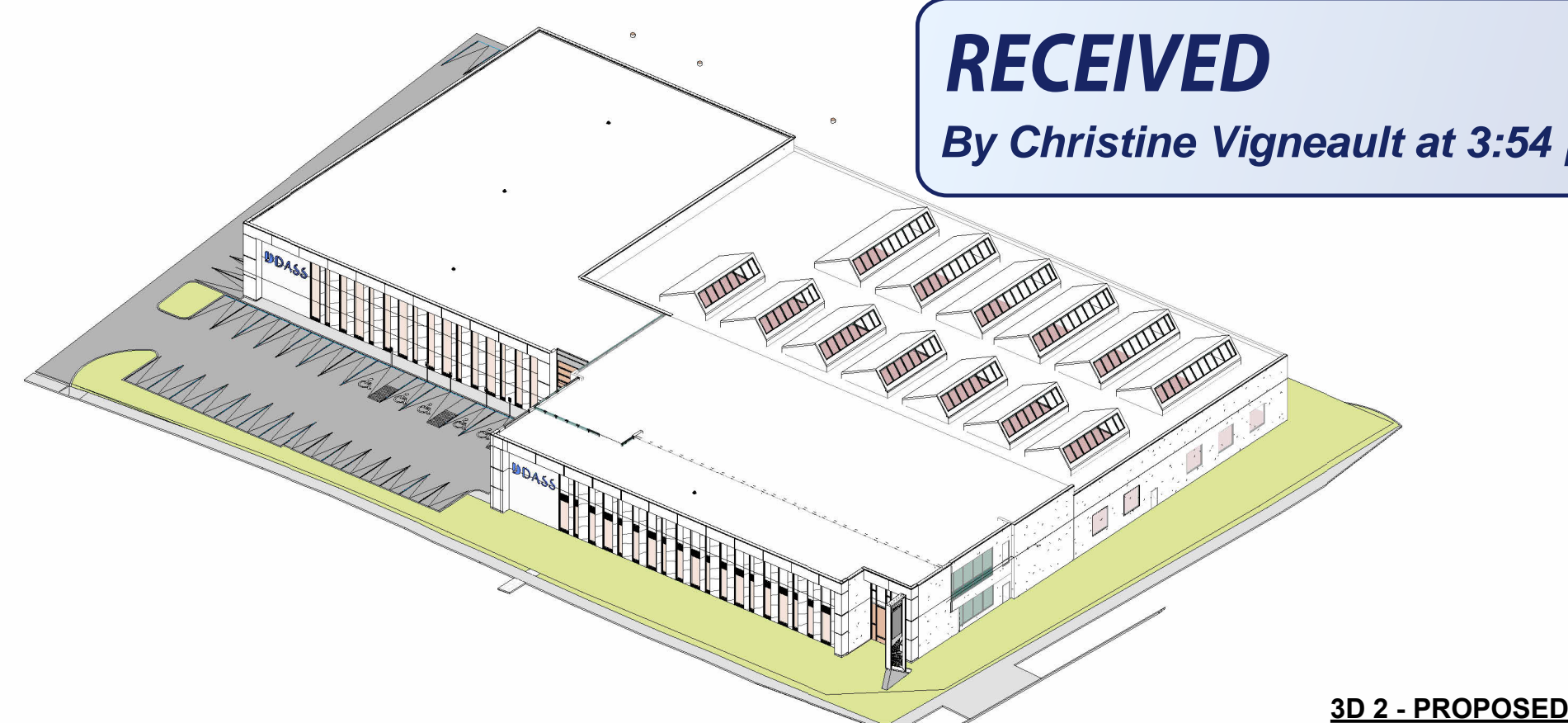
NOTICE OF DECISION: If you wish to be notified of the decision in respect to this application or a related Ontario Land Tribunal (OLT) hearing you must complete a Request for Decision form and submit to the Secretary Treasurer (ask staff for details). In the absence of a written request to be notified of the Committee's decision you will **not** receive notice.

SCHEDULE A: DRAWINGS & PLANS

372 New Enterprise Way, Woodbridge



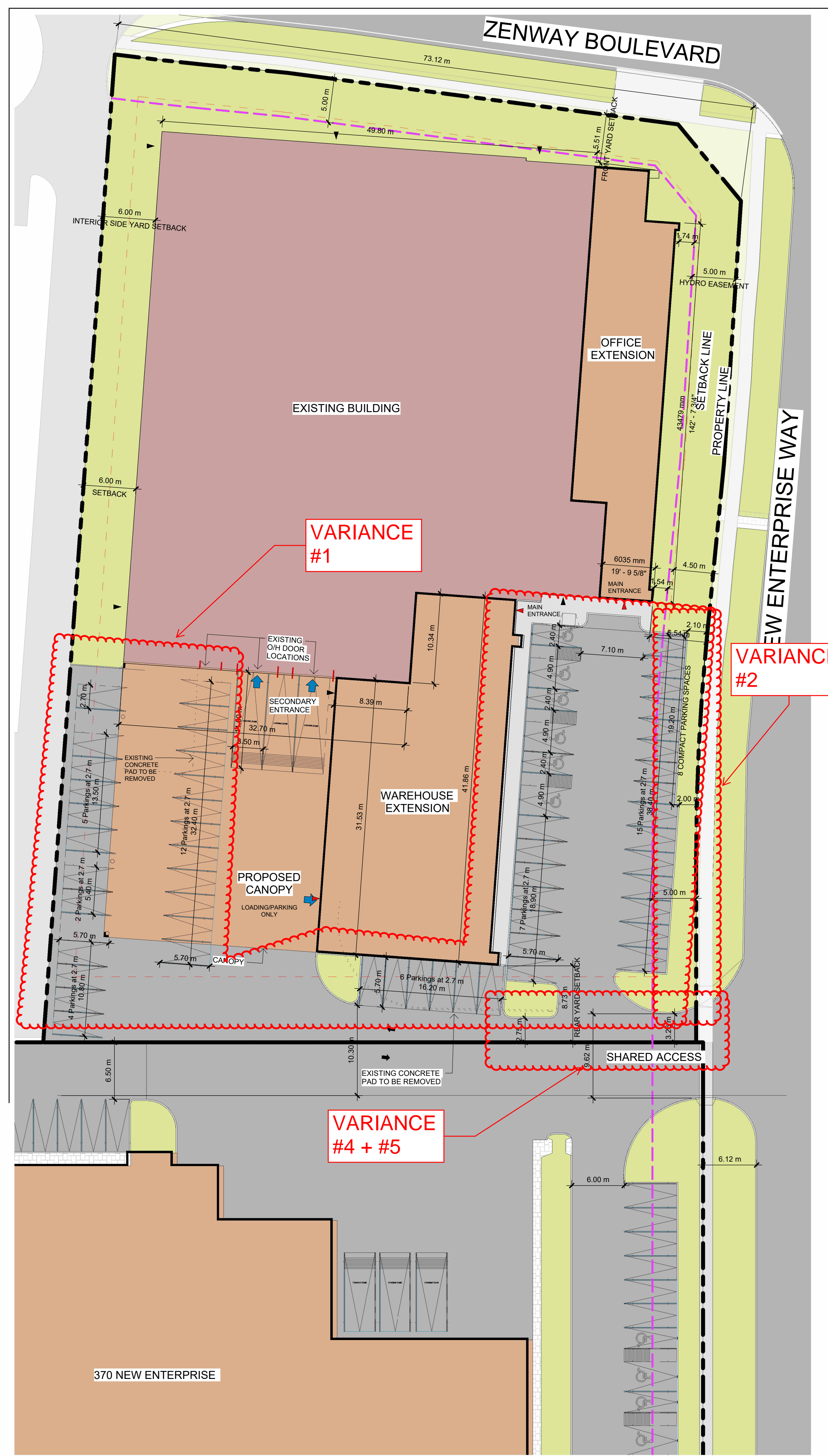
RECEIVED
By Christine Vigneault at 3:54 pm, Jul 29, 2024



3D 2 - PROPOSED



3D - PROPOSED

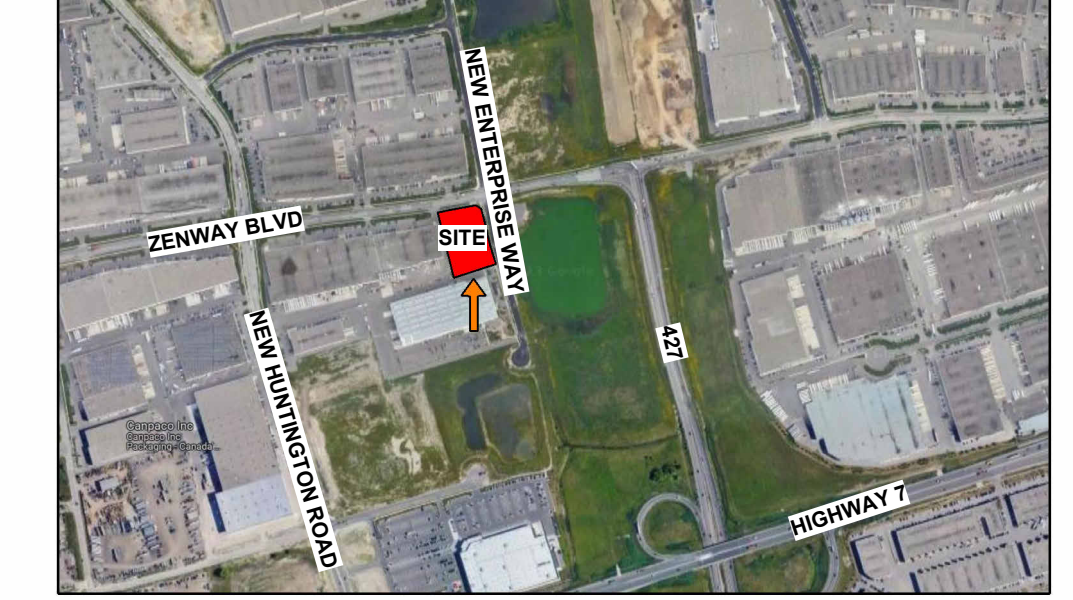


VARIANCE #1

VARIANCE #2

VARIANCE #4 + #5

KEY PLAN



GENERAL PROVISIONS
Zone Em1
City of Vaughan Zoning By-law No. 001-2021

ZONING DATA	REQUIRED	PROVIDED
LOT FRONTAGE	30m	73m
LOT AREA	1800m ²	784m ²
FRONT YARD	4.5m	5.51m
REAR YARD	7.5m	8.73m
EXTERIOR SIDE YARD EAST	4.5m	5.79m
SIDE YARD WEST	3.0m	3.00m
MAXIMUM LOT COVERAGE	60%	61.2%
LANDSCAPE BUFFER (FRONT)	3m	3.00m
MAXIMUM BUILDING HEIGHT	15m	8.6m

PARKING REQUIREMENT	PROPOSED - OFFICE
EXISTING OFFICE 3.5 PER 100 sq.m. = 18.59x3 = 65 SPACES	3 PER 100 sq.m. Proposed Office: 7.86x3=23.58 (24)
EXISTING WAREHOUSE 1 PER 100 sq.m. = 4 SPACES 2078x0.1=20.78 (21)	ADDITION - WAREHOUSE 0.5 PER 100 sq.m. = 4 SPACES Proposed Warehouse: 7.36x0.5=3.68(4)
BARRIER FREE PARKING 19' - 9 5/8" = 4 SPACES 2 TYPE A + 2 TYPE B	BARRIER FREE PARKING 0.04 * 86 = 3.44 (4) SPACES 1 TYPE A + 1 TYPE B

TOTAL REQUIRED PARKING
= 66+21+24+4+95
= 114

LOADING SPACE REQUIREMENT	LOADING SPACE REQUIREMENT
2 TYPE B	1 TYPE B

PARKING PROVIDED

Type	DESCRIPTION	COUNT
90° - 5.7m x 2.7m	5.7m X 2.7m	44
90° - ACC - 5.7m x 2.4-type B	6m X 3.9m	3
90° - ACC - 5.7m x 3.4m type A	6m X 3.9m	3
90° Compact - 4.8m x 2.4m	4.8m X 2.4m	8
		58

LOADING SCHEDULE

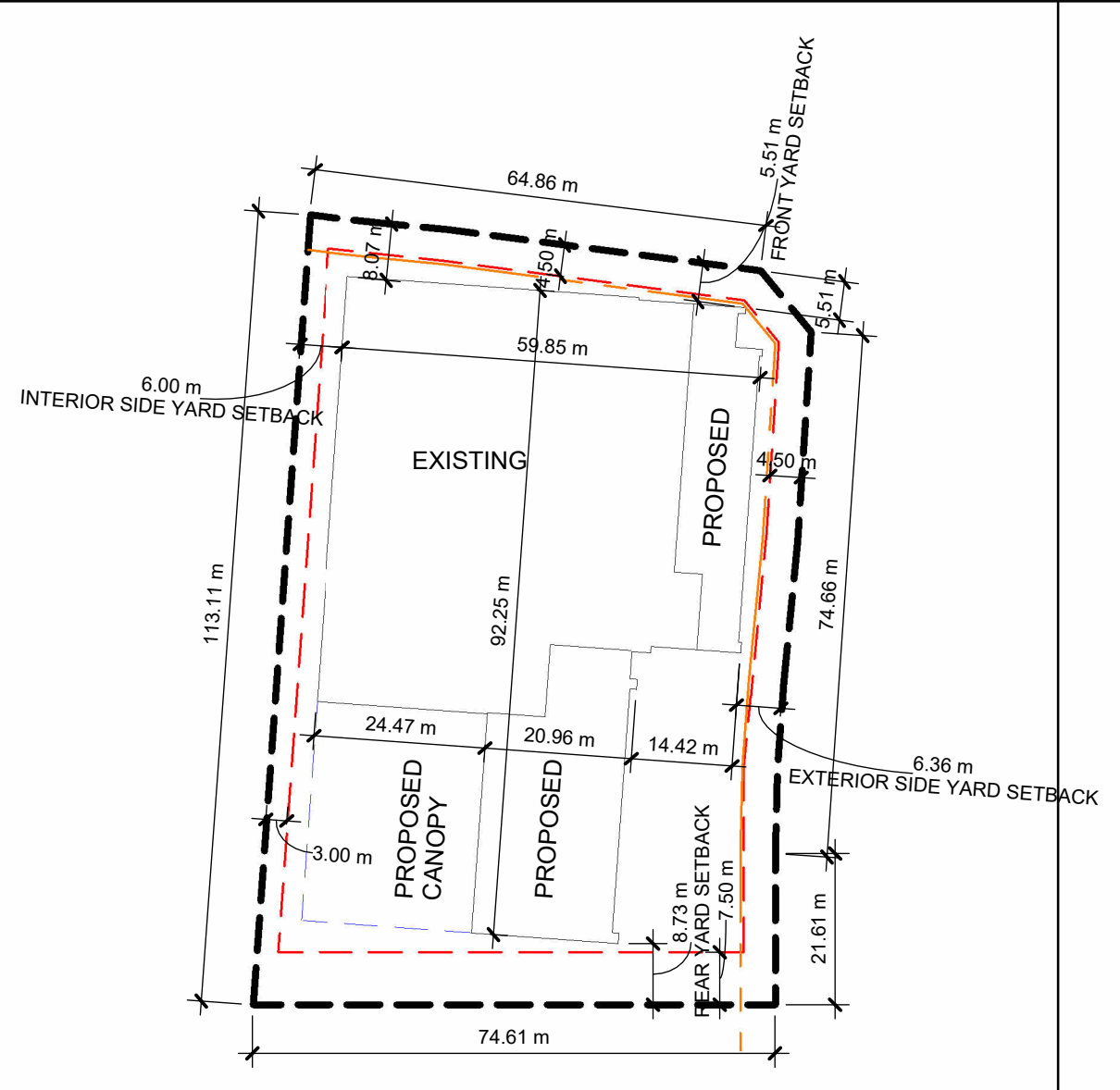
Type	DESCRIPTION	COUNT
LOADING - 11m x 3.5m	21m X 3m	3
		3

SITE STATISTICS

DESCRIPTION	AREA (SM)	AREA (SF)	PERCENTAGE
BUILDING FOOTPRINT			
ADDITION	1163.25 m ²	12521 ft ²	14.8%
CANOPY	766.89 m ²	8255 ft ²	9.7%
EXISTING	2885.29 m ²	31057 ft ²	36.6%
	4815.43 m ²	51833 ft ²	61.1%
HARD LANDSCAPE			
ASPHALT	1538.01 m ²	16555 ft ²	19.5%
CURB	24.03 m ²	259 ft ²	0.3%
SIDEWALK	110.12 m ²	1185 ft ²	1.4%
	1672.16 m ²	17999 ft ²	21.2%
SOFT LANDSCAPE			
LANDSCAPE	1397.76 m ²	15045 ft ²	17.7%
	1397.76 m ²	15045 ft ²	17.7%
Grand total	7885.35 m ²	84877 ft ²	100.0%

SITE PLAN LEGEND

- CONCRETE CURB
- CONCRETE SIDEWALK
- 6m WIDE FIRE ROUTE WITH HEAVY DUTY ASPHALT
- PROPOSED BUILDING
- LANDSCAPE
- ASPHALT DRIVEWAY
- SIAMESE CONNECTION
- LIGHT STANDARD
- PROPOSED FIRE HYDRANT
- DEPRESSED CURB
- PROPOSED PAD MOUNTED TRANSFORMER (REFER TO ELECTRICAL DRAWINGS)
- EXISTING ENTRANCE
- PROPOSED ENTRANCE
- NO PARKING SIGN FOR FIRE ROUTE, IN ACCORDANCE WITH THE CITY OF WELLAND SIGN BY-LAW AND OBC
- PROPERTY LINE
- HANDICAP PARKING
- MOLLUK



SETBACK PLAN
1:1000

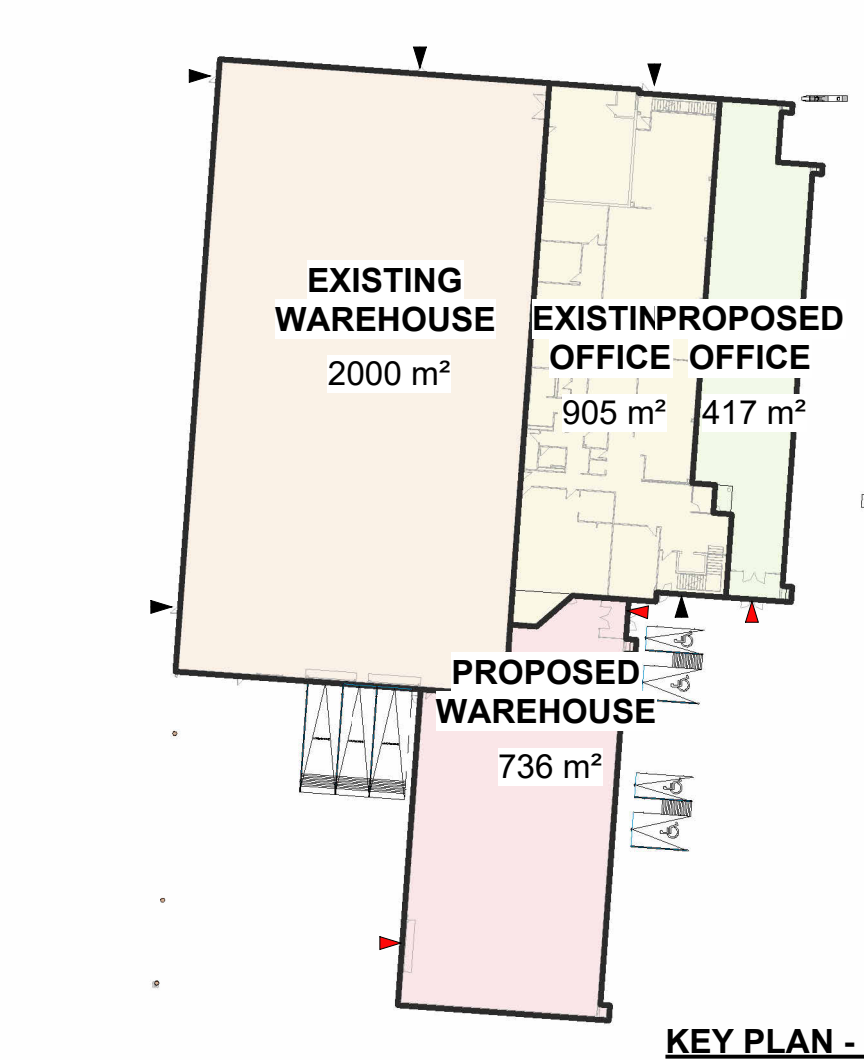
GFA SCHEDULE PER LEVEL

Level	Department	Area
LVL 1	EXISTING - WAREHOUSE	2000 m ²
LVL 1	EXISTING OFFICE	905 m ²
LVL 1	PROPOSED - WAREHOUSE	736 m ²
LVL 1	PROPOSED OFFICE	417 m ²
LVL 2	EXISTING - WAREHOUSE	78 m ²
LVL 2	EXISTING OFFICE	954 m ²
LVL 2	PROPOSED OFFICE	369 m ²
		5460 m ²

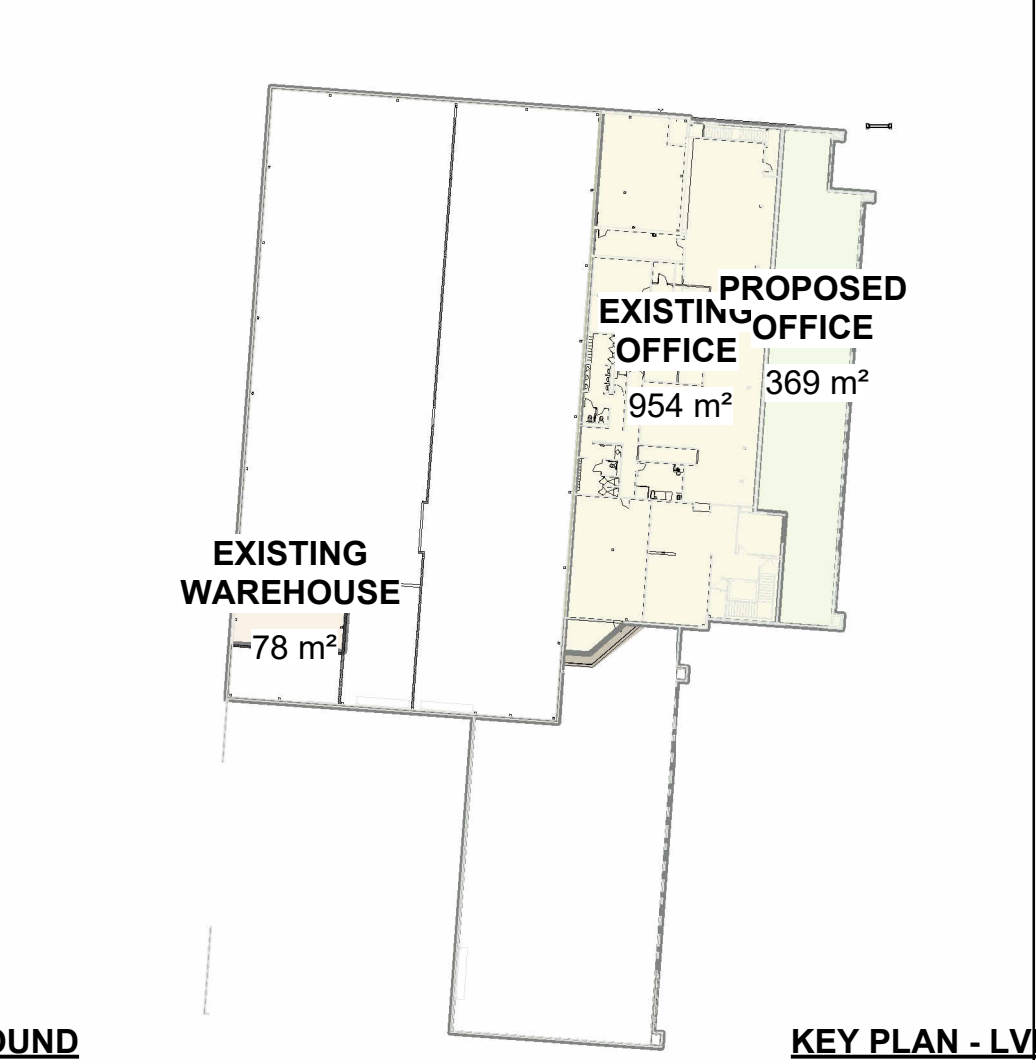
GFA SCHEDULE PER USE

Department	Area
EXISTING - WAREHOUSE	2078 m ²
EXISTING OFFICE	1859 m ²
PROPOSED - WAREHOUSE	736 m ²
PROPOSED OFFICE	787 m ²
	5460 m ²

BUILDING AREA SUMMARY



KEY PLAN - GROUND
1:760



KEY PLAN - LVL 2
1:760

1 Site Plan - PROPOSED
A.001 1:300



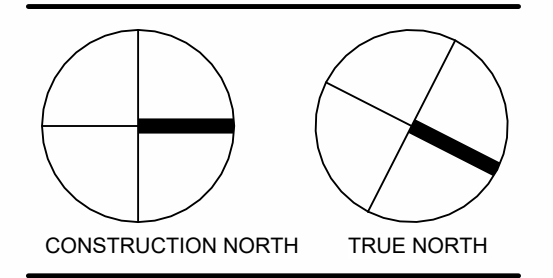
Chamberlain Architect Services Limited
4671 Palladium Way (Unit 1)
Burlington, Ontario, L7M 0W9
CANADA
Phone: 905.631.7777
www.chamberlainIPD.com

NO.	ISSUED	DATE
	PRE-CONSULTATION	2022.07.15

VARIANCE #3

DO NOT SCALE DRAWINGS. USE ONLY DRAWINGS MARKED "ISSUED FOR CONSTRUCTION". VERIFY CONFIGURATIONS AND DIMENSIONS ON SITE BEFORE BEGINNING WORK. NOTIFY ARCHITECT IMMEDIATELY OF ANY ERRORS, OMISSIONS OR DISCREPANCIES.

CHAMBERLAIN ARCHITECT SERVICES LIMITED AND CHAMBERLAIN CONSTRUCTION SERVICES LIMITED HAVE SIMILAR OWNERSHIP.



372 NEW ENTERPRISE WAY

VAUGHAN ONTARIO

SHEET NAME

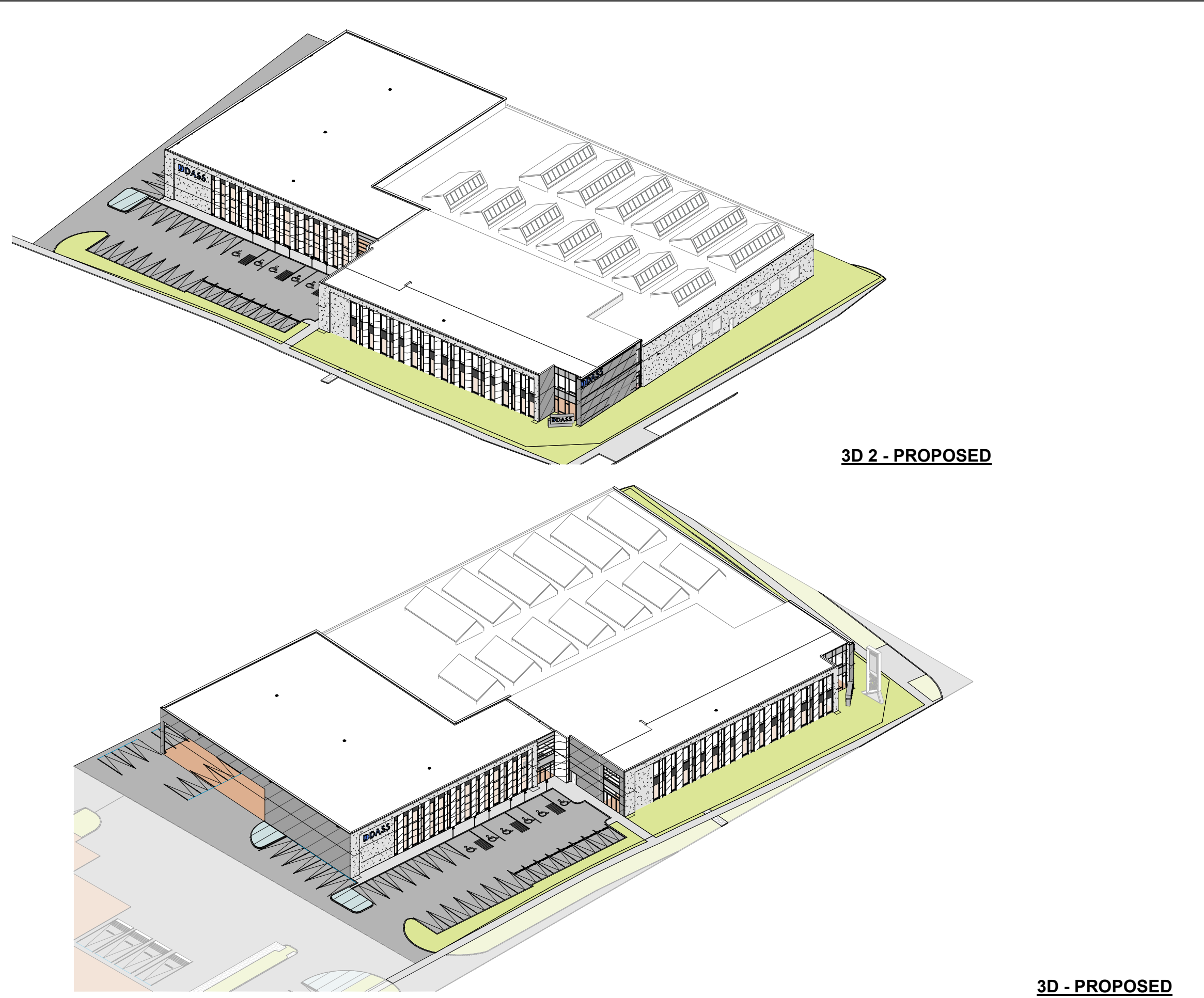
SITE PLAN PROPOSED

START DATE	JUNE 2022
DRAWN BY	AMS
CHECKED BY	SM
SCALE	As indicated
PROJECT NO.	122007

DRAWING

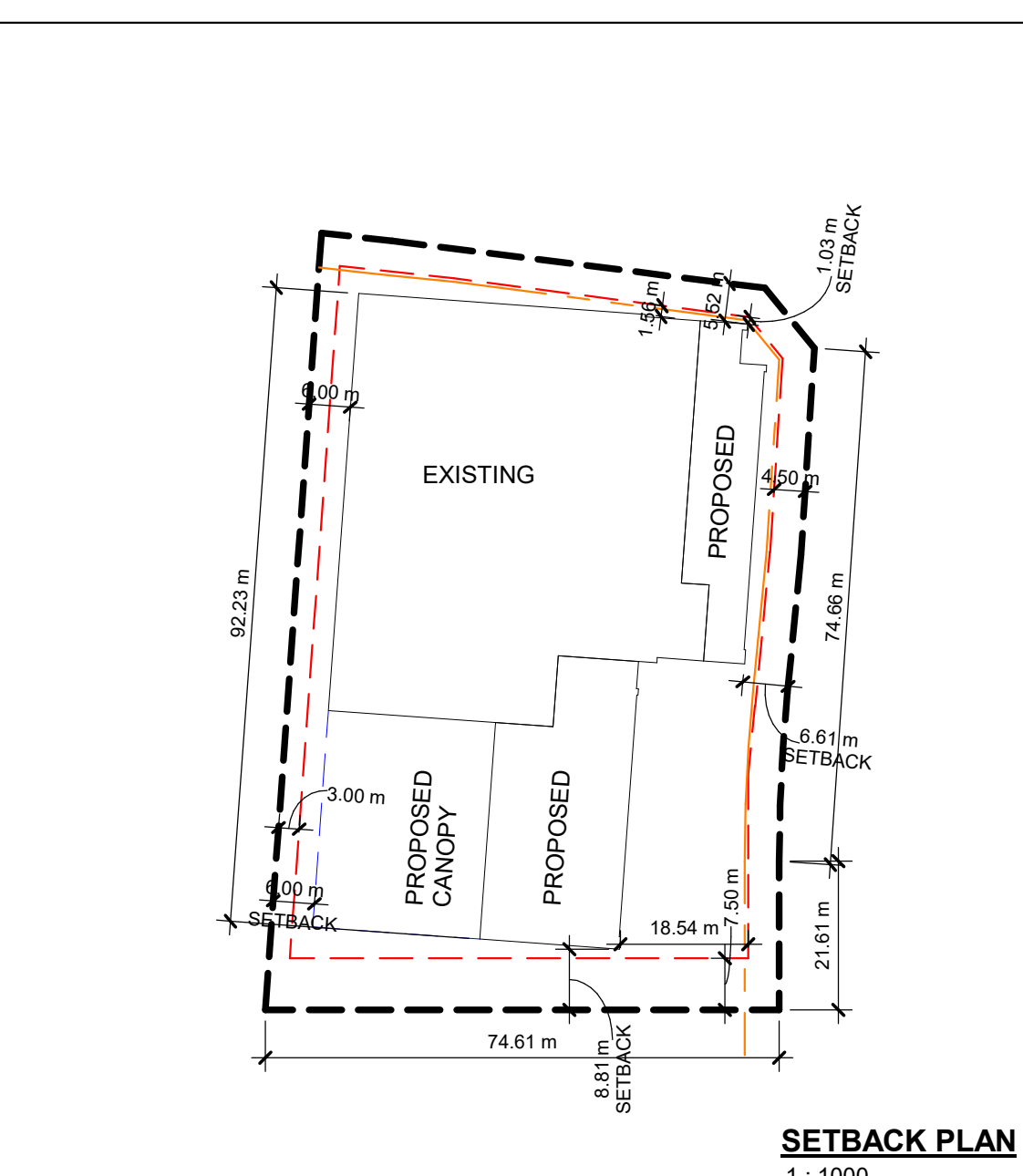
A.001

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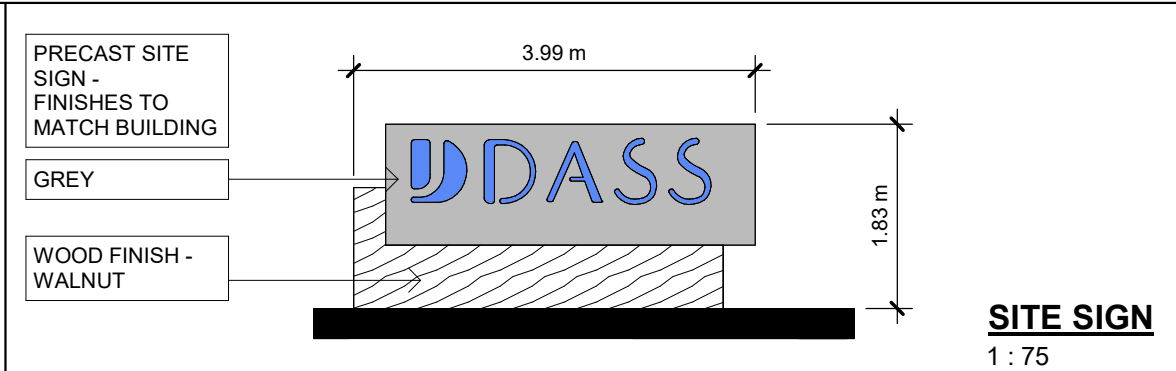


3D 2 - PROPOSED

3D - PROPOSED



SETBACK PLAN
1:1000

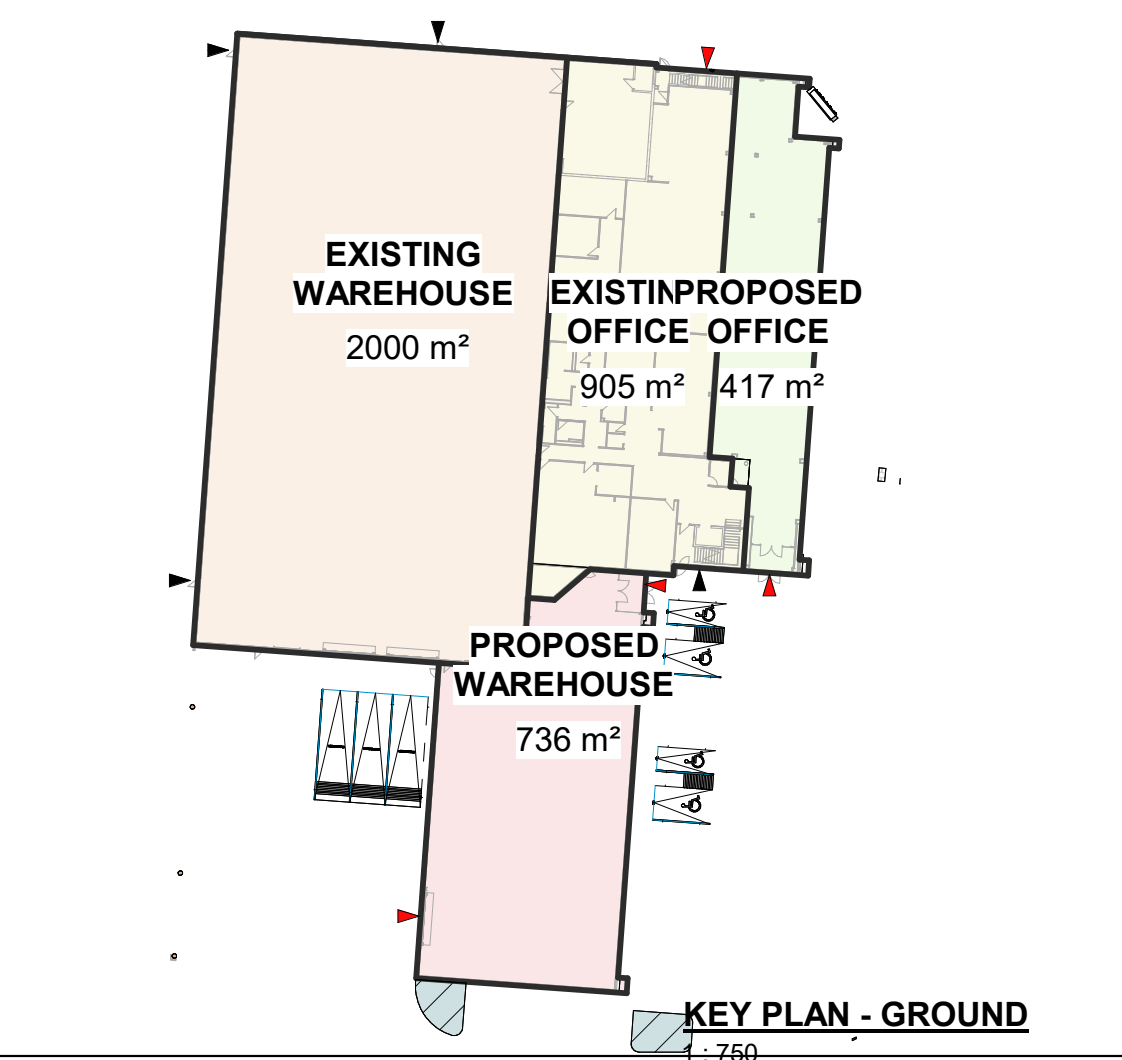


SITE SIGN
1:75

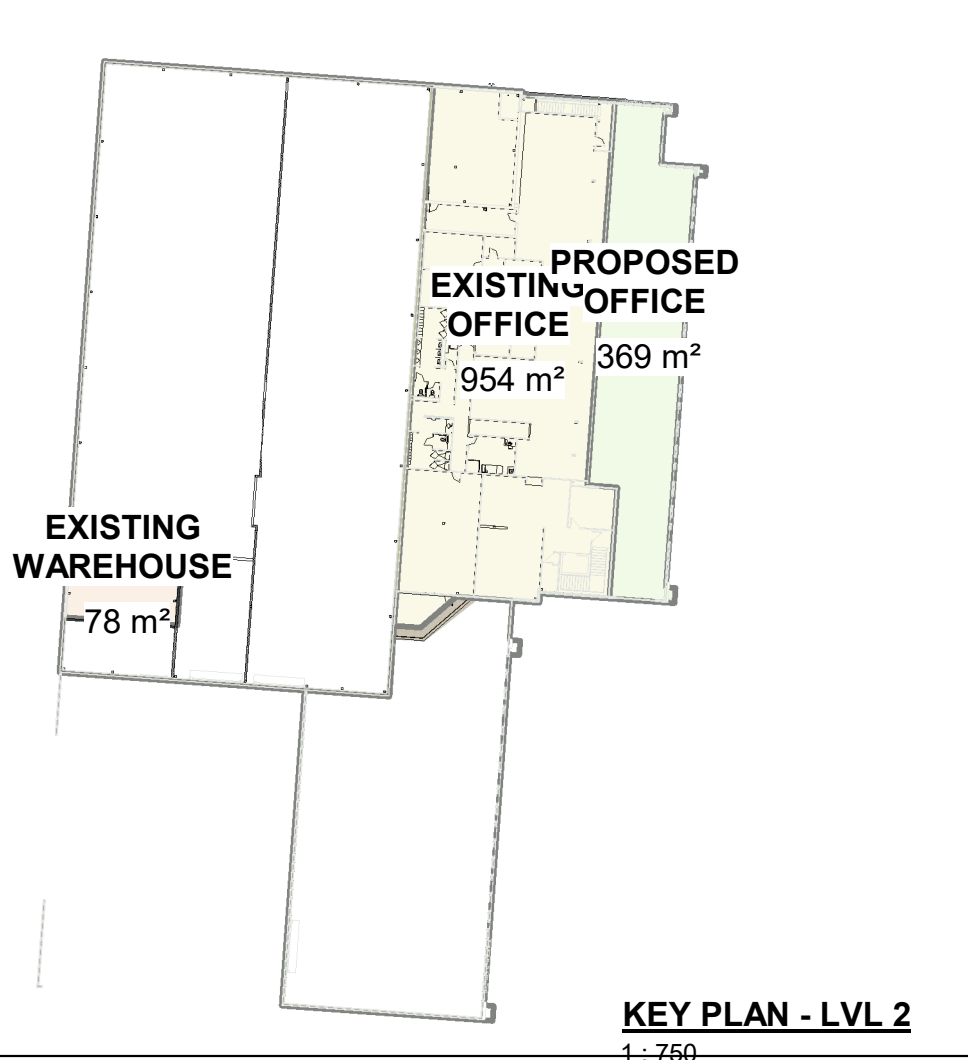
GFA SCHEDULE PER LEVEL		
Level	Department	Area
LVL 1	EXISTING - WAREHOUSE	2000 m ²
LVL 1	EXISTING OFFICE	905 m ²
LVL 1	PROPOSED - WAREHOUSE	736 m ²
LVL 1	PROPOSED OFFICE	417 m ²
LVL 2	EXISTING - WAREHOUSE	78 m ²
LVL 2	EXISTING OFFICE	954 m ²
LVL 2	PROPOSED OFFICE	369 m ²
LVL 2	PROPOSED WAREHOUSE	5460 m ²

GFA SCHEDULE PER USE	
Department	Area
EXISTING - WAREHOUSE	2078 m ²
EXISTING OFFICE	1859 m ²
PROPOSED - WAREHOUSE	736 m ²
PROPOSED OFFICE	787 m ²
PROPOSED OFFICE	5460 m ²

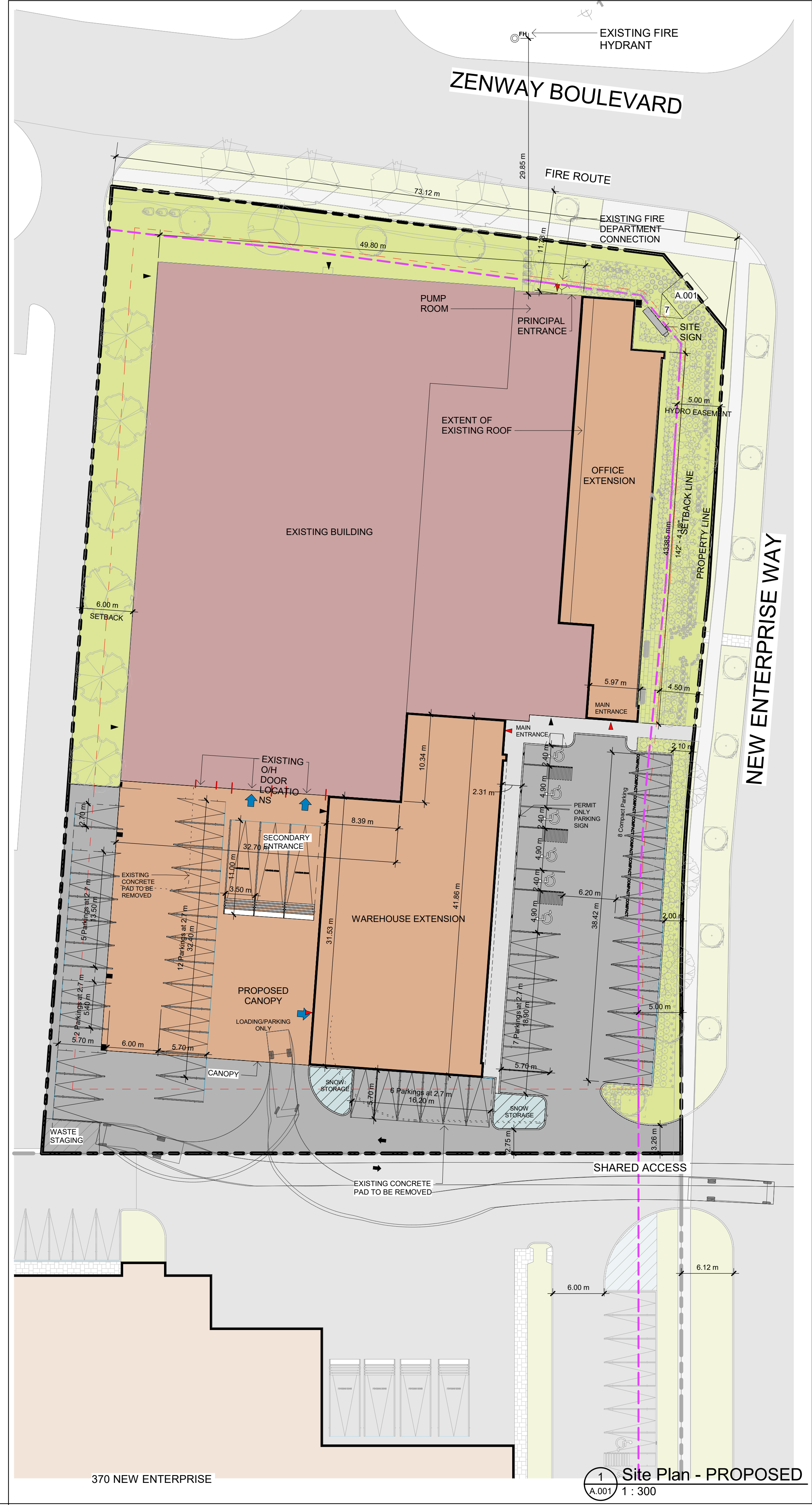
BUILDING AREA SUMMARY



KEY PLAN - GROUND
1:750

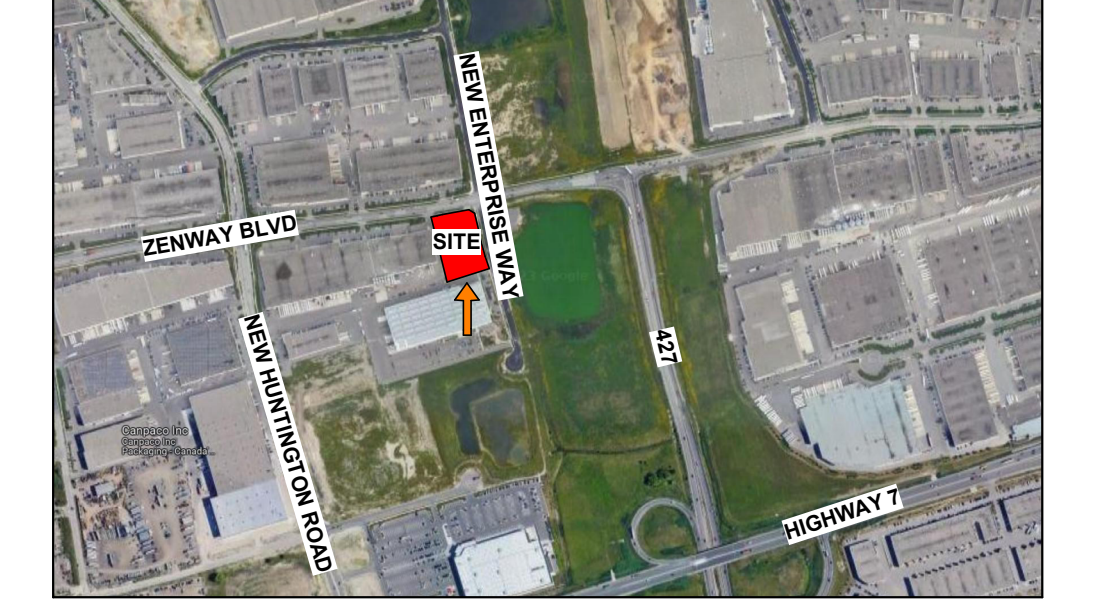


KEY PLAN - LVL 2
1:750



Site Plan - PROPOSED
1:300

KEY PLAN



GENERAL PROVISIONS		
Zone Em1		
City of Vaughan Zoning By-law No. 001-2021		
ZONING DATA	REQUIRED	PROVIDED
LOT FRONTAGE	30m	73m
LOT AREA	1800m ²	7877m ²
FRONT YARD	4.5m	5.52m
REAR YARD	7.5m	8.81m
EXTERIOR SIDE YARD EAST	4.5m	6.51m
SIDE YARD WEST	3.0m	6.00m
MAXIMUM LOT COVERAGE	60%	61.2%
LANDSCAPE BUFFER (FRONT)	3m	2m
MAXIMUM BUILDING HEIGHT	15m	8.6m
PARKING REQUIREMENT		
EXISTING OFFICE	PROPOSED - OFFICE	
3.5 PER 100 sq. m. =	3 PER 100 sq. m.	
18.59x3 = 55.77(56) SPACES	Proposed Office: 7.87x3=23.61 (24)	
EXISTING WAREHOUSE	ADDITION - WAREHOUSE	
1 PER 100 sq. m. =	0.5 PER 100 sq. m. = 4 SPACES	
2078x0.5=10.39 (11)	Proposed Warehouse: 7.36x0.5=3.68 (4)	
BARRIER FREE PARKING	BARRIER FREE PARKING	
0.04 *86 = 3.44 (4) SPACES-	0.04 *28 = 1.12 (2) SPACES	
2 TYPE A + 2 TYPE B	1 TYPE A + 1 TYPE B	
TOTAL REQUIRED PARKING = 56+11+24+4=95		
LOADING SPACE REQUIREMENT		LOADING SPACE REQUIREMENT
2 TYPE B		1 TYPE B

PARKING PROVIDED		
PARKING SCHEDULE		
Type	DESCRIPTION	COUNT
90° - 5.7m x 2.7m	5.7m X 2.7m	44
90° - ACC - 5.7m x 2.4- type B	6m X 3.9m	3
90° - ACC - 5.7m x 3.4m type A	6m X 3.9m	3
90° Compact - 4.8m x 2.4m	4.8m X 2.4m	8
		58
LOADING SCHEDULE		
Type	DESCRIPTION	COUNT
LOADING - 11m x 3.5m	21m X 3m	3
		3

SITE STATISTICS			
DESCRIPTION	AREA (SM)	AREA (SF)	PERCENTAGE
BUILDING FOOTPRINT			
ADDITION	1171.81 m ²	12613 ft ²	14.9%
CANOPY	765.94 m ²	8244 ft ²	9.7%
EXISTING	2885.29 m ²	31057 ft ²	36.6%
	4823.04 m ²	51915 ft ²	61.2%
HARD LANDSCAPE			
ASPHALT	1517.23 m ²	16331 ft ²	19.3%
CURB	24.26 m ²	261 ft ²	0.3%
SIDEWALK	135.05 m ²	1454 ft ²	1.7%
	1676.55 m ²	18046 ft ²	21.3%
SOFT LANDSCAPE			
LANDSCAPE	1377.46 m ²	14827 ft ²	17.5%
	1377.46 m ²	14827 ft ²	17.5%
Grand total	7877.05 m ²	84788 ft ²	100.0%

SITE STATISTICS- SNOW STORAGE AREA			
DESCRIPTION	AREA (SM)	AREA (SF)	PERCENTAGE
ASPHALT	1517.23 m ²	16331 ft ²	97.2%
SNOW STORAGE	44.02 m ²	474 ft ²	2.8%
Grand total	1561.25 m ²	16805 ft ²	100.0%

SITE PLAN LEGEND	
	CONCRETE CURB
	CONCRETE SIDEWALK
	6m WIDE FIRE ROUTE WITH HEAVY DUTY ASPHALT
	PROPOSED BUILDING
	LANDSCAPE
	ASPHALT DRIVEWAY
	SIAMESE CONNECTION
	LIGHT STANDARD
	PROPOSED FIRE HYDRANT
	DEPRESSED CURB
	PROPOSED PAD MOUNTED TRANSFORMER (REFER TO ELECTRICAL DRAWINGS)
	EXISTING ENTRANCE
	PROPOSED ENTRANCE
	NO PARKING SIGN FOR FIRE ROUTE, IN ACCORDANCE WITH THE CITY OF WELLSAND SIGN BY-LAW AND OBC
	SETBACKS
	PROPERTY LINE
	HANDICAP PARKING
	MOLLUK
	SNOW STORAGE



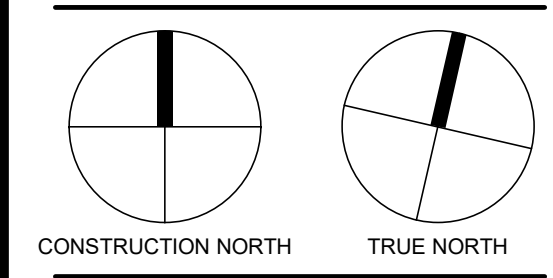
Chamberlain Architect Services Limited
4871 Palladium Way (Unit 1)
Burlington, Ontario, L7M 0W9
CANADA
Phone: 905.631.7777
www.chamberlainIPD.com

NO.	ISSUED	DATE
	BUILDING PERMIT #2	2024.07.22

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372 NEW ENTERPRISE WAY

VAUGHAN ONTARIO

SHEET NAME

SITE PLAN PROPOSED

START DATE	JUNE 2022
DRAWN BY	AMS
CHECKED BY	SM
SCALE	As indicated
PROJECT NO.	122007
DRAWING	

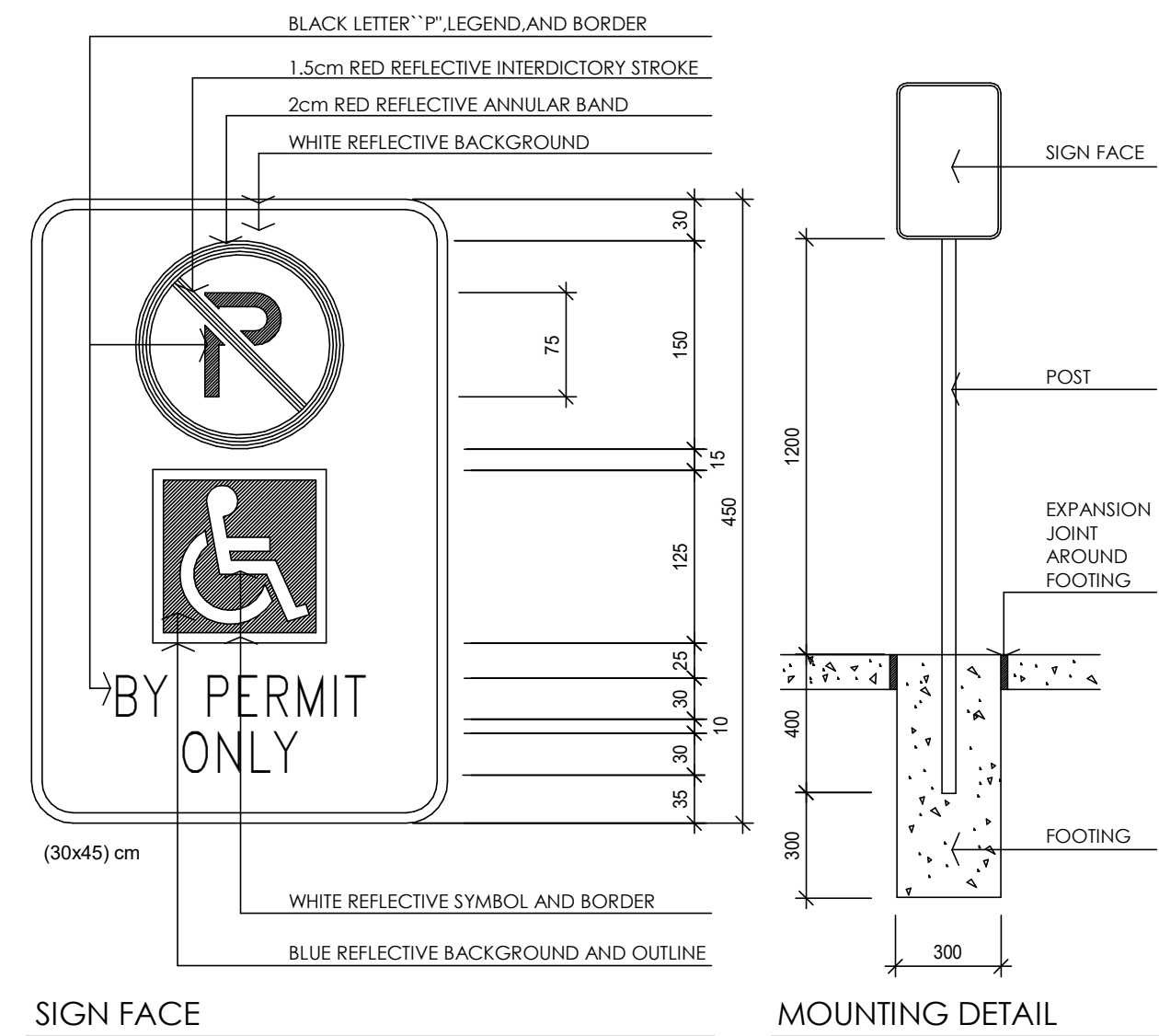
A.001

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NO.	ISSUED	DATE
	PRE-CONSULTATION	2022.07.15

Traffic control signs shall be supplied and erected by the Developer as directed by the Director of Public Works. All signs must meet requirements of City of Vaughan Sign By-Law. Also, signs shall be in compliance with the Ontario Traffic Manual (OTM) Regulatory Signs and shall be placed in accordance with the OTM and the Highway Traffic Act. All traffic control signs are to be made with high intensity type reflective sheeting (a minimum sheeting level of Type III or IV must be used for Stop signs and appurtenances and Yield signs and appurtenances). Where warranted, the Director of Public Works may require Warning Signs.

Unless other directed, posts shall be galvanized steel U-Flange type imbedded at least 1.2 metres into the ground with length to suit the application.



HANDICAPPED PARKING SIGNAGE REQUIREMENTS

- ALL HANDICAPPED PARKING STALLS SHALL BE DESIGNATED BY SIGNAGE AS PER BY-LAW
- ONE SIGN PER BAY IS REQUIRED UNLESS A ROW OF SEVERAL BAYS IS PROVIDED IN WHICH CASE, A SIGN AT EACH END OF THE ROW WITH APPROPRIATE DIRECTIONAL ARROWS IS ACCEPTABLE
- THE REQUIRED SIGN(S) MUST BE MOUNTED AT LEAST 0.6m AND NOT MORE THAN 2.0m FROM THE FACE OF THE CURB AT A HEIGHT OF 1.2m ABOVE THE TOP OF CURB ELEVATION. SIGNS MUST NOT OBSTRUCT THE SIDEWALK.
- WHERE AN UNOBSTRUCTED BUILDING FACE IS LOCATED NO MORE THAN 2.0m FROM THE FACE OF THE CURB AT THE HANDICAPPED BAY, THE REQUIRED SIGN(S) MAY BE MOUNTED ON THE BUILDING FACE.

SIGN FACE

- 0.64 GAUGE ALUMINUM SIGN BLANK
- WHITE BACKGROUND
- HOLES-METRO PUNCH

MOUNTING

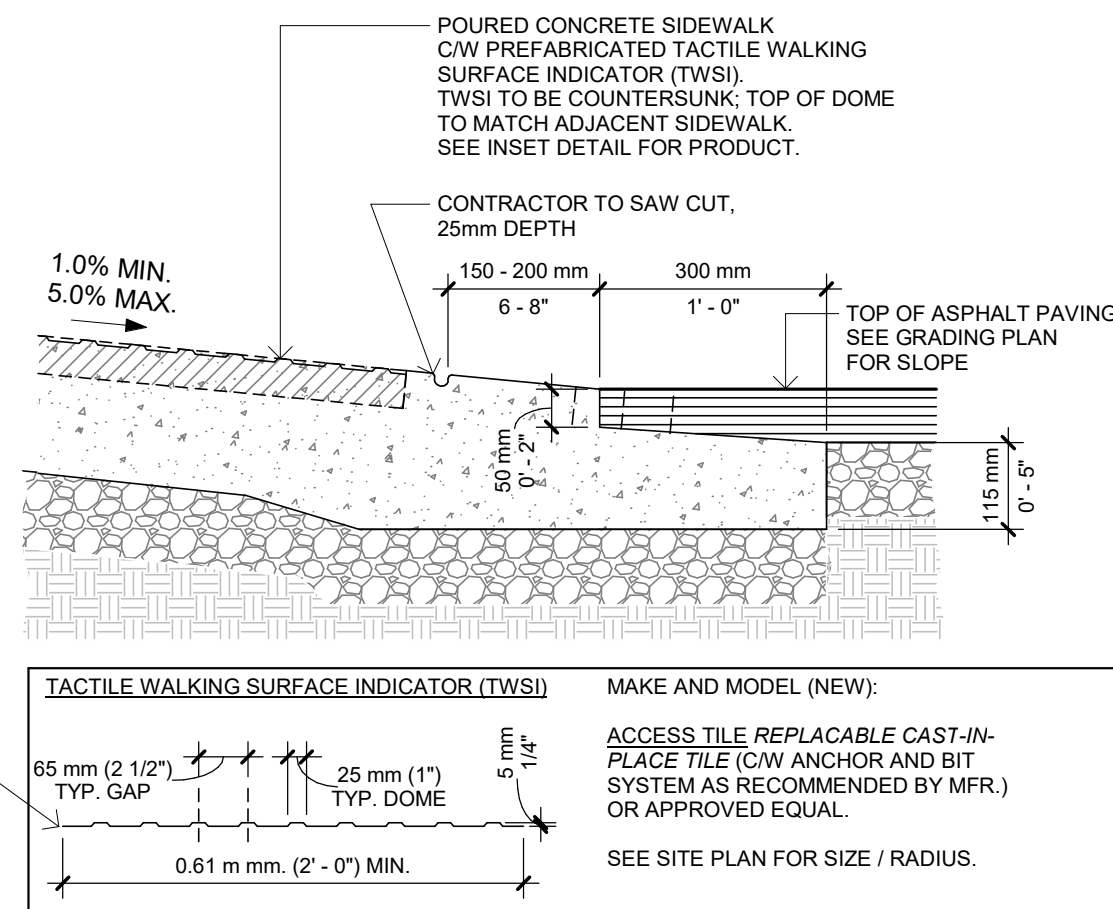
- THE SIGN FACE MUST BE SECURED
- TO A POST WITH TWO GALVANIZED 12mm HEX HEAD BOLTS AND NUTS WITH FLAT WASHERS ON BOTH SIDES.
- TO A MASONRY BUILDING FACE WITH TWO GALVANIZED 50mm LONG 6mm DIAMETER HEX-HEAD LAG BOLTS WITH FLAT WASHERS IN LEAD SHIELD MASONRY ANCHORS.
- TO A METAL BUILDING FACE WHERE THE MINIMUM METAL THICKNESS IS 2mm WITH TWO #10 PLATED, SELF-TAPPING SHEET-METAL SCREWS WITH FLAT WASHERS.

POST

- 75mm DIAMETER GALVANIZED STANDARD STEEL PIPE
- POST TO BE CAST IN PLACE IN 300mm DIA. CONCRETE FOOTING.

2 PARKING SIGNAGE

A.002 1:5



1 ACCESSIBLE DROPPED CURB1

A.002 1:10

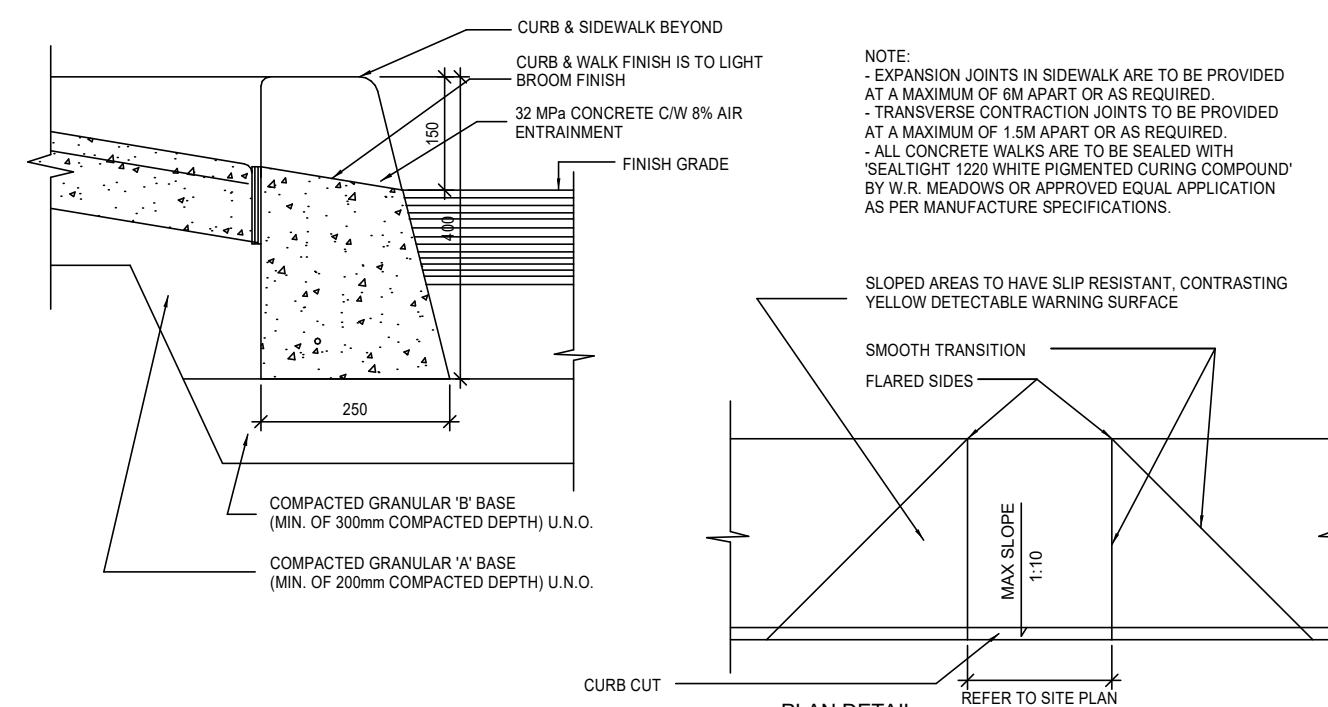
NOTE:

1. SIGNAGE SHALL BE LOCATED ABOVE FD CONNECTION, WITH THE BOTTOM OF THE SIGN BETWEEN 2133mm TO 3048mm ABOVE THE FINISHED PAVEMENT GRADE.
2. SIGNAGE SIZE: 304 x 603mm
3. THE SIGN SHALL DISPLAY "FIRE DEPARTMENT CONNECTION" WITH WHITE LETTERING ON A CONTRASTING BACKGROUND OF RED.



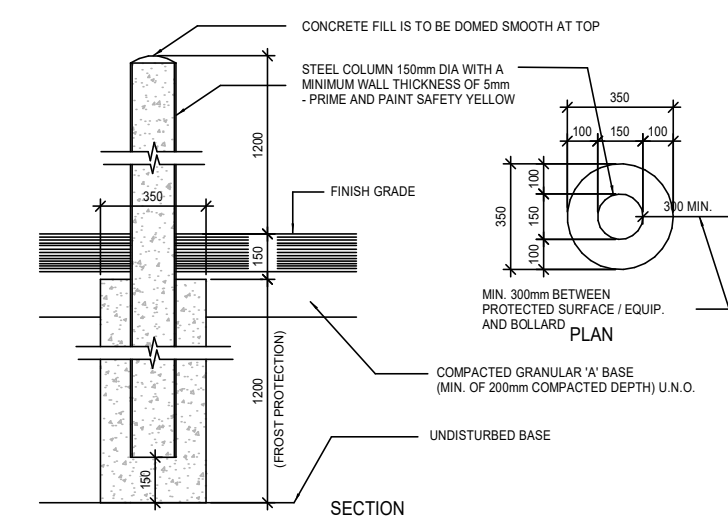
3 FD CONNECTION SIGNAGE

A.002 1:10



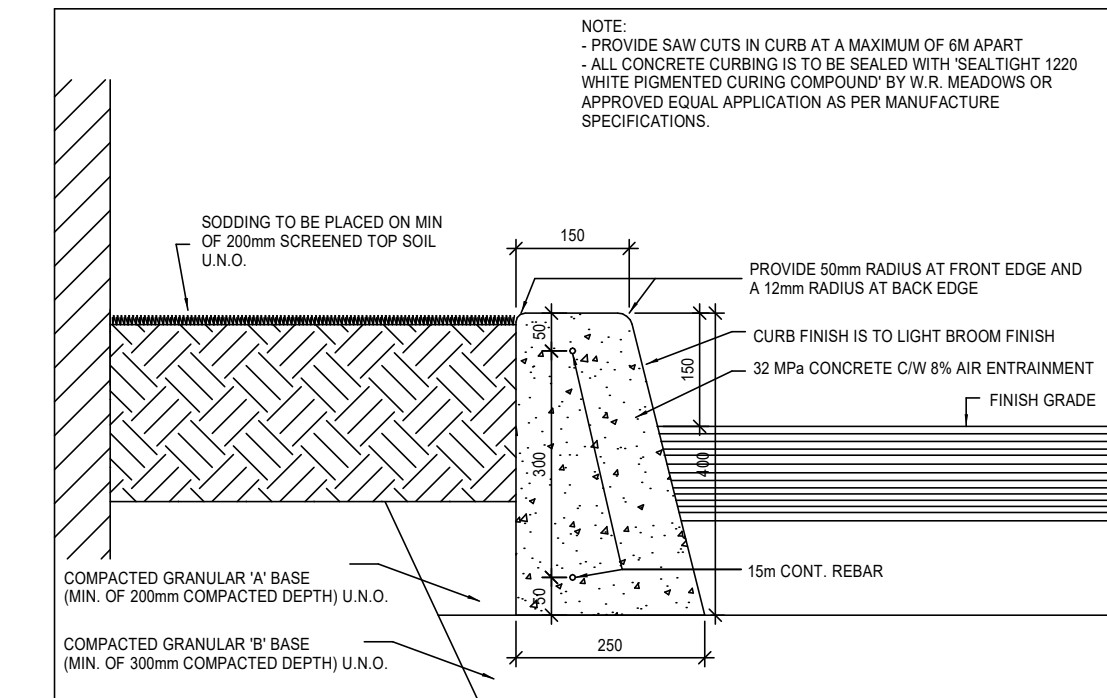
6 CURB AND SIDEWALK DEPRESSION

A.002 1:10



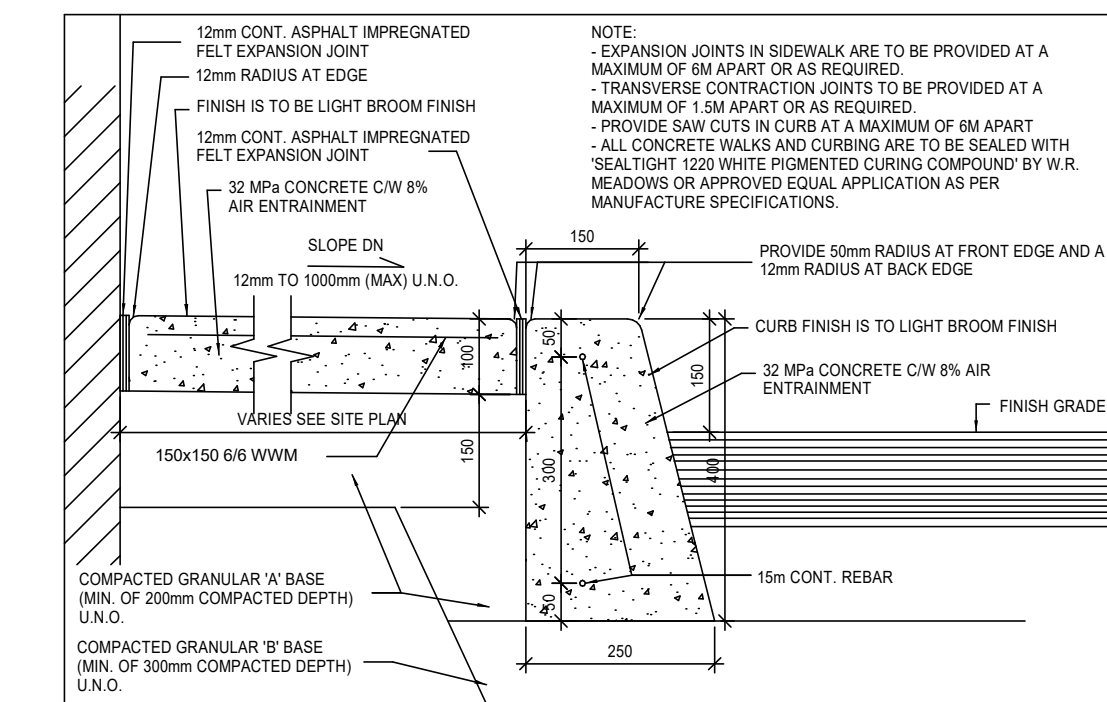
7 BOLLARD DETAIL

A.002 1:10



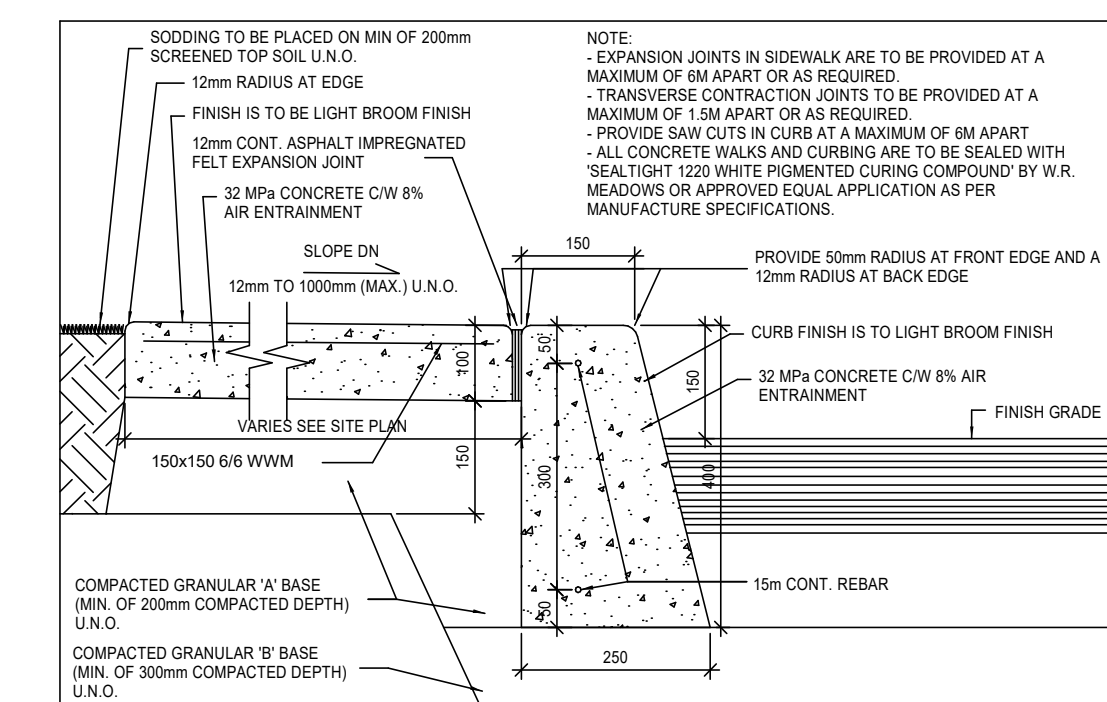
8 CONCRETE CURB DETAIL I

A.002 1:10



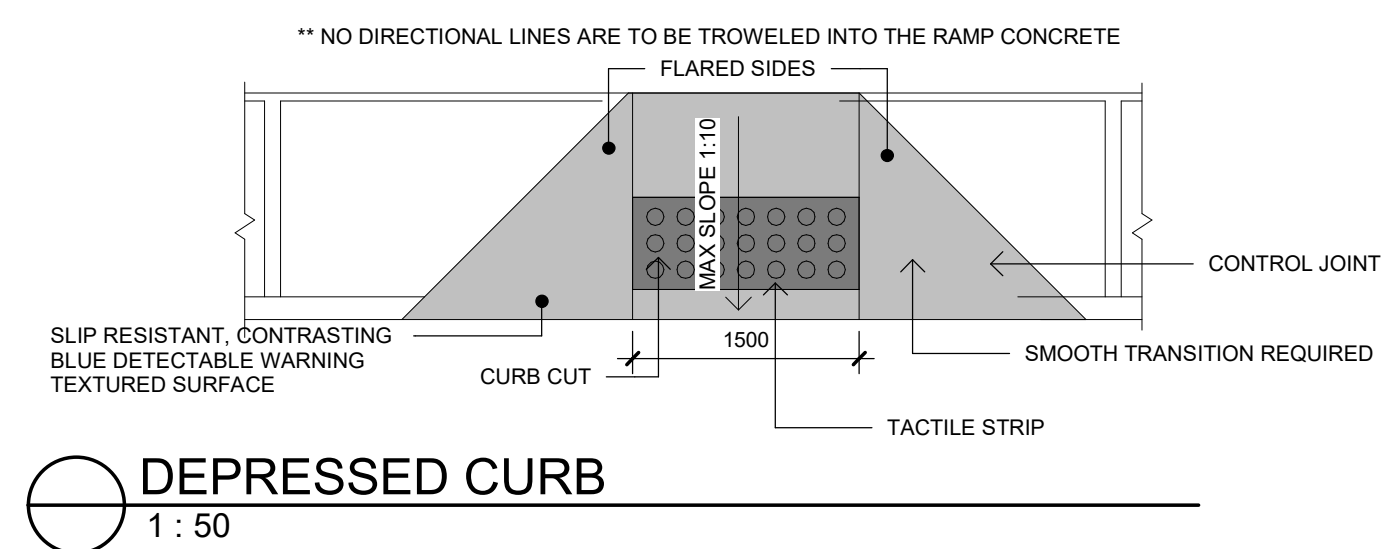
9 CONCRETE CURB DETAIL II

A.002 1:10



10 CONCRETE CURB DETAIL III

A.002 1:10

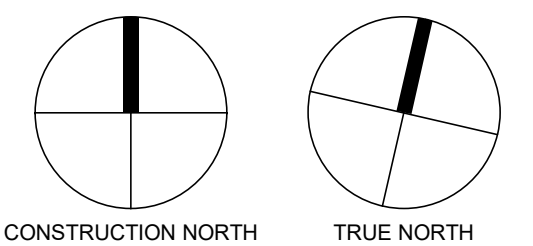


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SEAL



372 NEW ENTERPRISE WAY

VAUGHAN ONTARIO

SHEET NAME

SITE PLAN DETAILS

START DATE	JUNE 2022
DRAWN BY	Author
CHECKED BY	Checker
SCALE	As indicated
PROJECT NO.	122007

DRAWING

A.002

CONSTRUCTION PLAN LEGEND

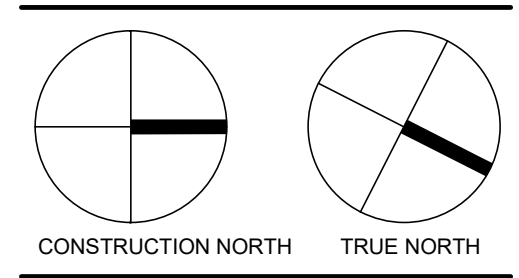
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	DENOTES EXISTING TO BE DEMOLISHED
	DENOTES NEW WALLS

NO.	ISSUED	DATE
	BUILDING PERMIT	2024.02.20

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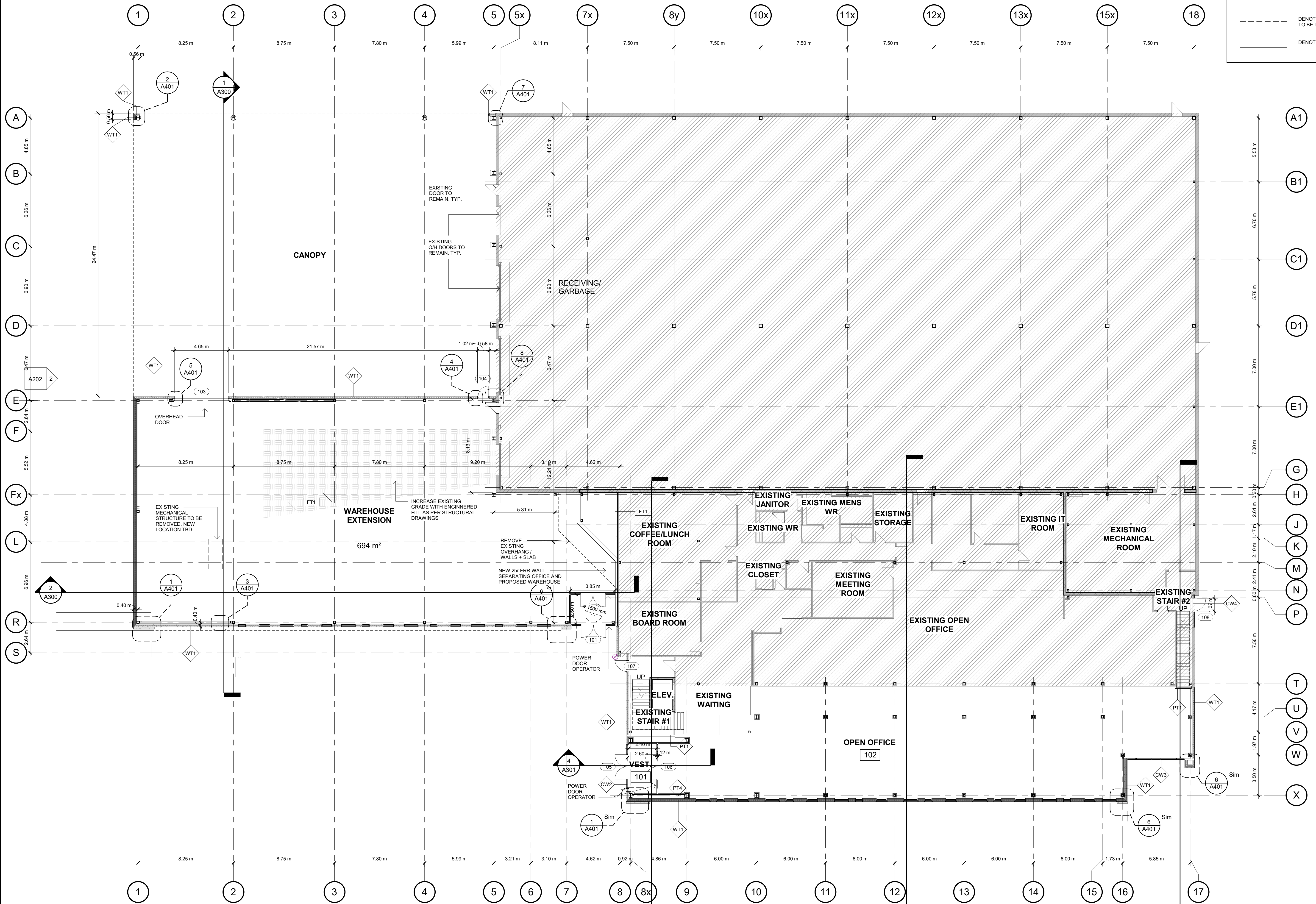
DASS METAL EXPANSION 2

372 NEW ENTERPRISE WAY
VAUGHAN ON.

PROPOSED GROUND FLOOR PLAN

START DATE	JUNE 2022
DRAWN BY	AMS
CHECKED BY	SM
SCALE	As indicated
PROJECT NO.	122039


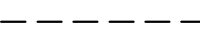
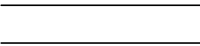
A103



1 OVERALL GROUND FLOOR PLAN
A103 1:150

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CONSTRUCTION PLAN LEGEND

-  DENOTES EXISTING WALLS TO REMAIN
-  DENOTES EXISTING TO BE DEMOLISHED
-  DENOTES NEW WALLS



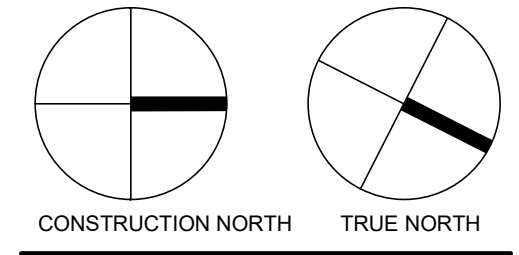
Chamberlain Architect Services Limited
 4871 Palladium Way (Unit 1)
 Burlington, Ontario, L7M 0W9
 CANADA
 Phone: 905.631.7777
 www.chamberlainIPD.com

NO.	ISSUED	DATE
	BUILDING PERMIT	2024.02.20

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DASS METAL EXPANSION 2

372 NEW ENTERPRISE WAY
 VAUGHAN ON.

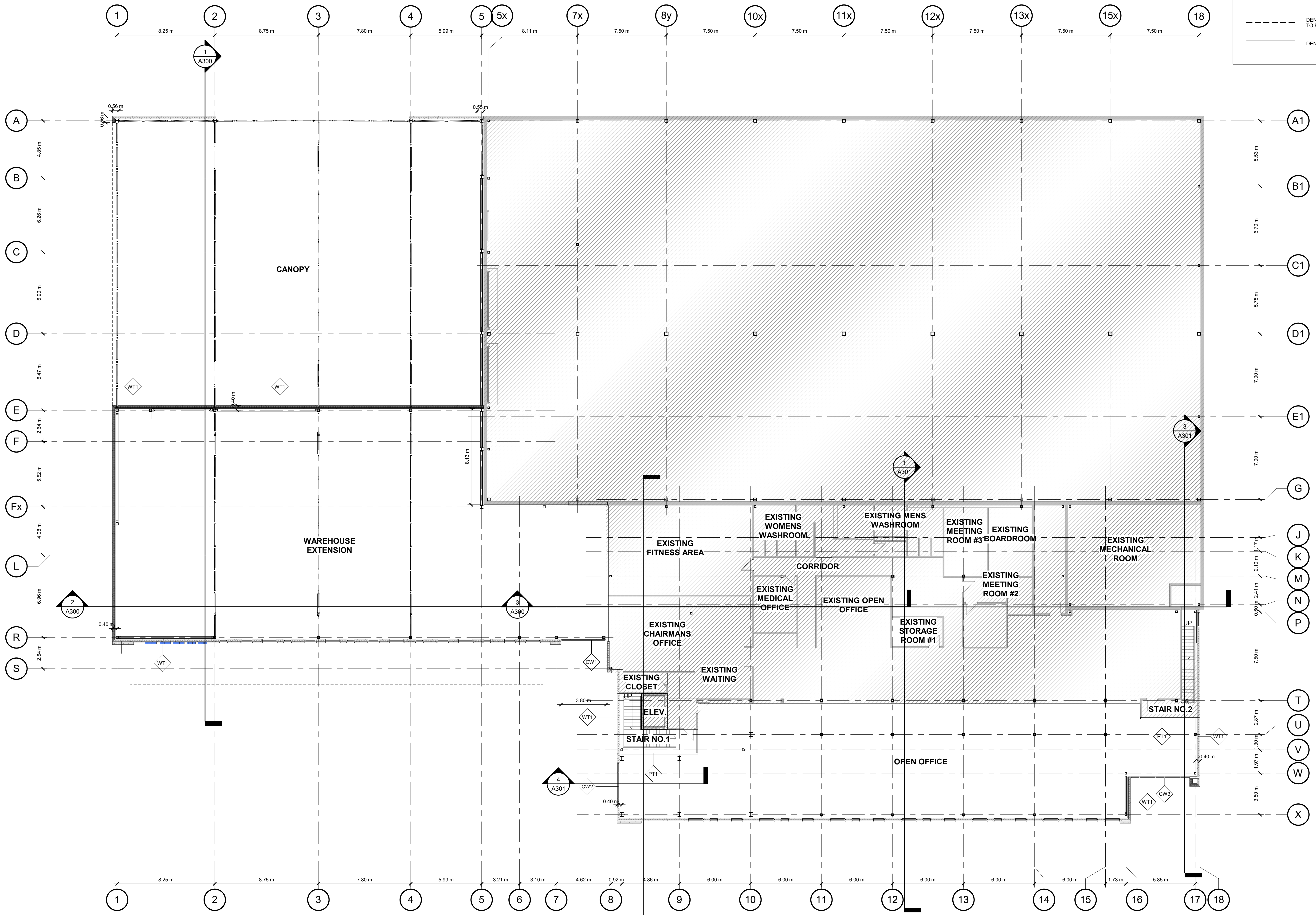
SHEET NAME

PROPOSED SECOND FLOOR PLAN

START DATE	JUNE 2022
DRAWN BY	Author
CHECKED BY	Checker
SCALE	As indicated
PROJECT NO.	122039

DRAWING

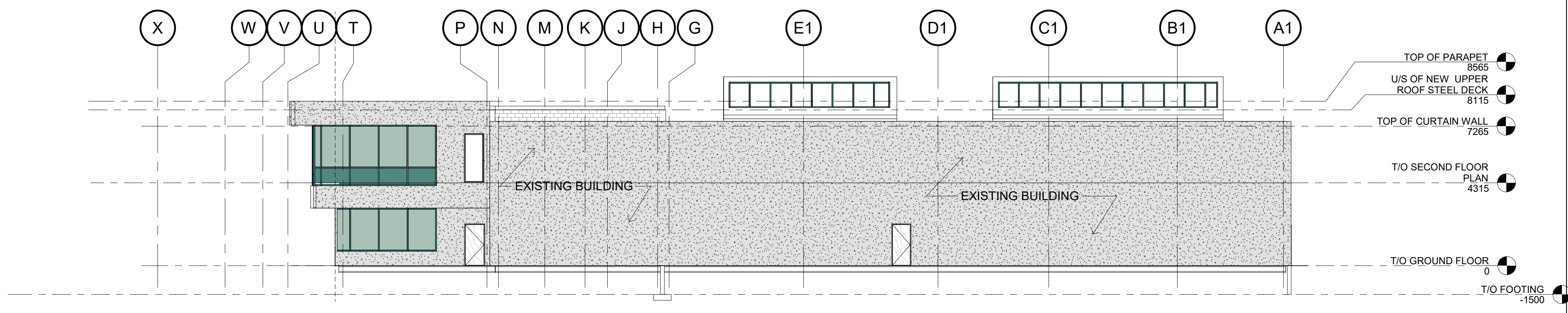
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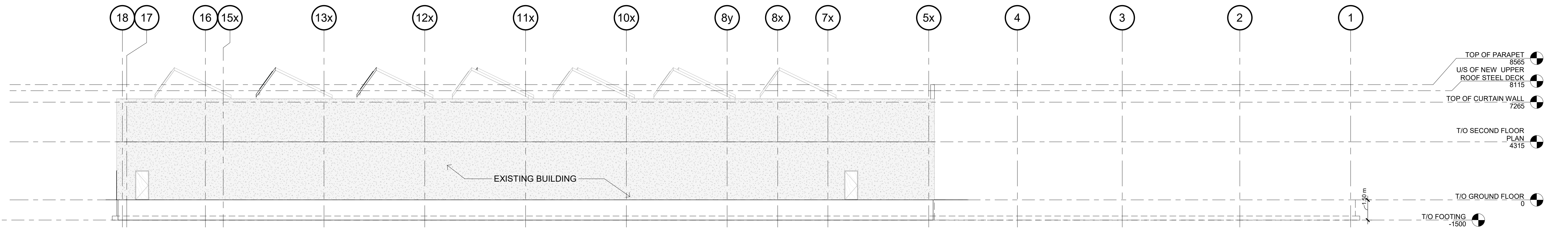
1 OVERALL SECOND FLOOR PLAN
 1 : 150

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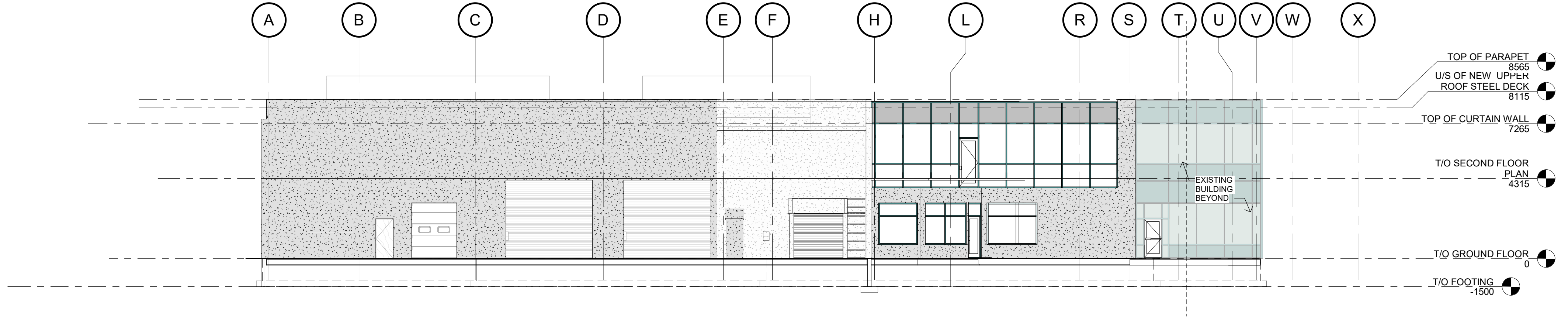
NO.	ISSUED	DATE
	BUILDING PERMIT	2024.02.20



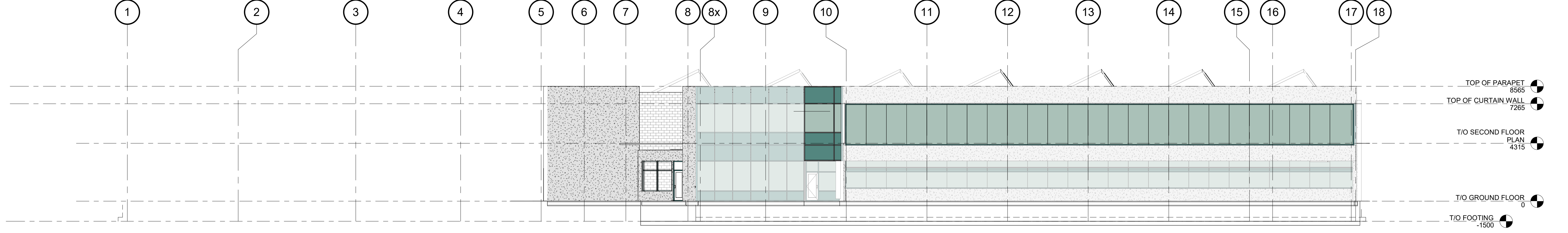
4 EXISTING - NORTH ELEVATION
A201 1 : 150



3 EXISTING - WEST ELEVATION
A201 1 : 150



2 EXISTING SOUTH ELEVATION
A201 1 : 150



1 EXISTING EAST ELEVATION
A201 1 : 150

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DASS METAL EXPANSION 2

372 NEW ENTERPRISE WAY
VAUGHAN ON.

SHEET NAME

EXISTING EXTERIOR ELEVATIONS

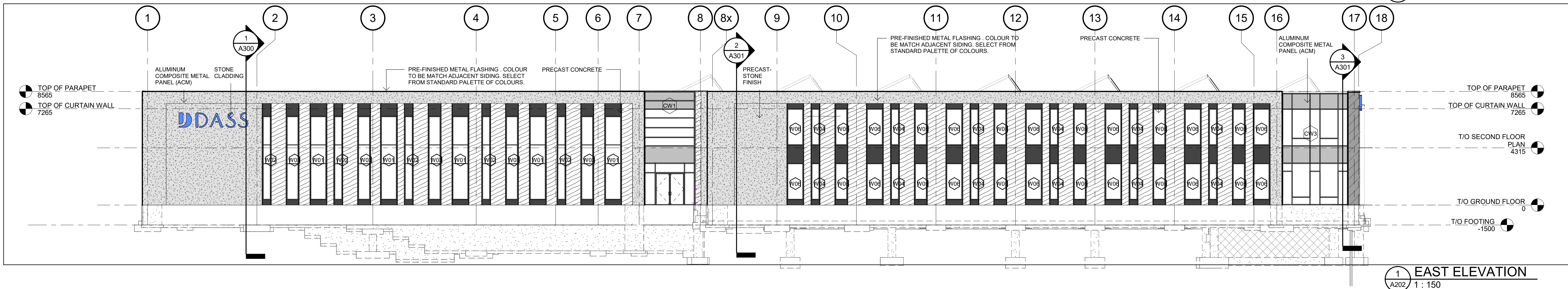
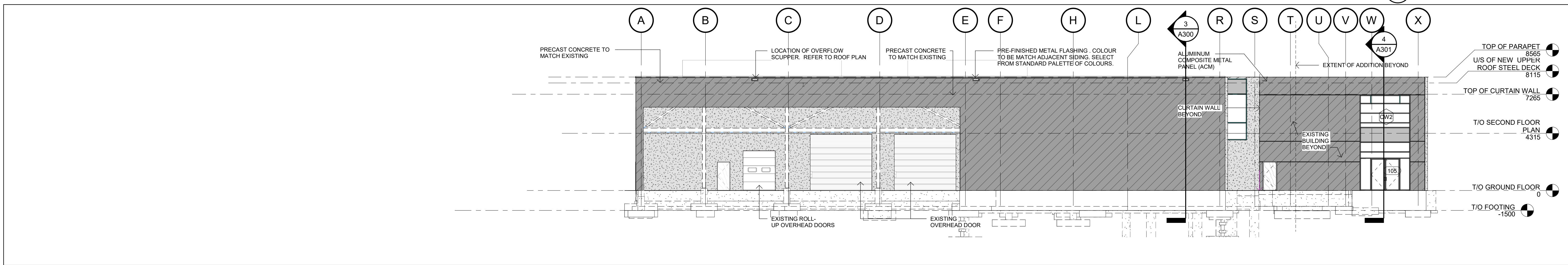
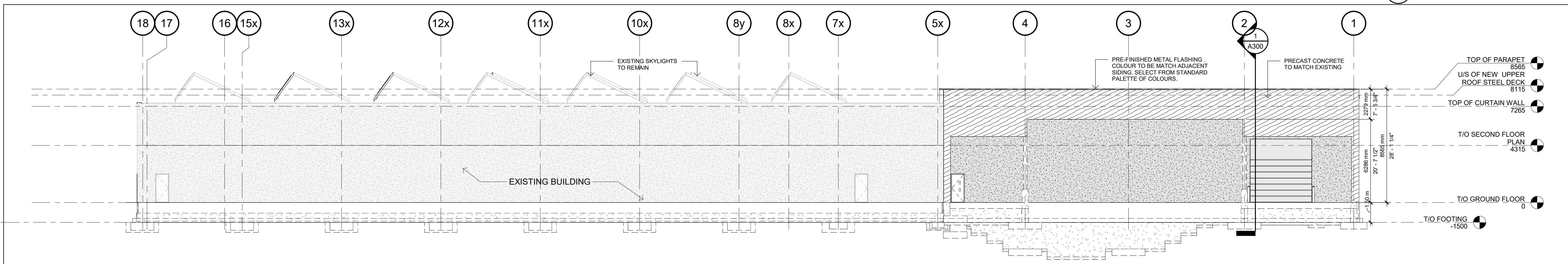
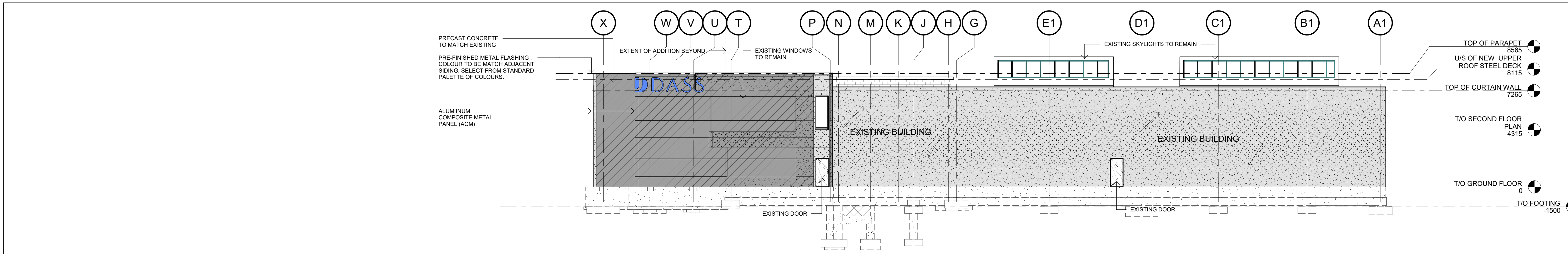
START DATE	JUNE 2022
DRAWN BY	AMS
CHECKED BY	SM
SCALE	1 : 150
PROJECT NO.	122039

DRAWING

A201

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NO.	ISSUED	DATE
1	BUILDING PERMIT	2024.02.20



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DASS METAL EXPANSION 2

372 NEW ENTERPRISE WAY
VAUGHAN ON.

SHEET NAME

PROPOSED EXTERIOR ELEVATIONS

START DATE	JUNE 2022
DRAWN BY	AMS
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SCALE	1 : 150
PROJECT NO.	122039

DRAWING

A202

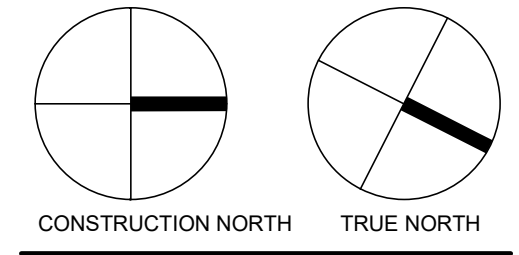
C:\Users\smuro\Documents\122039 - Building - 372 New Enterprise Way - 2024.02.19 - smuro.dprt

NO.	ISSUED	DATE
	BUILDING PERMIT	2024.02.20

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DASS METAL EXPANSION 2

372 NEW ENTERPRISE WAY
VAUGHAN ON.

SHEET NAME

EXTERIOR PERSPECTIVES

START DATE	JUNE 2022
DRAWN BY	AMS
CHECKED BY	SM
SCALE	
PROJECT NO.	122039

DRAWING

A203

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**SCHEDULE B:
COMMENTS FROM AGENCIES, BUILDING STANDARDS &
DEVELOPMENT PLANNING**

Department / Agency <small>*Comments Received</small>	Conditions Required		Nature of Comments
Building Standards (Zoning) *See Schedule B	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>	General Comments
Development Planning	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>	Recommend Approval/No Conditions
Alectra	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>	General Comments
TRCA	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>	General Comments
Region of York	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>	General Comments

Date: May 28th 2024

Attention: Christine Vigneault

RE:

File No.: A038-24

Related Files:

Applicant 2835085 Ontario Ltd

Location 372 New Enterprise Way



Discover the possibilities

COMMENTS:

- We have reviewed the proposed Variance Application and have no comments or objections to its approval.
- We have reviewed the proposed Variance Application and have no objections to its approval, subject to the following comments (attached below).
- We have reviewed the proposed Variance Application and have the following concerns (attached below).

Alectra Utilities (formerly PowerStream) has received and reviewed the proposed Variance Application. This review, however, does not imply any approval of the project or plan.

All proposed billboards, signs, and other structures associated with the project or plan must maintain minimum clearances to the existing overhead or underground electrical distribution system as specified by the applicable standards, codes and acts referenced.

In the event that construction commences, and the clearance between any component of the work/structure and the adjacent existing overhead and underground electrical distribution system violates the Occupational Health and Safety Act, the customer will be responsible for 100% of the costs associated with Alectra making the work area safe. All construction work will be required to stop until the safe limits of approach can be established.

In the event construction is completed, and the clearance between the constructed structure and the adjacent existing overhead and underground electrical distribution system violates the any of applicable standards, acts or codes referenced, the customer will be responsible for 100% of Alectra's cost for any relocation work.

References:

- Ontario Electrical Safety Code, latest edition (Clearance of Conductors from Buildings)
- Ontario Health and Safety Act, latest edition (Construction Protection)
- Ontario Building Code, latest edition (Clearance to Buildings)
- PowerStream (Construction Standard 03-1, 03-4), attached
- Canadian Standards Association, latest edition (Basic Clearances)

If more information is required, please contact either of the following:

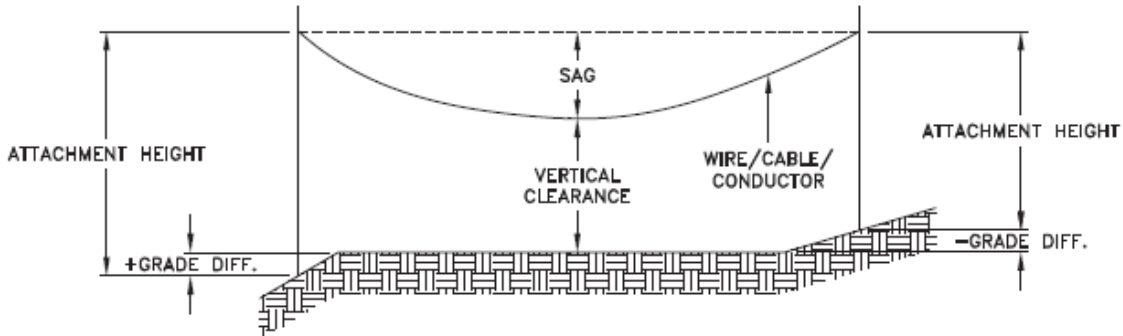
Mr. Stephen Cranley, C.E.T
Supervisor, Distribution Design, ICI & Layouts (North)
Phone: 1-877-963-6900 ext. 31297

E-mail: stephen.cranley@alectrautilities.com

Mitchell Penner
Supervisor, Distribution Design-Subdivisions
Phone: 416-302-6215

Email: Mitchell.Penner@alectrautilities.com

LOCATION OF WIRES, CABLES OR CONDUCTORS	SYSTEM VOLTAGE			
	SPAN GUYS AND COMMUNICATIONS WIRES	UP TO 600V AND NEUTRAL	4.16/2.4kV TO 27.6/16kV (SEE NOTE 1)	44kV
MINIMUM VERTICAL CLEARANCES (SEE NOTE 2)				
OVER OR ALONGSIDE ROADS, DRIVEWAYS OR LANDS ACCESSIBLE TO <u>VEHICLES</u>	442cm	442cm	480cm	520cm
OVER GROUND ACCESSIBLE TO <u>PEDESTRIANS AND BICYCLES ONLY</u>	250cm	310cm	340cm	370cm
ABOVE TOP OF RAIL AT <u>RAILWAY CROSSINGS</u>	730cm	730cm	760cm	810cm



MINIMUM ATTACHMENT HEIGHT = MAXIMUM SAG
 + MINIMUM VERTICAL CLEARANCE (FROM ABOVE TABLE)
 ± GRADE DIFFERENCE
 + 0.3m (VEHICLE OR RAILWAY LOCATION)
 + SNOW DEPTH (PEDESTRIAN LOCATION, SEE NOTE 3)

NOTES:

1. THE MULTIGROUNDED SYSTEM NEUTRAL HAS THE SAME CLEARANCE AS THE 600V SYSTEM.
2. THE VERTICAL CLEARANCES IN THE ABOVE TABLE ARE UNDER MAXIMUM SAG CONDITIONS.
3. REFER TO CSA STANDARD C22.3 No.1, ANNEX D FOR LOCAL SNOW DEPTH VALUES.
4. ALL CLEARANCES ARE IN ACCORDANCE TO CSA STANDARD C22.3.

CONVERSION TABLE

METRIC	IMPERIAL (APPROX)
810cm	27'-0"
760cm	25'-4"
730cm	24'-4"
520cm	17'-4"
480cm	16'-0"
442cm	15'-5"
370cm	12'-4"
340cm	11'-4"
310cm	10'-4"
250cm	8'-4"

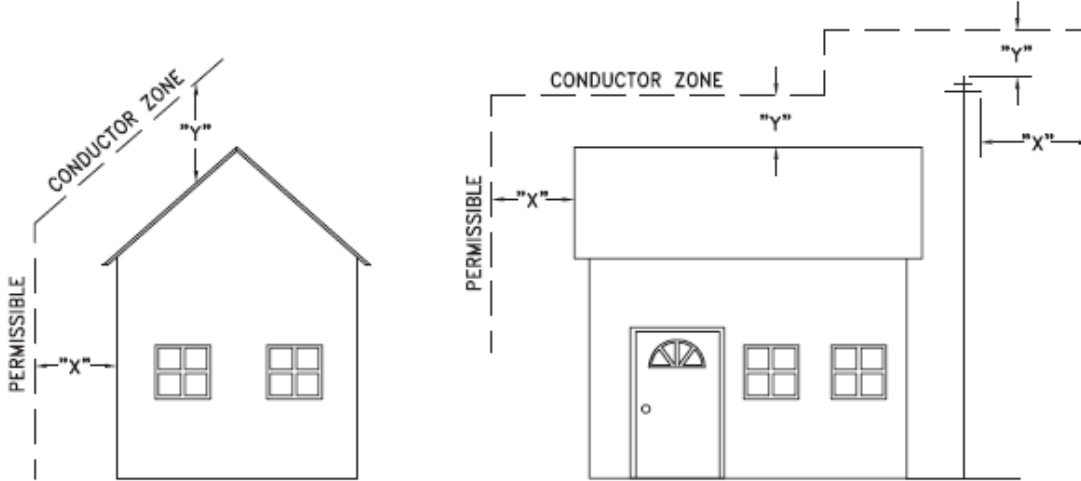
REFERENCES

SAGS AND TENSIONS | SECTION 02

MINIMUM VERTICAL CLEARANCES OF WIRES, CABLES AND CONDUCTORS ABOVE GROUND OR RAILS

ORIGINAL ISSUE DATE: 2010-DEC-24 REVISION NO: R1 REVISION DATE: 2012-JAN-09

Certificate of Approval	
This construction Standard meets the safety requirements of Section 4 of Regulation 22/04	
Joe Crozier, P.Eng.	2012-JAN-09
Name	Date
P.Eng. Approval By:	Joe Crozier



VOLTAGE	MINIMUM HORIZONTAL CLEARANCE UNDER MAXIMUM SWING CONDITIONS DIMENSION "X" (SEE NOTES 1, 3 & 4)	MINIMUM VERTICAL CLEARANCE UNDER MAXIMUM DESIGN SAG CONDITIONS DIMENSION "Y" (SEE NOTES 1, 2, 4 & 5)
0-600V AND NEUTRAL	100cm	250cm
4.16/2.4 TO 44kV	300cm	480cm

NOTES

1. UNDER NO CIRCUMSTANCES SHALL A CONDUCTOR BE PERMITTED TO PENETRATE THE ENVELOPE SHOWN BY THE DOTTED LINE.
2. THE VERTICAL CLEARANCES ARE UNDER CONDITIONS OF MAXIMUM DESIGN SAG.
3. THE HORIZONTAL CLEARANCES ARE UNDER CONDITIONS OF MAXIMUM SWING. WHERE THE CONDUCTOR SWING IS NOT KNOWN A HORIZONTAL CLEARANCE OF 480CM SHALL BE USED.
4. BUILDINGS THAT EXCEED 3 STOREYS OR 15M IN HEIGHT, THE MINIMUM HORIZONTAL CLEARANCE OF THE SECONDARY CONDUCTORS SHOULD BE INCREASED TO 300cm WHERE IT IS NECESSARY TO ALLOW FOR THE RAISING OF LADDERS BY LOCAL FIRE DEPARTMENTS.
5. IN SITUATIONS SUCH AS MULTI-LEVEL GARAGES, WHERE ROOFS ARE NORMALLY USED BY PERSONS AND VEHICLES, THE VERTICAL CLEARANCES OF POWERSTREAM STANDARD 03-1 SHALL APPLY.
6. DISTRIBUTION LINES CONSTRUCTED NEAR BUILDINGS SHALL BE BUILT TO AVOID OVERHANG WHEREVER POSSIBLE. WHERE LINES MUST BE CONSTRUCTED OVER OR ADJACENT TO BUILDINGS THE APPLICABLE HORIZONTAL AND VERTICAL CLEARANCES SHALL BE AT CONDITIONS OF MAXIMUM CONDUCTOR SWING AND MAXIMUM SAG. THE ABOVE CLEARANCES ARE DESIGNED TO PREVENT PERSONS ON OR IN BUILDINGS AS WELL AS EXTERNAL MACHINERY USED IN CONJUNCTION WITH A BUILDING TO COME IN CONTACT WITH CONDUCTORS. EFFORTS SHOULD BE MADE TO INCREASE THESE CLEARANCES WHERE POSSIBLE.
7. ALL CLEARANCES ARE IN ACCORDANCE TO CSA C22.3 NO.1-06 (TABLE-9).

METRIC	IMPERIAL (APPROX)
480cm	16'-0"
300cm	10'-0"
250cm	8'-4"
100cm	3'-4"

MINIMUM VERTICAL & HORIZONTAL CLEARANCES OF CONDUCTORS FROM BUILDINGS OR OTHER PERMANENT STRUCTURES (CONDUCTORS NOT ATTACHED TO BUILDINGS)

Certificate of Approval
This construction Standard meets the safety requirements of Section 4 of Regulation 22/04
Debbie Dadwani, P.Eng. 2010-MAY-05
Name Date
P. Eng. Approval By: *D. Dadwani*

ORIGINAL ISSUE DATE: 2010-MAY-05 REVISION NO: REVISION DATE:
PS:\System Planning and Standards\Standard Design\PowerStream Standards\PowerStream Standards working files\Section 3-1-02\WG 03-4 R0 May 5, 2010.dwg, 5/5/2010 10:22:02 AM, Adobe PDF

To: Committee of Adjustment
From: Catherine Saluri, Building Standards Department
Date: July 29, 2024
Applicant: 2835085 Ontario Ltd.
Location: 372 New Enterprise Way
 PLAN 65M3992 Block 33
File No.(s): A038/24

Zoning Classification:

The subject lands are zoned EM1, PRESTIGE EMPLOYMENT ZONE and subject to the provisions of Exception 14.897 under Zoning By-law 001-2021.

#	Zoning By-law 001-2021	Variance requested
1	A minimum of 114 parking spaces are required. [Table 6-2]	To permit a minimum of 58 parking spaces.
2	A minimum landscape strip of 3 m is required abutting a street line. [Table 11-3]	To permit a minimum landscape strip of 2 m abutting a street line (New Enterprise Way).
3	A maximum lot coverage of 60% is permitted. [Table 11-3]	To permit a maximum lot coverage of 61.2%.
4	In all zones other than a Residential Zone, the minimum driveway width of a driveway access to a parking area and permitting two directions of traffic shall be 6 m. [6.6.3.2]	To permit a minimum driveway width of a driveway access to a parking area and permitting two directions of traffic to be 2.75 m.
5	The minimum width of an aisle providing access to a loading space within a building and having two directions of traffic shall be 6 m. [6.11.3.1a]	To permit a minimum width of an aisle providing access to a loading space within a building and having two directions of traffic to be 2.75 m.

Staff Comments:

Stop Work Order(s) and Order(s) to Comply:

There are no outstanding Orders on file.

Building Permit(s) Issued:

A building permit is required for the proposed additions to the existing building.

Other Comments:

Zoning By-law 001-2021	
1	The Applicant confirms that the proposed canopy addition will serve parking and loading only, as noted on the Site Plan submitted.
2	The Applicant has advised that the driveway which leads to a parking area and loading spaces at the south of the subject lands provides mutual access for the subject lands and the lot which abuts it.
3	The Applicant shall be advised that a parking space allocated to a compact motor vehicle shall be demarcated for the exclusive use of a compact motor vehicle and maintained as such. [6.3.4.2.2]
4	The applicant shall be advised that additional variances may be required upon review of detailed drawing for building permit.
5	A hydro easement is shown on the Site Plan. It is the property owner's responsibility to determine the limits of the subject property and the existence of any registered easements or restrictions.

Conditions of Approval:

If the committee finds merit in the application, the following conditions of approval are recommended.

None

* Comments are based on the review of documentation supplied with this application.

To: Christine Vigneault, Committee of Adjustment Secretary Treasurer
From: Nancy Tuckett, Director of Development Planning
Date: September 3rd, 2024
Name of Owner: Jaswant Dass – 2835085 Ontario Ltd.
Location: 372 New Enterprise Way
File No.(s): A038/24

Proposed Variances (By-law 001-2021)

1. To permit a minimum of **58** parking spaces.
2. To permit a minimum landscape strip of **2 m** abutting a street line (New Enterprise Way).
3. To permit a maximum lot coverage of **61.2%**.
4. To permit a minimum driveway width of a driveway access to a parking area and permitting two directions of traffic to be **2.75 m**.
5. To permit a minimum width of an aisle providing access to a loading space within a building and having two directions of traffic to be **2.75 m**.

By-Law Requirements (By-law 001-2021):

1. The minimum number of parking spaces required is **114**.
2. A minimum landscape strip of **3 m** is required abutting a street line.
3. The maximum lot coverage permitted is **60.0%**.
4. In all zones other than a Residential Zone, the minimum driveway width of a driveway access to a parking area and permitting two directions of traffic shall be **6 m**.
5. The minimum width of an aisle providing access to a loading space within a building and having two directions of traffic shall be **6 m**.

Official Plan:

Vaughan Official Plan 2010 ('VOP 2010'): "General Employment" by Volume 2, Section 12.12 Huntington Business Park.

Comments:

The Owner is requesting relief to facilitate the construction of: (1) a proposed 736 m² addition to the existing 2,078 m² manufacturing warehouse portion of the industrial building and (2) a proposed 787 m² addition to an existing 1,859 m² office space within the industrial building with the above-noted variances. The proposed warehouse addition abuts part of the southern wall of the existing warehouse portion of the industrial building and the proposed office addition abuts the existing eastern wall of the existing office portion of the industrial building.

The Development Planning Department has no objection to Variance 1 to permit a reduced minimum number of required parking spaces nor Variances 4 and 5 for a reduced minimum driveway width providing access to a parking area (Variance 4) and a reduced minimum driveway aisle width providing access to a loading space (Variance 5). The proposed number of office/warehouse parking spaces and the reduced minimum driveway widths have been reviewed by the Transportation Engineering Division of the Development Engineering Department through the submission of a Parking Justification Study and are considered sufficient to serve the proposed/existing uses.

The Development Planning Department has no objection to Variance 2 to permit a reduced minimum landscape strip width of 2 m abutting a street. The reduction is sought for the parking lot at the southeast of the site. The 1 m reduction for a minimum landscape strip that abuts a street (New Enterprise Way) has been reviewed by Urban Design Staff, who have no objection, as well as Development Engineering Staff, who are satisfied that appropriate drainage will be maintained. As such, Development Planning Staff do not anticipate any adverse impacts from the proposed reduced landscape strip on the existing street network of New Enterprise Way, or the streetscape as the

reduction is minimal from a visual perspective and sufficient space for drainage and snow storage is provided.

The Development Planning Department has no objection to Variance 3 for an increased maximum lot coverage to allow for the proposed additions to the industrial building. The proposed 1.2% increase in lot coverage is negligible from a visual perspective when considering the larger building as a whole. As such, Development Planning Staff are of the opinion that the requested increase in maximum lot coverage for the proposed addition to the existing industrial building is not anticipated to adversely impact the existing streetscape of New Enterprise Way, or neighbouring properties / land uses.

In support of the application, the Owner submitted a Tree Inventory and Preservation Plan Report prepared by Kuntz Forestry Consulting Inc., dated February 13, 2024. The report inventoried a total of forty-nine (49) trees on the Subject Lands and neighbouring properties, sixteen (16) of which are proposed to be preserved through construction. Thirty-three (33) trees are proposed to be removed. Urban Design staff have reviewed the report and concur with its recommendations.

Accordingly, the Development Planning Department supports the requested variances and is of the opinion that the proposal is minor in nature, maintains the general intent and purpose of the Official Plan and Zoning By-law, and is desirable for the appropriate development of the land.

Recommendation:

The Development Planning Department recommends approval of the application.

Condition of Approval:

If the Committee finds merit in the application, the following condition of approval is recommended:

None.

Comments Prepared by:

Nicholas Del Prete, Planner
David Harding, Senior Planner

From: [Cameron McDonald](#)
To: [Committee of Adjustment](#)
Subject: [External] RE: A038/24 - REQUEST FOR COMMENTS, CITY OF VAUGHAN
Date: Thursday, May 30, 2024 3:26:34 PM
Attachments: [image004.png](#)
[image006.png](#)

CAUTION! This is an external email. Verify the sender's email address and carefully examine any links or attachments before clicking. If you believe this may be a phishing email, please use the Phish Alert Button.

Good afternoon,

Based on a review of our screening mapping, I can confirm that the subject property is not located within TRCA's Regulated Area. As such, any site alteration or development on the property would not require a permit from TRCA.

Based on the above, we have no comments/requirements.

Regards,

Cameron McDonald

Planner I

Development Planning and Permits | Development and Engineering Services

T: [\(437\) 880-1925](tel:(437)880-1925)

E: cameron.mcdonald@trca.ca

A: [101 Exchange Avenue, Vaughan, ON, L4K 5R6](#) | trca.ca



Prabhdeep Kaur

From: Development Services <developmentsservices@york.ca>
Sent: Thursday, June 6, 2024 10:43 AM
To: Committee of Adjustment
Subject: [External] RE: A038/24 - REQUEST FOR COMMENTS, CITY OF VAUGHAN

CAUTION! This is an external email. Verify the sender's email address and carefully examine any links or attachments before clicking. If you believe this may be a phishing email, please use the Phish Alert Button.

Hello,

The Regional Municipality of York has completed its review of the minor variance application – A038/24 (372 New Enterprise Way) and has no comment.

Please provide us with a digital copy of the notice of decision for our records.

Many thanks,

Our working hours may be different. Please do not feel obligated to reply outside of your scheduled working hours. Let's work together to help foster healthy work-life boundaries.

Niranjan Rajevan, M.Pl. | Associate Planner, Development Services, Planning and Economic Development, Corporate Services

The Regional Municipality of York | 17250 Yonge Street | Newmarket, ON L3Y 6Z1

1-877-464-9675 ext. 71521 | niranjan.rajevan@york.ca | www.york.ca

Our Values: Integrity, Commitment, Accountability, Respect, Excellence



Our Mission: **Working together to serve our thriving communities – today and tomorrow**

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SCHEDULE C: PUBLIC & APPLICANT CORRESPONDENCE

Correspondence Type	Name	Address	Date Received (mm/dd/yyyy)	Summary
Applicant			07/29/2024	Application Cover Letter
Applicant			05/31/2024	Planning Justification Report

RECEIVED

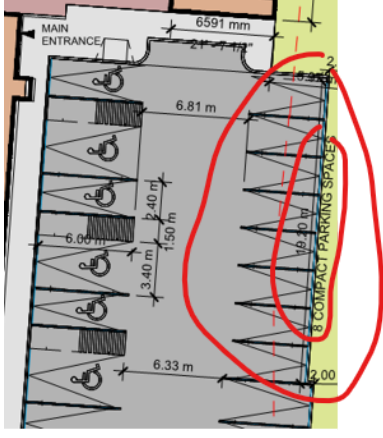
By Christine Vigneault at 11:23 am, Jul 29, 2024

July 26, 2024

Via Digital Delivery - Email
City of Vaughan
Committee of Adjustment
2141 Major Mackenzie Dr.
Vaughan, ON L6A 1T1

Re: Committee of Adjustment, Minor Variance Applications
372 New Enterprise Way, Vaughan ON L4H 0S8

The following is submitted in response to comments received from City Staff on July 23, 2024. Please see our responses in the chart, below:

Submission Requirement	Response
Not all proposed setbacks are depicted on the latest Site Plan submitted. Applicant to please ensure that all proposed setbacks as noted in the Zoning Data table are dimensioned on the Site Plan.	Additional setbacks have been depicted on the drawings. Please refer to the updated site plan submitted with this application.
The Applicant confirms that the proposed canopy addition will serve parking and loading only, as noted on the Site Plan submitted.	A note has been added indicating Loading and Parking Only. Please refer to the updated Site Plan submitted with this application.
The Applicant has advised that the driveway which leads to a parking area and loading spaces at the south of the subject lands provides mutual access for the subject lands and the lot which abuts it.	Acknowledged. Both 370 & 372 New Enterprise have a reciprocal access agreement which allows for access to both properties.
The Applicant shall be advised that a parking space allocated to a compact motor vehicle shall be demarcated for the exclusive use of a compact motor vehicle and maintained as such. [6.3.4.2.2]	The 8 compact parking spaces have been labelled on the site plan and match the site statistics. 19.2 metres divided by 8 parking spaces provides for a width of 2.4 metres per compact parking space. 
Vertical clearance dimensions for the loading spaces under the new canopy do not appear to be clarified. Minimum vertical clearance of 4.0 m is required. [Table 6-16]	Elevations of the canopy have been included in this submission. The canopy has a height of 5.0 metres to 6.3 metres. A variance is not required.
Parking calculations are based on information provided by the Applicant. A complete set of Architectural Drawings has not been provided for our review.	Architectural plans have been provided as part of the submission for review.

The applicant shall be advised that additional variances may be required upon review of detailed drawing for building permit.	Noted.
A hydro easement is shown on the Site Plan. It is the property owner's responsibility to determine the limits of the subject property and the existence of any registered easements or restrictions.	Noted. We have reviewed the easement documents to ensure that there are no conflicts

Included within the resubmission, please find the included amended documents:

- Site Plan and Canopy Section, prepared by Chamberlain Architect Services Limited, dated July 25, 2024

In our opinion the requested variances meet the four tests prescribed under Section 45 of the Planning Act. The variances being sought are consistent with the general intent and purpose of the Official Plan and Zoning By-law, represents desirable and appropriate development of the land, and are minor in nature. The proposed development represents good planning.

Should you have any questions related to the above-noted summary, please do not hesitate to contact the undersigned.

Sincerely,



Fiona McGill
 Intermediate Planner
 Batory Management
fmcgill@batory.ca

cc. Christopher Langley, Batory Management (email)
 cc. Raj Dass, 2835085 Ontario Ltd. (email)

372 NEW ENTERPRISE WAY VAUGHAN, ONTARIO



PLANNING RATIONALE FOR MINOR VARIANCE APPLICATION

Vaughan Committee of Adjustment

Office of the City Clerk
2141 Major Mackenzie Drive
Vaughan, ON L6A 1T1

RE: Planning Rationale – 372 New Enterprise Way Minor Variance Application for Reduced Parking

This report provides an overview of the requested minor variances to allow for the addition of warehouse and office uses to the existing industrial building at 372 New Enterprise Way (the ‘subject site’).

A low-rise industrial building with a total of 3,937 square metres of floor space and a large surface parking area is currently located on the subject site. The property currently contains warehouse and office uses.

The site is located within the General Employment Official Plan designation and the Prestige Employment Zone (Exception 897) in the City of Vaughan Zoning By-law No. 001-2021.

The following variances are being requested:

Permitted Parking Spaces

Required: Minimum of 114 parking spaces
Requested: Minimum of 58 parking spaces

Soft Landscaping Strip along New Enterprise Way

Required: Minimum of 3 metres
Requested: Minimum of 2 metres

Lot Coverage

Required: Maximum of 60%
Requested: Maximum of 61.2%

Driveway Width for Two-way Driveway Access

Required: Minimum of 6.0 m
Requested: Minimum of 2.75 metres

Driveway Width for Two-way Driveway Access to Loading Space

Required:	Minimum of 6.0 m
Requested:	Minimum of 2.75 metres

The requested variances facilitate the addition of warehouse and office space and enable greater flexibility in the use of the existing building on the site to achieve the Official Plan's intent for General Employment – specifically to attract and accommodate a wide range of industrial and associated employment uses while also providing a balance between vehicular, transit, and multi-modal access.

The subject site is an office and warehouse for Dass Metals, a metal manufacturer that provides rebar and steel framing construction materials. The property at 370 New Enterprise Way, located immediately south of the subject site, has the same owner and provides metal manufacturing functions, in addition to office and storage space for Dass Metals. A minor variance application for 370 New Enterprise Way is being submitted in conjunction with this application to facilitate the construction of a warehouse addition.

The Parking Study by NexTrans Consulting Engineers, dated March 22, 2024, prepared in support of the requested variances, found that the proposed number of parking spaces is adequate to accommodate the demands of all proposed uses on the site.

The Arborist Report by Kuntz Forestry Consulting dated February 13, 2024 recorded 49 trees, 33 of which are recommended for removal as part of the Proposed Development. The Proposed Development still exceeds the minimum landscaping requirements despite the tree removals and the building is LEED certified with features such as solar panels.

The requested variances meet the four tests prescribed by Section 45 of the Planning Act and represent good planning.

Site, Context, Proposal, and Decision History

The subject site – 372 New Enterprise Way – is a 7,884 square metre (1.95 acres) industrial site located south of Zenway Boulevard as well as 350 metres west of

Highway 427 and 500 metres north of Highway 7. The site has 73 metres of frontage on the south side of Zenway Boulevard.



One (1) low-rise industrial building totalling 3,937 square metres in floor area, and a large surface parking area, are currently located on the site. The existing building on the site includes 1,859 square metres of office uses, and 2,078 square metres of storage and warehouse uses. The primary use of the subject site is to store steel rebar products and framing materials for building construction.





Top: Looking southwest toward the subject site from New Enterprise Way and Zenway Boulevard intersection. Bottom: Looking west toward subject site from New Enterprise Way.



Top: Looking south toward the subject site from Zenway Boulevard. Bottom: Looking northwest toward the subject site.

The site is located in southwest Vaughan, at the centre of a large employment industrial area identified as the Huntington Business Park in the City's Official Plan. The nearby employment area contains a mix of employment, commercial, infrastructure, and utility uses.

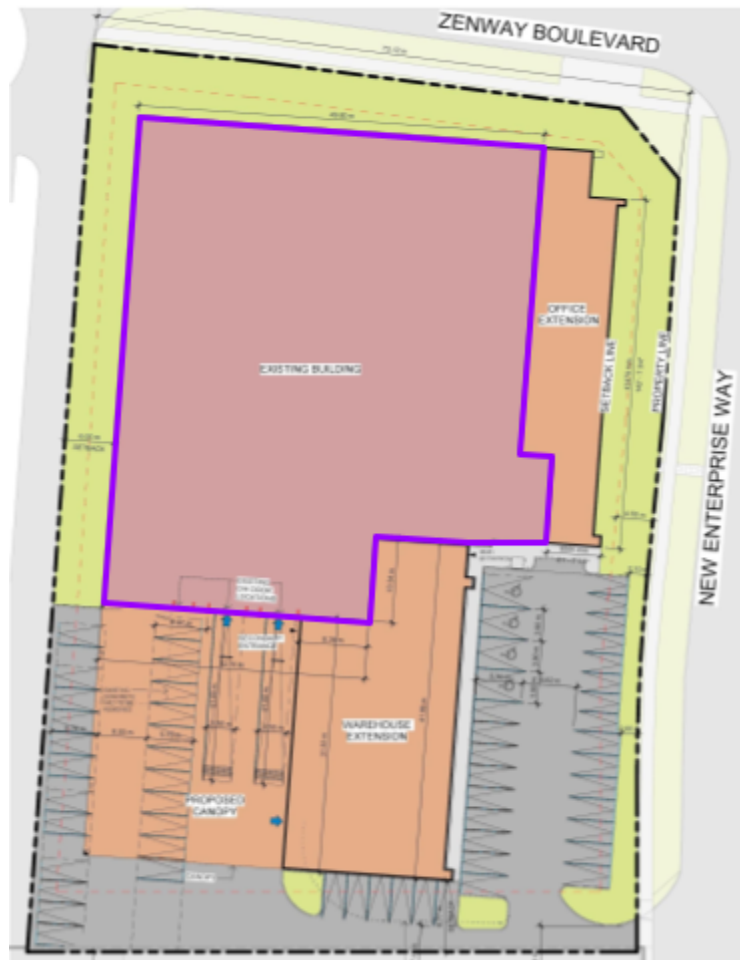
The site is bordered to the north, west, and south by industrial uses, and to the east by vacant land. The TransCanada Pipeline runs east of the site, adjacent to Highway 427 as well.

Proposal

The owner is proposing to construct a 1,524 square metre addition (736 square metres warehouse and 787 square metres office). The warehouse addition and a canopy are proposed along the south façade of the existing building and the office addition is proposed along the east.

The existing building is subject to the parking requirements within the previous City of Vaughan Zoning By-law 1-88, whereas the proposed addition is subject to the parking requirements within the current Zoning By-law 001-2021. The requested variance to decrease the minimum required parking spaces from 114 to 58 will allow for more flexibility in the future use of the subject site and will bring the prevailing zoning policies in line with contemporary best practices in the industry.

The proposed addition increases the amount of parking spaces required under the Zoning By-law, while removing the availability of space for surface parking. The east yard addition also slightly decreases the front yard setback and availability of soft landscaping space. The application requests minor variances to By-law 001-2021, as amended, in order to facilitate the construction of the proposed addition: to reduce the total minimum required parking spaces from 114 to 58; to reduce the minimum soft landscaping strip width from 3 metres to 2 metres along New Enterprise Way; to increase the maximum lot coverage from 60% to 61.2%; to allow one driveway aisle that's part of a two-way driveway access to have a minimum width of 2.75 metres; and to allow one driveway aisle that's part of a two-way driveway access leading to a loading area to have a minimum width of 2.75 metres.



The existing building, outlined in the site plan above, has a total floor area of 3,937 square metres and contains warehousing and office uses.

The addition of 1,524 square metres of warehousing and storage space accounts for a planned total gross floor area of 5,460 square metres.

The requested variance to decrease the minimum required parking spaces from 114 to 58 is appropriate for the proposed addition, will allow for more flexibility in the future use of the subject site, and will bring the prevailing zoning policies in line with contemporary best practices in the industry.

The table below is an excerpt from the Parking Justification Study and shows the parking deficiency calculation.

Parking Rate Calculation

Use	GFA	Parking Rate	Parking Requirement	Parking Provided	Surplus / Deficit
Warehousing (Existing)	2,078 m ²	1 / 100 m ² of GFA	21	58	-56
Office (Existing)	1,859 m ²	3.5 / 100 m ² of GFA	65		
Office (Addition)	787 m ²	3 / 100 m ² of GFA	24		
Warehousing (Addition)	758 m ²	0.5 / 100 m ² of GFA	4		
Total	5,294 m²	-	114		

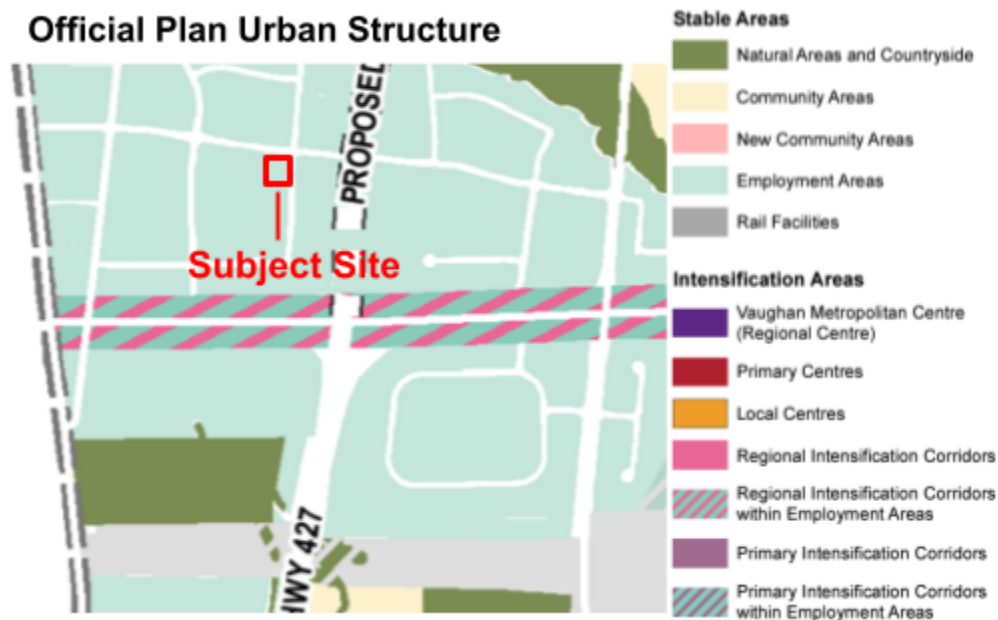
The result of the requested variances to increase the maximum lot coverage and reduce the width of the landscaping strip will be visually imperceptible from the street and is offset by the otherwise substantial soft landscaping around the site; ensuring a balanced relationship between the developed areas and hard and soft landscaping.

The result of the requested variances to allow a reduction to the driveway aisle widths will have no effect on the development as the aisle is part of the existing two-way shared driveway access with 370 New Enterprise Way to the south. The total width of the shared driveway access is 9.62 metres, far exceeding the minimum required width of 6.0 metres. It is noted that an access agreement is registered on title with these two properties to allow for these vehicle movements.

Land Use Framework – Official Plan and Zoning By-law

Official Plan

The subject site is identified as **Employment Areas** on Official Plan Schedule 1 – Urban Structure. Employment Areas are considered stable areas that are planned to support future economic activity by maintaining industrial, manufacturing, warehousing, and some office uses.



The subject site is designated as **General Employment** on Official Plan Schedule 13 – Land Use Designations. General Employment areas are “predominantly industrial areas characterized by low scale buildings with a variety of lot sizes to provide flexibility for attracting and accommodating a wide range of industrial and associated employment uses.”

Official Plan Land Use Map



The subject site is also located in the **Huntington Business Park Area Specific Plan** under Schedule 14B of the Official Plan. The Area Specific Plan identifies acceptable locations for the development of service nodes in the Huntington Business Park to ensure that businesses, industries, and their employees in the area have convenient access to services and to maximize functional efficiency. The Area Specific Plan is intended to ensure that areas like the subject site have service nodes nearby to support day to day convenience and service needs.

Zoning By-law 001-2021

The subject site is zoned Prestige Employment Zone Exception 897 (EM1 897) under the City of Vaughan Zoning By-law No. 001-2021.

Permitted uses include the following: manufacturing or processing facility, motor vehicle repair and sales, office, research and development, vertical farming, warehousing and distribution facility, day care, commercial school, car wash, temporary sales office, accessory office and retail, ancillary retail, and intermodal containers. Some of these uses are subject to special conditions.

Zoning Map - Schedule A | Map 42



The office use is subject to a 10,000 square metre floor area limit. None of the other uses on the site are subject to a specific floor space limit.

Evaluation of the Requested Minor Variances

This Planning Rationale evaluates the requested variances based on the four tests established in the Section 45(1) of the Planning Act: that the development be consistent with the general intent and purpose of the Official Plan and the Zoning By-law, be minor in nature, and constitute appropriate and desirable development for the area.

General Intent and Purpose of the Official Plan and Zoning By-law

The intent of the General Employment policies in the Official Plan is to provide flexibility for attracting and accommodating a wide range of industrial and associated employment uses while also providing a balance between vehicular, transit, and multi-modal access.

Policy 9.2.2.10.a of the Official Plan states that General Employment areas shall aim to promote flexibility to attract and accommodate a range of industrial and associated employment uses. The proposed variances improve flexibility on site by allowing the land use to adapt to the needs of the business operations, which also contributes to the long term viability of business as well.

Policy 9.2.2.10.a also states that General Employment areas will continue to accommodate vehicles and trucks, and will be designed with pedestrian connectivity and amenities to serve the daily employee population and to facilitate access to public transit. The proposed variances do not hinder the site's ability to accommodate vehicles and trucks, and improve efficiency while encouraging the use of non-vehicular transportation modes. The subject site is located with transit options nearby, with existing and planned transit along Highway 7 and Highway 427 as shown on Schedule 10 of the Official Plan. With this context in mind, the subject site is well-positioned to permit a reduced parking rate, support transit usage, and discourage large areas of surface parking in alignment with the Official Plan.

The purpose of minimum parking requirement provisions is to ensure particular uses are supplied with enough parking for employees, visitors, and customers as needed. The purpose of the proposed addition of warehouse and office space is to allow for additional storage. No change to the operations of the existing uses are proposed, and therefore a very minimal increase in the need for vehicle parking is anticipated.

The purpose of the office space addition is to expand business operations. The expanded office uses have been accounted for in the Parking Study, and the proposed parking rate meets the expected demand. Under the applicable zoning, parking rates are a function of floor area, but in the case of the proposed development, the additional floor area is not anticipated to substantially increase demand for parking in line with the Zoning By-law.

The landscaping strip along New Enterprise Way is an existing condition and is not proposed to be changed as part of the proposed addition.

The purpose of the maximum lot coverage requirement is to ensure there is balance between the building footprint and other areas, such as those used for landscaping, to prevent overdevelopment and to maintain a consistent and appropriate relationship with nearby properties. The proposed increase to the maximum permitted lot coverage from 60% to 61.2% is a result of the canopy being included in the total GFA. Reducing the canopy size would result in a staggered setback, but with the proposed variance, there is a consistent wall face connecting the canopy to the south and west buildings. Additionally, there is substantial soft landscaping on site, far beyond the minimum requirements in the Zoning By-law, and so the requested variance will not result in overdevelopment. Overall, the Proposed Development remains compatible with the character of the area.

Policy 9.2.2.10.b of the Official Plan provides development guidance in Employment Areas, mainly pertaining to achieving compatibility between uses and preventing adverse effects on environmentally sensitive land uses. The proposed development supports these goals as it is located among other industrial uses, and has been designed in an environmentally sensitive manner. The existing building is LEED certified, has solar panels installed, and the subject site provides 1,394.5 square metres of soft landscaping, whereas only 394 square metres is required. The considerable soft landscaping on the site minimizes any potential for impacts associated with the requested soft landscaping strip variance and maximum lot coverage variance.

The purpose of the minimum driveway aisle width is to ensure adequate vehicular access and site circulation. The proposed reduction to the minimum driveway aisle widths will still achieve the intent of the By-law. The shared driveway access with 370 New Enterprise Way has a width of 9.62 metre, exceeding the minimum requirement of 6.0 metres by 3.62 metres. It's noted that the property line bisects the driveway between the two properties and only 2.75 metres of the driveway access is located on the subject site, so the majority of the aisle width is located on 370 New Enterprise

Way, leaving a deficiency on the subject site. Overall, the width of the driveway access is more than adequate to meet the intent of the zoning.

The intent of the EM1 Zone is to permit a range of employment uses, excluding outside storage. The Proposed Development will accommodate more indoor storage and office space, which will allow for improved operational efficiency. The requested variances are consistent with the general intent and purpose of the Official Plan and Zoning By-law.

Minor in Nature

The basis for determining whether a proposed variance to the Zoning By-law is minor in nature includes an assessment of impact. This determination is not solely a mathematical exercise and, even though a variance may constitute a considerable numerical change, the effect of the requested variances may still be considered minor in context.

As the requested decrease to permitted parking spaces is intended to be accommodated within the existing site, the proposed office and warehouse additions addresses business needs but only marginally increases the overall parking demand. The Parking Study prepared by NexTrans found that the existing site has a peak parking demand rate of 0.21 spaces per 100 square metres of GFA (19 spaces in use). To estimate the future parking demand rate, NexTrans added the existing peak parking demand with the Zoning By-law requirement addition, which resulted in an expected peak future demand of 36 parking spaces. That means the proposed number of parking spaces exceeds the expected demand by 22 spaces. As such, the proposed number of parking spaces is more than adequate to accommodate the proposed development. The change in the number of parking spaces on site will generally reflect the change in demand for parking and uses over the course of time that occur as the industry evolves.

From a numerical perspective, the requested 58 parking spaces constitutes a 54 space deficiency of the total permitted parking spaces on the site, which is proportionately minor. The impact of the proposed parking rate appears even more minor when compared against the expected future parking rate, which far exceeds the future demand.

The proposed reduction to the soft landscaping strip along New Enterprise Way from 3 to 2 metres are minor both numerically and in impact. Despite having a width which is marginally less than that required by the By-law, the landscaping strip reflects an

existing condition on the site and is adequately sized and landscaped to act as a buffer between right of way and the site, as the by-law intends.

The proposed increase to the maximum lot coverage of 1.2% is minor, both in impact and magnitude.

The proposed reductions to the driveway widths are minor as they exceed the By-law requirements when both sites are taken into account, but the By-law does not contemplate this scenario.

In my opinion the requested variances are minor in nature.

Appropriate and Desirable Development

The requested variances facilitate greater flexibility in the use of existing buildings on the site to achieve the Official Plan's intent for General Employment areas - to allow a wide range of industrial and associated employment uses while also providing a balance between vehicular, transit and multi-modal access.

The Parking Study prepared by NexTrans states that the future parking demand is 36 spaces, whereas 58 spaces are proposed. The Parking Study substantiates that the proposed parking rate is appropriate and will adequately accommodate the proposed development.

The office extension to the east building facade features an inverted corner to address the existing sight triangle on the northeast corner of the site and to reduce the stretch of the frontage with a reduced soft landscaping strip. Additionally, only two trees are being removed from the Zenway Boulevard landscaping strip, neither of which are protected by the Tree By-law, and the site will still exceed the required soft landscaping by 340% (5% requirement versus 17% provided).

The 2 metre width of the landscape strip along New Enterprise Way is an existing condition. The requested variance is to bring the legal non-conforming condition into compliance with current zoning. The 2 metre width only continues for about half of the lot length and towards the rear of the lot. The rest of the New Enterprise Way streetscape features a soft landscaping strip width of 6 metres, twice the minimum required.

The requested increase to the maximum lot coverage is appropriate as it improves the built form by enabling a consistent and linear built edge and is not impactful on adjacent sites.

The requested variance to the driveway widths is appropriate as the total combined driveway width exceeds the by-law requirement.

In my opinion the requested variances constitute appropriate and desirable development.

Conclusion

The requested variances are consistent with the intent of the Official Plan and Zoning By-law, allowing for flexibility in the permitted range of uses intended to serve workers in the broader Employment Area.

As the requested decrease to permitted parking spaces is intended to be accommodated within the current overall limit for the site, and no increase in the operational capacity is proposed, the change to the site will be generally imperceptible. The Parking Study states that the proposed development responds to the future traffic demand and that the provided parking spaces are more than adequate.

By increasing the flexibility of parking on site, the proposal creates a more resilient and varied group of industrial uses to serve the business and workers, and constitutes appropriate and desirable development.

The proposed reduction to the minimum width of the soft landscaping strip, increase to the maximum lot coverage, and reduction to driveway aisle widths will also be imperceptible. There is an abundance of soft landscaping being maintained on site, and the design of the office extension thoughtfully responds to the irregular site shape so that the majority of the frontage continues to have a 6 metre soft landscaping strip. The driveway aisle widths exceed the minimum requirements and are more than adequate to accommodate the expected traffic on site.

In my opinion the requested variance meets the four tests prescribed by Section 45 of the Planning Act and represents good planning.

Respectfully submitted by,



Fiona McGill

Intermediate Planning, Batory Planning + Management



Graig Uens, MCIP, RPP

Director of Planning, Batory Planning + Management



SCHEDULE D: BACKGROUND

None