

<b>ITEM: 6.4</b>	<b>REPORT SUMMARY MINOR VARIANCE APPLICATION FILE NUMBER 098/24</b>
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Report Date: September 6, 2024

**THIS REPORT CONTAINS COMMENTS FROM THE FOLLOWING  
DEPARTMENTS & AGENCIES (SEE SCHEDULE B):**

Additional comments from departments and agencies received after the publication of the report will be made available on the City's [website](#).

Internal Departments <small>*Comments Received</small>	Conditions Required		Nature of Comments
Committee of Adjustment	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>	General Comments
Building Standards (Zoning)	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>	General Comments
Development Planning	Yes <input type="checkbox"/>	No <input type="checkbox"/>	Application Under Review
Development Engineering	Yes <input checked="" type="checkbox"/>	No <input type="checkbox"/>	General Comments w/Conditions
Development Finance	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>	General Comments

External Agencies <small>*Comments Received</small>	Conditions Required		Nature of Comments <small>*See Schedule B for full comments</small>
Alectra	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>	General Comments
TRCA	Yes <input checked="" type="checkbox"/>	No <input type="checkbox"/>	General Comments w/Conditions
Region of York	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>	General Comments

<b>PUBLIC &amp; APPLICANT CORRESPONDENCE (SEE SCHEDULE C)</b>				
<p>All personal information collected because of this public meeting (including both written and oral submissions) is collected under the authority of the Municipal Act, the Municipal Freedom of Information and Protection of Privacy Act (MFIPPA), the Planning Act and all other relevant legislation, and will be used to assist in deciding on this matter. All personal information (as defined by MFIPPA), including (but not limited to) names, addresses, opinions and comments collected will become property of the City of Vaughan, will be made available for public disclosure (including being posted on the internet) and will be used to assist the Committee of Adjustment and staff to process this application.</p>				
Correspondence Type	Name	Address	Date Received <small>(mm/dd/yyyy)</small>	Summary
Applicant			06/13/2024	Application Cover Letter

<b>BACKGROUND (SCHEDULE D, IF REQUIRED)</b>	
<p><small>* Background Information contains historical development approvals considered to be related to this file. This information should not be considered comprehensive.</small></p>	
Application No. (City File)	Application Description <small>(i.e. Minor Variance Application; Approved by COA / OLT)</small>
None	N/A

<b>ADJOURNMENT HISTORY</b>	
<small>* Previous hearing dates where this application was adjourned by the Committee and public notice issued.</small>	
Hearing Date	Reason for Adjournment <small>(to be obtained from NOD_ADJ)</small>
August 22, 2024	Minor Variance Application A098/24 was adjourned at the request of staff/applicant to September 12, 2024, Committee of Adjustment Hearing to accommodate statutory public notice requirements.

<b>SCHEDULES</b>	
<b>Schedule A</b>	Drawings & Plans Submitted with the Application
<b>Schedule B</b>	Comments from Agencies, Building Standards & Development Planning
<b>Schedule C</b> (if required)	Public & Applicant Correspondence
<b>Schedule D</b> (if required)	Background



## MINOR VARIANCE APPLICATION FILE NUMBER A098/24

<b>CITY WARD #:</b>	2
<b>APPLICANT:</b>	Consolidated Fastfrate (Ontario) Holdings Inc.
<b>AGENT:</b>	Valdemar Nickel, NORR Architects & Engineers
<b>PROPERTY:</b>	9701 Hwy 50 & Con 10 PT Lots 19 & 20 RS65R21469 Part 2 Vaughan
<b>ZONING DESIGNATION:</b>	See Below
<b>VAUGHAN OFFICIAL PLAN (2010) DESIGNATION:</b>	Vaughan Official Plan 2010 ('VOP 2010'): "General Employment"
<b>RELATED DEVELOPMENT APPLICATIONS:</b>	DA.22.030
<b>PURPOSE OF APPLICATION:</b>	Relief from the Zoning By-law is being requested to permit a transportation terminal with accessory storage of intermodal containers and to facilitate related Site Plan Application DA.22.030.

The following variances have been requested from the City's Zoning By-law:

**The subject lands are zoned EM1 – Prestige Employment Zone and subject to the provisions of Exception 14.708 under Zoning By-law 001-2021, as amended.**

#	Zoning By-law 001-2021	Variance requested
1	The use of intermodal containers is not permitted. (14.708)	To permit storage of intermodal containers as an accessory use subject to the attached sketch with a maximum height of three containers.
2	In any employment zone, a parking area, any driveway or aisle providing access to a parking area and any loading space and associated manoeuvring area shall be located on a stable surface and treated with a hard surface dustless material, such as asphalt, concrete, permeable paving surface, or a similar material. (6.1.9)	To permit the surface area of loading spaces and related driveways, parking spaces and manoeuvring area to be gravel.
3	Outside Storage: Means an open area of land used for the storage of materials, equipment, intermodal containers, or finished goods which are associated with the principal use of the lot and may include the temporary parking of commercial vehicles.	The leaving, placing, or parking of intermodal containers accessory to a Transportation Terminal shall not be considered Outside Storage.
4	An intermodal container shall be considered an accessory structure and subject to the maximum lot coverage requirements, locational and setback requirements for accessory structures as set out in this By-law. (4.9.2.a)	The requirements of section (4.9.2.a) shall not apply.

### HEARING INFORMATION

**DATE OF MEETING:** Thursday, September 12, 2024

**TIME:** 6:00 p.m.

**MEETING LOCATION:** Vaughan City Hall, Woodbridge Room (2<sup>nd</sup> Floor), 2141 Major Mackenzie Drive

**LIVE STREAM LINK:** [Vaughan.ca/LiveCouncil](http://Vaughan.ca/LiveCouncil)

### PUBLIC PARTICIPATION

If you would like to speak to the Committee of Adjustment at the meeting, either remotely or in person, please complete the [Request to Speak Form](#) and submit to [cofa@vaughan.ca](mailto:cofa@vaughan.ca)

If you would like to submit written comments, please quote file number above and submit by mail or email to:

## HEARING INFORMATION

**Email:** [cofa@vaughan.ca](mailto:cofa@vaughan.ca)

**Mail:** City of Vaughan, Office of the City Clerk, Committee of Adjustment, 2141 Major Mackenzie Drive, Vaughan, ON, L6A 1T1

To speak electronically, pre-registration is required by completing the [Request to Speak Form](#) on-line and submitting it to [cofa@vaughan.ca](mailto:cofa@vaughan.ca) no later than NOON on the last business day before the meeting.

**THE DEADLINE TO REGISTER TO SPEAK ELECTRONICALLY OR SUBMIT WRITTEN COMMENTS ON THE ABOVE NOTED FILE(S) IS NOON ON THE LAST BUSINESS DAY BEFORE THE MEETING.**

## INTRODUCTION

Staff and Agencies act as advisory bodies to the Committee of Adjustment. The comments contained in this report are presented as recommendations to the Committee.

Section 45(1) of the Planning Act sets the criteria for authorizing minor variances to the City of Vaughan's Zoning By-law. Accordingly, review of the application may consider the following:

- That the general intent and purpose of the by-law will be maintained.
- That the general intent and purpose of the official plan will be maintained.
- That the requested variance(s) is/are acceptable for the appropriate development of the subject lands.
- That the requested variance(s) is/are minor in nature.

Public written and oral submissions relating to this application are taken into consideration by the Committee of Adjustment as part of its deliberations and final decision on this matter.

## COMMITTEE OF ADJUSTMENT

<b>Date Public Notice Mailed:</b>	August 29, 2024
<b>Date Applicant Confirmed Posting of Sign:</b>	August 29, 2024
<b>Applicant Justification for Variances:</b> <small>*As provided in Application Form</small>	Proposal exceeds permission
<b>Was a Zoning Review Waiver (ZRW) Form submitted by Applicant:</b> <small>*ZRW Form may be used by applicant in instances where a revised submission is made, and zoning staff do not have an opportunity to review and confirm variances prior to the issuance of public notice.</small>	Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>
<b>COMMENTS:</b>	
None	
<b>Committee of Adjustment Recommended Conditions of Approval:</b>	None

## BUILDING STANDARDS (ZONING)

<b>**See Schedule B for Building Standards (Zoning) Comments</b>	
<b>Building Standards Recommended Conditions of Approval:</b>	None

## DEVELOPMENT PLANNING

<b>**See Schedule B for Development Planning Comments.</b>	
<b>Development Planning Recommended Conditions of Approval:</b>	TBD

## DEVELOPMENT ENGINEERING

[Link to Grading Permit](#)   [Link to Pool Permit](#)   [Link to Curb Curt Permit](#)   [Link Culvert Installation](#)

The Development Engineering Department does not object to the Minor Variance application A098/24, subject to the following condition(s):

<b>Development Engineering Recommended Conditions of Approval:</b>	The Owner/Applicant shall obtain approval for the related Site Development Application (DA.22.030) from the Development Engineering (DE) Department.
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## PARKS, FORESTRY & HORTICULTURE (PFH)

No comments received to date.

### PARKS, FORESTRY & HORTICULTURE (PFH)

<b>PFH Recommended Conditions of Approval:</b>	None
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### DEVELOPMENT FINANCE

No comment no concerns	
<b>Development Finance Recommended Conditions of Approval:</b>	None

### BY-LAW AND COMPLIANCE, LICENSING AND PERMIT SERVICES

No comments received to date.	
<b>BCLPS Recommended Conditions of Approval:</b>	None

### BUILDING INSPECTION (SEPTIC)

No comments received to date.	
<b>Building Inspection Recommended Conditions of Approval:</b>	None

### FIRE DEPARTMENT

No comments received to date.	
<b>Fire Department Recommended Conditions of Approval:</b>	None

### RECOMMENDED CONDITIONS OF APPROVAL SUMMARY

Should the Committee find it appropriate to approve this application in accordance with request and the sketch submitted with the application, as required by Ontario Regulation 200/96, the following conditions have been recommended:

#	DEPARTMENT / AGENCY	CONDITION
1	Development Planning <a href="mailto:Nicholas.delprete@vaughan.ca">Nicholas.delprete@vaughan.ca</a>	TBD
2	Development Engineering <a href="mailto:Rex.bondad@vaughan.ca">Rex.bondad@vaughan.ca</a>	The Owner/Applicant shall obtain approval for the related Site Development Application (DA.22.030) from the Development Engineering (DE) Department.
3	TRCA <a href="mailto:Yorkplan@trca.ca">Yorkplan@trca.ca</a>	1. That the applicant provides the required fee amount of \$1,250 payable to the Toronto and Region Conservation Authority. 2. That the applicant obtains a permit for the proposed works pursuant to Conservation Authorities Act – Section 28.

*All conditions of approval, unless otherwise stated, are considered to be incorporated into the approval “if required”. If a condition is no longer required after an approval is final and binding, the condition may be waived by the respective department or agency requesting conditional approval. A condition cannot be waived without written consent from the respective department or agency.*

## IMPORTANT INFORMATION

**CONDITIONS:** It is the responsibility of the owner/applicant and/or authorized agent to obtain and provide a clearance letter from respective department and/or agency (**see condition chart above for contact**). This letter must be provided to the Secretary-Treasurer to be finalized. All conditions must be cleared prior to the issuance of a Building Permit.

**APPROVALS:** Making any changes to your proposal after a decision has been made may impact the validity of the Committee's decision.

An approval obtained from the Committee of Adjustment, where applicable, is tied to the building envelope shown on the plans and drawings submitted with the application and subject to the variance approval.

A building envelope is defined by the setbacks of the buildings and/or structures shown on the plans and drawings submitted with the application, as required by Ontario Regulation 200/96. Future development outside of an approved building envelope, where a minor variance was obtained, must comply with the provisions of the City's Zoning By-law.

Elevation drawings are provided to reflect the style of roof (i.e. flat, mansard, gable etc.) to which a building height variance has been applied. Where a height variance is approved, building height is applied to the style of roof (as defined in the City's Zoning By-law) shown on the elevation plans submitted with the application.

Architectural design features that are not regulated by the City's Zoning By-law are not to be considered part of an approval unless specified in the Committee's decision.

**DEVELOPMENT CHARGES:** That the payment of the Regional Development Charge, if required, is payable to the City of Vaughan before issuance of a building permit in accordance with the Development Charges Act and the Regional Development Charges By-law in effect at the time of payment.

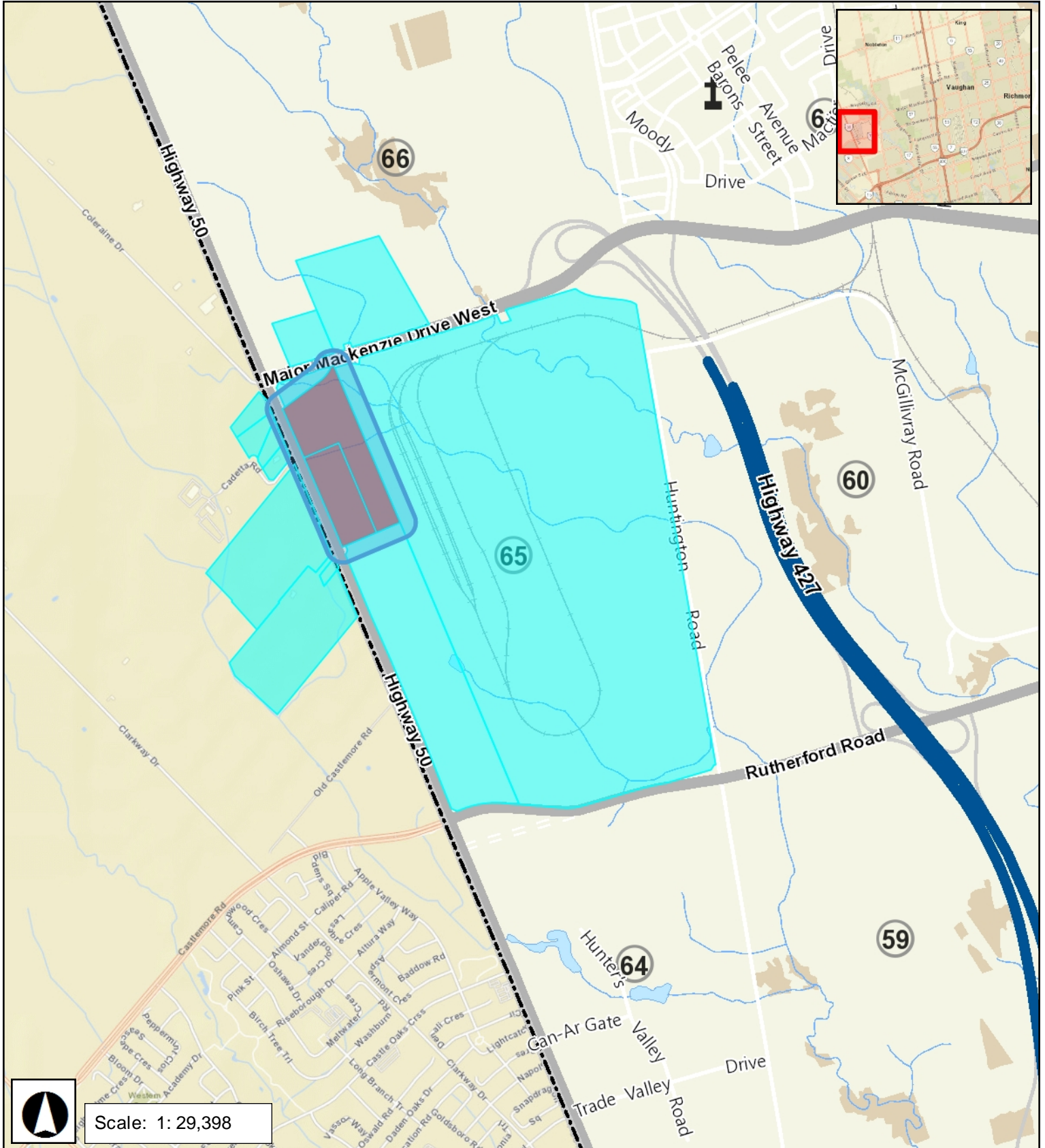
That the payment of the City Development Charge, if required, is payable to the City of Vaughan before issuance of a building permit in accordance with the Development Charges Act and the City's Development Charges By-law in effect at the time of payment.

That the payment of the Education Development Charge if required, is payable to the City of Vaughan before issuance of a building permit in accordance with the Development Charges Act and the Boards of Education By-laws in effect at the time of payment

That the payment of Special Area Development charge, if required, is payable to the City of Vaughan before issuance of a building permit in accordance with the Development Charges Act and The City's Development Charge By-law in effect at the time of Building permit issuance to the satisfaction of the Reserves/Capital Department.

**NOTICE OF DECISION:** If you wish to be notified of the decision in respect to this application or a related Ontario Land Tribunal (OLT) hearing you must complete a Request for Decision form and submit to the Secretary Treasurer (ask staff for details). In the absence of a written request to be notified of the Committee's decision you will **not** receive notice.

**SCHEDULE A: DRAWINGS & PLANS**



# NORR

NORR Architects & Engineers Limited  
175 Bloor Street East  
North Tower, 15th Floor  
Toronto, ON, Canada M4W 3R8  
norr.com

# FASTFRATE

APPLICATION FILE : DA.22.030

9701 HWY 50  
Kleinburg, ON, CANADA  
L4H 3N5

NORR JOB NO: ONBL21-0271



FASTFRATE GROUP  
9701 HWY 50  
Kleinburg, ON, CANADA  
L4H 3N5

## ISSUED FOR MINOR VARIANCE - JUNE 04, 2024

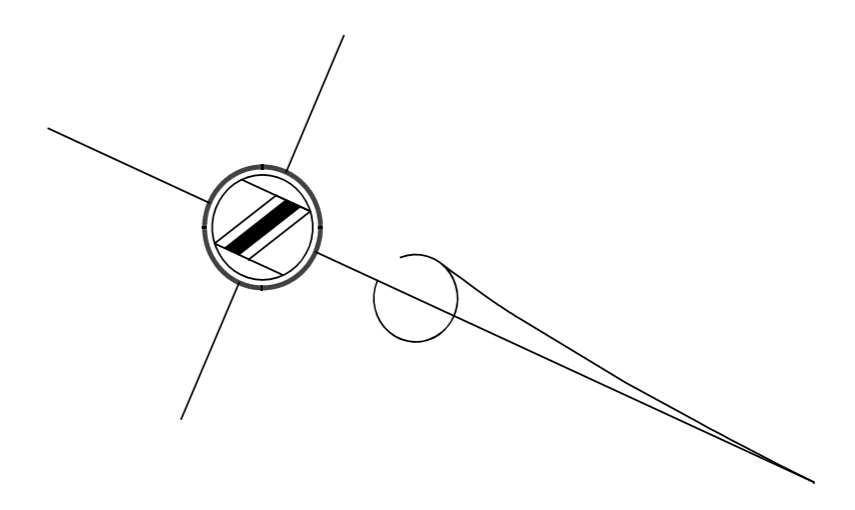
CIVIL	ARCHITECTURE	LANDSCAPE
<p>ENGAGE ENGINEERING Ltd. 171 King St. Suite 120, Peterborough, Ontario K9J 2R8 PHONE: 705.755.0427 EX 215</p>	<p>NORR ARCHITECTS &amp; ENGINEERS LIMITED 175 Bloor Street East North Tower, 15th Floor Toronto, Toronto, Ontario M4W 3R8 PHONE: 416.929.0200 FAX: 416.929.3635</p>	<p>MBTW 255 Wicksteed Ave East York, Ontario M4H 1G8 PHONE: 416.449.7767</p>



SURVEOR'S REAL PROPERTY REPORT  
 PART 1, PLAN OF SURVEY OF  
**CONCESSION 10**  
 (GEORGIAN TOWNSHIP OF VAUGHAN)  
 CITY OF VAUGHAN  
 REGIONAL MUNICIPALITY OF YORK

SCALE 1: 750  
 David B. Scatena Surveying Ltd.  
 ONTARIO LAND SURVEYORS

DISTANCES AND COORDINATES SHOWN ON THIS PLAN ARE IN METRES AND CAN BE CONVERTED TO FEET BY DIVIDING BY 0.3048



- LEGEND**
- 1 FINISH GRADE
  - 2 CONCRETE
  - 3 ASPHALT
  - 4 GRAVEL
  - 5 SAND
  - 6 GRAVEL SAND
  - 7 SAND GRAVEL
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**AREA NOTE**  
 BRUSH AND REMOVED FENCE (EXTENSION) - 100% 50% IN BUILDING AREA SECOND LEVEL (2 STOREY PORTION - EXTENSION) - NOT MEASURED AT ALL. 50% BEING METRES AND CAN BE CONVERTED TO SQUARE FEET.

**CAUTION**  
 AREAS SUBJECT TO CHANGE UPON COMPLETION OF FINAL SURVEY.

**BEARING NOTE**  
 BEARINGS WERE OBTAINED FROM GPS CONTROLLING POINTS AND THE BEARING OF THE CONVEYANCE INSTRUMENT IS 100% 50% IN BUILDING AREA SECOND LEVEL (2 STOREY PORTION - EXTENSION) - NOT MEASURED AT ALL. 50% BEING METRES AND CAN BE CONVERTED TO SQUARE FEET.

**DISTANCE NOTE**  
 DISTANCES SHOWN AREAS ARE OBTAINED FROM GPS CONTROLLING POINTS AND THE BEARING OF THE CONVEYANCE INSTRUMENT IS 100% 50% IN BUILDING AREA SECOND LEVEL (2 STOREY PORTION - EXTENSION) - NOT MEASURED AT ALL. 50% BEING METRES AND CAN BE CONVERTED TO SQUARE FEET.

**NOTE**  
 DISTANCES AND COORDINATES SHOWN ON THIS PLAN ARE IN METRES AND CAN BE CONVERTED TO FEET BY DIVIDING BY 0.3048.

**THE RESPONSIBILITY, ATTENTION OR USE OF THIS PLAN IN WHOLE OR IN PART, IS SOLELY THAT OF THE USER.**

**SURVEYORS CERTIFICATE**  
 I, THE SURVEYOR, HAVE BEEN COMPLETED AND IN ACCORDANCE WITH THE SURVEYORS ACT, 2001 (R.S.O. 1990, CHAPTER S.5) AND THE REGULATIONS MADE THEREUNDER, I HAVE BEEN ADVISED BY THE CLIENT THAT THE SURVEY WAS COMPLETED ON THE 20th DAY OF MAY 2024.

**PRELIMINARY**

DATE: \_\_\_\_\_

THIS PLAN OF SURVEY RELATES TO PLANT PLAN SURVEYORS FORM NUMBER V-30000

ONTARIO LAND SURVEYORS

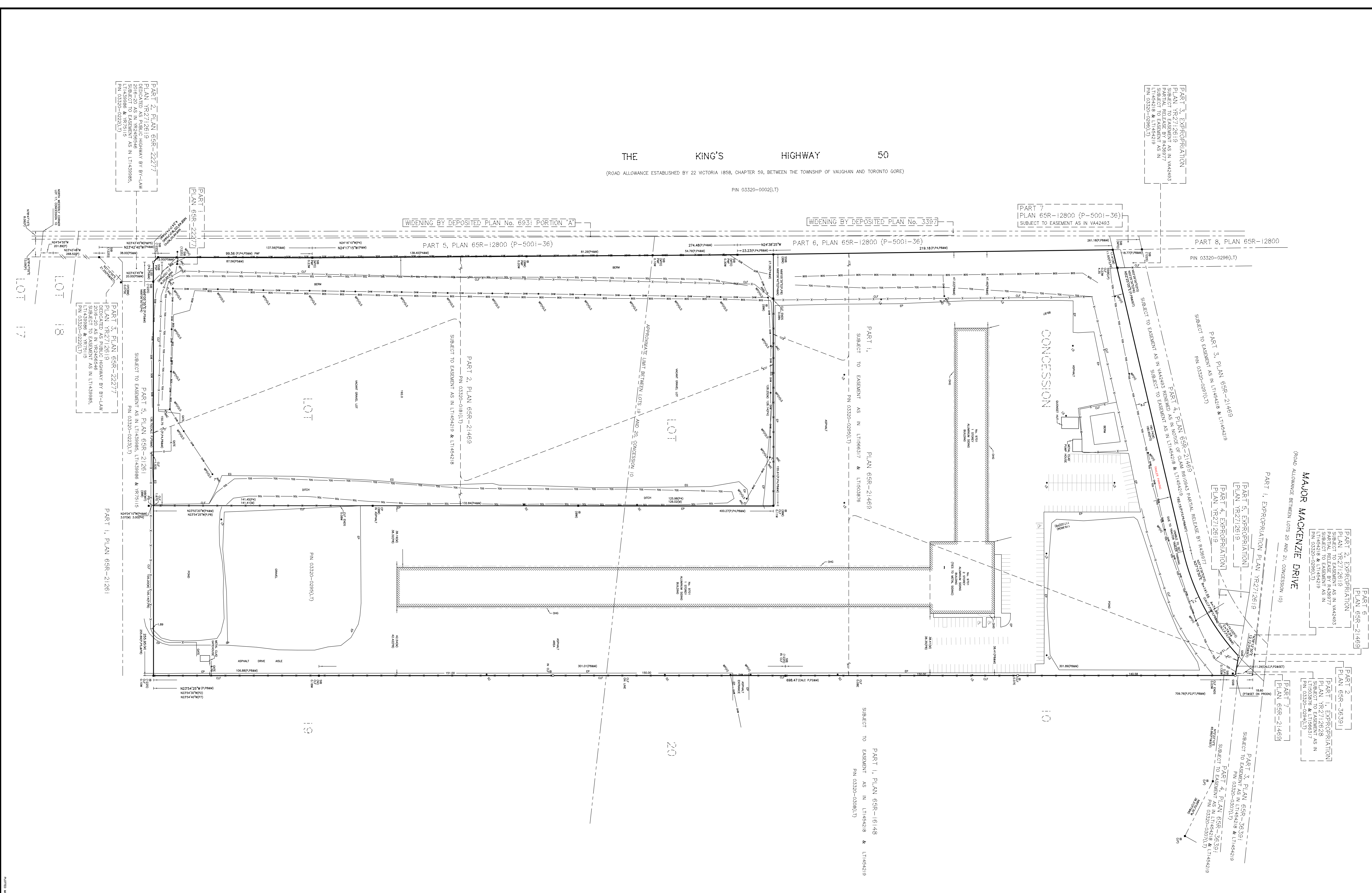
THE PLAN HAS BEEN REVIEWED FOR COMPLIANCE WITH THE SURVEYORS ACT (ONTARIO) REGULATIONS AND THE SURVEYORS CERTIFICATE OF PRACTICE. THE SURVEYOR'S RESPONSIBILITY FOR THE ACCURACY OF THE SURVEY IS NOT AFFECTED BY THIS REVIEW.

**David B. Scatena Surveying Ltd.**

1425 Sheppard Avenue East, Suite 206, Scarborough, Ont. M1S 1T5  
 Tel: (416) 291-8888 Fax: (416) 291-8889  
 www.dbscatena.com

2025-0-24

CONVEYANCE INSTRUMENT	DATE	PLAN	CONVEYANCE INSTRUMENT	DATE	PLAN
2025-0-24	2024	25-0-24	2025-0-24	2024	25-0-24



PART 2, PLAN 65R-22277  
 RECORDED AS PUBLIC HIGHWAY BY BY-LAW 2016-20 AS IN REGISTRATION PIN 03320-02281U  
 LIT43988 & YR7515  
 PIN 03320-02281U

PART 3, EXPROPRIATION  
 PLAN YR2712618  
 PARTIAL RELEASE BY RESORT  
 SUBJECT TO EASEMENT AS IN  
 PIN 03320-02661U

PART 7  
 PLAN 65R-12800 (P-5001-36)  
 SUBJECT TO EASEMENT AS IN V442463

WIDENING BY DEPOSITED PLAN No. 6931 PORTION A

WIDENING BY DEPOSITED PLAN No. 3397

LOT 17

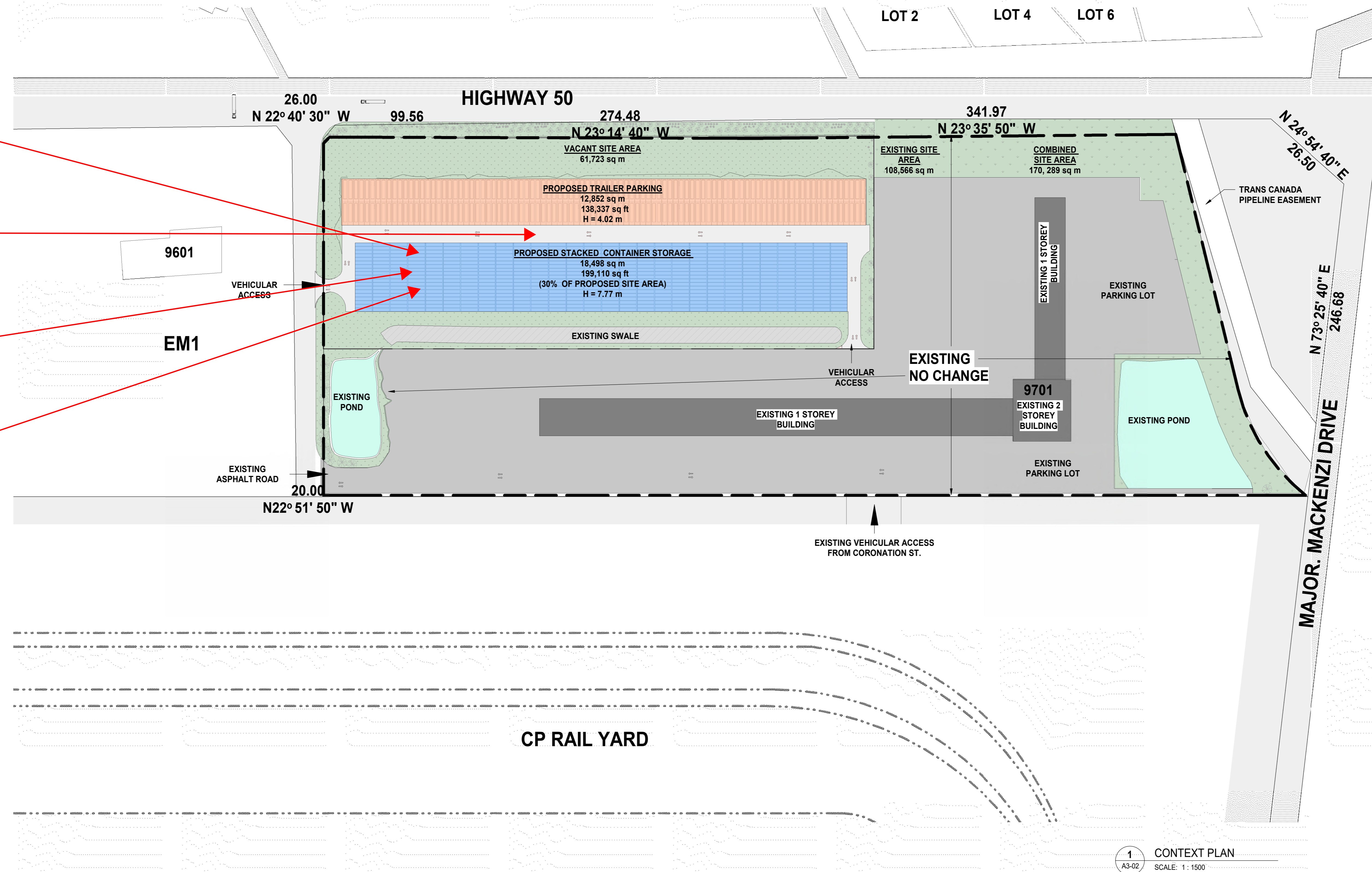
LOT 18

APRIL 20, 2024

ARCHITECTURAL DRAWINGS LIST			
Count	Sheet Number	Sheet Name	Current Revision
1	A0-00	COVER PAGE	
1		SITE SURVEY	
1	A1-00	CONTEXT PLAN, PROJECT STATISTICS & DRAWINGS LIST	E
1	A1-02	SITE PLAN_OVERALL	A
1	A1-03	SITE ELEVATIONS AND SHIPPING CONTAINER DIMENSIONS	A

PROJECT STATISTICS				
LEGAL DESCRIPTION		PROPERTY IDENTIFICATION NUMBER		
PROPERTY IDENTIFICATION NUMBER		03320-0295 & 03320-0181		
BLOCK		65		
PLAN		PART 2, PLAN 65R - 21469		
MUNICIPAL ADDRESS		9701 HWY 50, Kleinburg, ON, CANADA L4H 3N5		
LAND USE		PRESTIGE EMPLOYMENT EM1		
		REQUIRED	EXISTING - NO CHANGE	PROPOSED
LOT AREA		MIN. 1,800 m <sup>2</sup>	108,566 m <sup>2</sup>	61,723 m <sup>2</sup>
LOT FRONTAGE		MIN. 30 m	616.606 m	397.198 m
LOT COVERAGE		MAX. 60%	13 %	N/A
BUILDING HEIGHT		MAX. 15 m	6 m	7.7 m (SHIPPING CONTAINER)
FRONT YARD		4.5 m	45.8 m	-
INTERIOR SIDE YARD		3 m	91.56 m	-
EXTERIOR SIDE YARD		4.5 m	156.81 m	-
REAR YARD		7.5 m	39.44 m	-
LANDSCAPED OPEN SPACE		MIN. 5%	9 %	40%
LANDSCAPE STRIP ON INTERIOR SIDE LOT LINE - NORTH		3 m	16.1 m	5.6 m
LANDSCAPE STRIP ABUTTING A STREET LINE - SOUTH		3 m	MIN 13.9 m	MIN 13.9 m
LANDSCAPE STRIP ABUTTING A STREET LINE - WEST		3 m	MIN 31.3 m	30 m
LOADING SPACES AS PER ZONING BY-LAW SECTION 3.9		4	344	-
TRAILER AND CONTAINER STORAGE - AREA AND COUNT			sq m	sq ft
TRAILER STORAGE SPACES			12,852	138,337
CONTAINER STORAGE SPACES ( 367,817 L X 50,054 W)			18,498	199,110
			30% OF PROPOSED AREA 11% OF COMBINED AREA	
COUNT				190
VEHICULAR PARKING				
USE	RATE	REQUIRED	EXISTING	PROVIDED
EMPLOYMENT	2 PARKING SPACES PER 100 m <sup>2</sup>	75	170	0
TOTAL		75	170	0

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1	The use of intermodal containers is not permitted. (14.708)	To permit storage of intermodal containers as an accessory use subject to the attached sketch with a maximum height of three containers.
2	In any employment zone, a parking area, any driveway or aisle providing access to a parking area and any loading space and associated manoeuvring area shall be located on a stable surface, such as asphalt, concrete, permeable paving surface, or a similar material. (6.1.9)	To permit the surface area of loading spaces and related driveways, parking spaces and manoeuvring area to be gravel.
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1  
A3-02  
SCALE: 1:1500

DATE	ISSUED FOR	REV
2022-02-22	REVISION	A
2022-06-13	SITE PLAN APPLICATION	B
2022-11-14	SITE PLAN APPLICATION-2ND	C
2023-04-14	SITE PLAN APPLICATION-3RD	D
2024-06-04	SITE PLAN APPLICATION-4TH	E
2024-06-04	MINOR VARIANCE	F

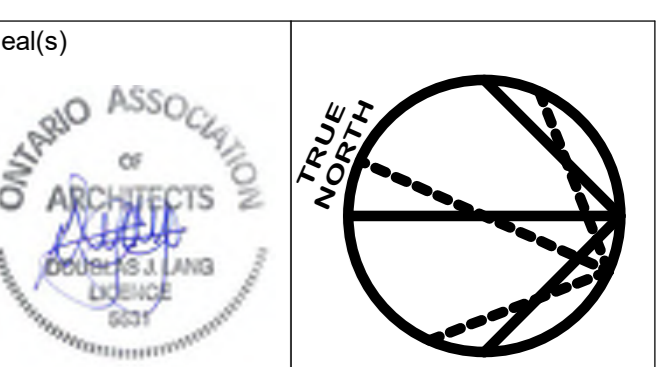
This drawing has been prepared solely for the use of FASTFRATE GROUP and there are no representations of any kind made by NORR ARCHITECTS & ENGINEERS LIMITED to any party with whom NORR ARCHITECTS & ENGINEERS LIMITED has not entered into a contract.

This drawing shall not be used for construction purposes until the seal appearing hereon is signed and dated by the Architect or Engineer.

Project Component  
MINOR VARIANCE



Consultants  
Civil: ENGAGE ENGINEERING Ltd.  
Landscape: MBTW  
Architecture: NORR ARCHITECTS & ENGINEERS LIMITED



**NORR**  
NORR Architects & Engineers Limited  
175 Bloor Street East  
North Tower, 15th Floor  
Toronto, ON, Canada M4W 3R8  
norr.com

Project Manager: D.LANG  
Project Leader: D.LANG  
Client: FASTFRATE GROUP

Drawn: E.BUTORINA  
Checked: M.KANU  
Client: FASTFRATE GROUP  
**FASTFRATE**  
INTEGRATED LOGISTICS

Project: FASTFRATE

APPLICATION FILE : DA.22.030  
9701 HWY 50  
Kleinburg, ON, CANADA  
L4H 3N5  
Drawing Title: CONTEXT PLAN, PROJECT STATISTICS & DRAWINGS LIST

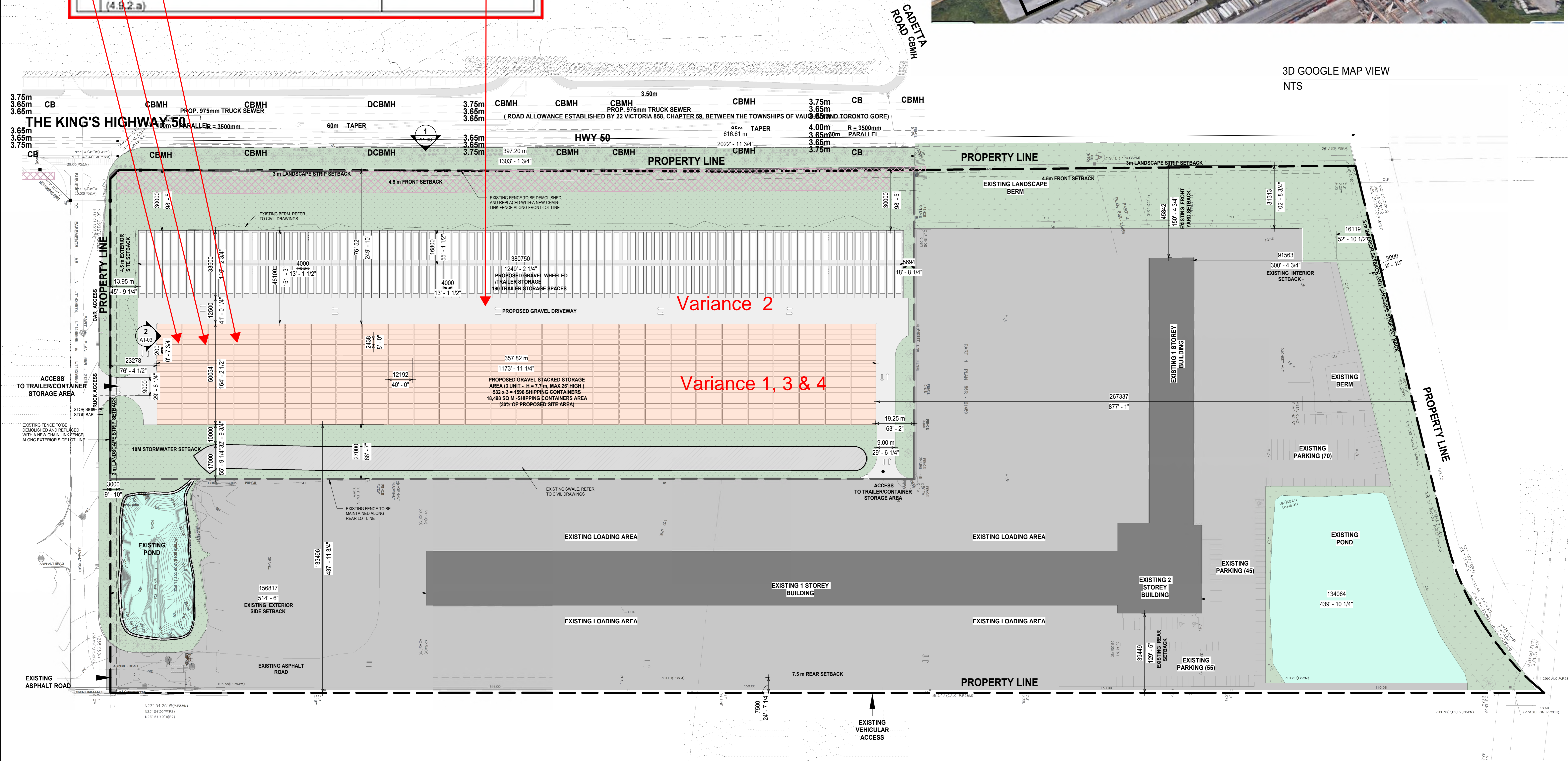
Scale: As indicated  
Project No.: ONBL21-0271  
Drawing No.: A1-00

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1	The use of intermodal containers is not permitted. (14.708)	To permit storage of intermodal containers as an accessory use subject to the attached sketch with a maximum height of three containers.
2	In any employment zone, a parking area, any driveway or aisle providing access to a parking area and any loading space and associated manoeuvring area shall be located on a stable surface and treated with a hard surface dustless material, such as asphalt, concrete, permeable paving surface, or a similar material. (6.1.9)	To permit the surface area of loading spaces and related driveways, parking spaces and manoeuvring area to be gravel.
3	Outside Storage: Means an open area of land used for the storage of materials, equipment, intermodal containers, or finished goods which are associated with the principal use of the lot and may include the temporary parking of commercial vehicles.	The leaving, placing, or parking of intermodal containers accessory to a Transportation Terminal shall not be considered Outside Storage.
4	An intermodal container shall be considered an accessory structure and subject to the maximum lot coverage requirements, locational and setback requirements for accessory structures as set out in this By-law. (4.9.2.a)	The requirements of section (4.9.2.a) shall not apply.

SITE PLAN LEGEND	
GRAPHIC	DESCRIPTION
	DENOTES LANDSCAPED AREA. (REFER TO LANDSCAPE DRAWINGS)
	DENOTES TEMPORARY WORKING EASEMENT
	DENOTES COMPACT CRUSHER/RUN GRAVEL



3D GOOGLE MAP VIEW  
NTS



This drawing has been prepared solely for the use of FASTFRATE GROUP and there are no representations of any kind made by NORR ARCHITECTS & ENGINEERS LIMITED to any party with whom NORR ARCHITECTS & ENGINEERS LIMITED has not entered into a contract.

This drawing shall not be used for construction purposes until the seal appearing hereon is signed and dated by the Architect or Engineer.

Project Component  
**MINOR VARIANCE**

Key Plan

Consultants  
Civil: ENGAGE ENGINEERING Ltd.  
Landscape: MBTW  
Architecture: NORR ARCHITECTS & ENGINEERS LIMITED

Seal(s)

**NORR**  
NORR Architects & Engineers Limited  
175 Bloor Street East  
North Tower, 15th Floor  
Toronto, ON, Canada M4W 3R8  
norr.com

Project Manager	Drawn
D.LANG	E. Bulotina
Project Leader	Checked
D.LANG	M. Karj

**FASTFRATE GROUP**  
**FASTFRATE**  
INTEGRATED LOGISTICS

Project  
**FASTFRATE**

APPLICATION FILE : DA.22.030  
9701 HWY 50  
Kleshburg, ON, CANADA  
L4K 3M5

Drawing Title  
**SITE PLAN\_OVERALL**

Scale  
As indicated

Project No.  
ONBL21-0271

Drawing No.  
**A1-02**

2024-06-04 12:02 PM

C:\Users\pjl\OneDrive\Documents\Projects\FASTFRATE\FASTFRATE.dwg

DATE	ISSUED FOR	REV
2024-06-04	SITE PLAN APPLICATION-4TH	A
2024-06-04	MINOR VARIANCE	B

This drawing has been prepared solely for the use of FASTFRATE GROUP and there are no representations of any kind made by NORR ARCHITECTS & ENGINEERS LIMITED to any party with whom NORR ARCHITECTS & ENGINEERS LIMITED has not entered into a contract.

This drawing shall not be used for construction purposes until the seal appearing hereon is signed and dated by the Architect or Engineer.

Project Component  
**MINOR VARIANCE**



Consultants  
Civil: ENGAGE ENGINEERING LTD.  
Landscape: MBTW  
Architecture: NORR ARCHITECTS & ENGINEERS LIMITED



**NORR**  
NORR Architects & Engineers Limited  
175 Bloor Street East  
North Tower, 15th Floor  
Toronto, ON, Canada M4W 3R8  
norr.com

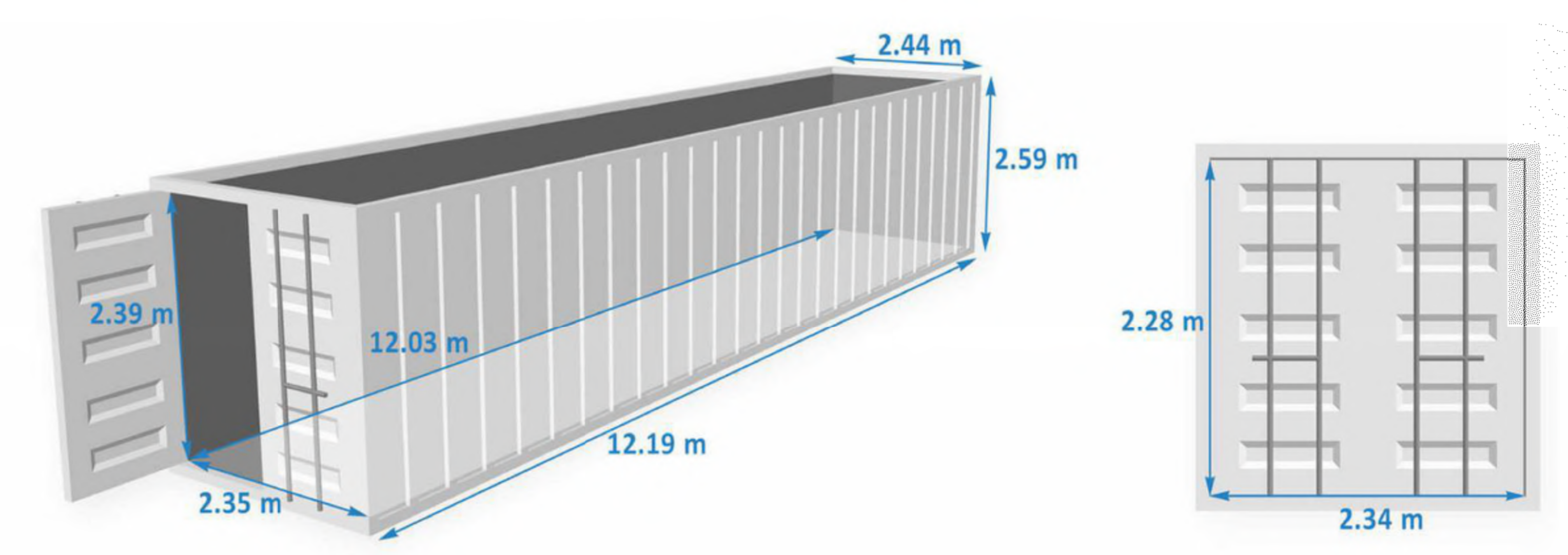
Project Manager: D. LANG, Author  
Project Leader: D. LANG, Checked  
Client: FASTFRATE GROUP

Client: FASTFRATE GROUP  
**FASTFRATE**  
INTEGRATED LOGISTICS

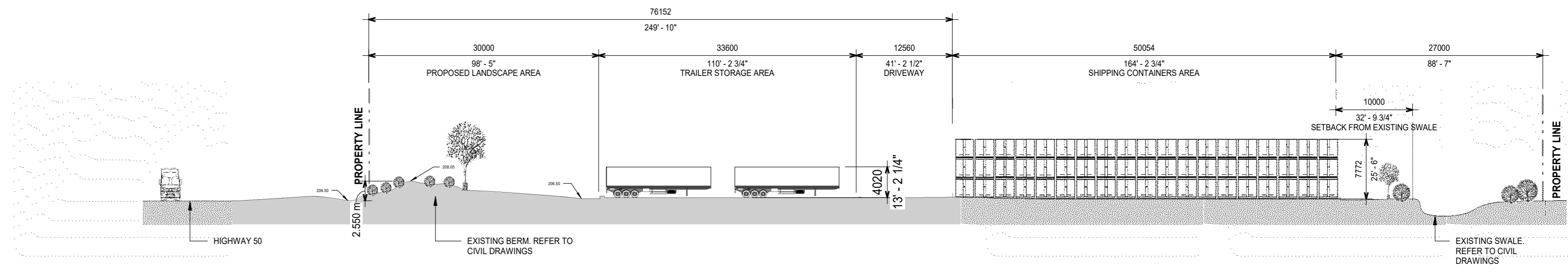
Project: FASTFRATE

Application File: DA.22.030  
9701 HWY 50  
Kleinburg, ON, CANADA  
Drawing Title: **SITE ELEVATIONS AND SHIPPING CONTAINER DIMENSIONS**

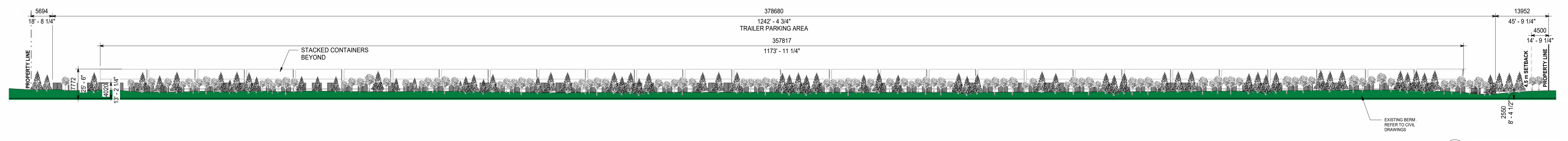
Scale: 1 : 400  
Project No. ONBL21-0271  
Drawing No. **A1-03**  
A1 Title Block - R18 Rev. (Sept19) Copyright © 2019



STANDARD SHIPPING CONTAINER SIZE 40' x 8' x 8.5'  
NTS



2 SOUTH SITE ELEVATION  
SCALE: 1:400



1 WEST SITE ELEVATION  
SCALE: 1:400

**SCHEDULE B:  
COMMENTS FROM AGENCIES, BUILDING STANDARDS &  
DEVELOPMENT PLANNING**

Department / Agency <small>*Comments Received</small>	Conditions Required		Nature of Comments
Building Standards (Zoning) *See Schedule B	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>	General Comments
Development Planning	Yes <input type="checkbox"/>	No <input type="checkbox"/>	Application Under Review
Alectra	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>	General Comments
TRCA	Yes <input checked="" type="checkbox"/>	No <input type="checkbox"/>	General Comments w/Conditions
Region of York	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>	General Comments

**Date:** July 16<sup>th</sup> 2024

**Attention:** **Christine Vigneault**

**RE:**

**File No.:** **A098-24**

**Related Files:**

**Applicant** NORR Architects and Engineers

**Location** 9701 Hwy 50



Discover the possibilities

### COMMENTS:

- We have reviewed the proposed Variance Application and have no comments or objections to its approval.
- We have reviewed the proposed Variance Application and have no objections to its approval, subject to the following comments (attached below).
- We have reviewed the proposed Variance Application and have the following concerns (attached below).

Alectra Utilities (formerly PowerStream) has received and reviewed the proposed Variance Application. This review, however, does not imply any approval of the project or plan.

All proposed billboards, signs, and other structures associated with the project or plan must maintain minimum clearances to the existing overhead or underground electrical distribution system as specified by the applicable standards, codes and acts referenced.

In the event that construction commences, and the clearance between any component of the work/structure and the adjacent existing overhead and underground electrical distribution system violates the Occupational Health and Safety Act, the customer will be responsible for 100% of the costs associated with Alectra making the work area safe. All construction work will be required to stop until the safe limits of approach can be established.

In the event construction is completed, and the clearance between the constructed structure and the adjacent existing overhead and underground electrical distribution system violates the any of applicable standards, acts or codes referenced, the customer will be responsible for 100% of Alectra's cost for any relocation work.

### References:

- Ontario Electrical Safety Code, latest edition (Clearance of Conductors from Buildings)
- Ontario Health and Safety Act, latest edition (Construction Protection)
- Ontario Building Code, latest edition (Clearance to Buildings)
- PowerStream (Construction Standard 03-1, 03-4), attached
- Canadian Standards Association, latest edition (Basic Clearances)

If more information is required, please contact either of the following:

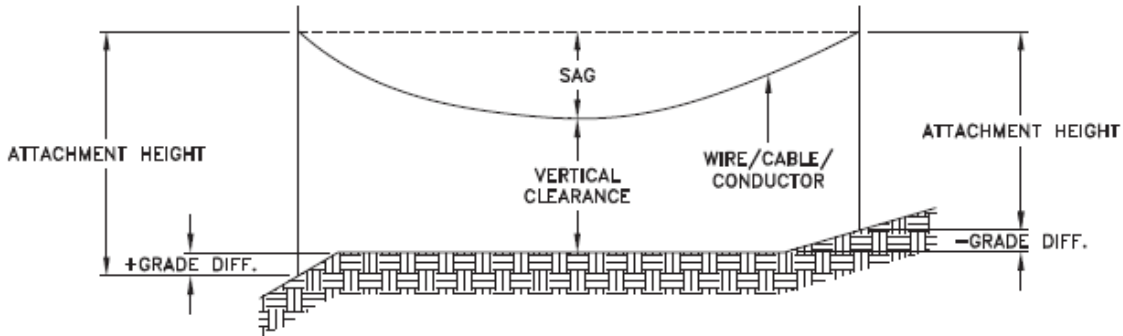
Mr. Stephen Cranley, C.E.T  
Supervisor, Distribution Design, ICI & Layouts (North)  
**Phone:** 1-877-963-6900 ext. 31297

**E-mail:** [stephen.cranley@alectrautilities.com](mailto:stephen.cranley@alectrautilities.com)

Mitchell Penner  
Supervisor, Distribution Design-Subdivisions  
**Phone:** 416-302-6215

**Email:** [Mitchell.Penner@alectrautilities.com](mailto:Mitchell.Penner@alectrautilities.com)

LOCATION OF WIRES, CABLES OR CONDUCTORS	SYSTEM VOLTAGE			
	SPAN GUYS AND COMMUNICATIONS WIRES	UP TO 600V AND NEUTRAL	4.16/2.4kV TO 27.6/16kV (SEE NOTE 1)	44kV
MINIMUM VERTICAL CLEARANCES (SEE NOTE 2)				
OVER OR ALONGSIDE ROADS, DRIVEWAYS OR LANDS ACCESSIBLE TO <u>VEHICLES</u>	442cm	442cm	480cm	520cm
OVER GROUND ACCESSIBLE TO <u>PEDESTRIANS AND BICYCLES ONLY</u>	250cm	310cm	340cm	370cm
ABOVE TOP OF RAIL AT <u>RAILWAY CROSSINGS</u>	730cm	730cm	760cm	810cm



MINIMUM ATTACHMENT HEIGHT = MAXIMUM SAG  
 + MINIMUM VERTICAL CLEARANCE (FROM ABOVE TABLE)  
 ± GRADE DIFFERENCE  
 + 0.3m (VEHICLE OR RAILWAY LOCATION)  
 + SNOW DEPTH (PEDESTRIAN LOCATION, SEE NOTE 3)

**NOTES:**

1. THE MULTIGROUNDED SYSTEM NEUTRAL HAS THE SAME CLEARANCE AS THE 600V SYSTEM.
2. THE VERTICAL CLEARANCES IN THE ABOVE TABLE ARE UNDER MAXIMUM SAG CONDITIONS.
3. REFER TO CSA STANDARD C22.3 No.1, ANNEX D FOR LOCAL SNOW DEPTH VALUES.
4. ALL CLEARANCES ARE IN ACCORDANCE TO CSA STANDARD C22.3.

**CONVERSION TABLE**

METRIC	IMPERIAL (APPROX)
810cm	27'-0"
760cm	25'-4"
730cm	24'-4"
520cm	17'-4"
480cm	16'-0"
442cm	15'-5"
370cm	12'-4"
340cm	11'-4"
310cm	10'-4"
250cm	8'-4"

**REFERENCES**

SAGS AND TENSIONS | SECTION 02

**MINIMUM VERTICAL CLEARANCES OF WIRES, CABLES AND CONDUCTORS ABOVE GROUND OR RAILS**

ORIGINAL ISSUE DATE: 2010-DEC-24 REVISION NO: R1 REVISION DATE: 2012-JAN-09

Certificate of Approval	
This construction Standard meets the safety requirements of Section 4 of Regulation 22/04	
Joe Crozier, P.Eng.	2012-JAN-09
Name	Date
P.Eng. Approval By:	Joe Crozier





VOLTAGE	MINIMUM HORIZONTAL CLEARANCE UNDER MAXIMUM SWING CONDITIONS DIMENSION "X" (SEE NOTES 1, 3 & 4)	MINIMUM VERTICAL CLEARANCE UNDER MAXIMUM DESIGN SAG CONDITIONS DIMENSION "Y" (SEE NOTES 1, 2, 4 & 5)
0-600V AND NEUTRAL	100cm	250cm
4.16/2.4 TO 44kV	300cm	480cm

**NOTES**

1. UNDER NO CIRCUMSTANCES SHALL A CONDUCTOR BE PERMITTED TO PENETRATE THE ENVELOPE SHOWN BY THE DOTTED LINE.
2. THE VERTICAL CLEARANCES ARE UNDER CONDITIONS OF MAXIMUM DESIGN SAG.
3. THE HORIZONTAL CLEARANCES ARE UNDER CONDITIONS OF MAXIMUM SWING. WHERE THE CONDUCTOR SWING IS NOT KNOWN A HORIZONTAL CLEARANCE OF 480CM SHALL BE USED.
4. BUILDINGS THAT EXCEED 3 STOREYS OR 15M IN HEIGHT, THE MINIMUM HORIZONTAL CLEARANCE OF THE SECONDARY CONDUCTORS SHOULD BE INCREASED TO 300cm WHERE IT IS NECESSARY TO ALLOW FOR THE RAISING OF LADDERS BY LOCAL FIRE DEPARTMENTS.
5. IN SITUATIONS SUCH AS MULTI-LEVEL GARAGES, WHERE ROOFS ARE NORMALLY USED BY PERSONS AND VEHICLES, THE VERTICAL CLEARANCES OF POWERSTREAM STANDARD 03-1 SHALL APPLY.
6. DISTRIBUTION LINES CONSTRUCTED NEAR BUILDINGS SHALL BE BUILT TO AVOID OVERHANG WHEREVER POSSIBLE. WHERE LINES MUST BE CONSTRUCTED OVER OR ADJACENT TO BUILDINGS THE APPLICABLE HORIZONTAL AND VERTICAL CLEARANCES SHALL BE AT CONDITIONS OF MAXIMUM CONDUCTOR SWING AND MAXIMUM SAG. THE ABOVE CLEARANCES ARE DESIGNED TO PREVENT PERSONS ON OR IN BUILDINGS AS WELL AS EXTERNAL MACHINERY USED IN CONJUNCTION WITH A BUILDING TO COME IN CONTACT WITH CONDUCTORS. EFFORTS SHOULD BE MADE TO INCREASE THESE CLEARANCES WHERE POSSIBLE.
7. ALL CLEARANCES ARE IN ACCORDANCE TO CSA C22.3 NO.1-06 (TABLE-9).

METRIC	IMPERIAL (APPROX)
480cm	16'-0"
300cm	10'-0"
250cm	8'-4"
100cm	3'-4"

**MINIMUM VERTICAL & HORIZONTAL CLEARANCES OF CONDUCTORS FROM BUILDINGS OR OTHER PERMANENT STRUCTURES (CONDUCTORS NOT ATTACHED TO BUILDINGS)**

**Certificate of Approval**  
This construction Standard meets the safety requirements of Section 4 of Regulation 22/04  
Debbie Dadwani, P.Eng. 2010-MAY-05  
Name Date  
P. Eng. Approval By: *D. Dadwani*

ORIGINAL ISSUE DATE: 2010-MAY-05 REVISION NO: REVISION DATE:  
PS:\System Planning and Standards\Standard Design\PowerStream Standards\PowerStream Standards working files\Section 3-1-02\WG 03-4 R0 May 5, 2010.dwg, 5/5/2010 10:27:02 AM, Adobe PDF

**To:** Committee of Adjustment  
**From:** Faegheh Gholami, Building Standards Department  
**Date:** July 12, 2024  
**Applicant:** NORR Architects and Engineers  
**Location:** 9701 Hwy 50  
 CONC 10 Part of Lot 20  
 CONC 10 Part of Lot 19  
 PLAN 65R12469 Part 3-4  
**File No.(s):** A098/24

**Zoning Classification:**

The subject lands are zoned EM1 – Prestige Employment Zone and subject to the provisions of Exception 14.708 under Zoning By-law 001-2021, as amended.

#	Zoning By-law 001-2021	Variance requested
1	The use of intermodal containers is not permitted. (14.708)	To permit storage of intermodal containers as an accessory use subject to the attached sketch with a maximum height of three containers.
2	In any employment zone, a parking area, any driveway or aisle providing access to a parking area and any loading space and associated manoeuvring area shall be located on a stable surface and treated with a hard surface dustless material, such as asphalt, concrete, permeable paving surface, or a similar material. (6.1.9)	To permit the surface area of loading spaces and related driveways, parking spaces and manoeuvring area to be gravel.
3	Outside Storage: Means an open area of land used for the storage of materials, equipment, intermodal containers, or finished goods which are associated with the principal use of the lot and may include the temporary parking of commercial vehicles.	The leaving, placing, or parking of intermodal containers accessory to a Transportation Terminal shall not be considered Outside Storage.
4	An intermodal container shall be considered an accessory structure and subject to the maximum lot coverage requirements, locational and setback requirements for accessory structures as set out in this By-law. (4.9.2.a)	The requirements of section (4.9.2.a) shall not apply.

**Staff Comments:**

**Stop Work Order(s) and Order(s) to Comply:**

There are no outstanding Orders on file

**Building Permit(s) Issued:**

A Building Permit has not been issued. The Ontario Building Code requires a building permit for structures that exceed 10m2

**Other Comments:**

<b>General Comments</b>	
1	The applicant shall be advised that additional variances may be required upon review of detailed drawing for building permit/site plan approval.
2	The subject lands may be subject to Ontario Regulation 166/06 (TRCA - Toronto and Region Conservation Authority).

**Conditions of Approval:**

If the committee finds merit in the application, the following conditions of approval are recommended.

\* Comments are based on the review of documentation supplied with this application.

July 22, 2024

PER-DPP-2024-00145

**SENT BY E-MAIL: Christine.Vigneault@vaughan.ca**

Christine Vigneault  
Secretary Treasurer  
Committee of Adjustment  
City of Vaughan  
2141 Major Mackenzie Drive  
Vaughan, Ontario L6A 1T1

Dear Christine:

**Re: Minor Variance Application A098/24  
Part of Lot 19-20, Concession 10  
Part 3-4, Plan 65R12369  
9701 Highway 50  
City of Vaughan, Regional Municipality of York  
Owner: Consolidated Fastfrate (Ontario) Holdings  
Applicant: NORR Architects and Engineers**

This letter acknowledges receipt of the above-noted application circulated by the City of Vaughan. The materials were received by Toronto and Region Conservation Authority (TRCA) on July 12, 2024. TRCA staff have reviewed the application and offer the following comments for the consideration of the Committee of Adjustment.

**Purpose of the Application**

It is our understanding that the purpose of the above noted application is to request the following variances under By-Law 001-2021:

By-Law 1-88:

- To permit storage of intermodal containers as an accessory use subject to the attached sketch with a maximum height of three containers.
- To permit the surface area of loading spaces and related driveways, parking spaces and manoeuvring area to be gravel.
- The leaving, placing, or parking of intermodal containers accessory to a Transportation Terminal shall not be considered Outside Storage.
- The requirements of section (4.9.2.a) shall not apply.

The noted variances are being requested to permit a transportation terminal with accessory storage of intermodal containers.

### **Conservation Authorities Act**

A portion of the property is located within TRCA's Regulated Area due to a stream corridor associated with a tributary of the Humber River that is located on the northwestern corner of the site. Any development within TRCA's Regulated Area will require TRCA planning and permit approval and would need to conform to provincial, municipal and TRCA policies.

### **Background**

TRCA staff are currently reviewing a Site Development application (DA.22.030) associated with the detailed design of the project. Based on our review of the latest submission (fourth submission) of the Site Development application, TRCA has outstanding comments related to stormwater management design/strategy and erosion and sediment control measures. TRCA staff are currently working with the applicant to resolve these outstanding comments which are best addressed through the Site Development Application process.

### **Application-Specific Comments**

Based on a review of the materials submitted as a part of this Minor Variance application, TRCA staff have no objection to the requested variances. As noted above, staff are working with the proponent and their consultants to review technical aspects of the development through a Site Development Application. As such, TRCA has no objection to the requested variances.

TRCA's recommendation of no objection to the approval of this minor variance application does not include clearance and/or approval for the technical issues related to the Site Development application that is currently under review.

### **Fees**

By copy of this letter, the applicant is advised that TRCA has implemented a fee schedule for our planning application review services. This application is subject to a \$1,250 (Minor Variance – Industrial/Commercial - Minor) review fee. The applicant is responsible for fee payment and should forward the application fee to this office as soon as possible.

### **Recommendations**

Based on the comments noted above, TRCA has **no objection** to the approval of Minor Variance Application A098/24 subject to the following conditions:

1. That the applicant provides the required fee amount of \$1,250 payable to the Toronto and Region Conservation Authority.
2. That the applicant obtains a permit for the proposed works pursuant to Conservation Authorities Act – Section 28.

We trust these comments are of assistance. Should you have any questions, please contact me at 437-880-1925 or at [cameron.mcdonald@trca.ca](mailto:cameron.mcdonald@trca.ca)

Sincerely,

*Cameron McDonald*

Cameron McDonald  
Planner I  
Development Planning and Permits

**From:** [Rajevan, Niranjan](#)  
**To:** [Christine Vigneault](#)  
**Cc:** [Committee of Adjustment](#)  
**Subject:** [External] RE: A098/24 (9701 Hwy 50) - REQUEST FOR COMMENTS, CITY OF VAUGHAN  
**Date:** Wednesday, July 24, 2024 7:20:52 PM  
**Attachments:** [image002.png](#)  
[image004.png](#)  
[image005.png](#)

**CAUTION!** This is an external email. Verify the sender's email address and carefully examine any links or attachments before clicking. If you believe this may be a phishing email, please use the Phish Alert Button.

Hi Christine,

The Regional Municipality of York has completed its review of the minor variance application – A098/24 (9701 Hwy 50) and has no comment.

Please provide us with a digital copy of the notice of decision for our records.

Many thanks,

*Our working hours may be different. Please do not feel obligated to reply outside of your scheduled working hours. Let's work together to help foster healthy work-life boundaries.*

**Niranjan Rajevan, M.Pl.** | Associate Planner, Development Planning | Economic and Development Services Branch | Corporate Services Department

The Regional Municipality of York | 17250 Yonge Street | Newmarket, ON L3Y 6Z1  
1-877-464-9675 ext. 71521 | [niranjan.rajevan@york.ca](mailto:niranjan.rajevan@york.ca) | [www.york.ca](http://www.york.ca)

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Please consider the environment before printing this email.

**SCHEDULE C: PUBLIC & APPLICANT CORRESPONDENCE**

<b>Correspondence Type</b>	<b>Name</b>	<b>Address</b>	<b>Date Received (mm/dd/yyyy)</b>	<b>Summary</b>
Applicant			06/13/2024	Application Cover Letter



June 4, 2024

Committee of Adjustment  
Vaughan City Hall  
2141 Major Mackenzie Dr.  
Vaughan, ON L6A 1T1

Re: 9701 Highway 50  
Minor Variance Application "To permit a transportation terminal with accessory storage of intermodal containers. The intermodal containers shall be located within a 51m x 358m area and stacked up to 3 unit or 7.7m high as specified on the attached plan"

As authorized agent for Consolidated Fastfrate (Ontario) Holdings Inc ("the Owner"), we are pleased to submit this application for minor variances to enable the outdoor storage of trailers and containers located at the vacant portion of the existing cross dock facility, municipal address 9701 Highway 50 ("the site").

This application requests 1 variance from applicable, in order to permit/expand the transportation terminal with accessory storage of intermodal containers. The intermodal containers shall be located within a 51m x 358m area as specified on the plan attached and stacked a maximum of three (3) containers high which shall not exceed 7.7 m (26') in height. A Site Plan Application, DA.22.030, is being amended to review the revised proposal

**Existing Site Conditions**

9701 Highways 50 is located on the south and west side of Major Mackenzie Dr W, with approximately 680 metres of frontage on Highway 50 with a depth of 259 metres and lot area of 170 289 square metres. It is comprised of 2 lots (that have been merged and consolidated under 1 new PIN to the satisfaction of City of Vaughan, Development Legal Department) that form a rectangle with egress from a private road at the south of the lots. Consolidated Fastfrate has owned and operated a cross dock and distribution facility since its approval in 1999.

Directly to the east is the CPKC Intermodal Rail Terminal/Corridor and directly to the south is a large scale distribution centre (Industrial/Employment). Directly north is outdoor [sea container] storage with different industrial/employment and agricultural/industrial/employment uses west of Highway 50 in the Region of Peel.

The site is zoned EM1 - Prestige Employment Zone under zoning By-law 001-2021 as amended and the property is further subject to Exception number 14. 708.

The site is also a Provincially Significant Employment Zone (Zone 15 TORONTO, YORK, PEEL).



# NORR



Context Map: 9701 Highway 50

# NORR

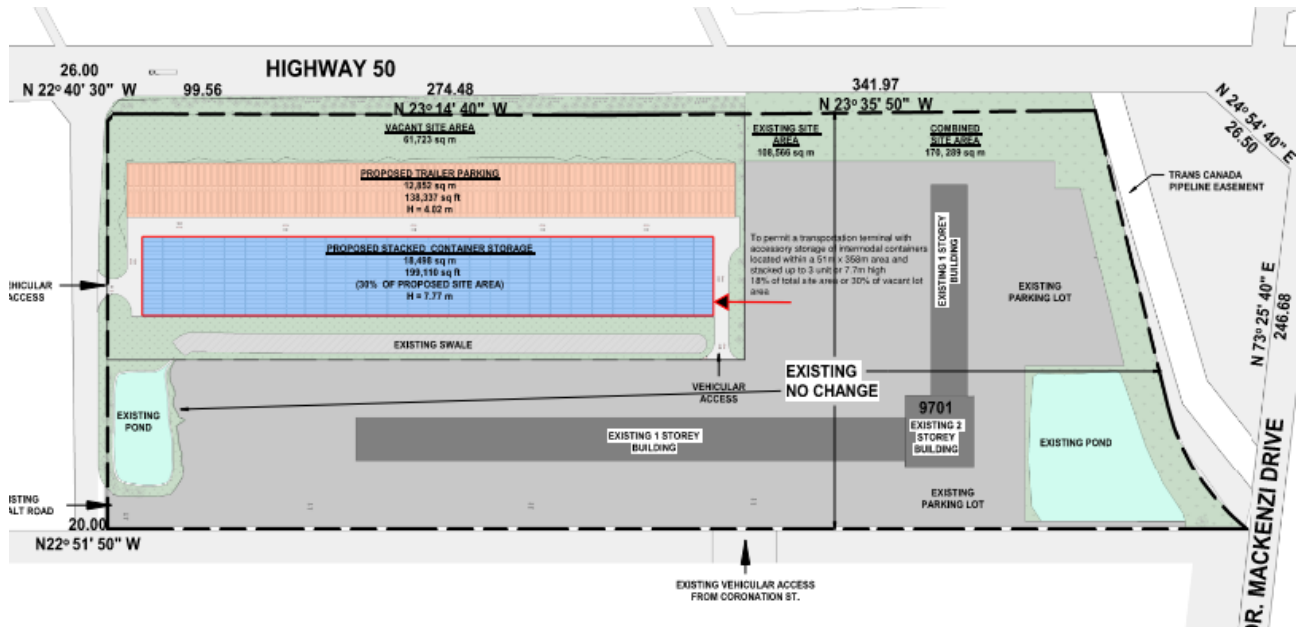


Context Map: 9701 Highway 50  
The site is currently undeveloped and is used for trailer parking.

## Proposed Development

The proposal is to permit a transportation terminal with accessory storage of intermodal containers, to expand onto the vacant lands via a gravel surface lot container storage on 30% of the site with the remainder to include trailer parking.

No new structures are proposed.



The consolidation of the vacant lot, already owned and held in common title; with merged and consolidated PINs by CFF (with City of Vaughan Legal Department concurrence) into the existing CFF parcel has already under review with the Land Registry office of Ontario.

There is no change to egress as access to the vacant land proposed site will be via an existing internal driveway located at the center of the property. An access easement exists to enter the CPKC rail yard.

The proposed container storage is 76 meter inbound from Highway 50 and an exiting 3.0metre high berm with be landscaped in order to screen the yard.

## Requested Variance

To permit a transportation terminal with accessory storage of intermodal containers. The intermodal containers shall be located within a 50.5m x 358m area (approximately 18,500 square meters) as specified on the plan attached and stacked a maximum of three (3) containers high which shall not exceed 7.7 m (26') in height. The site shall remain to be gravel.



### Planning Justification Rationale

The site is designated Employment Area and General Employment and it is located in the industrial context of the intermodal and rail terminal transfer facility is operated by CPKC.

We note the front yard landscape requirements have been surpassed; there is a significant grade difference (3m high berm) between the Hwy 50 and the proposed accessory storage of intermodal containers creating a screening and softening public realm sightlines.

We believe the proposal of accessory storage of intermodal containers is desirable and appropriate for the site, is also 'consistent with' and maintains the general intent and purpose of the By-law and applicable Official Plan 2.2.4 and 4.4.1 'Employment Area' policies, including promoting intensification within Employment Areas and support the long term protection of rail infrastructure in Vaughan and supporting goods movement. The proposed container storage variance respects and reinforces the planned function and integrity of the site and neighbourhood context and does not present any precedent changes to the regulations/uses within the Zoning By-law. The proposed container storage is consistent with the fit and employment character of the existing neighbourhood context.

No precedents are set with this variance.

# NORR

Under subsection 45(1) of the *Planning Act*, the Committee of Adjustment may approve a minor variance provided it satisfies 4 tests:

- The general intent and purpose of the City's Official Plan is maintained;
- The general intent and purpose of the City's Zoning By-law is maintained;
- The proposal is appropriate for the development of the land and/or building; and
- The variance requested is minor.

Based on the aforementioned, we believe that these variances are supportable when assessed by the 4 prescribed minor variances tests and do not have any negative impact on the neighbourhood context.

We further believe the requested variance is supportable under the Ontario *Planning Act*, and is consistent with the *Provincial Policy Statement* and the *Growth Plan for the Greater Golden Horseshoe* by providing intensification in proximity to transit and existing infrastructure, and supporting the efficient expansion of employment facilities.

In support of our application, please find enclosed the following:

- Application Forms
- Site Plan;
- Site Survey.

Should you require additional information, please do not hesitate to contact the undersigned. We thank you for your time and consideration.

Yours very truly,



Valdemar Nickel, MScPI, PLE, RPP



## SCHEDULE D: BACKGROUND

Application No. (City File)	Application Description (i.e. Minor Variance Application; Approved by COA / OLT)
None	N/A