

ITEM: 6.1	REPORT SUMMARY MINOR VARIANCE APPLICATION FILE NUMBER A037/24
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Report Date: September 6, 2024

**THIS REPORT CONTAINS COMMENTS FROM THE FOLLOWING
DEPARTMENTS & AGENCIES (SEE SCHEDULE B):**

Additional comments from departments and agencies received after the publication of the report will be made available on the City's [website](#).

Internal Departments <small>*Comments Received</small>	Conditions Required		Nature of Comments
Committee of Adjustment	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>	General Comments
Building Standards (Zoning)	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>	General Comments
Development Planning	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>	Recommend Approval/No Conditions
Development Engineering	Yes <input checked="" type="checkbox"/>	No <input type="checkbox"/>	Recommend Approval w/Conditions
Forestry	Yes <input checked="" type="checkbox"/>	No <input type="checkbox"/>	General Comments w/Conditions
Development Finance	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>	General Comments
By-law & Compliance	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>	General Comments

External Agencies <small>*Comments Received</small>	Conditions Required		Nature of Comments <small>*See Schedule B for full comments</small>
Alectra	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>	General Comments
TRCA	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>	General Comments

PUBLIC & APPLICANT CORRESPONDENCE (SEE SCHEDULE C)

All personal information collected because of this public meeting (including both written and oral submissions) is collected under the authority of the Municipal Act, the Municipal Freedom of Information and Protection of Privacy Act (MFIPPA), the Planning Act and all other relevant legislation, and will be used to assist in deciding on this matter. All personal information (as defined by MFIPPA), including (but not limited to) names, addresses, opinions and comments collected will become property of the City of Vaughan, will be made available for public disclosure (including being posted on the internet) and will be used to assist the Committee of Adjustment and staff to process this application.

Correspondence Type	Name	Address	Date Received <small>(mm/dd/yyyy)</small>	Summary
Applicant			07/24/2024	Application Cover Letter
Applicant				Planning Justification Report

BACKGROUND (SCHEDULE D, IF REQUIRED)	
<small>* Background Information contains historical development approvals considered to be related to this file. This information should not be considered comprehensive.</small>	
Application No. (City File)	Application Description <small>(i.e. Minor Variance Application; Approved by COA / OLT)</small>
N/A	N/A

ADJOURNMENT HISTORY	
<small>* Previous hearing dates where this application was adjourned by the Committee and public notice issued.</small>	
Hearing Date	Reason for Adjournment <small>(to be obtained from NOD_ADJ)</small>
N/A	N/A

SCHEDULES	
Schedule A	Drawings & Plans Submitted with the Application
Schedule B	Comments from Agencies, Building Standards & Development Planning
Schedule C (if required)	Public & Applicant Correspondence
Schedule D (if required)	Background



**MINOR VARIANCE APPLICATION
FILE NUMBER A037/24**

CITY WARD #:	2
APPLICANT:	2835085 Ontario Ltd., Nimrit Chahal
AGENT:	Batory Management
PROPERTY:	370 New Enterprise Way Woodbridge ON L4H 0S8
ZONING DESIGNATION:	See Below
VAUGHAN OFFICIAL PLAN (2010) DESIGNATION:	Vaughan Official Plan 2010 ('VOP 2010'): "General Employment" by Volume 2, Section 12.12 Huntington Business Park.
RELATED DEVELOPMENT APPLICATIONS:	None
PURPOSE OF APPLICATION:	Relief from the Zoning By-law is being requested to permit a proposed addition to the existing industrial building. To facilitate the development, relief is required to vary parking, lot coverage and landscaping provisions under the By-law.

The following variances have been requested from the City's Zoning By-law:

FILE NUMBER:	A037/24
APPLICANT:	2835085 Ontario Ltd.
AGENT:	Nimrit Chahal & Raj Dass
PROPERTY:	370 New Enterprise Way, Woodbridge
ZONING DESIGNATION:	See below.
VAUGHAN OFFICIAL PLAN (2010) DESIGNATION:	Vaughan Official Plan 2010 ('VOP 2010'): "General Employment" by Volume 2, Section 12.12 Huntington Business Park.
RELATED DEVELOPMENT APPLICATIONS:	None
PROPOSAL:	Relief from the Zoning By-law is being requested to permit a proposed addition to the existing industrial building. To facilitate the development, relief is required to vary parking, lot coverage and landscaping provisions under the By-law.

The following variances are being requested from the City's Zoning By-law to accommodate the above proposal:

The subject lands are zoned EM1 – Prestige Employment Zone and subject to the provisions of Exceptions 14.897 and 14.1021 under Zoning By-law 001-2021, as amended.

#	Zoning By-law 001-2021	Variance requested
1	The minimum number of parking spaces required is 268. [Table 6-2]	To permit a minimum of 181 parking spaces.
2	The maximum lot coverage permitted is 60.0 percent. [Table 11-3]	To permit a maximum lot coverage of 61.4 percent.
3	The minimum landscape open space required is 5.0 percent. [Table 11-3]	To permit a minimum landscape open space of 3.1 percent.

HEARING INFORMATION

DATE OF MEETING: Thursday, September 12, 2024

TIME: 6:00 p.m.

MEETING LOCATION: Vaughan City Hall, Woodbridge Room (2nd Floor), 2141 Major Mackenzie Drive

LIVE STREAM LINK: Vaughan.ca/LiveCouncil

PUBLIC PARTICIPATION

If you would like to speak to the Committee of Adjustment at the meeting, either remotely or in person, please complete the [Request to Speak Form](#) and submit to cofa@vaughan.ca

If you would like to submit written comments, please quote file number above and submit by mail or email to:

Email: cofa@vaughan.ca

Mail: City of Vaughan, Office of the City Clerk, Committee of Adjustment, 2141 Major Mackenzie Drive, Vaughan, ON, L6A 1T1

To speak electronically, pre-registration is required by completing the [Request to Speak Form](#) on-line and submitting it to cofa@vaughan.ca no later than NOON on the last business day before the meeting.

THE DEADLINE TO REGISTER TO SPEAK ELECTRONICALLY OR SUBMIT WRITTEN COMMENTS ON THE ABOVE NOTED FILE(S) IS NOON ON THE LAST BUSINESS DAY BEFORE THE MEETING.

INTRODUCTION

Staff and Agencies act as advisory bodies to the Committee of Adjustment. The comments contained in this report are presented as recommendations to the Committee.

Section 45(1) of the Planning Act sets the criteria for authorizing minor variances to the City of Vaughan's Zoning By-law. Accordingly, review of the application may consider the following:

- That the general intent and purpose of the by-law will be maintained.
- That the general intent and purpose of the official plan will be maintained.
- That the requested variance(s) is/are acceptable for the appropriate development of the subject lands.
- That the requested variance(s) is/are minor in nature.

Public written and oral submissions relating to this application are taken into consideration by the Committee of Adjustment as part of its deliberations and final decision on this matter.

COMMITTEE OF ADJUSTMENT

Date Public Notice Mailed:	August 29, 2024
Date Applicant Confirmed Posting of Sign:	August 26, 2024
Applicant Justification for Variances: <small>*As provided in Application Form</small>	Variances are needed for maximum lot coverage and minimum parking space requirements.
Was a Zoning Review Waiver (ZRW) Form submitted by Applicant: <small>*ZRW Form may be used by applicant in instances where a revised submission is made, and zoning staff do not have an opportunity to review and confirm variances prior to the issuance of public notice.</small>	Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>
COMMENTS:	
None	
Committee of Adjustment Recommended Conditions of Approval:	None

BUILDING STANDARDS (ZONING)

**See Schedule B for Building Standards (Zoning) Comments

Building Standards Recommended Conditions of Approval:	None
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DEVELOPMENT PLANNING

**See Schedule B for Development Planning Comments. Application under Review

Development Planning Recommended Conditions of Approval:	None
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DEVELOPMENT ENGINEERING

[Link to Grading Permit](#)
 [Link to Pool Permit](#)
 [Link to Curb Curt Permit](#)
 [Link Culvert Installation](#)

Fire Route on plan shall be verified by Building Department. Development Engineering does not object to the Minor Variance application A037/24, subject to the following condition(s).

Development Engineering Recommended Conditions of Approval:	The Owner/Applicant shall submit an application and obtain an approved Grading Permit before initiating any work on the property. The Final Lot Grading and/or Servicing Plan will be required for the Grading Permit Application. Please visit the Permits page of the City of Vaughan’s website: Permits City of Vaughan to apply for a Grading Permit. For any inquiries regarding the Grading Permit, please email DEPermits@vaughan.ca
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PARKS, FORESTRY & HORTICULTURE (PFH)

Recommended condition of approval:

PFH Recommended Conditions of Approval:	Applicant/owner shall obtain a “Private Property Tree Removal & Protection” permit through the forestry division prior to any construction works on the subject property.
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DEVELOPMENT FINANCE

No comment no concerns.

Development Finance Recommended Conditions of Approval:	None
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BY-LAW AND COMPLIANCE, LICENSING AND PERMIT SERVICES

No comments.

BCLPS Recommended Conditions of Approval:	None
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BUILDING INSPECTION (SEPTIC)

No comments received to date.

Building Inspection Recommended Conditions of Approval:	None
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FIRE DEPARTMENT

No comments received to date.

Fire Department Recommended Conditions of Approval:	None
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RECOMMENDED CONDITIONS OF APPROVAL SUMMARY

Should the Committee find it appropriate to approve this application in accordance with request and the sketch submitted with the application, as required by Ontario Regulation 200/96, the following conditions have been recommended:

#	DEPARTMENT / AGENCY	CONDITION
1	Development Engineering Rex.bondad@vaughan.ca	The Owner/Applicant shall submit an application and obtain an approved Grading Permit before initiating any work on the property. The Final Lot Grading and/or Servicing Plan will be required for the Grading Permit Application. Please visit the Permits page of the City of Vaughan’s website: Permits City of Vaughan to apply for a Grading Permit. For any inquiries regarding the Grading Permit, please email DEPermits@vaughan.ca
2	Parks, Forestry and Horticulture Operations zachary.quizzetti@vaughan.ca	Applicant/owner shall obtain a “Private Property Tree Removal & Protection” permit through the forestry division prior to any construction works on the subject property.

All conditions of approval, unless otherwise stated, are considered to be incorporated into the approval “if required”. If a condition is no longer required after an approval is final and binding, the condition may be waived by the respective department or agency requesting conditional approval. A condition cannot be waived without written consent from the respective department or agency.

IMPORTANT INFORMATION

CONDITIONS: It is the responsibility of the owner/applicant and/or authorized agent to obtain and provide a clearance letter from respective department and/or agency (**see condition chart above for contact**). This letter must be provided to the Secretary-Treasurer to be finalized. All conditions must be cleared prior to the issuance of a Building Permit.

APPROVALS: Making any changes to your proposal after a decision has been made may impact the validity of the Committee's decision.

An approval obtained from the Committee of Adjustment, where applicable, is tied to the building envelope shown on the plans and drawings submitted with the application and subject to the variance approval.

A building envelope is defined by the setbacks of the buildings and/or structures shown on the plans and drawings submitted with the application, as required by Ontario Regulation 200/96. Future development outside of an approved building envelope, where a minor variance was obtained, must comply with the provisions of the City's Zoning By-law.

Elevation drawings are provided to reflect the style of roof (i.e. flat, mansard, gable etc.) to which a building height variance has been applied. Where a height variance is approved, building height is applied to the style of roof (as defined in the City's Zoning By-law) shown on the elevation plans submitted with the application.

Architectural design features that are not regulated by the City's Zoning By-law are not to be considered part of an approval unless specified in the Committee's decision.

DEVELOPMENT CHARGES: That the payment of the Regional Development Charge, if required, is payable to the City of Vaughan before issuance of a building permit in accordance with the Development Charges Act and the Regional Development Charges By-law in effect at the time of payment.

That the payment of the City Development Charge, if required, is payable to the City of Vaughan before issuance of a building permit in accordance with the Development Charges Act and the City's Development Charges By-law in effect at the time of payment.

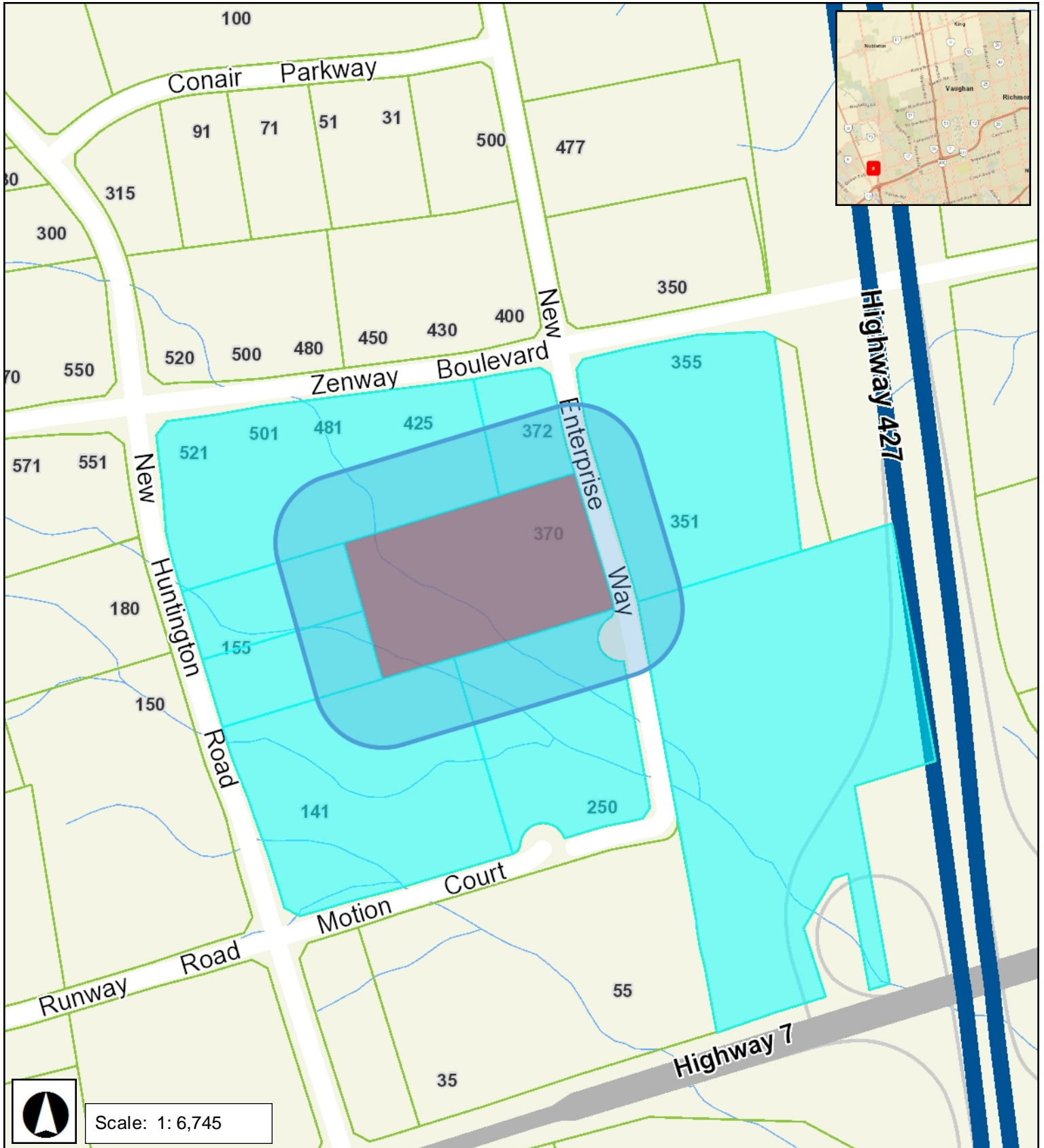
That the payment of the Education Development Charge if required, is payable to the City of Vaughan before issuance of a building permit in accordance with the Development Charges Act and the Boards of Education By-laws in effect at the time of payment

That the payment of Special Area Development charge, if required, is payable to the City of Vaughan before issuance of a building permit in accordance with the Development Charges Act and The City's Development Charge By-law in effect at the time of Building permit issuance to the satisfaction of the Reserves/Capital Department.

NOTICE OF DECISION: If you wish to be notified of the decision in respect to this application or a related Ontario Land Tribunal (OLT) hearing you must complete a Request for Decision form and submit to the Secretary Treasurer (ask staff for details). In the absence of a written request to be notified of the Committee's decision you will **not** receive notice.

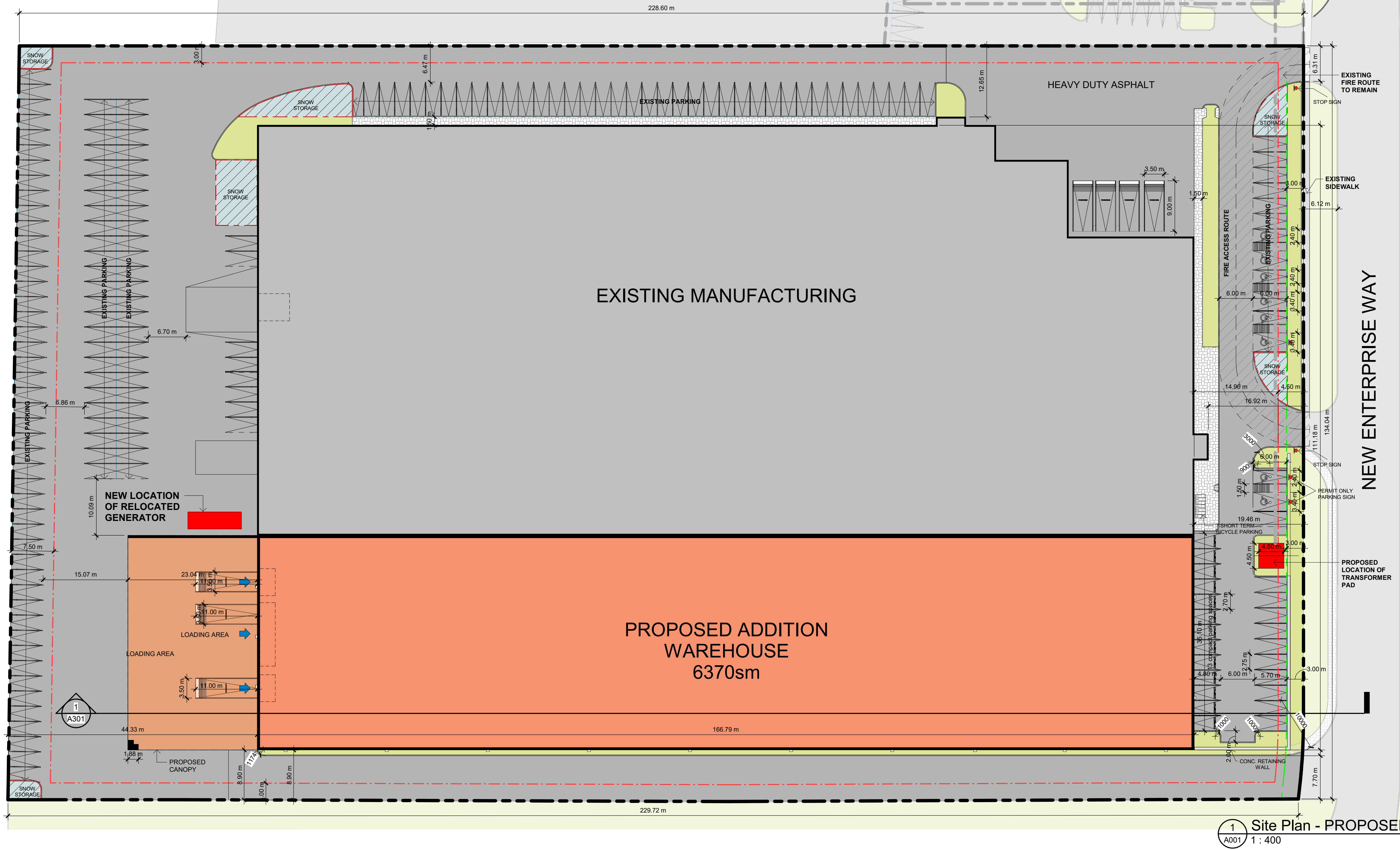
SCHEDULE A: DRAWINGS & PLANS

370 New Enterprise Way, Woodbridge



RECEIVED

By Christine Vigneault at 1:01 pm, Jul 24, 2024



GENERAL PROVISIONS

Zone Em1
City of Vaughan Zoning By-law No. 001-2021

ZONING DATA	REQUIRED	PROVIDED
LOT FRONTAGE	30m	134m
LOT AREA	1800m ²	30829 m ²
FRONT YARD	4.5m	16.92m
REAR YARD	7.5m	20.72m
SIDE YARD NORTH	3.0m	12.65m
SIDE YARD SOUTH	3.0m	8.90m
MAXIMUM LOT COVERAGE	60%	59.7%
LANDSCAPE BUFFER (FRONT)	3m	3m
MAXIMUM BUILDING HEIGHT	15m	14.0m

BUILDING AREA SUMMARY

EXISTING	PROPOSED
OFFICE AREA: 1444m ² INDUSTRIAL AREA: 13797m ² GFA: 15241m ²	PROPOSED WAREHOUSE ADDITION: 6370m ² GFA: 15149 + 6370 = 21611m ²

PARKING REQUIREMENT

EXISTING OFFICE 20 SPACES PER 100m ² = 1444 / 100 = 14.40 x 2.0 = 28.88 (29 ROUNDED UP)	ADDITION - WAREHOUSE = 6370 / 100 x 5 = 31.85 (32 Rounded Up)
EXISTING MANUFACTURING = 1.5 SPACES PER 100m ² = 13797 / 100 = 137.97 x 1.5 = 206.96 (207 ROUNDED UP)	BARRIER FREE PARKING 0.04 * 32 = 1.28 (2) SPACES 1 TYPE A + 1 TYPE B
TOTAL REQUIRED = 29 + 207 + 32 = 268 SPACES	
BARRIER FREE PARKING 0.04 * 129 = 5.16 (6) SPACES- 3 TYPE A + 3 TYPE B	
LOADING SPACE REQUIREMENT 2 * 1.472 = 2.9 (3) LOADING SPACES	LOADING SPACE REQUIREMENT 1 Type A, 3 Type B, and 1 Type C

PARKING PROVIDED

PARKING SCHEDULE		
Type	DESCRIPTION	COUNT
2.7x5.7	6m X 2.7m	116
90° - 6m x 2.7m	6m X 2.7m	44
90° - ACC - 6m x 2.4- type B	6m X 2.4m	4
90° - ACC - 6m x 3.4m type A	6m X 3.4m	4
BIKE PARKING (600mm x 1800mm)		7
compact	4.8m X 2.7m	13
		188

BICYCLE REQUIREMENTS

ADDITION - WAREHOUSE

SHORT TERM BICYCLE PARKING
= (6370 / 100) x 0.1
= 7 SPACES



Chamberlain Architect Services Limited
4871 Palladium Way (Unit 1)
Burlington, Ontario, L7M 0W9
CANADA
Phone: 905.631.7777
www.chamberlainIPD.com

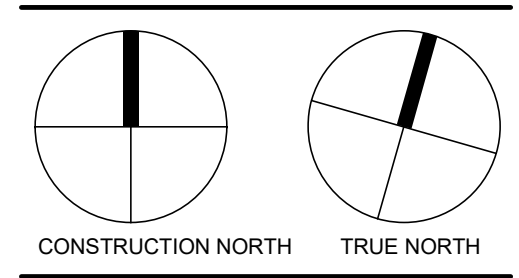
NO.	ISSUED	DATE
1	BUILDING PERMIT	2023.02.14
3	RE-ISSUED FOR PERMIT	2023.09.18

DO NOT SCALE DRAWINGS. USE ONLY DRAWINGS MARKED "ISSUED FOR CONSTRUCTION". VERIFY CONFIGURATIONS AND DIMENSIONS ON SITE BEFORE BEGINNING WORK. NOTIFY ARCHITECT IMMEDIATELY OF ANY ERRORS, OMISSIONS OR DISCREPANCIES.

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SEAL



DASS METALS EXPANSION

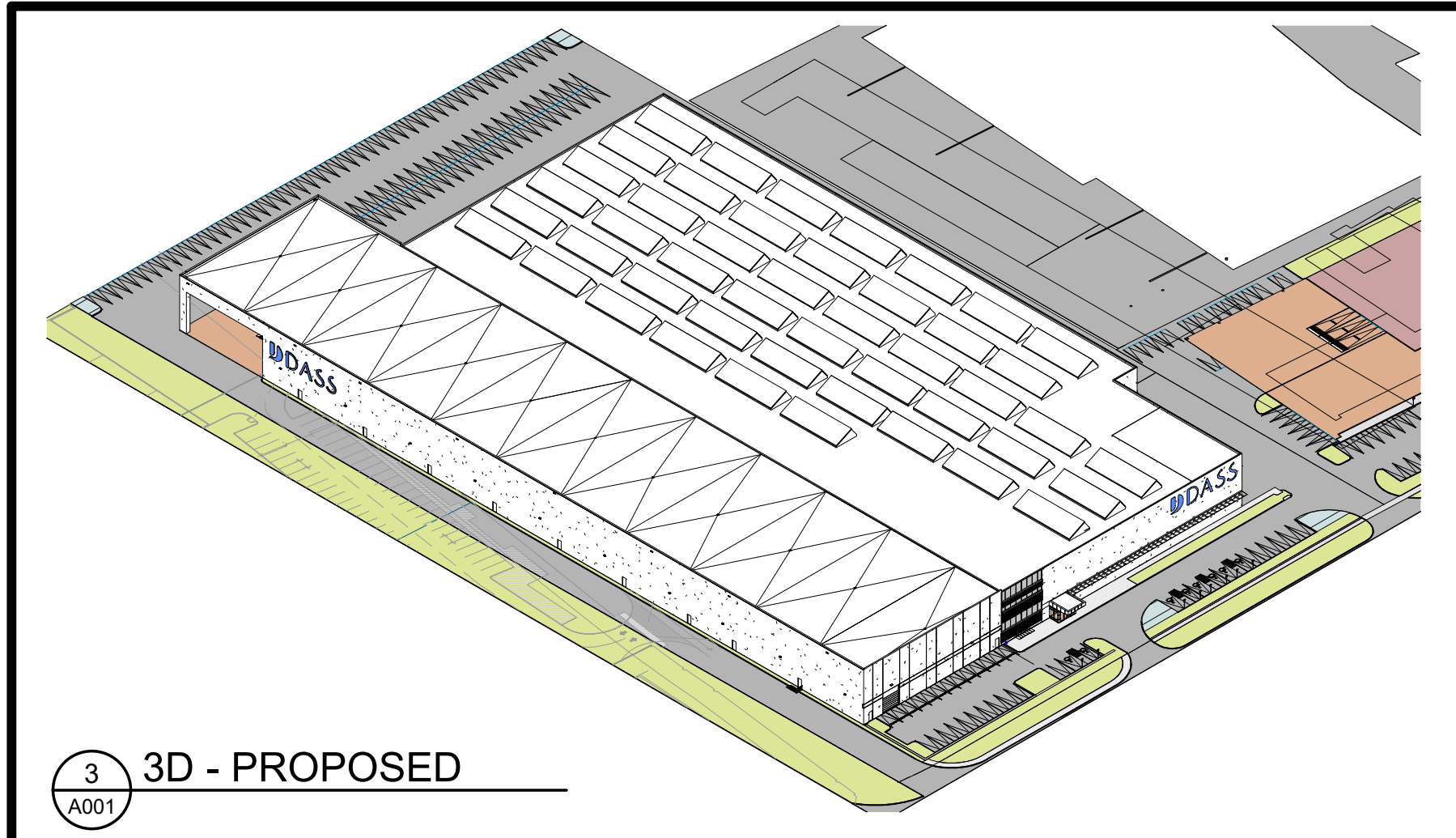
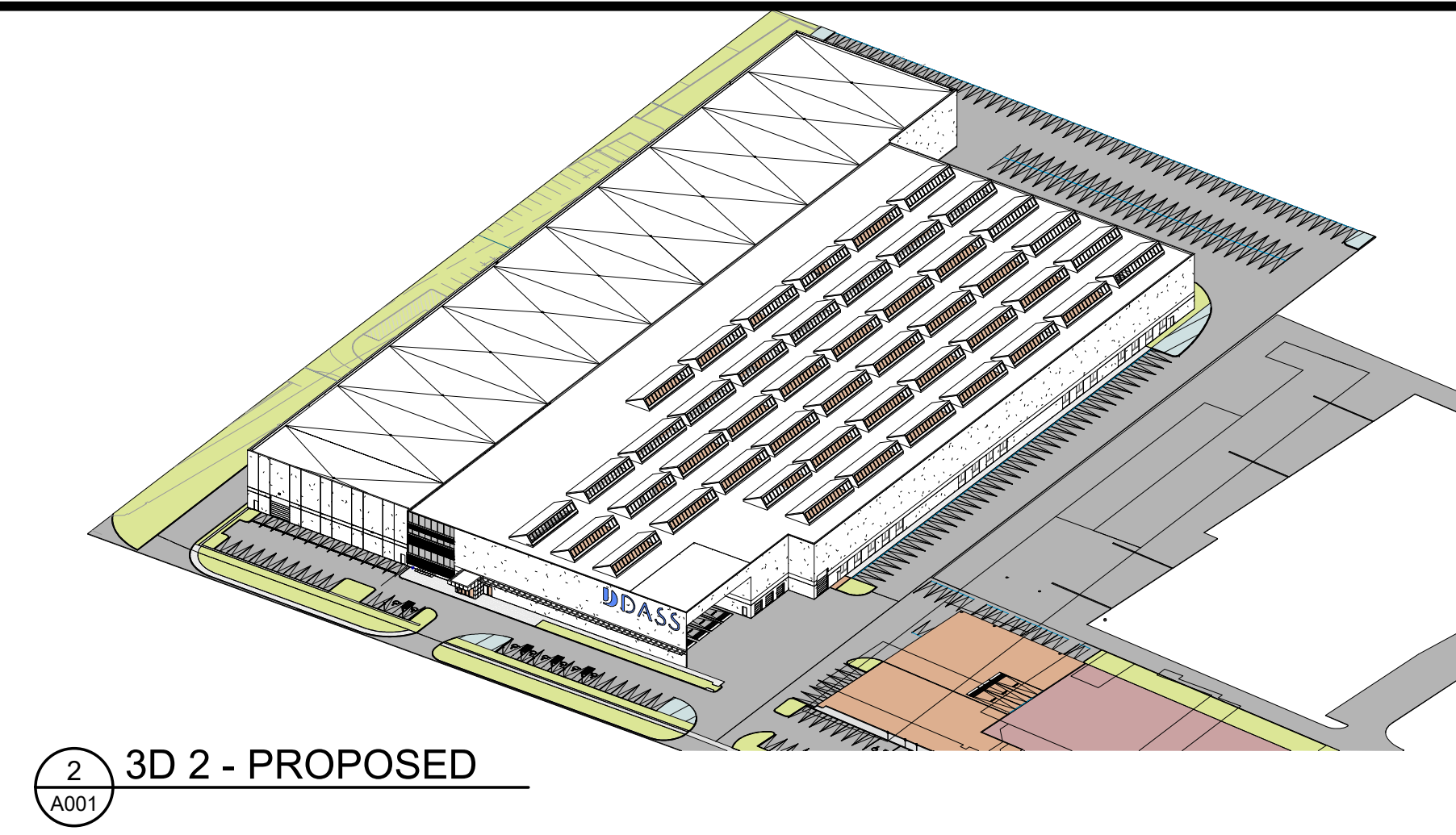
370 NEW ENTERPRISE WAY
VAUGHAN ONTARIO

SHEET NAME

SITE PLAN PROPOSED

START DATE: JUNE 2022
DRAWN BY: AMS
CHECKED BY: SM
SCALE: As indicated
PROJECT NO.: 122007
DRAWING: A001

A001



SITE STATISTICS

DESCRIPTION	AREA (SM)	AREA (SF)	PERCENTAGE
BUILDING FOOTPRINT			
EXISTING BUILDING FOOTPRINT	11669.05 m ²	125605 ft ²	37.9%
BUILDING ADDITION FOOTPRINT	7250.85 m ²	78048 ft ²	23.5%
HARD LANDSCAPE	18919.90 m ²	203652 ft ²	61.4%
RETAINING WALL	34.70 m ²	374 ft ²	0.1%
ASPHALT	10457.78 m ²	112567 ft ²	33.9%
CURB	100.79 m ²	1085 ft ²	0.3%
PAVER	350.81 m ²	3776 ft ²	1.1%
LANDSCAPE	10944.08 m ²	117801 ft ²	35.5%
SOFT LANDSCAPE			
LANDSCAPE	959.95 m ²	10333 ft ²	3.1%
	959.95 m ²	10333 ft ²	3.1%
Grand total	30823.93 m ²	331786 ft ²	100.0%

SITE STATISTICS- SNOW STORAGE AREA

DESCRIPTION	AREA (SM)	AREA (SF)	PERCENTAGE
ASPHALT	10457.78 m ²	112567 ft ²	97.3%
SNOW STORAGE	288.60 m ²	3106 ft ²	2.7%
Grand total	10746.38 m ²	115673 ft ²	100.0%

SITE PLAN LEGEND

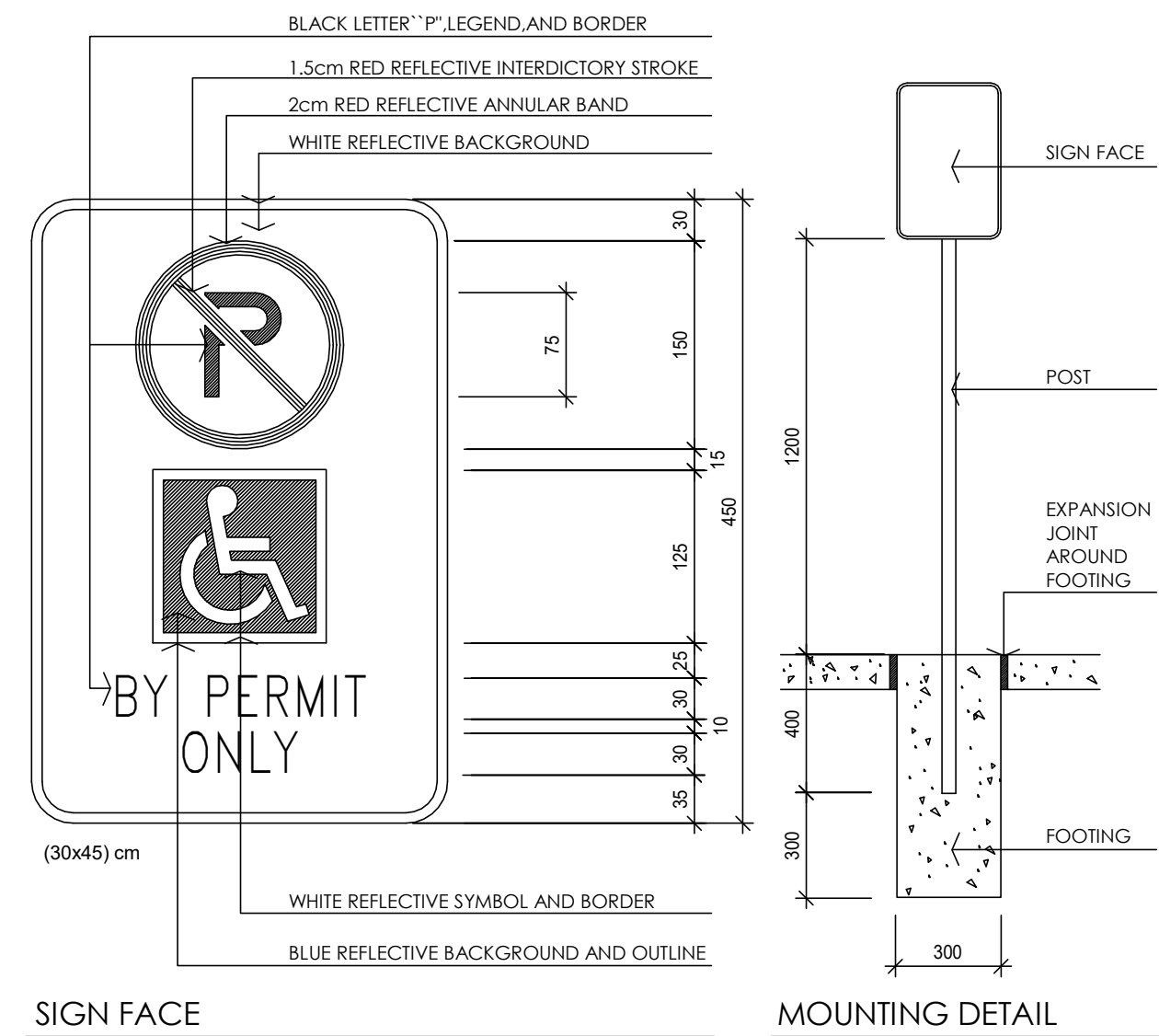
CONCRETE CURB	PROPOSED PAD MOUNTED TRANSFORMER (REFER TO ELECTRICAL DRAWINGS)
CONCRETE SIDEWALK	MAIN ENTRANCE
6m WIDE FIRE ROUTE WITH HEAVY DUTY ASPHALT	SECONDARY ENTRANCE
PROPOSED BUILDING	SERVICE ENTRANCE
LANDSCAPE	NO PARKING SIGN FOR FIRE ROUTE IN ACCORDANCE WITH THE CITY OF WELLAND SIGN BY-LAW AND OBC
ASPHALT DRIVEWAY	SETBACKS
SIAMASE CONNECTION	PROPERTY LINE
LIGHT STANDARD	HANDICAP PARKING
PROPOSED FIRE HYDRANT	MOLLUK
DEPRESSED CURB	SNOW STORAGE

2024-06-27 11:38:40 PM C:\Users\Chamberlain\Documents\122007 - Site - 370 New Enterprise Way\2024.06.19 - Issues\F2\FV5.rvt

NO	ISSUED	DATE
1	BUILDING PERMIT	2023.02.14
3	RE-ISSUED FOR PERMIT	2023.09.18

Traffic control signs shall be supplied and erected by the Developer as directed by the Director of Public Works. All signs must meet requirements of City of Vaughan Sign By-Law. Also, signs shall be in compliance with the Ontario Traffic Manual (OTM) Regulatory Signs and shall be placed in accordance with the OTM and the Highway Traffic Act. All traffic control signs are to be made with high intensity type reflective sheeting (a minimum sheeting level of Type III or IV must be used for Stop signs and appurtenances and Yield signs and appurtenances). Where warranted, the Director of Public Works may require Warning Signs.

Unless other directed, posts shall be galvanized steel U-Flange type imbedded at least 1.2 metres into the ground with length to suit the application.



HANDICAPPED PARKING SIGNAGE REQUIREMENTS

- ALL HANDICAPPED PARKING STALLS SHALL BE DESIGNATED BY SIGNAGE AS PER BY-LAW
- ONE SIGN PER BAY IS REQUIRED UNLESS A ROW OF SEVERAL BAYS IS PROVIDED IN WHICH CASE, A SIGN AT EACH END OF THE ROW WITH APPROPRIATE DIRECTIONAL ARROWS IS ACCEPTABLE
- THE REQUIRED SIGN(S) MUST BE MOUNTED AT LEAST 0.6m AND NOT MORE THAN 2.0m FROM THE FACE OF THE CURB AT A HEIGHT OF 1.2m ABOVE THE TOP OF CURB ELEVATION. SIGNS MUST NOT OBSTRUCT THE SIDEWALK.
- WHERE AN UNOBSTRUCTED BUILDING FACE IS LOCATED NO MORE THAN 2.0m FROM THE FACE OF THE CURB AT THE HANDICAPPED BAY, THE REQUIRED SIGN(S) MAY BE MOUNTED ON THE BUILDING FACE.

SIGN FACE

- 0.64 GAUGE ALUMINUM SIGN BLANK
- WHITE BACKGROUND
- HOLES-METRO PUNCH

MOUNTING

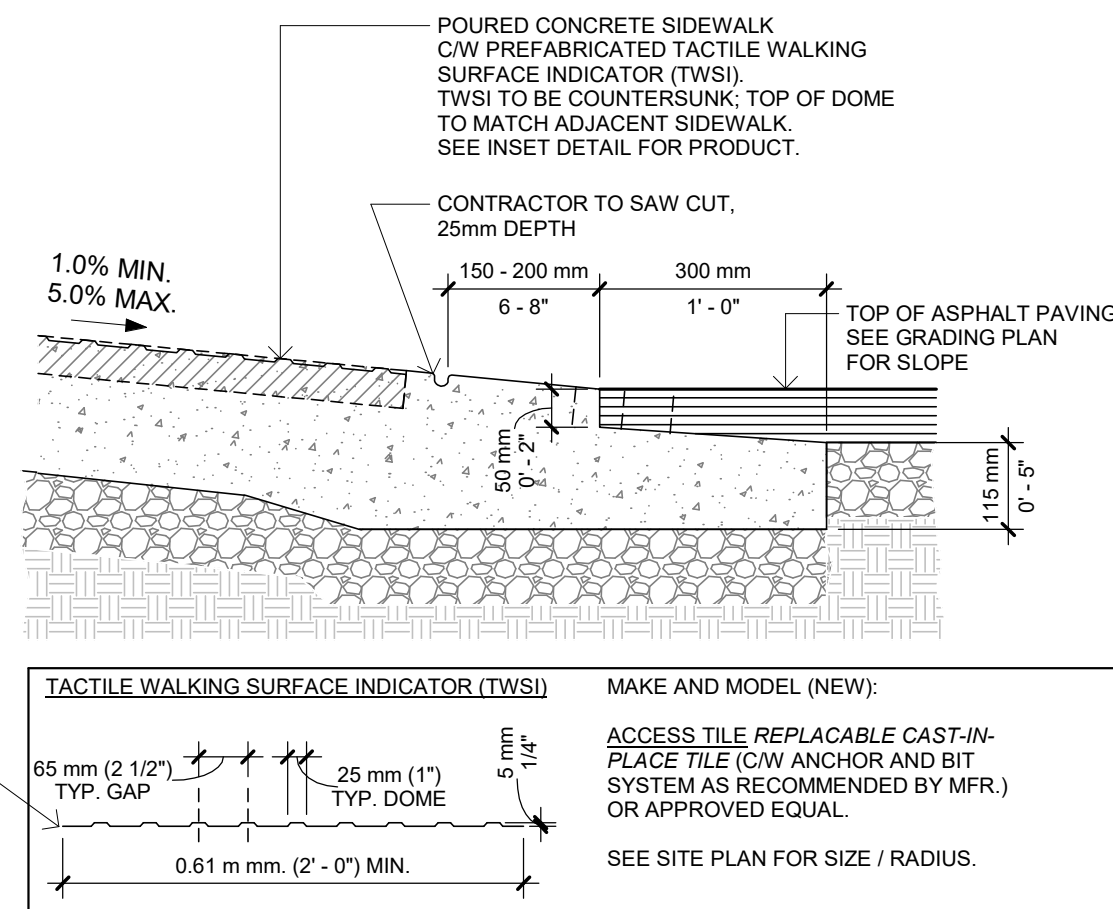
- THE SIGN FACE MUST BE SECURED
- TO A POST WITH TWO GALVANIZED 12mm HEX HEAD BOLTS AND NUTS WITH FLAT WASHERS ON BOTH SIDES.
- TO A MASONRY BUILDING FACE WITH TWO GALVANIZED 50mm LONG 6mm DIAMETER HEX-HEAD LAG BOLTS WITH FLAT WASHERS IN LEAD SHIELD MASONRY ANCHORS.
- TO A METAL BUILDING FACE WHERE THE MINIMUM METAL THICKNESS IS 2mm WITH TWO #10 PLATED, SELF-TAPPING SHEET-METAL SCREWS WITH FLAT WASHERS.

POST

- 75mm DIAMETER GALVANIZED STANDARD STEEL PIPE
- POST TO BE CAST IN PLACE IN 300mm DIA. CONCRETE FOOTING.

2 PARKING SIGNAGE

A.002 1:5



1 ACCESSIBLE DROPPED CURB I

A.002 1:10

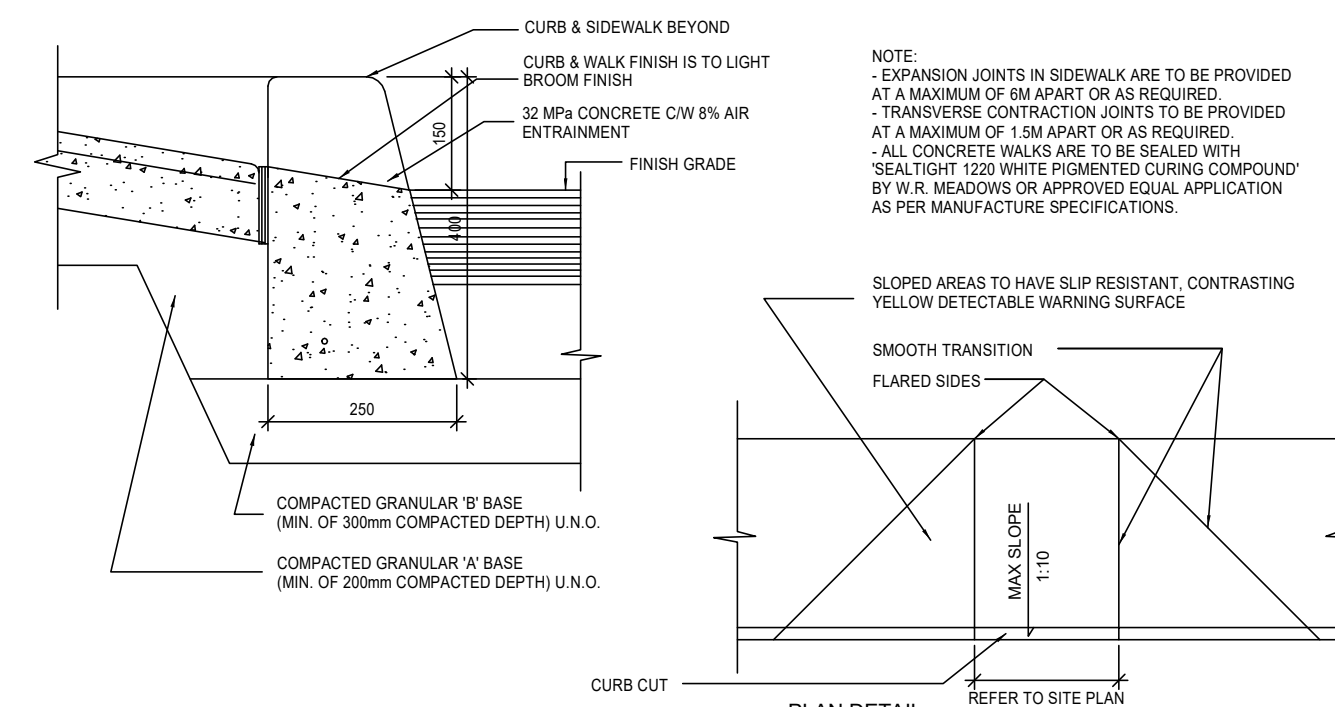
NOTE:

1. SIGNAGE SHALL BE LOCATED ABOVE FD CONNECTION WITH THE BOTTOM OF THE SIGN BETWEEN 2133mm TO 3048mm ABOVE THE FINISHED PAVEMENT GRADE.
2. SIGNAGE SIZE: 304 x 603mm
3. THE SIGN SHALL DISPLAY "FIRE DEPARTMENT CONNECTION" WITH WHITE LETTERING ON A CONTRASTING BACKGROUND OF RED.



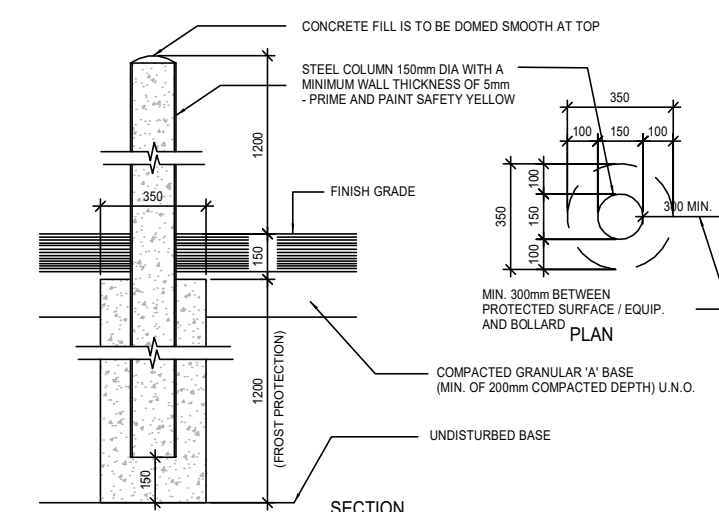
3 FD CONNECTION SIGNAGE

A.002 1:10



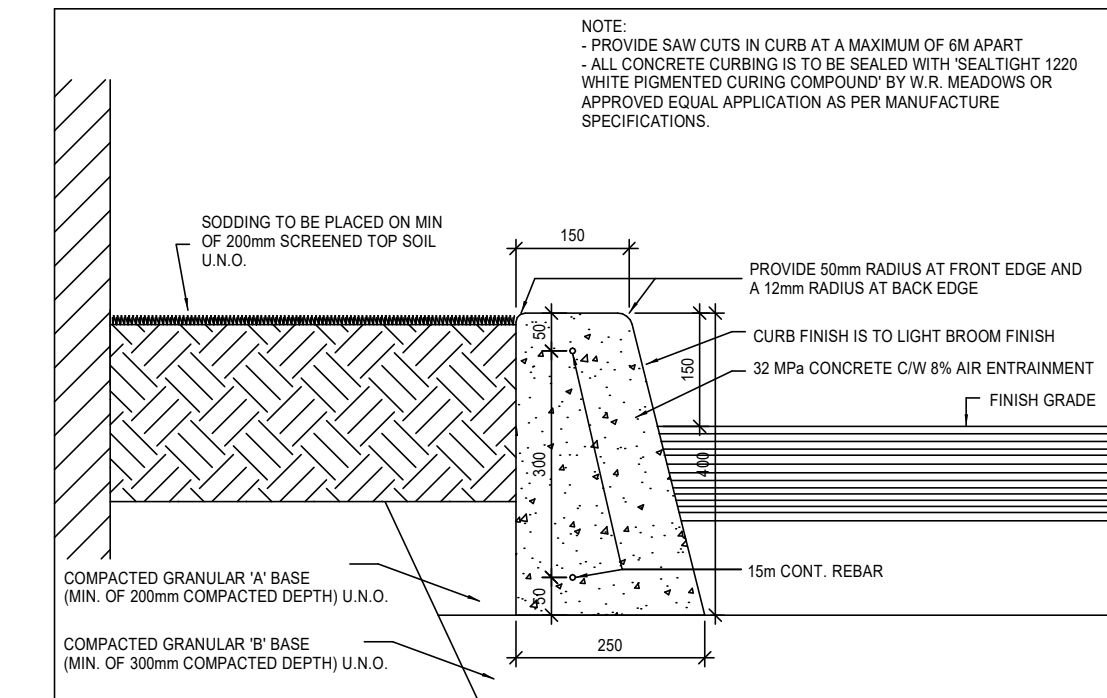
6 CURB AND SIDEWALK DEPRESSION

A.002 1:10



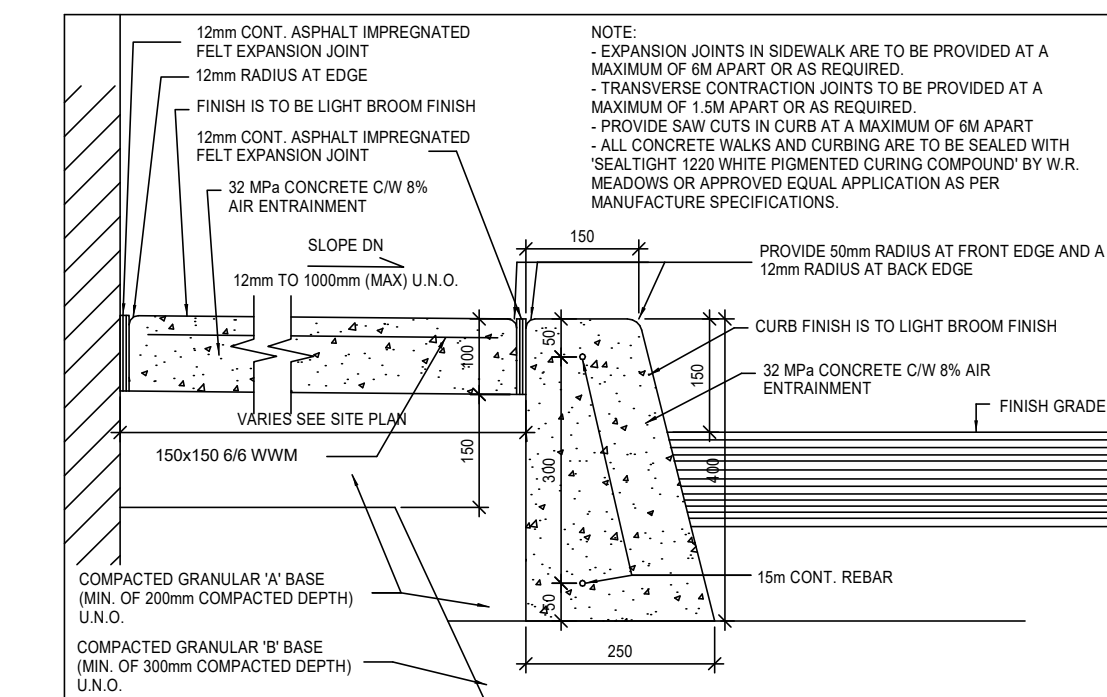
7 BOLLARD DETAIL

A.002 1:10



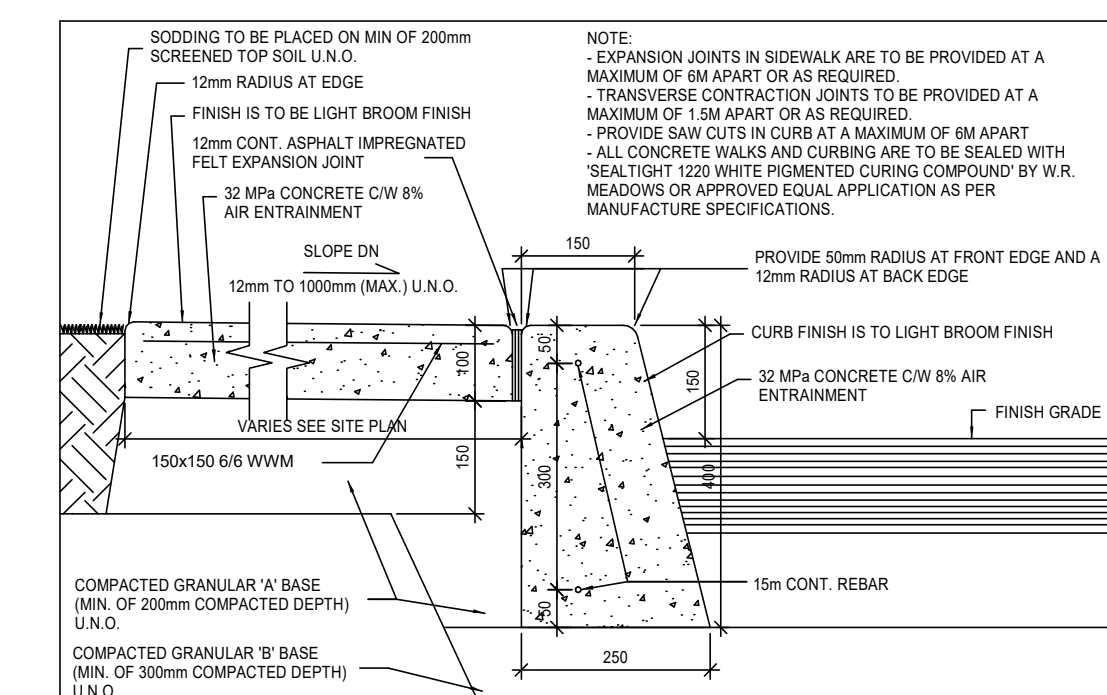
8 CONCRETE CURB DETAIL I

A.002 1:10



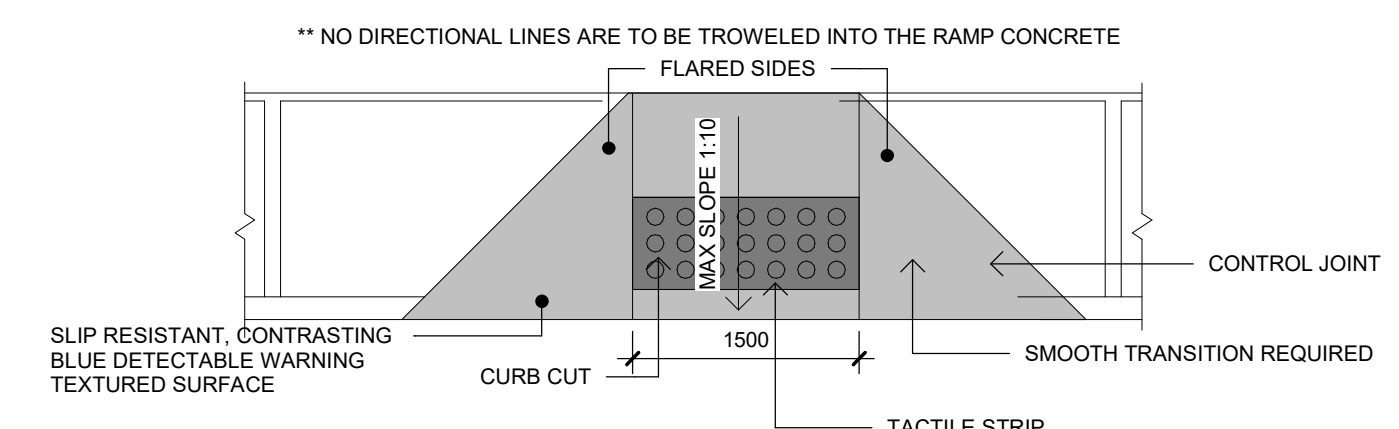
9 CONCRETE CURB DETAIL II

A.002 1:10



10 CONCRETE CURB DETAIL III

A.002 1:10



DEPRESSED CURB

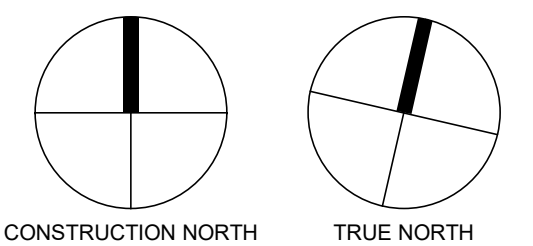
A.002 1:50

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SEAL



DASS METALS EXPANSION

**370 NEW ENTERPRISE WAY
VAUGHAN ONTARIO**

SHEET NAME

SITE PLAN DETAILS

START DATE	JUNE 2022
DRAWN BY	Author
CHECKED BY	Checker
SCALE	As indicated
PROJECT NO.	122007

DRAWING

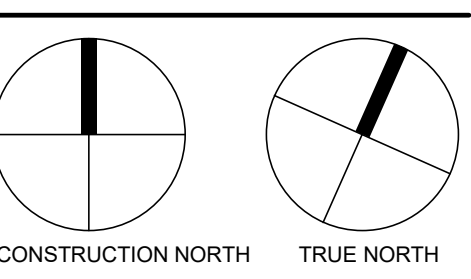
A.002

NO.	ISSUED	DATE
1	BUILDING PERMIT	2022.02.14
2	REVISION FOR CLARIFICATION	2022.12.14
3	REVISION FOR PERMIT	2023.01.10

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CLIENT: **Owner**

SCALE



**DASS METALS
EXPANSION**

370 NEW ENTERPRISE WAY
VAUGHAN ON

**AREA
CALCULATIONS**

START DATE	JUNE 2022
DRAWN BY	Author
CHECKED BY	Checker
SCALE	1 : 300
PROJECT NO.	122007

A105

Department Legend

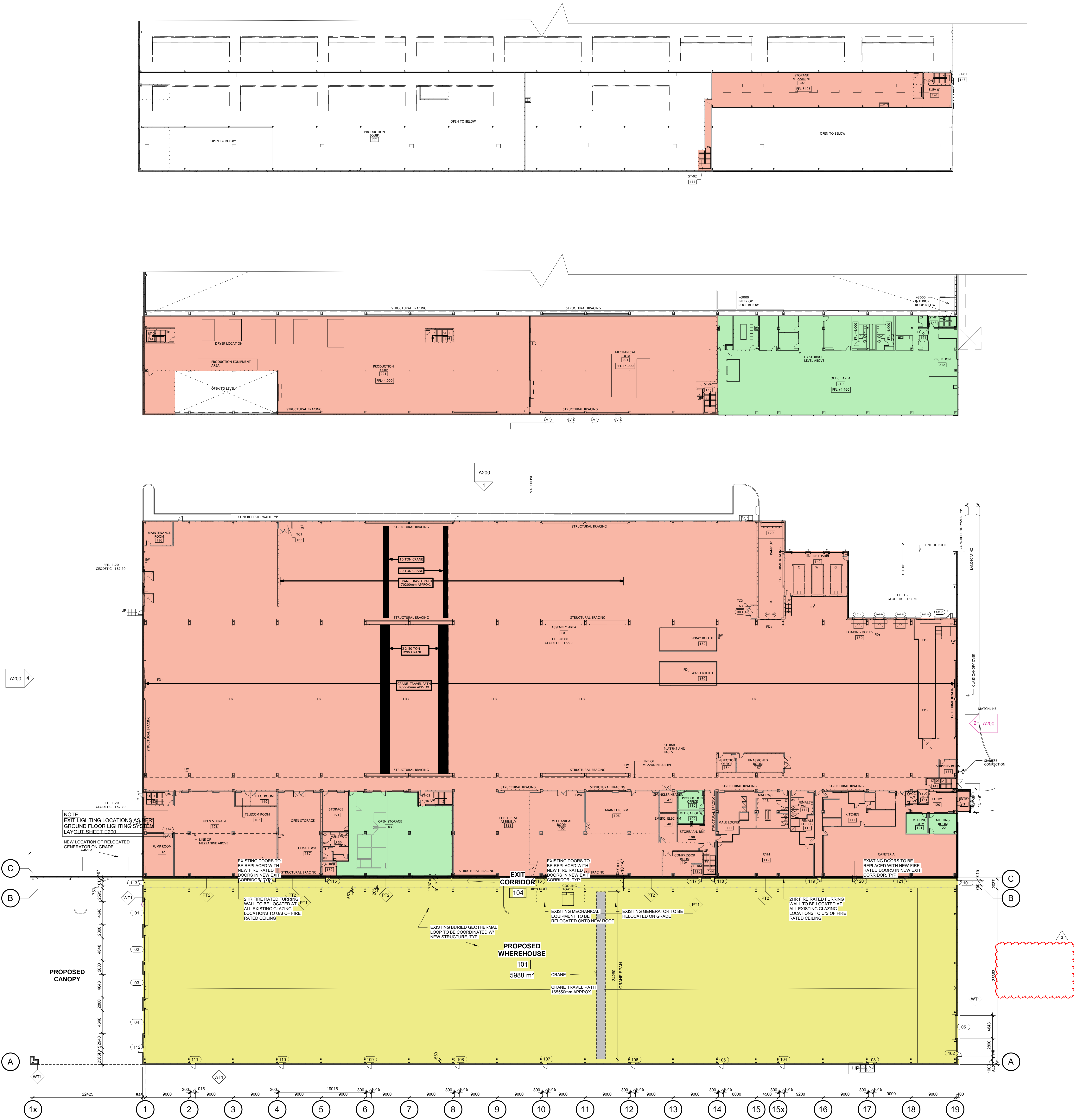
- MANUFACTURING
- OFFICE
- WAREHOUSE

GFA PER USE - EXISTING	
Department	GROSS FLOOR AREA (GFA)
MANUFACTURING	13797 m ²
OFFICE	1444 m ²
TOTAL (m ²): 13	15240 m ²

GFA PER USE - PROPOSED	
Department	GROSS FLOOR AREA (GFA)
WAREHOUSE	6370 m ²
TOTAL (m ²): 2	6370 m ²

GFA PER USE - TOTAL	
Department	GROSS FLOOR AREA (GFA)
MANUFACTURING	13797 m ²
OFFICE	1444 m ²
WAREHOUSE	6370 m ²
TOTAL (m ²): 15	21610 m ²

GFA PER FLOOR	
USE	GROSS FLOOR AREA (GFA)
LVL 1 - GROUND	
MANUFACTURING	11226 m ²
OFFICE	443 m ²
WAREHOUSE	6370 m ²
LVL 2 - MEZZANINE	
MANUFACTURING	2203 m ²
OFFICE	1001 m ²
LVL 3 - STORAGE MEZZANINE	
MANUFACTURING	368 m ²
TOTAL (m ²): 15	21610 m ²



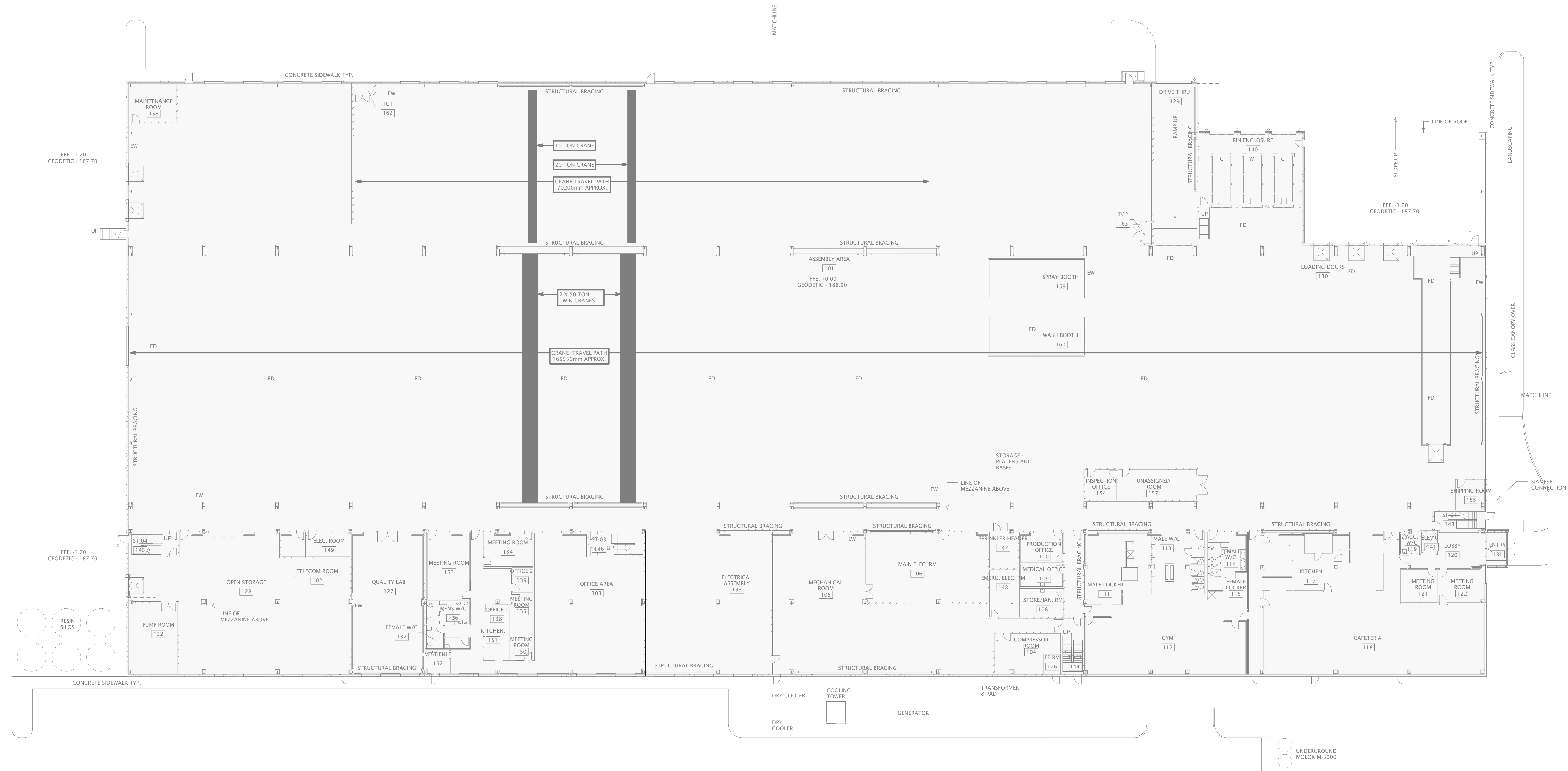
1 PROPOSED GROUND FLOOR PLAN - AREA
1 : 300

NO.	ISSUED	DATE
1	BUILDING PERMIT	2022.02.14

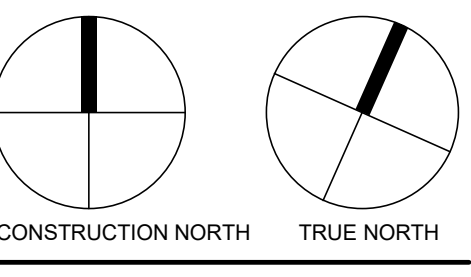
DO NOT SCALE DRAWINGS. USE ONLY DIMENSIONS MARKED THEREON FOR CONSTRUCTION. VERIFY CONFIGURATIONS AND DIMENSIONS ON SITE BEFORE BEGINNING WORK. NOTIFY ARCHITECT IMMEDIATELY IF ANY DISCREPANCIES OR DISCREPANCIES ARE OBSERVED. CHAMBERLAIN ARCHITECT SERVICES LIMITED AND CHAMBERLAIN CONSTRUCTION SERVICES LIMITED MAKE NO WARRANTY OR REPRESENTATION.

Owner

SCALE



1
A100
EXISTING FLOOR PLAN
1 : 200



PROJECT

**DASS METALS
EXPANSION**

370 NEW ENTERPRISE WAY
VAUGHAN ON

SHEET NAME
**EXISTING OVERALL
FLOOR PLAN**

START DATE	JUNE 2022
DRAWN BY	Author
CHECKED BY	Checker
SCALE	1 : 200
PROJECT NO.	122007

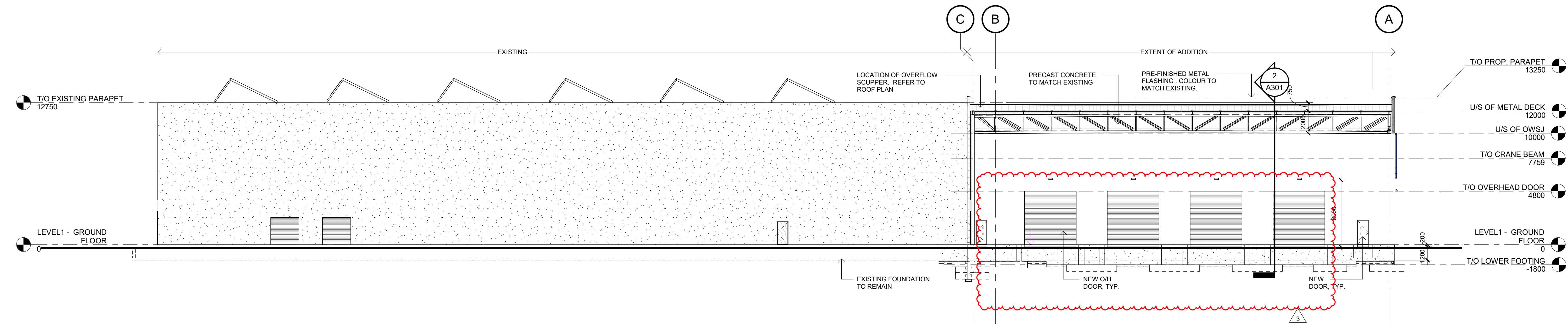
DRAWING
A100

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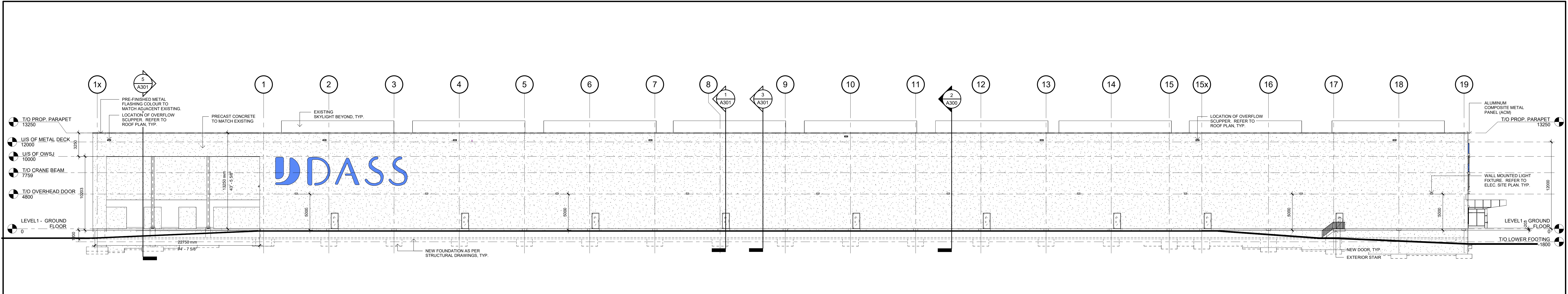
NO.	ISSUED	DATE
1	BUILDING PERMIT	2022.02.14
2	REVISION FOR CLARIFICATION	2022.12.14
3	REVISED FOR PERMIT	2023.01.10

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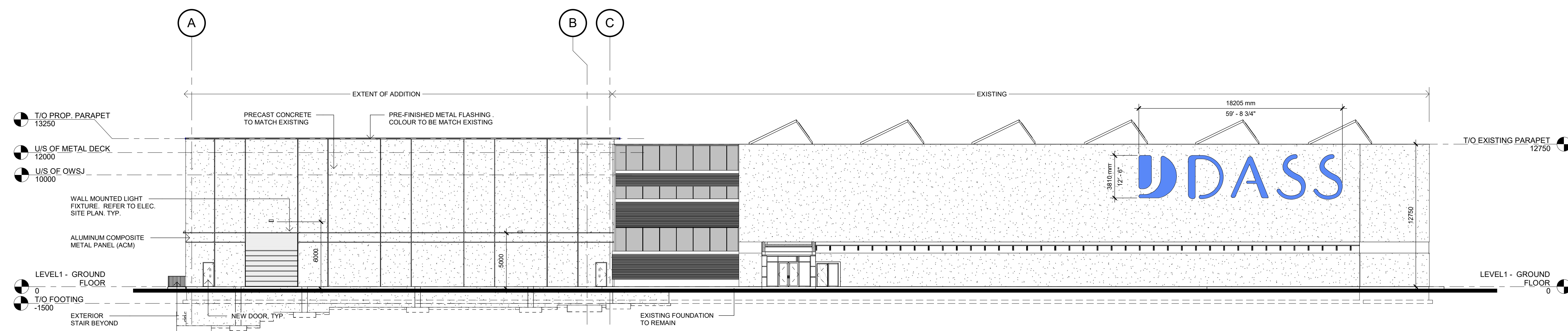
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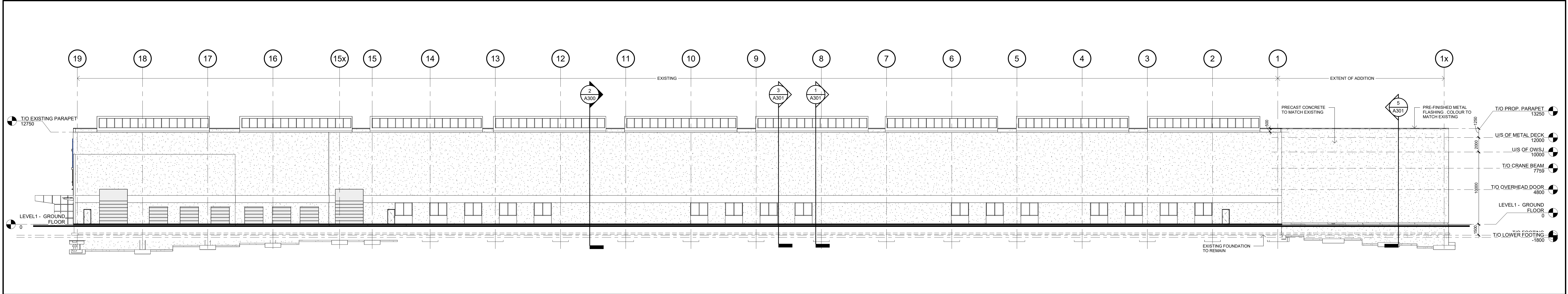
4 WEST ELEVATION
A200
1:200



3 SOUTH ELEVATION
A200
1:200



2 EAST ELEVATION
A200
1:200



1 NORTH ELEVATION
A200
1:200

PROJECT

DASS METALS
EXPANSION

370 NEW ENTERPRISE WAY
VAUGHAN ON

SHEET NAME
EXTERIOR
ELEVATIONS

START DATE

JUNE 2022

DRAWN BY

AMS

CHECKED BY

SM

SCALE

1:200

PROJECT NO.

122007

DRAWING

A200

2023.06.28 10:51:25 AM

NO.	ISSUED	DATE
1	BUILDING PERMIT	2023.03.14
	REBID FOR CLIENT REVIEW	2023.12.14

DO NOT SCALE DRAWINGS. USE ONLY DRAWINGS
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BEGINNING WORK. NOTIFY ARCHITECT IMMEDIATELY
IF ANY DISCREPANCIES OR DISCREPANCIES.
CHAMBERLAIN ARCHITECT SERVICES LIMITED AND
CHAMBERLAIN CONSTRUCTION SERVICES LIMITED
MAKE NO WARRANTY.

CLIENT: **Owner**

SCALE:



PROJECT:

**DASS METALS
EXPANSION**

370 NEW ENTERPRISE WAY
VAUGHAN ON

SHEET NAME:
EXTERIOR SHOTS

START DATE: **JUNE 2022**

DRAWN BY: **AMS**

CHECKED BY: **SM**

SCALE:

PROJECT NO: **122007**

DRAWING:

A201

2023-06-28 04:54:20 PM

Proposed Plant Material List

KEY	QNTY	BOTANICAL NAME	COMMON NAME	HT/CAL	SPREAD	ROOT	DROUGHT TOLERANT	NATIVE	REMARKS
DECIDUOUS TREES									
AXF		Acer x freemanii 'Jeffersred'	Jeffersred Freeman Maple	70 mm		B.&B.	Yes	Yes	Full Form
GDI		Gymnocladus dioica	Kentucky Coffee Tree	70 mm		B.&B.	Yes	Yes	Full Form
ORB		Quercus rubra	Red Oak	70 mm		B.&B.	Yes	Yes	Full Form
QMA		Quercus macrocarpa	Bur Oak	70 mm		B.&B.	High	Yes	Full Form
SPECIMEN DECIDUOUS SHRUBS									
AAD		Amelanchier arborea	Downy Serviceberry	200 cm		B.&B.	High	Yes	Multi Stem
DECIDUOUS SHRUBS									
CAL		Cornus alternifolia	Pagoda Dogwood	120 cm		B.&B.	High	Yes	Full Form
HPB		Hydrangea paniculata 'Bombshell'	Dwarf Bombshell Hydrangea	60 cm		5 gal.	No	No	Full Form
POG		Physocarpus opulifolius 'Dart's Gold'	Dart's Gold Ninebark	60 cm		C.G.	Yes	Yes	Dwarf
SJL		Spirea japonica 'Little Princess'	Dwarf Red Spirea	60 cm		C.G.	Yes	Yes	Full Form
VTC		Viburnum trilobum 'Compactum'	Compact High Bush-Cranberry	70 cm		C.G.	Yes	Yes	Full Form
CONIFEROUS TREES									
TCF		Taxus cuspidata 'Fairview'	Fairview Yew	65 cm		C.G.	Yes	No	Full Form
PERENNIALS									
HPM		Hemerocallis 'Pardon me'	Dwarf (Red) Daylilies			2 Gal.	High	Yes	Full Form
HSD		Hemerocallis 'Stella D'oro'	Stella D'oro (Yellow) Daylilies			2 Gal.	High	Yes	Full Form
HSE		Hosta sieboldiana elegans (Blue)	Elegans Large Blue Leaf Hosta		shade	2 Gal.	High	Yes	Large Leaf
GEW		Geranium sanguineum 'Alba'	White Hardy Geranium			2 Gal.	No	No	White Flowers
SAM		Salvia x sylvestris 'May Night'	May Night Salvia			2 Gal.	Yes	No	Full Form
GRASSES									
PAA		Panicum acuminatum	Hairy Panic Grass			2 Gal.	High	Yes	Full Form - Native
SCS		Schizachyrium scoparium	Little Bluestem			2 Gal.	High	Yes	Full Form - Native

Legend

	Existing Deciduous Tree Canopy		Prop. 1.8m HT Wood Privacy Screen Typ.		Proposed Deciduous Tree
	Existing Coniferous Tree Canopy		Prop. 1.2 Ornamental Metal Fence		Proposed Coniferous Tree
	Tree Protection Zone (TPZ)		Prop. Sodded Area Typ.		Proposed Shrub/Perennial
	Property Line		Existing Sodded Area Typ.		Proposed Armoustone
	Tree Protection Fencing		Prop. Concrete Paving Typ.		Proposed Bike Ring
	Area Enlargement		Existing Concrete Paving Typ.		Plant Material Reference Key
			Prop. Unit Paving Type 1		Detail Reference Key
			Existing Planting Area		
			Existing Bollard		



Key Map

msla
MARTON SMITH LANDSCAPE ARCHITECTS
 170 The Donway W Suite 206
 Toronto, Ontario, Canada. M3C 2G3
 tel. 416.492.9966 | email. info@msla.ca

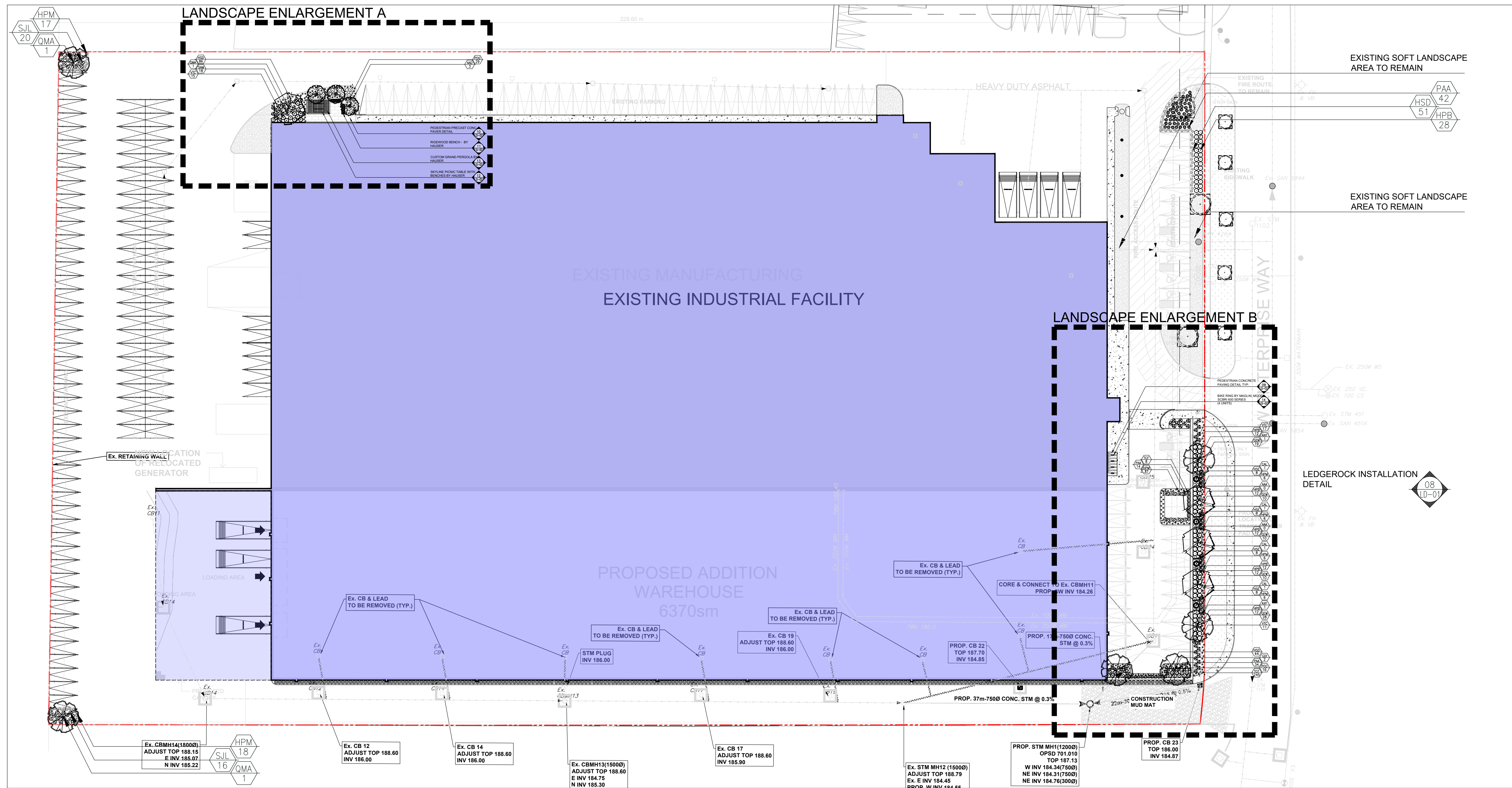
Architect:

 Architects
 Constructors
 Managers

Client/Owner:

Municipality:

Notes:



02	Issued for Submission	07/18/24
01	Issued for Coordination	07/15/24
No.	Revision	Date
North:		
Stamp:		
Project: Proposed Landscape and Site Upgrades 370 New Enterprise Way Vaughan, Ontario		
Scale: 1:400 Date: Jan 2024		
Drawn By: J.B. Checked By: L.M.		
Drawing Title: Landscape Plan		
Project No. 24136 Sheet No. L1-01		

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Notes:

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LANDSCAPE SPECIFICATIONS

CONTRACTOR MUST CONTACT ALL UTILITY COMPANIES FOR STAKE OUTS PRIOR TO ANY EXCAVATION OR PLANTING.

ROUGH GRADING

ROUGH GRADE AND FILL AREAS TO ESTABLISH SUBGRADE AS REQUIRED. PROVIDE DRAINAGE PATTERN AS INDICATED ON DRAWINGS. ROUND SMOOTH ALL TOPS AND EDGES OF SLOPES. COMPACT ALL AREAS TO 95% STANDARD PROCTOR DENSITY UNLESS SPECIFIED OTHERWISE. EXISTING TREES TO REMAIN ON SITE ARE TO BE PROTECTED AS DETAILED.

FINE GRADING

FINE GRADE ALL AREAS TO FINISHED GRADES AS SHOWN ON LAYOUT OR GRADING PLAN OR ARCHITECT'S SITE PLAN. PROVIDE UNIFORM SLOPES AWAY FROM THE BUILDING, UNLESS SPECIFIED OTHERWISE. SLOPES MAY NOT EXCEED 3:1 (3:1).

SPREADING OF TOPSOIL

SCARIFY THE SUBSOIL PRIOR TO THE SPREADING OF THE TOPSOIL. REMOVE ALL DEBRIS AND LEAVE A FINE-TEXTURED EVEN SURFACE. ALL TOPSOIL TO BE IMPORTED UNLESS PREVIOUSLY APPROVED BY LANDSCAPE ARCHITECT. OBTAIN APPROVAL FOR THE QUALITY OF ANY IMPORTED TOPSOIL BEFORE DELIVERY TO THE SITE. TOPSOIL IS TO BE COMPACTED TO CREATE A FIRM AND EVEN SURFACE.

SOD

USE NO. 1 GRADE TURFGRASS NURSERY SOD WHICH CONFORMS WITH THE SPECIFICATIONS OF THE NURSERY SOD GROWERS ASSOCIATION OF ONTARIO. ALL LAWN AREAS SHALL RECEIVE A MINIMUM OF 100MM (4") OF COMPACTED TOPSOIL, AND SHALL BE SOODED WITH #1 KENTUCKY BLUEGRASS - FESCUE. NO SOD SLOPES ARE TO EXCEED 3:1. SLOPES IN EXCESS OF 4:1 TO BE PEGGED.

MINERAL FERTILIZER

APPLY THE FOLLOWING MINERAL FERTILIZER UNLESS SOILS TESTS SHOW OTHER REQUIREMENTS:

1. SOODED AREAS - 11% NITROGEN, 8% PHOSPHORUS AND 4% POTASH (11-8-4) AT THE RATE OF 4.5 KG OVER M2 (10 LBS OVER 1000 SQ. FT.).

2. PLANTING BEDS - 7% NITROGEN, 7% PHOSPHORUS AND 7% POTASH (7-7-7) AT THE RATE OF 40 GRAMS (4 OZ.) FOR EVERY BUSHEL OF TOPSOIL.

PREPARATION OF PLANTING BEDS

ALL PLANT BEDS TO BE CONTINUOUS. EXCAVATE ALL PLANTING BEDS TO THE DEPTH AS INDICATED ON THE DRAWINGS AND DETAILS. MIN 450mm (18"). BACKFILL ALL PLANTING BEDS WITH A SOIL MIXTURE CONSISTING OF SIX (6) PARTS OF SAND LOAM, ONE (1) PART OF FINELY PULVERIZED PEAT MOSS, TWO (2) PARTS OF WELL-ROTTED MANURE AND THE MINERAL FERTILIZERS AS SPECIFIED ABOVE. ALSO ADD .58 KILOS BONE MEAL/CUBIC METER OF PLANTING SOIL (1 LB./CUBIC YARD). PREPARE THE PLANTING BEDS FOR PLANTING BEFORE THE DELIVERY OF THE PLANT MATERIAL TO THE JOB SITE.

NOTE: IF THE EXISTING SOIL CONDITIONS ARE CLAY OR WET IN NATURE, CONTACT THE LANDSCAPE ARCHITECT FOR INSTRUCTIONS FOR A SUITABLE SOIL MIXTURE. FAILURE TO DO THIS MAY RESULT IN DELAY OF APPROVAL AND ACCEPTANCE.

PLANT MATERIALS

ALL PLANT MATERIAL SHALL CONFORM TO THE STANDARDS OF THE CANADIAN NURSERY TRADES ASSOCIATION FOR SIZE AND SPECIES.

ALL SHRUB AND TREE MATERIAL SHALL BE CONTAINER GROWN, POTTED, SB OR BB, UNLESS OTHERWISE NOTED. BARE ROOT PLANTING SHALL BE ACCEPTABLE FOR CERTAIN SPECIES DURING EARLY SPRING OR LATE FALL PLANTING SEASON. CONTRACTOR SHALL MAKE REQUESTS FOR ROOT CONDITION SUBSTITUTION IN WRITING TO THE LANDSCAPE ARCHITECT PRIOR TO COMMENCEMENT OF PLANTING OPERATIONS. ALL PLANT MATERIAL TO BE CLAY GROWN STOCK UNLESS OTHERWISE NOTED.

LANDSCAPE SPECIFICATIONS
SCALE: N.T.S. DATE: _____
1 LD-01

PLANT MATERIAL INSTALLATION

ALL TREES, SHRUBS AND GROUNDCOVERS SHALL BE PLANTED AS DETAILED & AS SHOWN ON THE PLANTING PLAN. ALL BEDS TO RECEIVE A COVER OF CLEAN MULCH TO A DEPTH OF 100mm (4"). FOR GUYING AND STAKING TREES, REFER TO PLANTING DETAILS. WRAP ALL DECIDUOUS TREES UNDER EXPERIENCED SUPERVISION ONLY TO THE SPECIFICATIONS OF THE ONTARIO LANDSCAPE CONTRACTORS ASSOCIATION.

PLANT MATERIAL SIZES AND CONDITIONS ARE TO BE AS INDICATED ON THE LANDSCAPE DRAWING.

THE INDIVIDUAL PLANT GROUPING TOTAL AS ILLUSTRATED ON THE PLANTING PLAN SUPERSEDES THE ESTIMATED QUANTITY ON THE MASTER PLANT LIST. CONTRACTOR MUST REPORT ANY DISCREPANCIES TO THE LANDSCAPE ARCHITECT IN WRITING BEFORE COMMENCING ANY WORK. CONTRACTOR WILL ASSUME FULL RESPONSIBILITY IF LANDSCAPE ARCHITECT IS NOT NOTIFIED OF DISCREPANCIES.

*MULCH - SHREDDED PINE MULCH BY 'GRO BARK' OR APPROVED EQUAL. LANDSCAPE ARCHITECT TO APPROVE MULCH BEFORE INSTALLATION.

GENERAL MAINTENANCE

PROPER MAINTENANCE PROCEDURES ARE TO BE FULLY ADMINISTERED FOR ALL NEWLY CONSTRUCTED LANDSCAPE WORK, IN ACCORDANCE WITH LANDSCAPE ONTARIO SPECIFICATIONS (SECTION 1E - MAINTENANCE WORK). THIS SHALL APPLY ONLY DURING THE CONSTRUCTION PERIOD, UNLESS OTHERWISE SPECIFIED. CONTRACTOR IS RESPONSIBLE FOR MAINTENANCE OF SOD AND PLANTING UNTIL FINAL ACCEPTANCE BY LANDSCAPE ARCHITECT.

RODENT PROTECTION

THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL TREES AND SHRUBS FOR WINTER PROTECTION AND FROM RODENT INJURY FOR THE DURATION OF GUARANTEE PERIOD. PROTECTIVE GUARDS SHALL BE EMPLOYED AROUND ALL DECIDUOUS TREES. GUARDS TO BE 150MM DIA. PVC PIPE OR AS MUNICIPAL GUIDELINES. GUARDS SHALL BE INSTALLED PRIOR TO THE APPLICATION OF THE MULCH AND SHOULD BE PLACED A MINIMUM OF 50MM (2") OUT FROM THE TREE TRUNK ON ALL SIDES.

ALL SHRUBS AND CONIFEROUS TREES SHALL HAVE AN APPLICATION OF '3600T' OR APPROVED EQUIVALENT RODENT FORMULA TO BE APPLIED AT THE END OF OCTOBER. FOLLOW MANUFACTURER'S DIRECTIONS FOR APPLICATION.

GENERAL REQUIREMENTS

USE ABOVE SPECIFICATIONS IN CONJUNCTION WITH THE GENERAL LANDSCAPE SPECIFICATIONS OF THE ONTARIO LANDSCAPE CONTRACTORS ASSOCIATION, THE NURSERY SOD GROWERS ASSOCIATION OF ONTARIO AND WITH THE GUIDE SPECIFICATIONS FOR NURSERY STOCK OF THE CANADIAN NURSERY TRADES ASSOCIATION. USE ONLY PLANT MATERIAL, TRUE TO NAME, SIZE AND GRADE AS SPECIFIED ON PLANTING PLAN; PROVIDE SUFFICIENT LABELS OR MARKINGS TO INDICATE CLEARLY THE VARIETY, SIZE AND GRADE OF EACH SPECIMEN OR BUNDLE.

OBTAIN APPROVAL FOR SUBSTITUTIONS AS TO VARIETY, SIZE OR GRADE FROM THE LANDSCAPE ARCHITECT. USE ONLY NURSERY STOCK GROWN UNDER PROPER HORTICULTURAL PRACTICES, VIABLE, FREE FROM PEST AND DISEASE AND UNDAMAGED. CHECK LOCATIONS AND OBTAIN STAKEOUTS OF ALL UTILITY LINES BEFORE EXCAVATION. OBTAIN ALL NECESSARY PERMITS BEFORE COMMENCEMENT OF CONSTRUCTION. REPORT IN WRITING ANY DISCREPANCIES IN THE DRAWINGS, SPECIFICATIONS AND CONTRACT DOCUMENTS TO THE LANDSCAPE ARCHITECT BEFORE THE END OF THE BIDDING PROCESS AND COMMENCEMENT OF CONSTRUCTION. THESE SPECIFICATIONS MAY BE SUPERSEDED BY ADDITIONAL SPECIFICATIONS SET OUT IN THE TENDER DOCUMENTS. CONTRACTOR TO REVIEW ALL DOCUMENTS.

GUARANTEE PERIOD

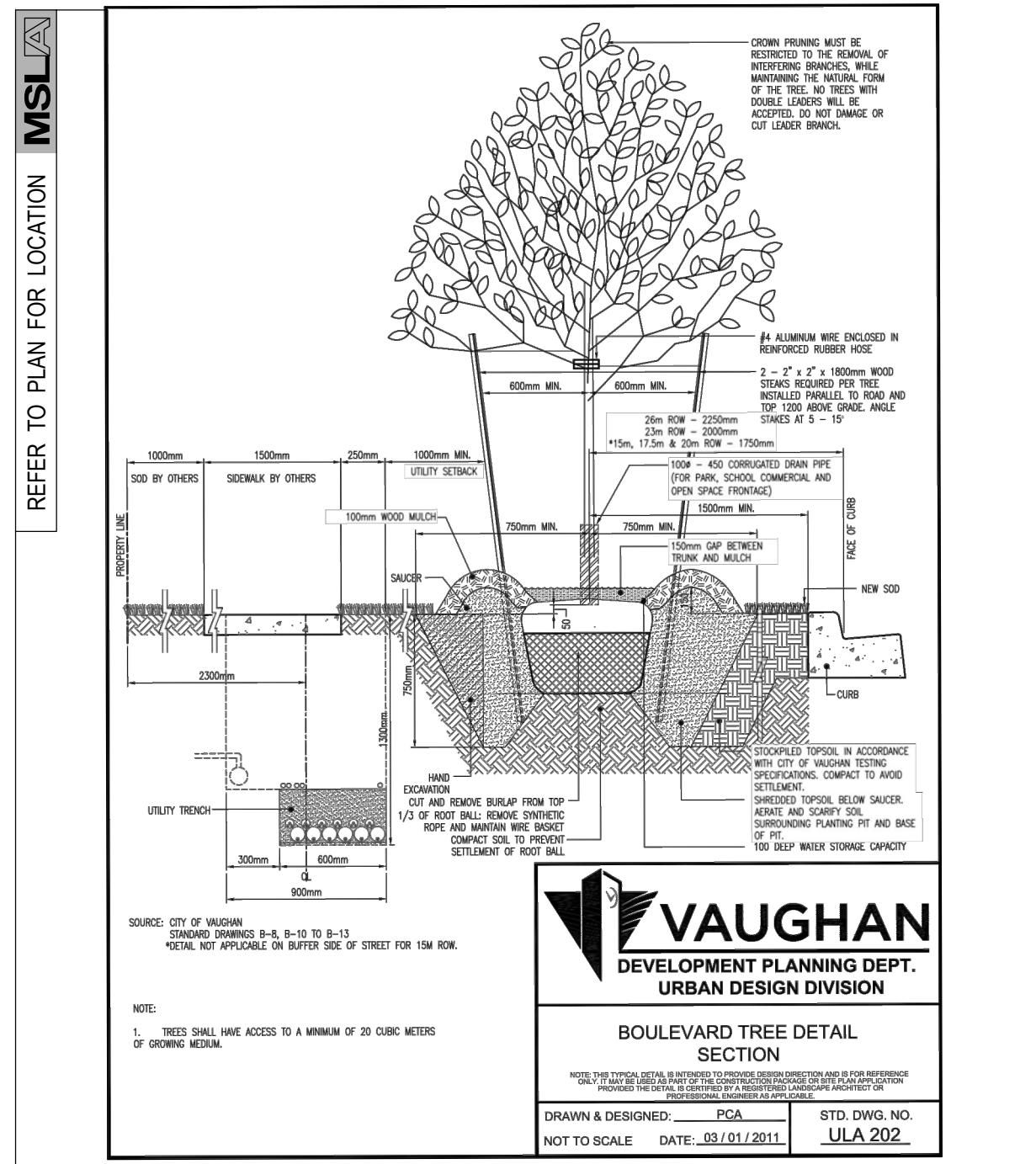
PROVIDE ONE FULL YEAR GUARANTEE ON ALL LANDSCAPE WORK FROM DATE OF FINAL ACCEPTANCE BY LANDSCAPE ARCHITECT. GUARANTEE PERIOD MAY BE EXTENDED TO TWO FULL YEARS DEPENDING ON MUNICIPAL STANDARDS. CONTRACTOR TO VERIFY WITH OWNER AND LANDSCAPE ARCHITECT.

PLANT MATERIAL INSTALLATION
SCALE: N.T.S. DATE: _____
2 LD-01

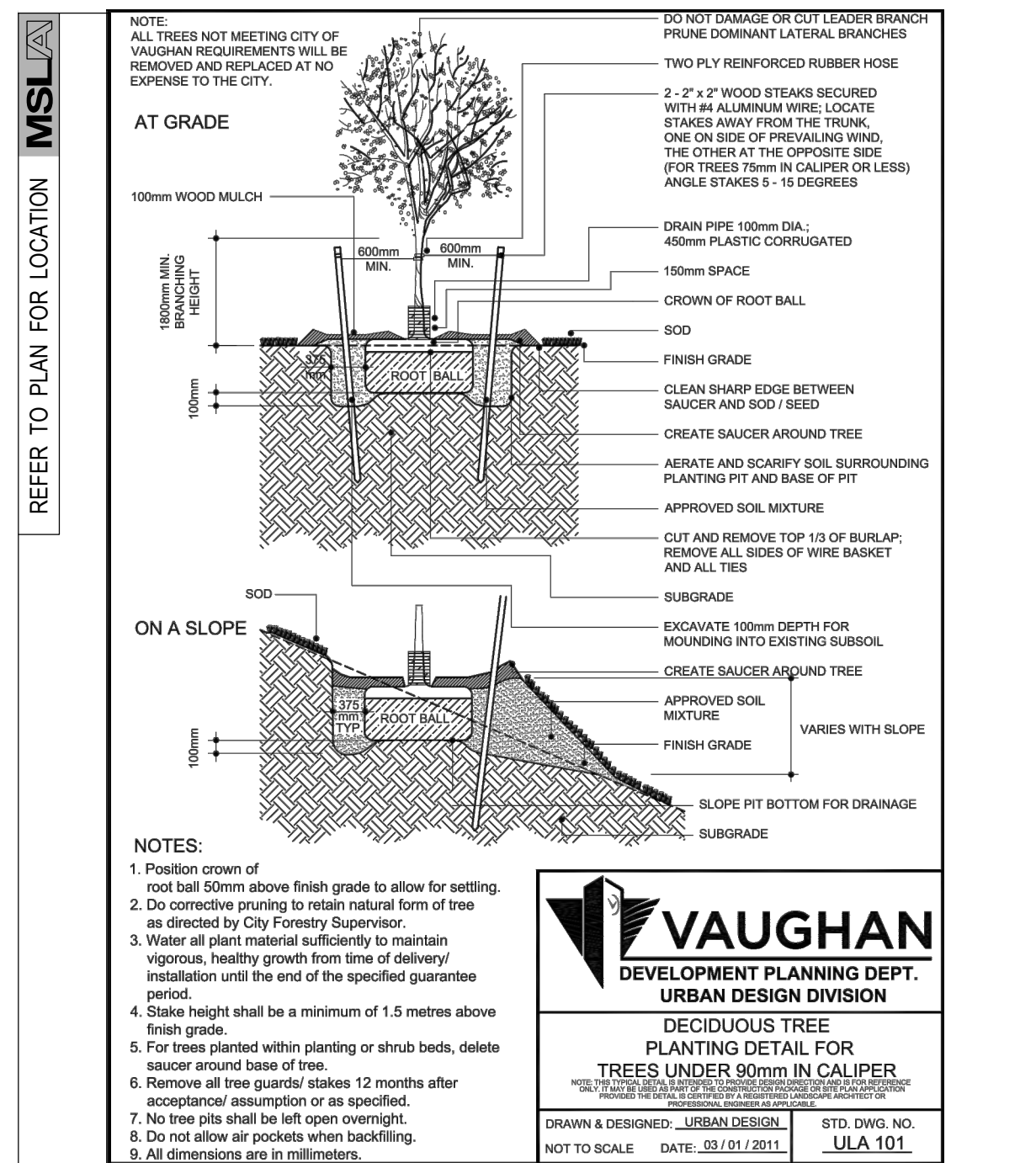
BOULEVARD PLANTING GENERAL NOTES

- PRIOR TO THE INSTALLATION, A STAKEOUT OF BOULEVARD TREE LOCATIONS IS TO BE UNDERTAKEN BY THE OWNER, TO THE APPROVAL OF THE CITY. THE OWNER SHALL ENSURE ALL UNDERGROUND UTILITIES (EXISTING AND PROPOSED) ARE STAKED OUT PRIOR TO THE BOULEVARD TREE STAKEOUT. THE LANDSCAPE CONSULTANT AND THE CITY MAY AT THEIR DISCRETION, REDESIGN TREE LOCATIONS PRIOR TO PLANTING, IN ORDER TO MINIMIZE CONFLICTS WITH UTILITIES, SIDEWALKS, AND INTERSECTION VISIBILITY. THE FOLLOWING ESTIMATES ARE TO BE ENGRAVED IN THE LOCATION OF TREES WITHIN THE BOULEVARD:
 - NOT LESS THAN 1.0 METRE FROM PEDESTRIAN SIDEWALKS, STREET CURBS, RESIDENTIAL / COMMERCIAL / INDUSTRIAL SIDEWALKS, UNDERGROUND UTILITIES, UTILITY PROFESSIONALS, AND SANITARY / STORM / WATER CONNECTIONS. A 2.0 METRE STAKEOUT IS PREFERRED FROM ALL PAVING SURFACES WHENEVER POSSIBLE.
 - NOT LESS THAN 3.0 METRES FROM HYDRO TRANSFORMERS, FIRE HYDRANTS, COMMUNITY WALKER PADS, AND WATER VALVES & CHAMBERS.
 - NOT LESS THAN 5.0 METRES FROM LIGHT POLES (3.0 METRES FOR COLUMN; TREE WIRELESS AND SMALLER ORNAMENTAL / FLOWERING TREE SPECIES).
 - NOT LESS THAN 15.0 METRES FROM STOP SIGNS, SUBJECT TO THE APPROVAL OF THE CITY'S ENGINEERING DEPT.
- TREES ADJACENT TO INTERSECTIONS SHALL MAINTAIN AN APPROPRIATE STAKEOUT TO ENSURE THAT NO VISIBLE CROWN GROWTH ENDOCHORES WITHIN THE DAYLIGHT TRAVEL.
- PROVIDE SAMPLE OF SHREDDED BARK CHIP MULCH PRIOR TO CONSTRUCTION.
- PROVIDE TOPSOIL TESTING RESULTS PRIOR TO CONSTRUCTION.
- ORIENT TREES FOR BEST APPEARANCE.
- NO TREE PITS SHALL BE LEFT OPEN OVERNIGHT.
- ANY TREE REPLACED DURING THE MAINTENANCE PERIOD REQUIRES 2"x 2" WOODEN STAKES (6"-8") AS OPPOSED TO "T" BARS.
- ALL TREES NOT MEETING CITY OF VAUGHAN REQUIREMENTS WILL BE REMOVED AND REPLACED AT NO EXPENSE TO THE CITY.
- ALL STAKES AND ACCESSORIES SHALL BE REMOVED PRIOR TO THE INSPECTION FOR SUBDIVISION MAINTENANCE.
- STAKEOUT ALL LEANING TREES PRIOR TO INSPECTION FOR SUBDIVISION MAINTENANCE.
- CORRECTIVE PRUNING SHALL BE COMPLETED PRIOR TO INSPECTION FOR SUBDIVISION MAINTENANCE IN ACCORDANCE OF MOSTLY STRONGS, INCLUDING THE REMOVAL OF:
 - PRUNING TO INCLUDE THE REMOVAL OF:
 - DEAD OR BROKEN BRANCHES
 - TRUNK SUCKERS
 - CO-DOMINANT LEADERS
 - TOP DRESS ANY SETTLEMENT AREA WITH TOPSOIL AND SOD PRIOR TO SUBDIVISION RESUMPTION.

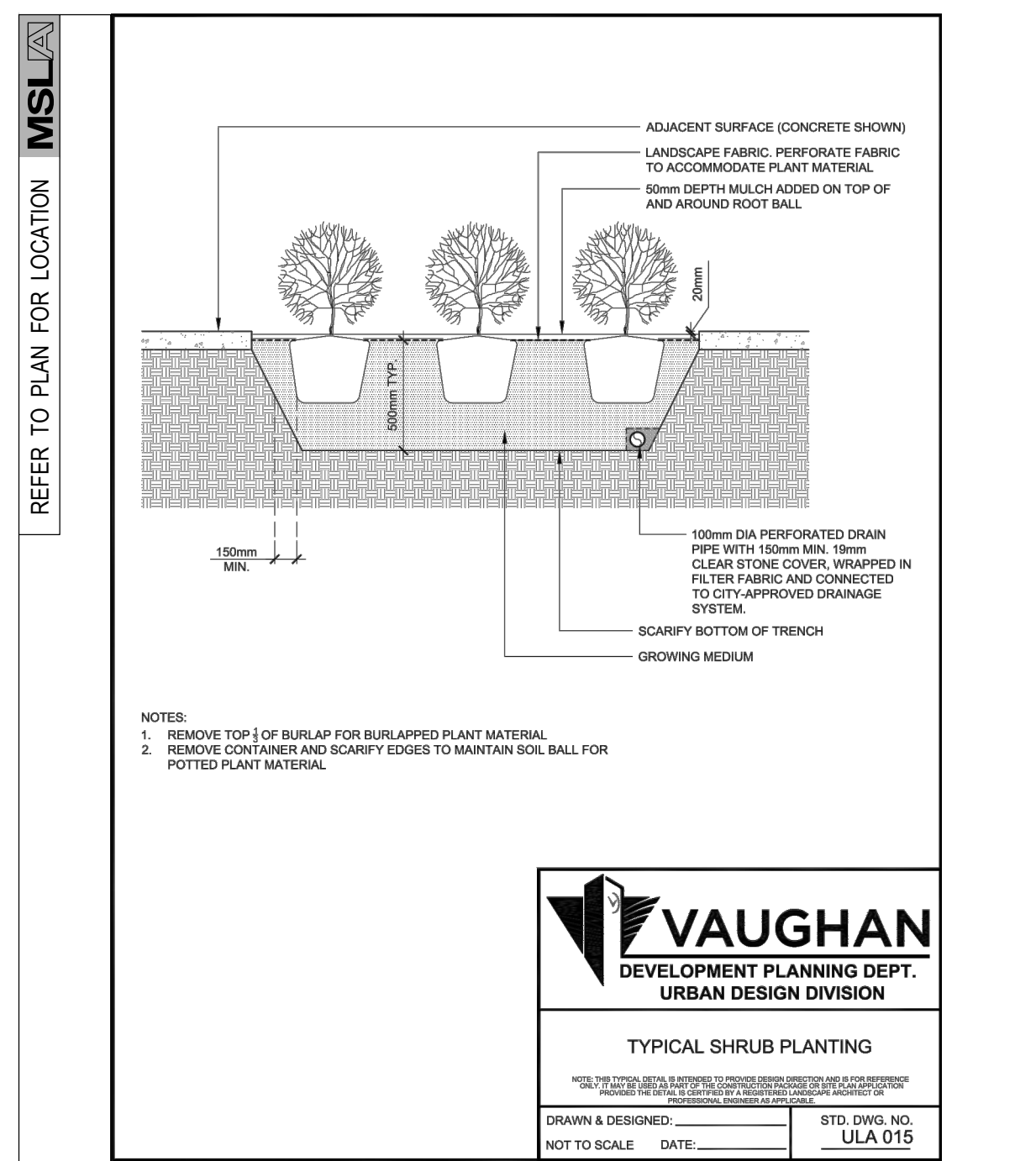
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SCALE: N.T.S. DATE: _____
3 LD-01



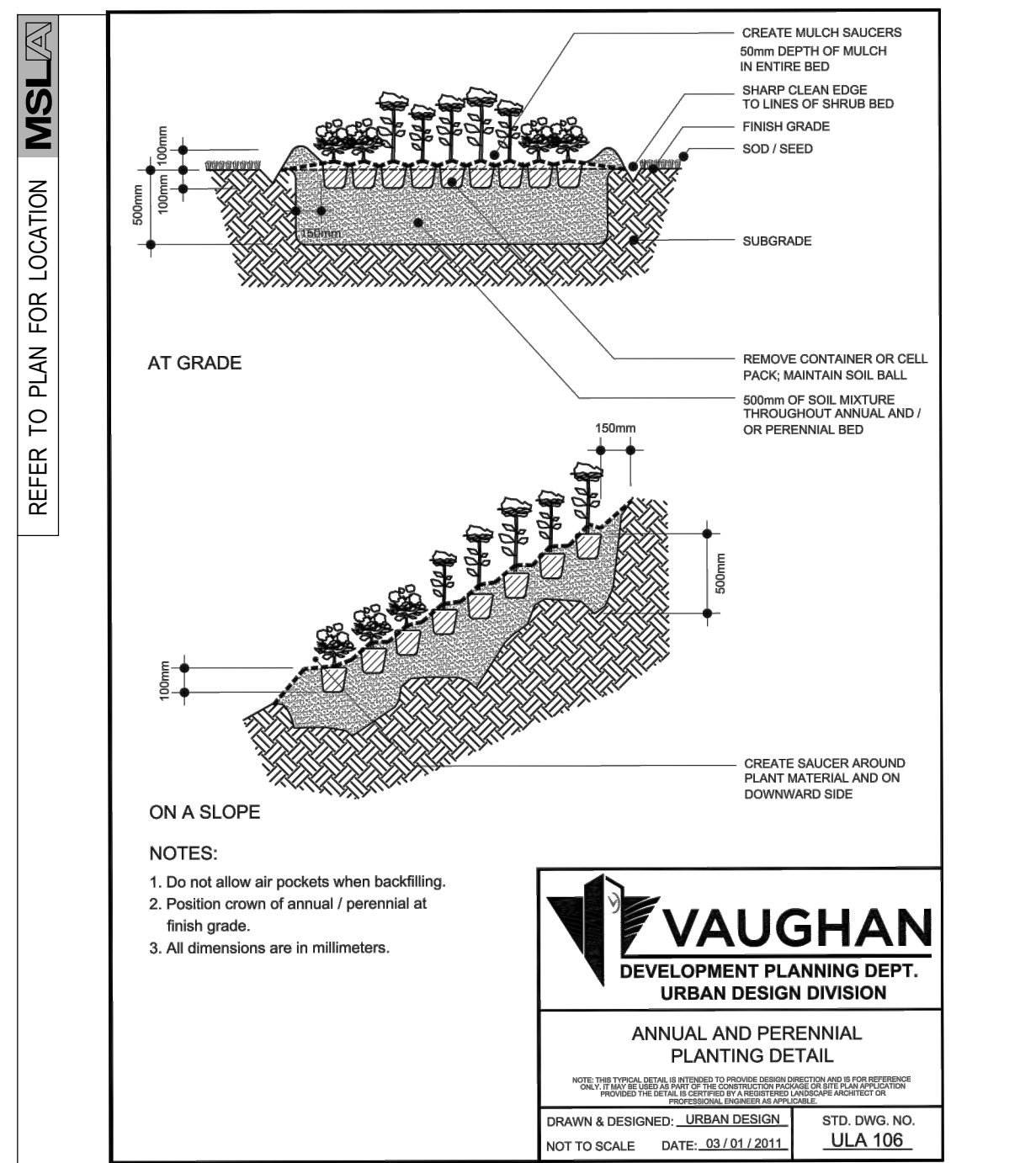
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SCALE: N.T.S. DATE: _____
4 LD-01



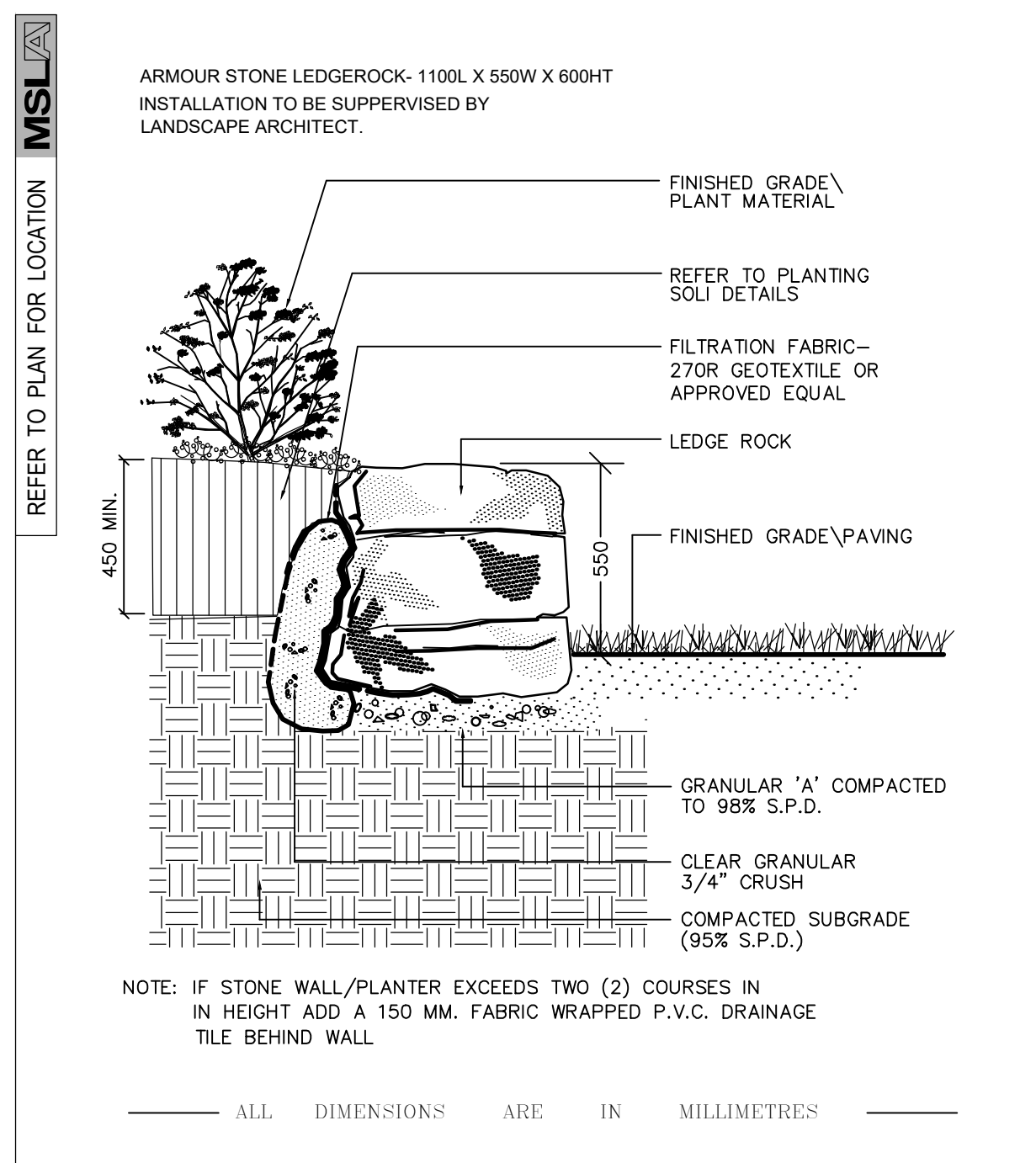
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SCALE: N.T.S. DATE: _____
5 LD-01



PLANT MATERIAL INSTALLATION
SCALE: N.T.S. DATE: _____
6 LD-01



PLANT MATERIAL INSTALLATION
SCALE: N.T.S. DATE: _____
7 LD-01



LEDGER ROCK INSTALLATION DETAIL
SCALE: N.T.S. DATE: _____
8 LD-01

Project: **Proposed Landscape and Site Upgrades**
370 New Enterprise Way
Vaughan, Ontario

Scale: **As Shown** Date: **Jan 2024**

Drawn By: **J.B.** Checked By: **L.M.**

Drawing Title: **Landscape Details**

Project No. **24136** Sheet No. **LD-01**

02 Issued for Submission 07/18/24
01 Issued for Coordination 07/15/24

No. Revision Date

North: _____ Stamp: _____

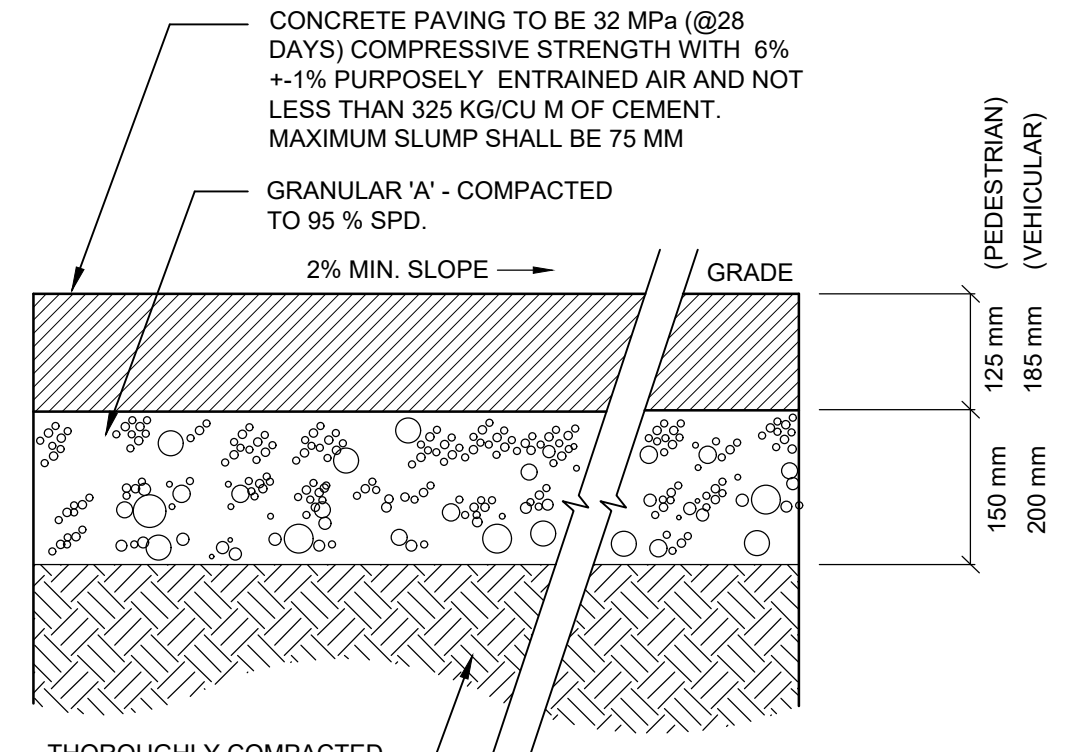
REFER TO PLAN FOR LOCATION

MSLA

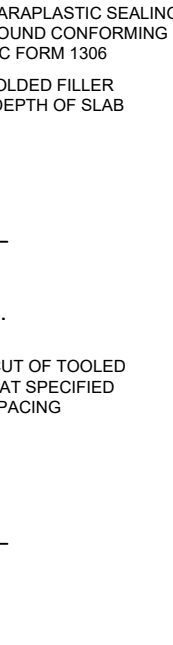
PEDESTRIAN CONCRETE PAVING DETAIL TYP.

SCALE: N.T.S. DATE:

LD-02



- NOTES:
- CONCRETE TO BE 32 MPa (@ 28 DAYS) COMPRESSIVE STRENGTH WITH 6% +1% PURPOSELY ENTRAINED AIR AND NOT LESS THAN 325 KG/CU M OF CEMENT. MAXIMUM SLUMP SHALL BE 75 MM.
 - IMMEDIATELY AFTER FINISHING WITH WOODEN FLOAT, ALL WALKS, CURBS, AND WALLS SHALL BE SPRAYED WITH WHITE PIGMENTED MEMBRANE CURING COMPOUND CONFORMING WITH M.T.C. FORM 1315 AND AS APPROVED BY THE M.T.C.
 - CONCRETE TO BE FINISHED WITH A CONTINUOUS BROOM FINISH ACROSS SURFACE.
 - EXPANSION JOINTS SHALL BE LOCATED ADJACENT TO EXISTING STRUCTURES (BUILDINGS WALKS, HYDRANTS, ETC.)
 - PROVIDE CLEAN STRAIGHT EXPANSION JOINTS AT 6 METRES O.C. PROVIDE CLEAN STRAIGHT CONTRACTION JOINTS AT 2 METRES O.C.
 - 2% MIN. AND NORMAL SIDEWALK CROSSFALL GRADIENT IN EXCESS OF 4% SUBJECT TO APPROVAL OF THE GRADING ENGINEER.
 - ENSURE POSITIVE DRAINAGE AWAY FROM ALL BUILDINGS STRUCTURES.



9

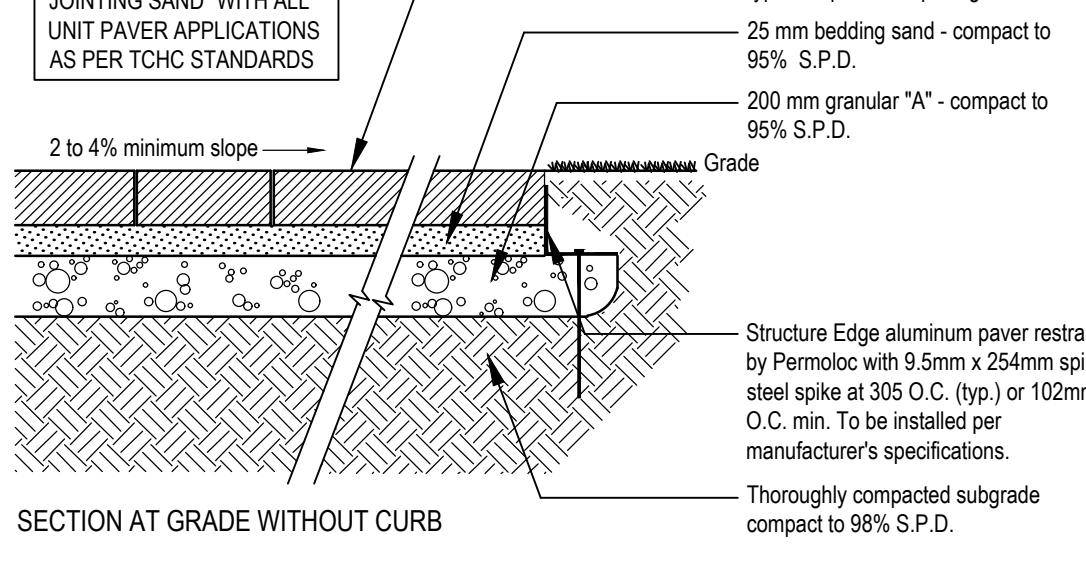
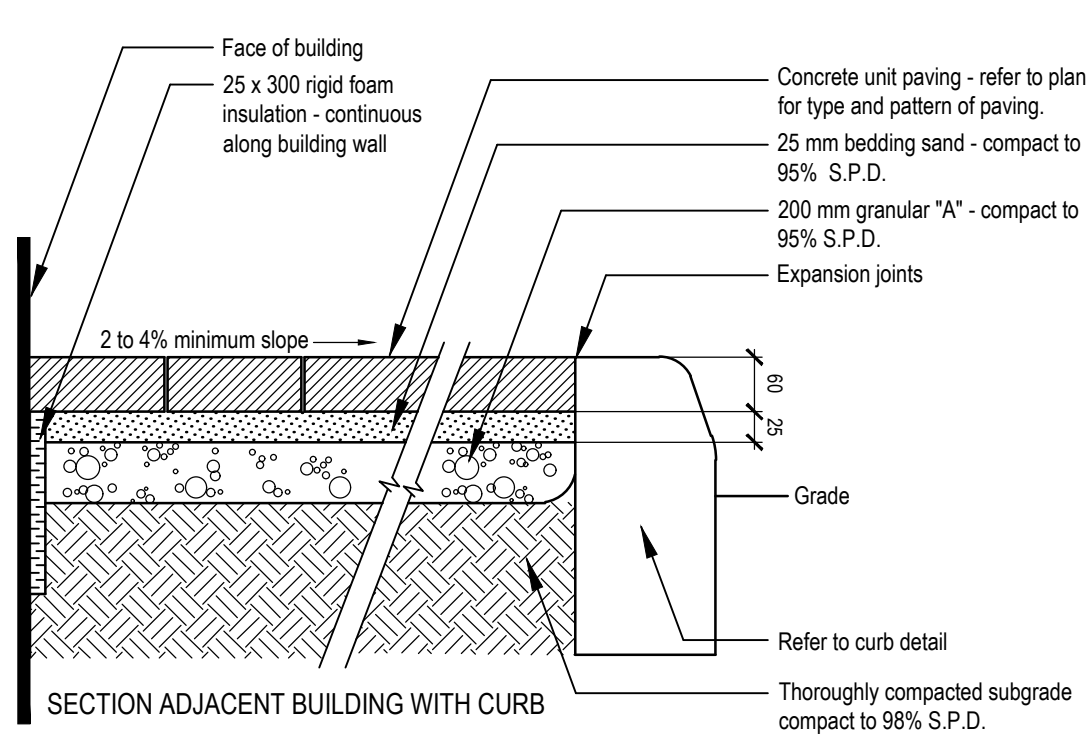
REFER TO PLAN FOR LOCATION

MSLA

PEDESTRIAN PRECAST CONC. PAVER DETAIL

SCALE: N.T.S. WITH ALUMINUM EDGE RESTRAINT

LD-02



10

REFER TO PLAN FOR LOCATION

MSLA

RIGEWOOD BENCH - BY HAUSER

SCALE: N.T.S. DATE:

LD-02



- LOCAL REP:
HAUSER
TRUDY WALKER
trudyw@hauser.ca
416.909.1059
- SELECT DESIRED OPTION: FRAME FINISH
- PECHTER
 - TITANIUM
 - BRONZE
 - GUNMETAL
 - OCEAN BLUE
 - TANGERINE
 - LIME GREEN
 - DESIGNER WHITE, SHEEN
 - ANTIQUE VELLUM, SMOOTHTEX
 - STATE BLACK, LOW SHEEN SANDETX
 - TEXTURED STONE, LOW SHEEN SANDETX
 - SILVER AGE, SMOOTHTEX
 - FROSTED TITANIUM, SMOOTHTEX
 - CRINKLE BLACK, SMOOTHTEX
 - CRINKLE WHITE, SMOOTHTEX
- SELECT DESIRED OPTION: SEAT AND BACK
- PINE

www.hausersite.com
sales@hausersite.com
1-800-268-7328

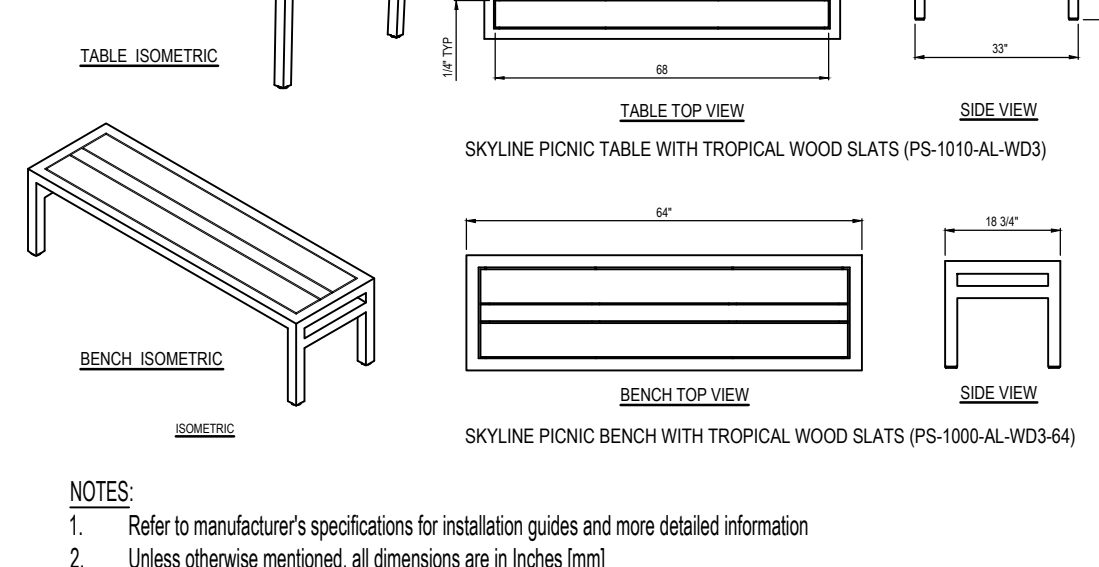
REFER TO PLAN FOR LOCATION

MSLA

SKYLINE PICNIC TABLE WITH BENCHES BY HAUSER

SCALE: N.T.S. MODEL: PS-1010-AL-WD3 MODEL: PS-1000-AL-WD3-64

LD-02



- NOTES:
- Refer to manufacturer's specifications for installation guides and more detailed information
 - Unless otherwise mentioned, all dimensions are in inches [mm]

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sales@hausersite.com
1-800-268-7328

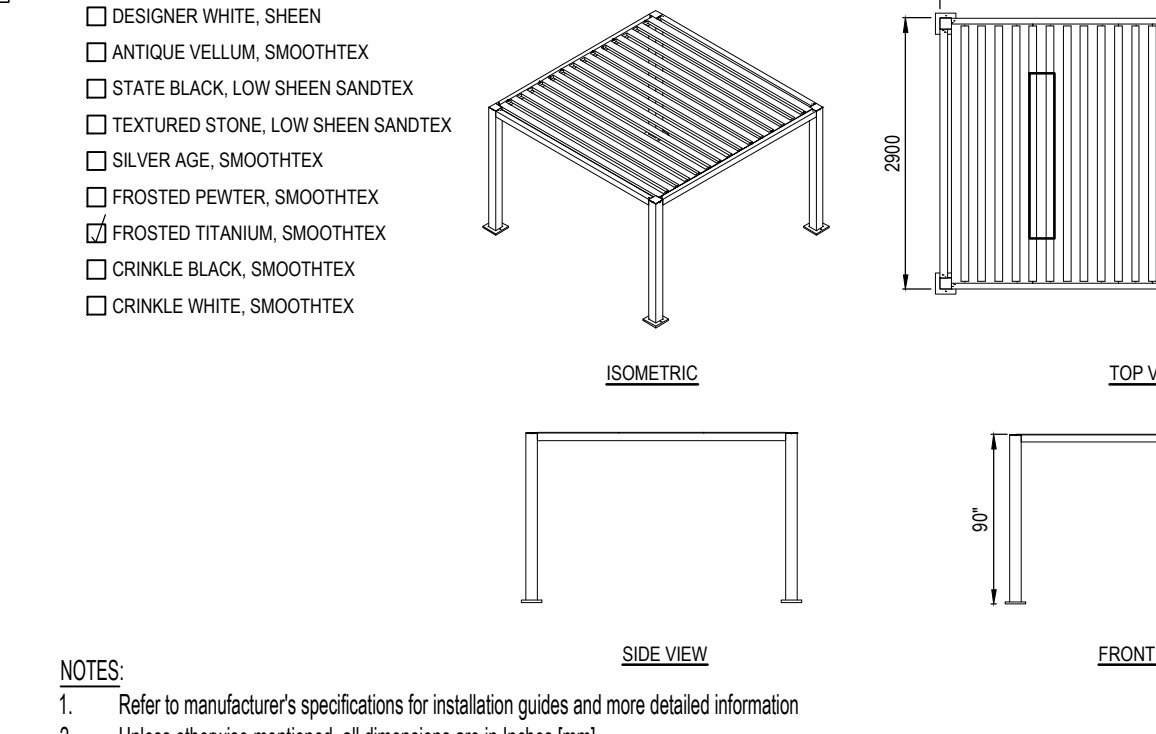
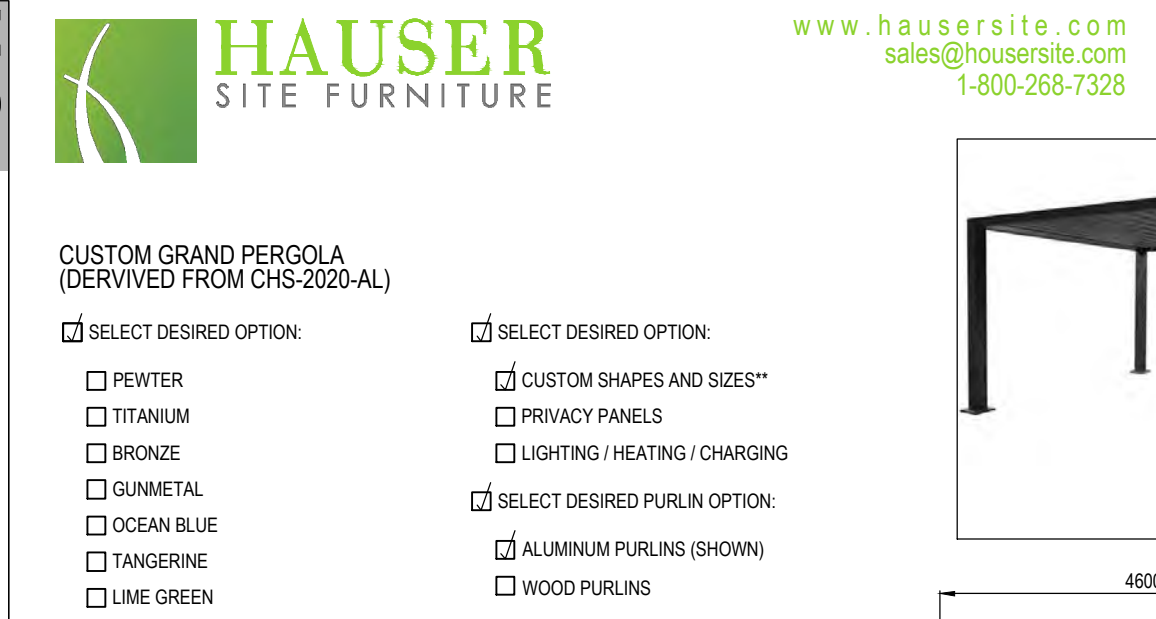
REFER TO PLAN FOR LOCATION

MSLA

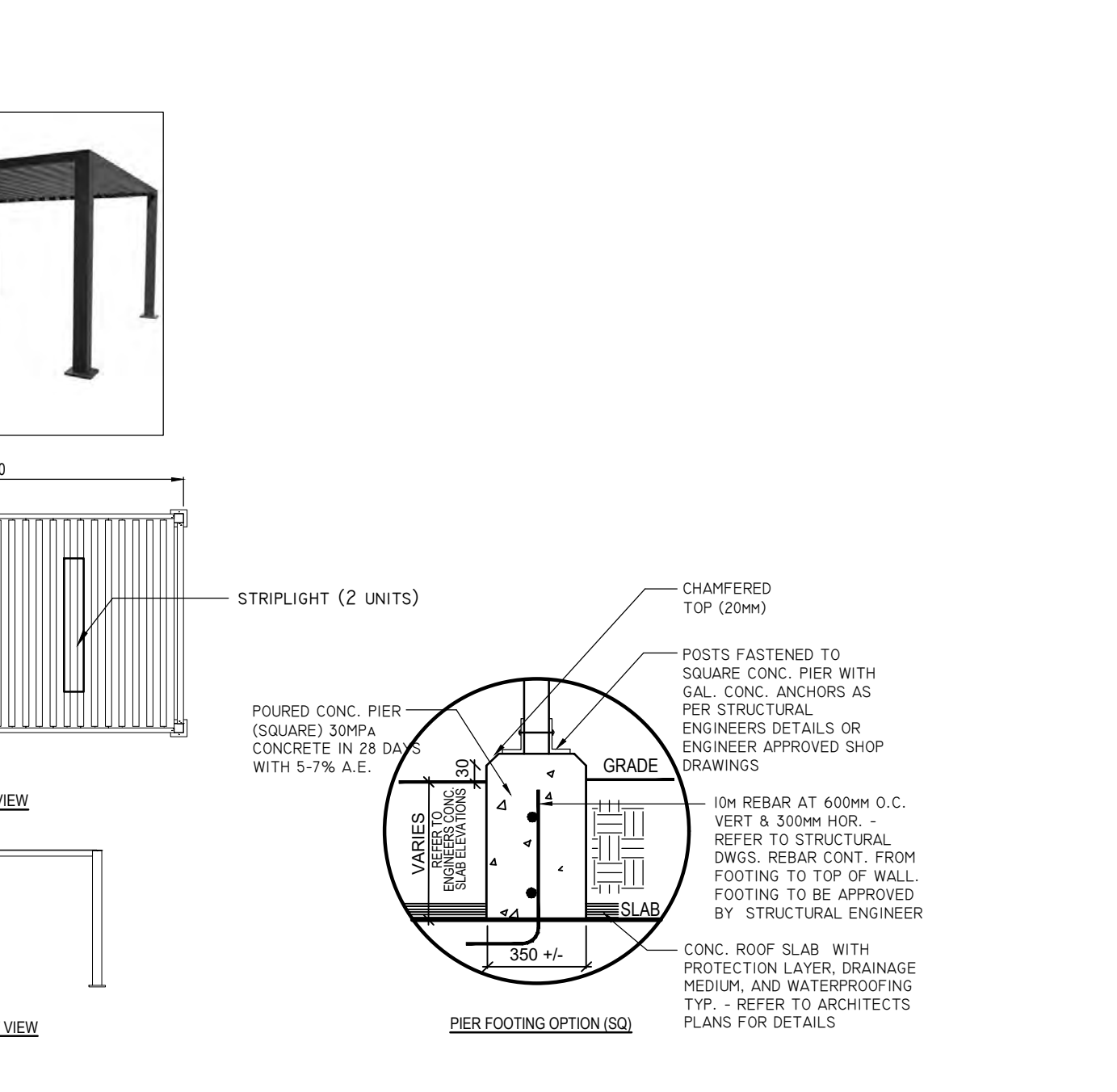
CUSTOM GRAND PERGOLA BY HAUSER

SCALE: N.T.S. DERIVED FROM MODEL: CHS-2020-AL

LD-02



- SELECT DESIRED OPTION:
- PEWTER
 - TITANIUM
 - BRONZE
 - GUNMETAL
 - OCEAN BLUE
 - TANGERINE
 - LIME GREEN
 - DESIGNER WHITE, SHEEN
 - ANTIQUE VELLUM, SMOOTHTEX
 - STATE BLACK, LOW SHEEN SANDETX
 - TEXTURED STONE, LOW SHEEN SANDETX
 - SILVER AGE, SMOOTHTEX
 - FROSTED PEWTER, SMOOTHTEX
 - FROSTED TITANIUM, SMOOTHTEX
 - CRINKLE BLACK, SMOOTHTEX
 - CRINKLE WHITE, SMOOTHTEX
- SELECT DESIRED OPTION:
- CUSTOM SHAPES AND SIZES**
 - PRIVACY PANELS
 - LIGHTING / HEATING / CHARGING
 - ALUMINUM PURLINS (SHOWN)
 - WOOD PURLINS



13

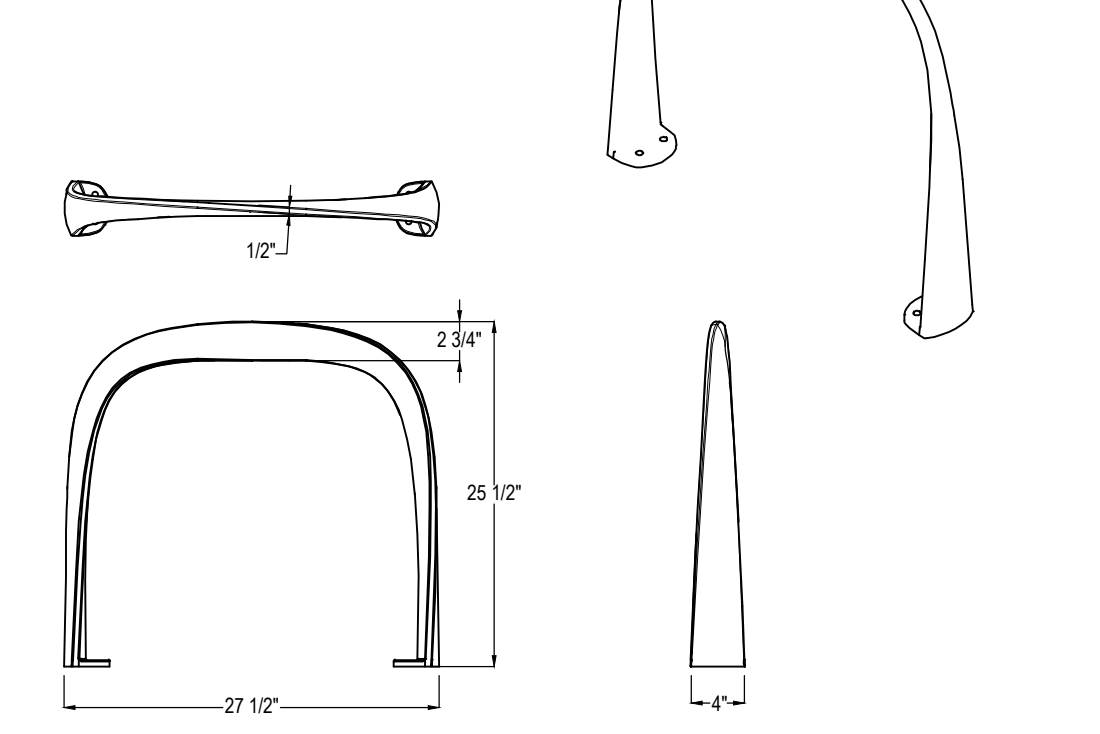
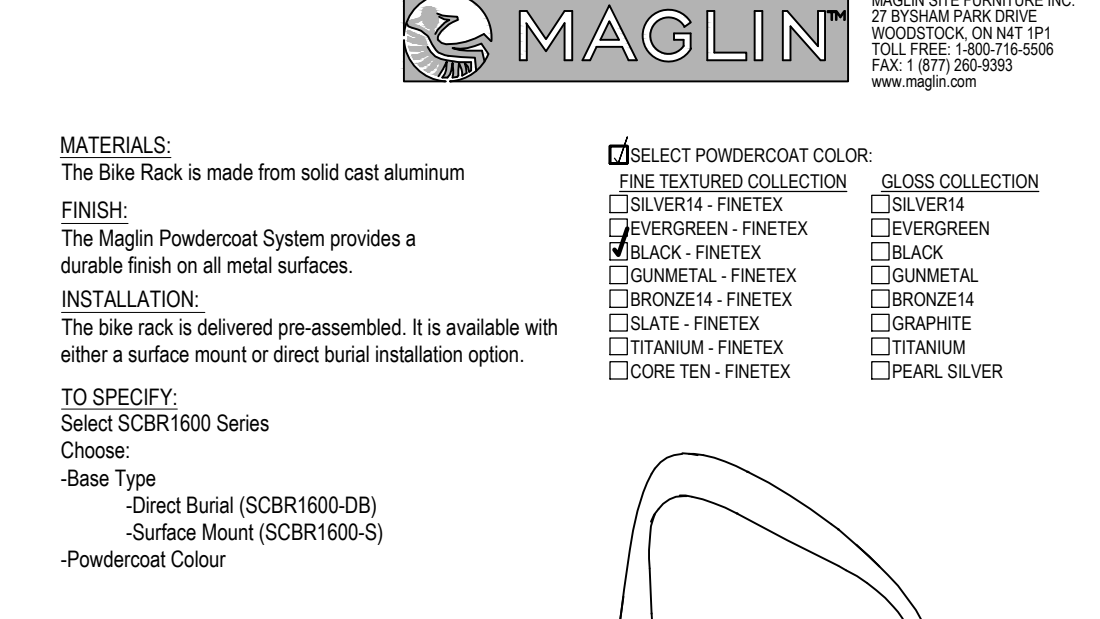
REFER TO PLAN FOR LOCATION

MSLA

BIKE RING BY MAGLIN: MODEL SCBRI 600 SERIES

SCALE: N.T.S. SURFACE MOUNT MODEL

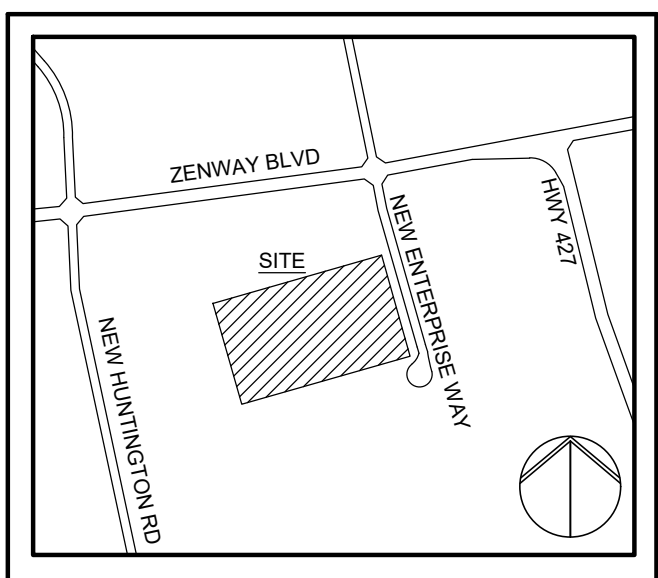
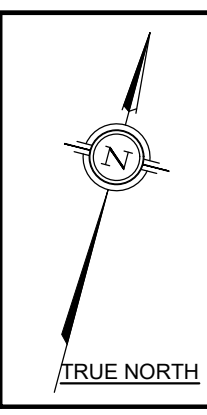
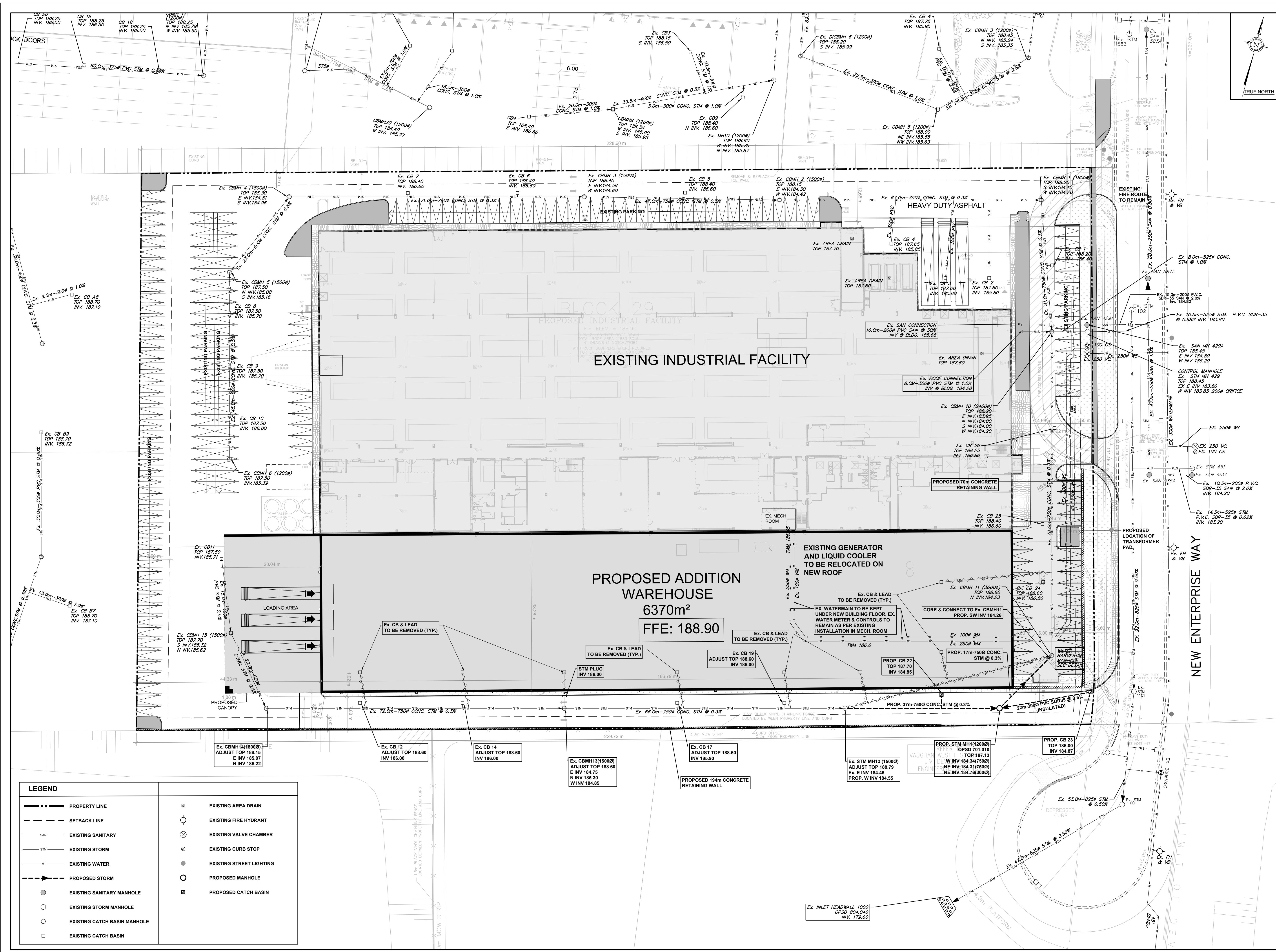
LD-02



- MATERIALS:
The Bike Rack is made from solid cast aluminum
- FINISH:
The Maglin Powdercoat System provides a durable finish on all metal surfaces.
- INSTALLATION:
The bike rack is delivered pre-assembled. It is available with either a surface mount or direct burial installation option.
- TO SPECIFY:
Select SCBR1600 Series
Choose:
-Base Type
-Direct Burial (SCBR1600-DB)
-Surface Mount (SCBR1600-S)
-Powdercoat Colour
- SELECT POWDERCOAT COLOR:
- FINE TEXTURED COLLECTION
- SILVER14 - FINETEX
 - EVERGREEN - FINETEX
 - BLACK - FINETEX
 - GUNMETAL - FINETEX
 - BRONZE14 - FINETEX
 - SLATE - FINETEX
 - TITANIUM - FINETEX
 - CORE TEN - FINETEX
- GLOSS COLLECTION
- SILVER14
 - EVERGREEN
 - BLACK
 - GUNMETAL
 - BRONZE14
 - GRAPHITE
 - TITANIUM
 - PEARL SILVER

MAGLIN SITE FURNITURE INC.
27 BISHOP PARK DRIVE
WOODSTOCK, ON N4T 6P1
TEL: (519) 336-7800
FAX: (519) 336-8930
www.maglin.com

All information contained in these plans shall be checked by the contractor. All dimensions shall be reported to the Landscape Architect (L.A.) before commencing with construction. All drawings have copyright and shall remain the property of the Landscape Architect. Copying or any reproduction in part or whole that only be permitted with written consent of L.A. Drawings shall not be used for construction unless sealed & signed. NOTE: FOR ANY AND ALL GRADING INFORMATION REFER TO SITE GRADING ENGINEERING DRAWINGS. NO SLICES ARE TO EXCEED 3:1. PROPERTY LINES AND SETBACKS MUST BE CONFIRMED BY CONTRACTOR PRIOR TO CONSTRUCTION. ANY AND ALL RETAINING WALLS MUST BE APPROVED BY STRUCTURAL ENGINEER PRIOR TO CONSTRUCTION. THESE DRAWINGS ARE NOT TO BE USED FOR CONSTRUCTION UNTIL COUNTERSIGNED BY L. ARCHITECT. • SIGNED _____ DATE _____



LOCATION MAP (N.T.S)

SITE DESCRIPTION:
 INFORMATION TAKEN FROM PLAN OF SURVEY OF PART OF LOT 7 & CONFESSION 9 CITY OF VAUGHAN, REGIONAL MUNICIPALITY OF YORK
 BENCH MARK No. 51-3
 LOCAL SHOPPING PLAZA AT NICKEL GATE, EAST OF HIGHWAY # 27. FOUNDATION OF #1 NICKEL GATE SIGN, TOP OF FOOTING, 0.100m SOUTH OF NORTH FACE OF NORTHEAST CORNER, 0.100m WEST OF EAST FACE OF FOOTING. ELEV. 180.914m

PROFESSIONAL ENGINEER
 Y. AYUB
 JUN 19, 24
 PROVINCE OF ONTARIO
 2023-906

REVISION		
No.	DESCRIPTION	DATE
2	ISSUED FOR APPROVAL	JUN 19/24
1	ISSUED FOR APPROVAL	FEB 28/23

JAIN
 Jain Infrastructure Consultants Ltd.
 7405 EAST DANBRO CRESCENT
 MISSISSAUGA, ON L5N 6P8
 TEL: (905) 285-9900, FAX: (905) 567-5246
 Email: yayub@jainconsultants.com

PROJECT NAME & ADDRESS
WAREHOUSE EXTENSION
 370 NEW ENTERPRISE WAY,
 VAUGHAN, ONTARIO

DRAWING TITLE
SITE SERVICING PLAN

SCALE: (ARCH 36"x24") 1:400 DWG No.
 DATE: Jun. 19, 24
 DRAWN BY: AT
 CHECKED BY: YA **C101**

LEGEND

---	PROPERTY LINE	⊗	EXISTING AREA DRAIN
- - -	SETBACK LINE	⊙	EXISTING FIRE HYDRANT
---	EXISTING SANITARY	⊗	EXISTING VALVE CHAMBER
---	EXISTING STORM	⊗	EXISTING CURB STOP
---	EXISTING WATER	⊙	EXISTING STREET LIGHTING
---	PROPOSED STORM	⊙	PROPOSED MANHOLE
⊙	EXISTING SANITARY MANHOLE	⊗	PROPOSED CATCH BASIN
⊙	EXISTING STORM MANHOLE		
⊙	EXISTING CATCH BASIN MANHOLE		
⊙	EXISTING CATCH BASIN		

EXISTING INDUSTRIAL FACILITY

PROPOSED ADDITION WAREHOUSE
 6370m²
 FFE: 188.90

EXISTING GENERATOR AND LIQUID COOLER TO BE RELOCATED ON NEW ROOF

NEW ENTERPRISE WAY

CK DOORS

LEGEND

EXISTING AREA DRAIN

EXISTING FIRE HYDRANT

EXISTING VALVE CHAMBER

EXISTING CURB STOP

EXISTING STREET LIGHTING

PROPOSED MANHOLE

PROPOSED CATCH BASIN

EXISTING SANITARY MANHOLE

EXISTING STORM MANHOLE

EXISTING CATCH BASIN MANHOLE

EXISTING CATCH BASIN

PROPOSED ADDITION WAREHOUSE

EXISTING GENERATOR AND LIQUID COOLER

NEW ENTERPRISE WAY

CK DOORS

LEGEND

EXISTING AREA DRAIN

EXISTING FIRE HYDRANT

EXISTING VALVE CHAMBER

EXISTING CURB STOP

EXISTING STREET LIGHTING

PROPOSED MANHOLE

PROPOSED CATCH BASIN

EXISTING SANITARY MANHOLE

EXISTING STORM MANHOLE

EXISTING CATCH BASIN MANHOLE

EXISTING CATCH BASIN

CITY OF VAUGHAN GENERAL SITE PLAN NOTES

- STANDARD DRAWINGS OF THE CITY OF VAUGHAN CONSTITUTE PART OF THE SITE PLAN DRAWING(S).
- ALL CONSTRUCTION WORK TO BE CARRIED OUT IN ACCORDANCE WITH THE REQUIREMENTS OF THE OCCUPATIONAL HEALTH AND SAFETY ACT AND REGULATIONS FOR CONSTRUCTION PROJECTS.
- THE OWNER SHALL RETAIN THE SERVICES OF HIS CONSULTANTS TO ENSURE REQUIRED INSPECTION REPORTS AND/OR CERTIFICATION REQUIREMENTS ARE SUBMITTED TO THE DEVELOPMENT ENGINEERING AND INFRASTRUCTURE PLANNING DEPARTMENT AND OTHER AFFECTED CITY DEPARTMENTS.
- THE OWNER AND/OR HIS REPRESENTATIVE SHALL RECTIFY ALL DISTURBED AREAS TO ORIGINAL CONDITION OR BETTER AND TO THE SATISFACTION OF THE CITY.
- THE LOCATION OF ALL UNDERGROUND UTILITIES AND STRUCTURES IS APPROXIMATE ONLY, AND WHERE SHOWN ON THE DRAWING(S) THE ACCURACY OF THE LOCATION OF SUCH UTILITIES IS NOT GUARANTEED. THE OWNER AND/OR HIS REPRESENTATIVE SHALL DETERMINE THE LOCATION OF ALL SUCH UTILITIES AND STRUCTURES BY CONSULTING THE APPROPRIATE AUTHORITIES OR UTILITY COMPANIES CONCERNED. THE OWNER SHALL PROVE THE LOCATION OF ALL SUCH UTILITIES AND STRUCTURES AND SHALL ASSUME ALL LIABILITY FOR DAMAGE OR RESTORATION OR ADJUSTMENT FOR THE SAME.
- ANY CONFLICTS WITH EXISTING SERVICES SHALL BE RECTIFIED AT THE OWNER'S EXPENSE.
- APPROPRIATE CONSTRUCTION DETAILS SHOULD BE PROVIDED FOR RETAINING WALLS HIGHER THAN 1.0m. DETAILS SHALL BE DESIGNED AND CERTIFIED BY A PROFESSIONAL ENGINEER UPON APPROVAL. HANDRAIL/GUARD/FENCE IS REQUIRED WHEN HEIGHT EXCEEDS 0.60m (AS PER CITY STANDARD DRAWING FRW-105 OR APPROVED EQUAL). UPON COMPLETION, RETAINING WALLS GREATER THAN 1.0m TO BE CERTIFIED BY A STRUCTURAL AND GEOTECHNICAL ENGINEERS.
- LANDSCAPING WORK SHALL NOT ENCROACH ON BOULEVARD NOR SHALL BOULEVARD GRADES BE ALTERED.
- SLOPES IN LANDSCAPED AREAS AND ON BERMS SHALL NOT EXCEED 3 HORIZONTAL TO 1 VERTICAL.
- GRASSED DRAINAGE SWALE GRADES: MIN. 2%; MAX 5%.
- OUTSIDE LIGHTING SHALL BE DIRECTED DOWNWARD AND INWARD AND DESIGN TO MAINTAIN ZERO CUT-OFF LIGHT LEVEL DISTRIBUTION AT THE PROPERTY LINE.
- SILT FENCE(S) AND OTHER EROSION CONTROL MEASURES TO BE INSTALLED AND MAINTAINED TO PREVENT SILT FLOWING ONTO ADJACENT LANDS UNTIL THE COMPLETION OF SODDING ACTIVITIES.
- CONSTRUCTION ACCESS SHALL BE CONSTRUCTED WITH MINIMUM DEPTH OF 450mm CRUSHED STONE BASE FROM THE MUNICIPAL CURB OR EDGE OF PAVEMENT TO THE PROPERTY LINE, TO THE SATISFACTION OF THE CITY.
- ALL PROPOSED BARRIER-FREE PARKING SPACES TO INCLUDE "Rb-93 BY PERMIT ONLY" TRAFFIC SIGN AND BARRIER-FREE PAVEMENT SYMBOL MARKING.

EROSION NOTES:

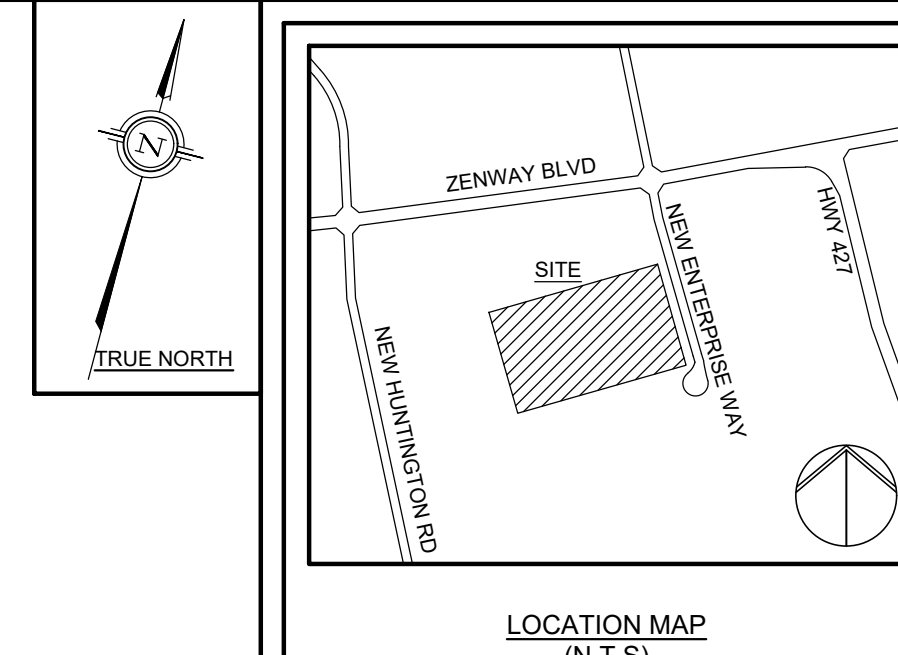
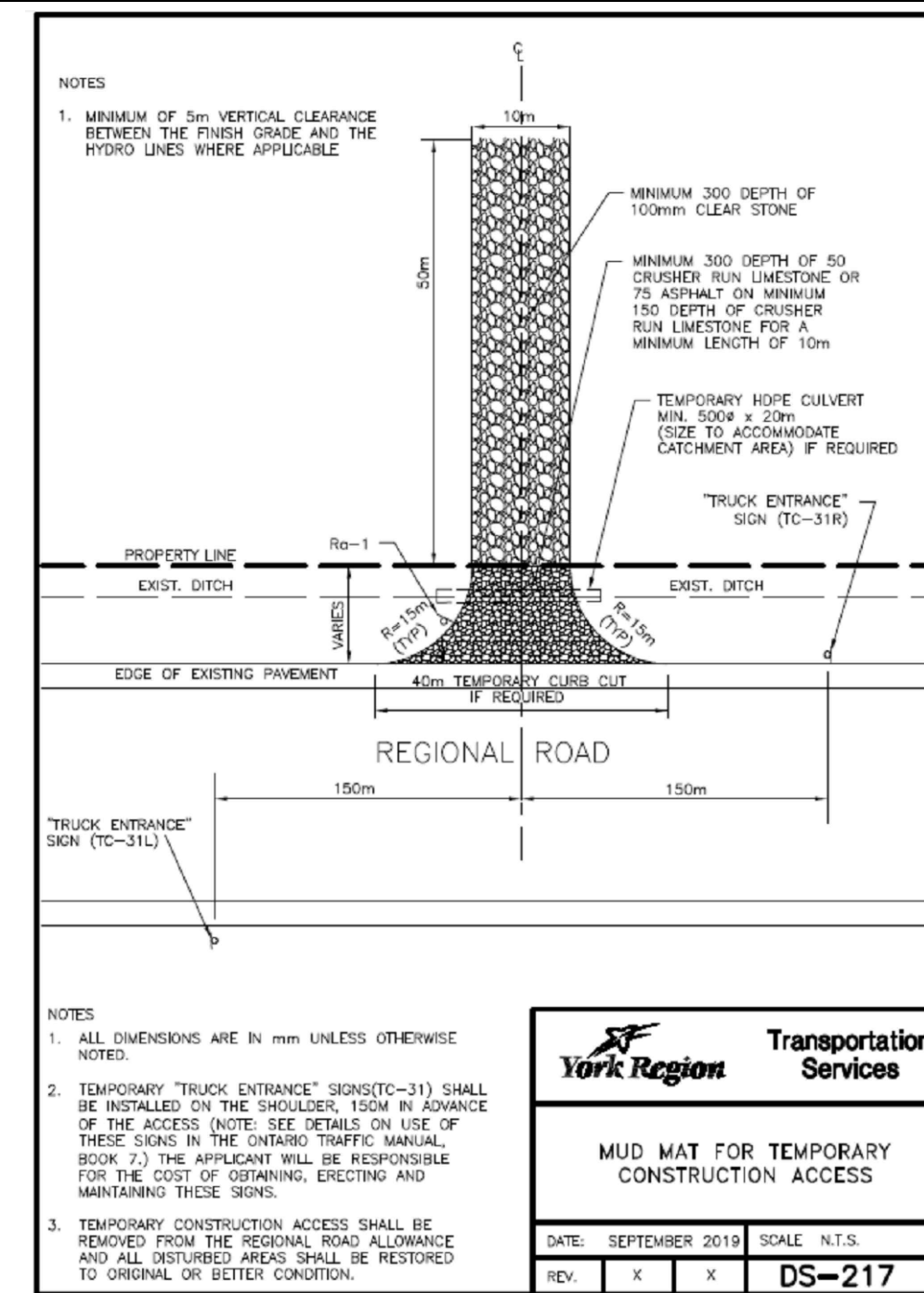
- ALL SILT FENCE, DRAIN INLET PROTECTION AND MUD-MAT TO BE INSTALLED PRIOR TO ANY AREA STRIPPING, GRADING, EXCAVATION OR DEMOLITION COMMENCING.
- PRIOR TO STRIPPING TOPSOIL, INSTALL AND MAINTAIN SILT FENCE AS INDICATED ON THIS DRAWING.
- INSTALL DRAIN INLET PROTECTION AS SHOWN ON THE PLAN TO PREVENT SEDIMENT FROM ENTERING THE UNDERGROUND STORM PIPE SYSTEM PRIOR TO STABILIZATION OF THE DISTURBED AREA.
- ANY DISTURBED AREAS NOT SCHEDULED FOR FURTHER CONSTRUCTION WITHIN 30 DAYS SHALL BE PROVIDED WITH A SUITABLE TEMPORARY MULCH AND COVER WITHIN 7 DAYS OF THE COMPLETION OF THAT PARTICULAR PHASE OF CONSTRUCTION.
- EROSION CONTROL STRUCTURES TO REMAIN IN PLACE UNTIL ALL DISTURBED GROUND SURFACES HAVE BEEN RESTABILIZED.

NOTES:

- (IN ACCORDANCE WITH THE CITY OF VAUGHAN GENERAL NOTES AS DETAILED IN APPENDIX "A")
- ALL EXTERNAL SITE AREAS DISTURBED BY THE ACTIVITIES OF THE CONTRACTOR SHALL BE RESTORED TO EXISTING CONDITION OR BETTER AND TO THE SATISFACTION OF THE CITY. GRASSED AREAS SHALL BE RESTORED BY PLACING 150MM TOPSOIL AND ACTIVELY GROWING NO. 1 NURSERY SOD. ALL BOULEVARDS TO BE SODDED.
 - TOPSOIL IN FILL AREAS TO BE STRIPPED. ALL FILL MATERIAL SHALL BE APPROVED FOR SUITABILITY BY THE GEOTECHNICAL ENGINEER PRIOR TO ANY FILLING OR REUSE OF EXCAVATED MATERIAL. APPROVED FILL MATERIAL SHALL BE COMPACTED TO THE SATISFACTION OF THE GEOTECHNICAL ENGINEER.
 - PAVEMENT GRADES MIN. 0.5%, MAX. 5%.
 - DRAINAGE SWALES WITH GRADES MIN. 2%, MAX. 5%.
 - SLOPES IN LANDSCAPED AREAS AND ON BERMS SHALL NOT EXCEED 3 HORIZONTAL TO 1 VERTICAL WITH A MAX. VERTICAL ELEVATION NOT IN EXCESS OF THE APPLICABLE TOWN STANDARD.
 - SILT FENCE TO BE INSTALLED AND MAINTAINED TO PREVENT SILT FLOWING ONTO ADJACENT LANDS PRIOR TO STRIPPING TOPSOIL AND TO BE MAINTAINED UNTIL THE COMPLETION OF SODDING AND ALL CONSTRUCTION ACTIVITIES.
 - CONSTRUCTION ACCESS SHALL BE CONSTRUCTED WITH A MIN. DEPTH OF 300MM CRUSHED STONE BASE FROM THE MUNICIPAL CURB OR EDGE OF PAVEMENT TO THE PROPERTY LINE, TO THE SATISFACTION OF THE CITY.
 - BOULEVARD GRADES ARE TO BE 2% TO 4% MAX.
 - SILTATION CONTROL MEASURES SHALL BE IN PLACE PRIOR TO START OF ANY CONSTRUCTION.
 - ALL GRADING TO CONFORM TO THE CITY OF VAUGHAN STANDARDS & SPECS.
 - SITE SERVICE CONNECTIONS (STORM, SANITARY AND WATER) TO FOLLOW CITY STD. DWG. I-2.

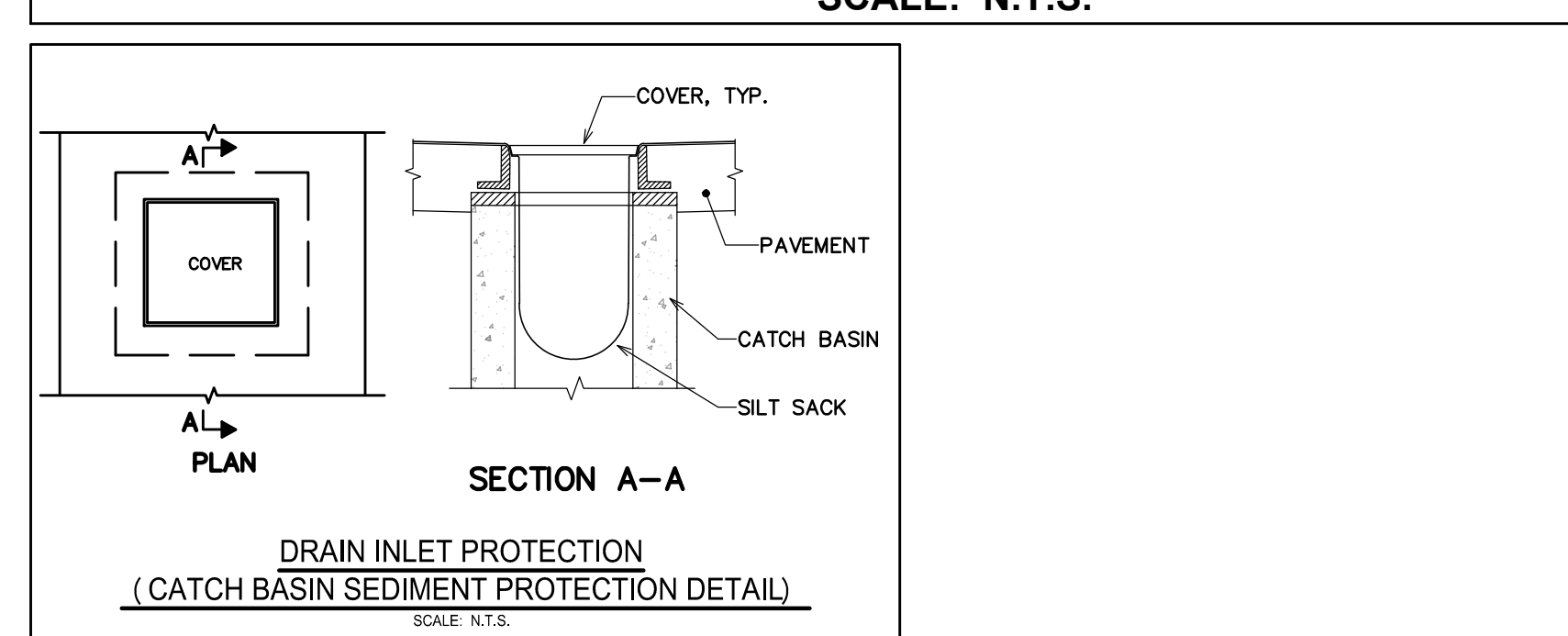
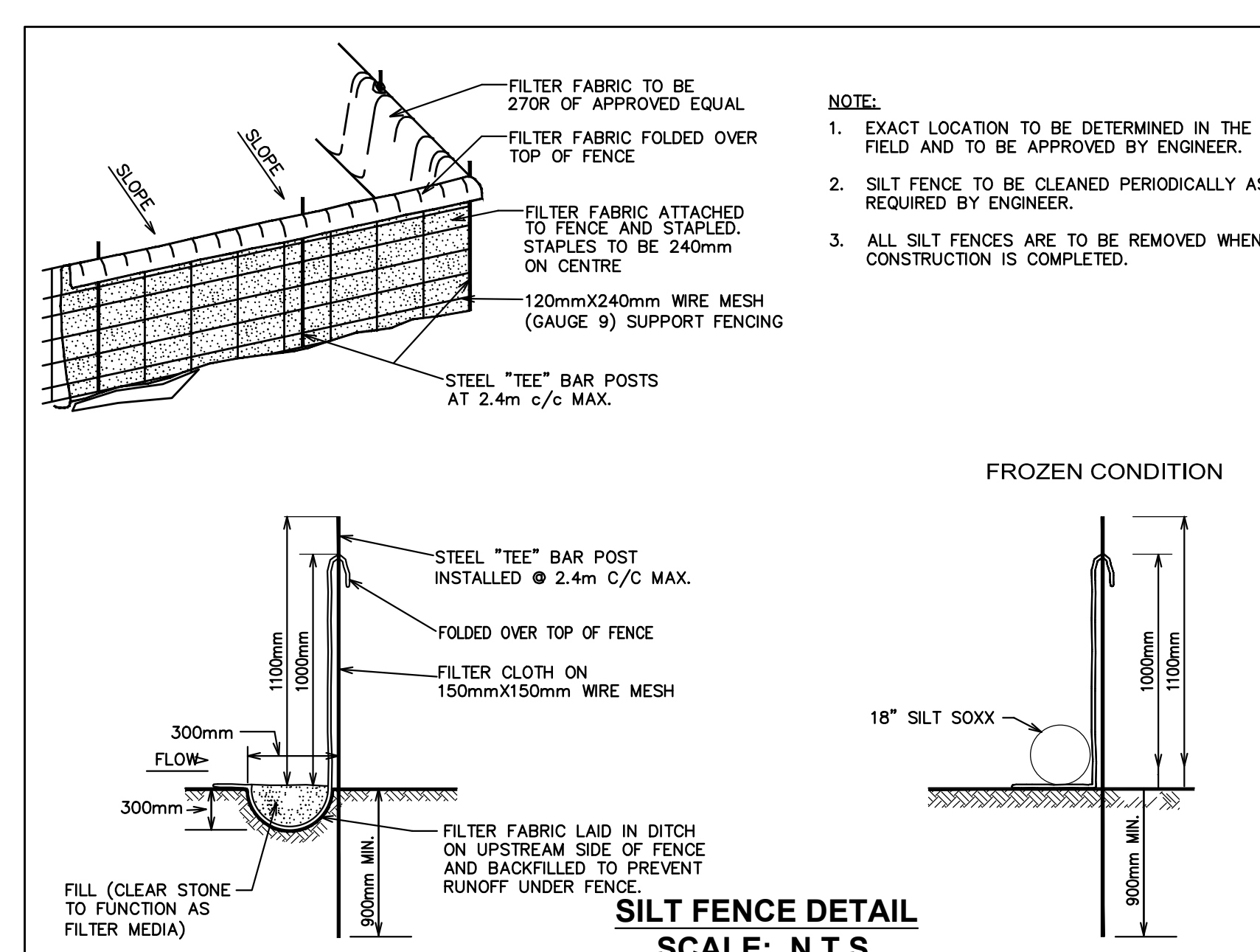
GENERAL NOTES:

- ALL SURFACE DRAINAGE SHALL BE SELF CONTAINED, COLLECTED AND DISCHARGE AT A LOCATION TO BE APPROVED PRIOR TO ISSUANCE OF BUILDING PERMIT. DRAINAGE OF ABUTTING PROPERTIES SHALL NOT BE ADVERSELY AFFECTED.
- ALL THE CONSTRUCTION WORKS FOR THIS PROJECT SHALL COMPLY WITH THE CURRENT CITY OF VAUGHAN STANDARDS AND SPECIFICATIONS, ONTARIO PROVINCIAL STANDARDS (OPSD) AND ONTARIO PROVINCIAL SPECIFICATIONS (OPSS).
- ALL TRENCHING TO BE IN ACCORDANCE WITH THE OCCUPATIONAL HEALTH AND SAFETY ACT AND REGULATIONS FOR CONSTRUCTION PROJECTS.
- ALL TRENCHES TO BE BACKFILLED AS NOTED BELOW, AND AS DIRECTED BY THE GEOTECHNICAL ENGINEER.
- ALL DIMENSIONS AND ELEVATIONS ARE IN METRES, PIPE SIZES IN MILLIMETRES, UNLESS OTHERWISE NOTED.
- ALL DISTURBED AREAS OUTSIDE OF THE PROPOSED GRADING LIMITS TO BE RESTORED TO ORIGINAL CONDITIONS TO THE SATISFACTION OF THE CONSULTANT.
- THE POSITION OF POLE LINES, CONDUITS, WATERMANS, SEWERS AND OTHER UNDERGROUND AND ABOVEGROUND UTILITIES AND STRUCTURES IS NOT NECESSARILY SHOWN ON THE DRAWINGS, AND WHERE SHOWN, THE ACCURACY OF THE POSITION OF SUCH UTILITIES AND STRUCTURES IS NOT GUARANTEED. BEFORE STARTING WORK, THE CONTRACTOR SHALL INFORM AND SATISFY HIMSELF OF THE EXACT LOCATION OF ALL SUCH UTILITIES AND STRUCTURES BY FIELD UTILITY LOCATE AND/OR SURVEY STAKEOUT, AND SHALL ASSUME ALL LIABILITY FOR DAMAGE TO THEM.
- LOCAL AND CONSTRUCTION METHODS MUST CONFORM TO THE LATEST ONTARIO PLUMBING CODE, LOCAL MUNICIPAL REQUIREMENTS AND ONTARIO PROVINCIAL STANDARDS AND SPECIFICATIONS.



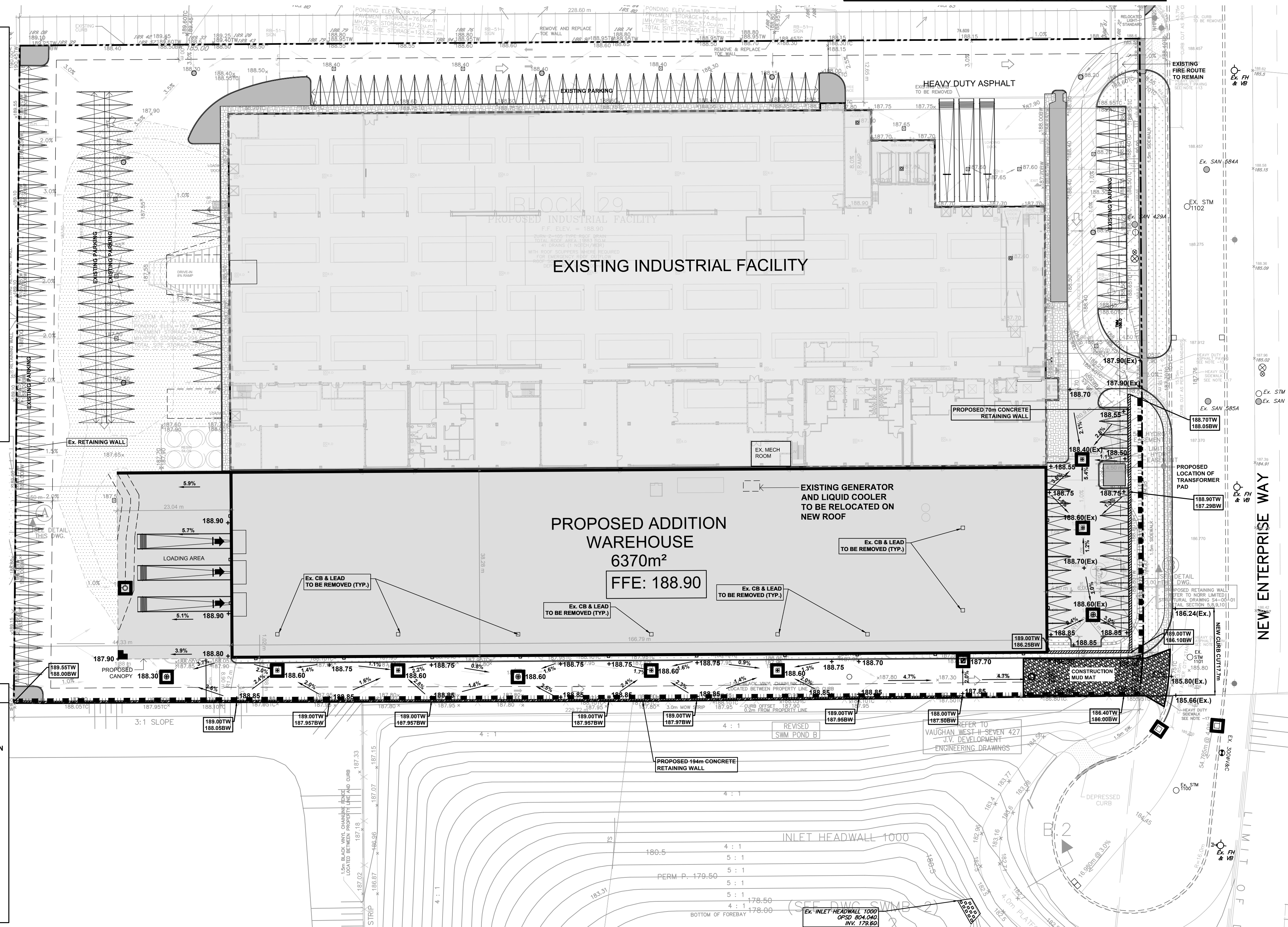
LOCATION MAP (N.T.S.)

SITE DESCRIPTION:
 INFORMATION TAKEN FROM PLAN OF SURVEY OF PART OF LOT 7 & 8 CONVESSION 9 CITY OF VAUGHAN, REGIONAL MUNICIPALITY OF YORK
 BENCH MARK No. 51-3
 LOCAL SHOPPING PLAZA AT NICKEL GATE, EAST OF HIGHWAY # 27. FOUNDATION OF # 1 NICKEL GATE SIGN, TOP OF FOOTING, 0.100m SOUTH OF NORTH FACE OF NORTHEAST CORNER, 0.100m WEST OF EAST FACE OF FOOTING, ELEV. 180.914m



LEGEND

--- SETBACK LINE	● EXISTING STREET LIGHTING	■ SILT FENCE
○ EXISTING SANITARY MANHOLE	→ EXISTING FLOW DIRECTION	□ CATCH BASIN SEDIMENT PROTECTION
○ EXISTING STORM MANHOLE	187.70 EXISTING ELEVATION	
○ EXISTING CATCH BASIN MANHOLE	○ EXISTING PONDING AREA	
□ EXISTING CATCH BASIN	○ PROPOSED MANHOLE	
■ EXISTING AREA DRAIN	□ PROPOSED CATCH BASIN	
○ EXISTING FIRE HYDRANT	▨ PROPOSED SLOPE	
⊗ EXISTING VALVE CHAMBER	○ PROPOSED PONDING AREA	
⊙ EXISTING CURB STOP	+188.75 PROPOSED ELEVATION	
	189.00TW / 188.00BW PROPOSED TOP/BOTTOM WALL ELEVATION	



YORK REGION Transportation Services

MUD MAT FOR TEMPORARY CONSTRUCTION ACCESS

DATE: SEPTEMBER 2019 SCALE: N.T.S.
 REV: X X X DS-217

REVISION

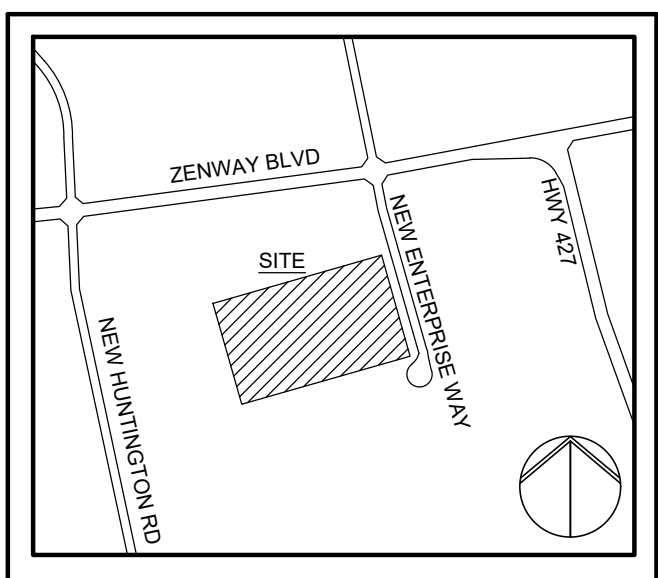
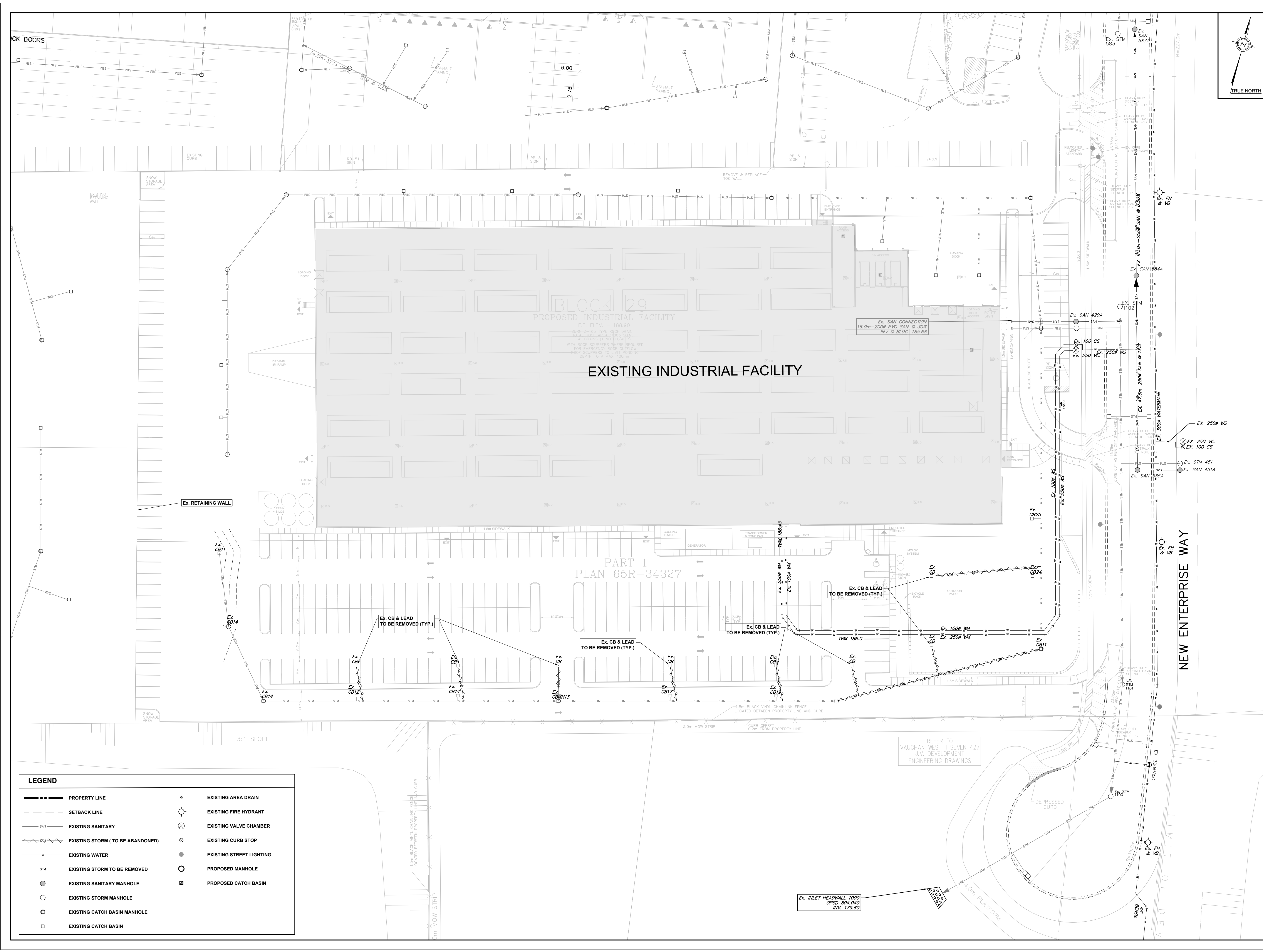
No.	DESCRIPTION	DATE
2	ISSUED FOR APPROVAL	JUN 19/24
1	ISSUED FOR APPROVAL	FEB 28/23

JAIN
 Jain Infrastructure Consultants Ltd.
 7405 EAST DANBRO CRESCENT
 MISSISSAUGA, ON L5N 6P8
 TEL: (905) 285-9900, FAX: (905) 567-5246
 Email: yayub@jainconsultants.com

PROJECT NAME & ADDRESS
WAREHOUSE EXTENSION
 370 NEW ENTERPRISE WAY,
 VAUGHAN, ONTARIO

DRAWING TITLE
EROSION & SEDIMENT CONTROL PLAN

SCALE: (ARCH 36"x24") 1:500 DWG No.
 DATE: Jun. 19, 24
 DRAWN BY: AT
 CHECKED BY: YA **C103**



LOCATION MAP (N.T.S.)

SITE DESCRIPTION:
 INFORMATION TAKEN FROM PLAN OF SURVEY OF PART OF LOT 7 & 8 CONCESSION 9 CITY OF VAUGHAN, REGIONAL MUNICIPALITY OF YORK
 BENCH MARK No. 51-3
 LOCAL SHOPPING PLAZA AT NICKEL GATE, EAST OF HIGHWAY # 27. FOUNDATION OF # 1 NICKEL GATE SIGN, TOP OF FOOTING, 0.100m SOUTH OF NORTH FACE OF NORTHEAST CORNER, 0.100m WEST OF EAST FACE OF FOOTING, ELEV. 180.914m

PROFESSIONAL ENGINEER
 Y. AYUB
 JUN 19, 24
 PROVINCE OF ONTARIO
 2023-906

REVISION		
No.	DESCRIPTION	DATE
2	ISSUED FOR APPROVAL	JUN 19/24
1	ISSUED FOR APPROVAL	FEB 28/23

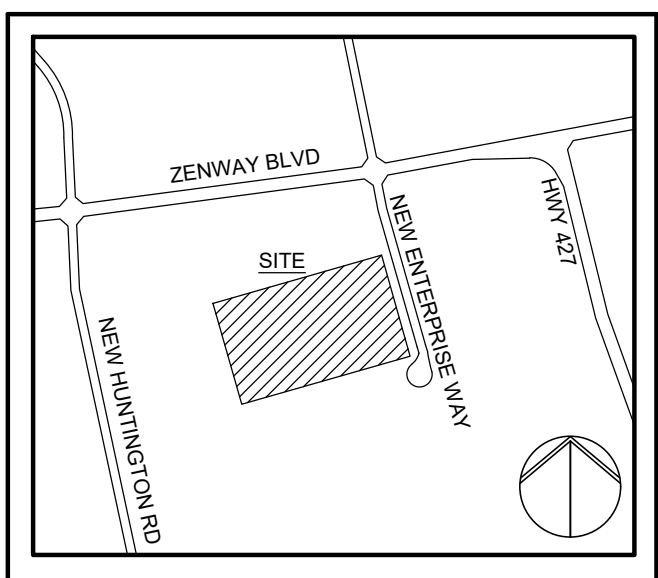
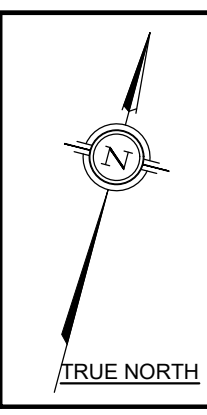
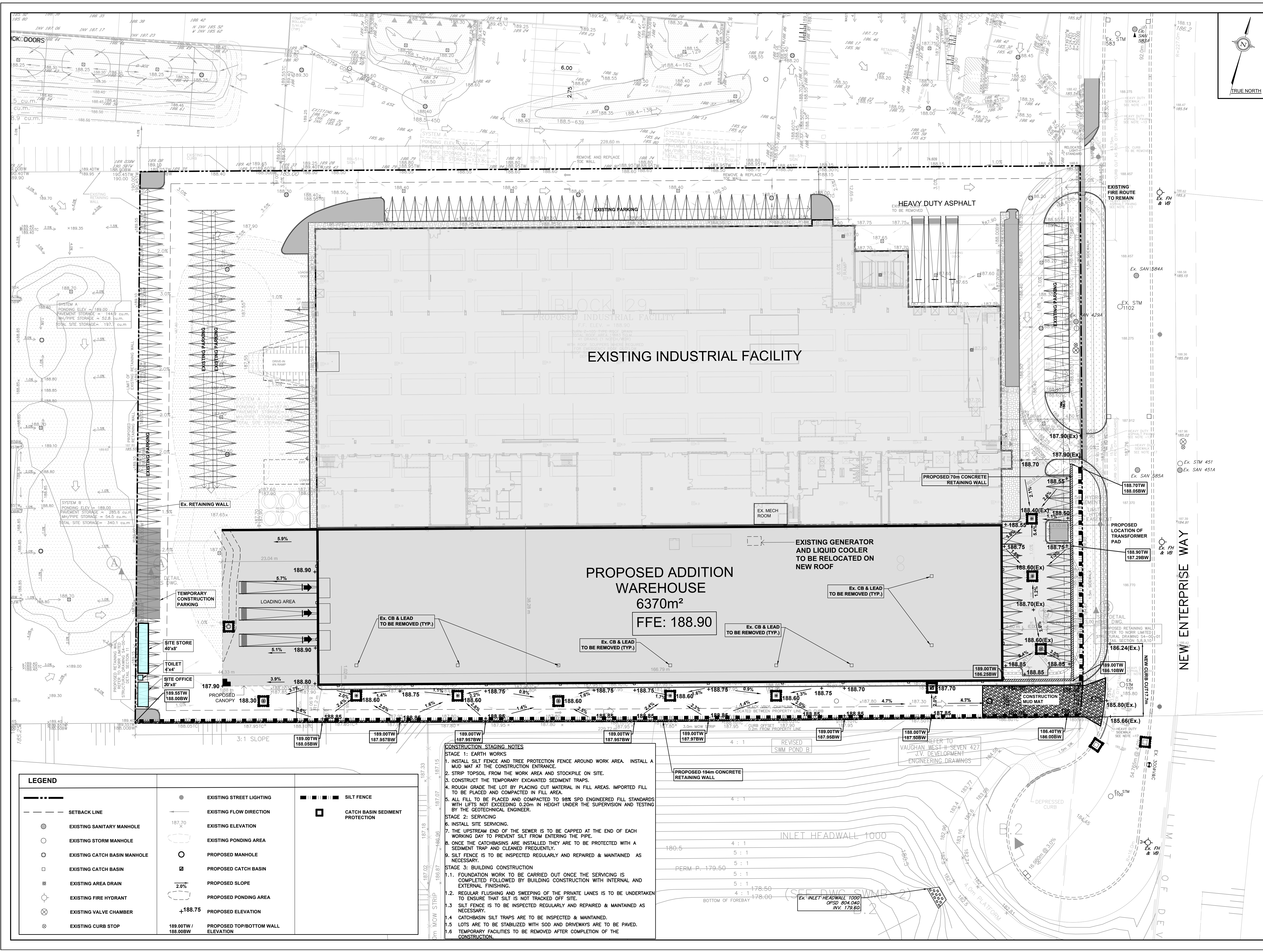
JAIN
 Jain Infrastructure Consultants Ltd.
 7405 EAST DANBRO CRESCENT
 MISSISSAUGA, ON L5N 6P8
 TEL: (905) 285-9900, FAX: (905) 567-5246
 Email: yayub@jainconsultants.com

PROJECT NAME & ADDRESS
WAREHOUSE EXTENSION
 370 NEW ENTERPRISE WAY,
 VAUGHAN, ONTARIO

DRAWING TITLE
SERVICES REMOVALS PLAN

SCALE: (ARCH 36"x24")	1:400	DWG No.
DATE:	Jun. 19, 24	C104
DRAWN BY:	AT	
CHECKED BY:	YA	

LEGEND	
— — — — —	PROPERTY LINE
- - - - -	SETBACK LINE
— SAN —	EXISTING SANITARY
— STM —	EXISTING STORM (TO BE ABANDONED)
— W —	EXISTING WATER
— STM —	EXISTING STORM TO BE REMOVED
●	EXISTING SANITARY MANHOLE
○	EXISTING STORM MANHOLE
○	EXISTING CATCH BASIN MANHOLE
□	EXISTING CATCH BASIN
⊗	EXISTING AREA DRAIN
⊙	EXISTING FIRE HYDRANT
⊗	EXISTING VALVE CHAMBER
⊗	EXISTING CURB STOP
●	EXISTING STREET LIGHTING
○	PROPOSED MANHOLE
□	PROPOSED CATCH BASIN



LOCATION MAP (N.T.S)

SITE DESCRIPTION:
 INFORMATION TAKEN FROM PLAN OF SURVEY OF PART OF LOT 7 & 8 CONFESSION 9 CITY OF VAUGHAN, REGIONAL MUNICIPALITY OF YORK
 BENCH MARK No. 51-3
 LOCAL SHOPPING PLAZA AT NICKEL GATE, EAST OF HIGHWAY # 27. FOUNDATION OF # 1 NICKEL GATE SIGN, TOP OF FOOTING, 0.100m SOUTH OF NORTH FACE OF NORTHEAST CORNER, 0.100m WEST OF EAST FACE OF FOOTING. ELEV. 180.914m

PROFESSIONAL ENGINEER
 Y. AYUB
 JUN 19, 24
 PROVINCE OF ONTARIO
 2023-906

NO.	REVISION	DATE
2	ISSUED FOR APPROVAL	JUN 19/24
1	ISSUED FOR APPROVAL	FEB 28/23

JAIN
 Jain Infrastructure Consultants Ltd.
 7405 EAST DANBRO CRESCENT
 MISSISSAUGA, ON L5N 6P8
 TEL: (905) 285-9900, FAX: (905) 567-5246
 Email: yayub@jainconsultants.com

PROJECT NAME & ADDRESS
WAREHOUSE EXTENSION
 370 NEW ENTERPRISE WAY,
 VAUGHAN, ONTARIO

DRAWING TITLE
CONSTRUCTION MANAGEMENT PLAN

SCALE: (ARCH 36"x24") 1:400 DWG No.
 DATE: Jun. 19, 24
 DRAWN BY: AT
 CHECKED BY: YA
C105

LEGEND

--- SETBACK LINE	● EXISTING STREET LIGHTING	▣ SILT FENCE
○ EXISTING SANITARY MANHOLE	→ EXISTING FLOW DIRECTION	□ CATCH BASIN SEDIMENT PROTECTION
○ EXISTING STORM MANHOLE	187.70 EXISTING ELEVATION	
□ EXISTING CATCH BASIN MANHOLE	○ PROPOSED MANHOLE	
□ EXISTING CATCH BASIN	□ PROPOSED CATCH BASIN	
▣ EXISTING AREA DRAIN	▣ PROPOSED SLOPE	
○ EXISTING FIRE HYDRANT	○ PROPOSED PONDING AREA	
⊗ EXISTING VALVE CHAMBER	+188.75 PROPOSED ELEVATION	
⊙ EXISTING CURB STOP	189.00TW / 188.00BW PROPOSED TOP/BOTTOM WALL ELEVATION	

- CONSTRUCTION STAGING NOTES**
- STAGE 1: EARTH WORKS
1. INSTALL SILT FENCE AND TREE PROTECTION FENCE AROUND WORK AREA. INSTALL A MUD MAT AT THE CONSTRUCTION ENTRANCE.
 2. STRIP TOPSOIL FROM THE WORK AREA AND STOCKPILE ON SITE.
 3. CONSTRUCT THE TEMPORARY EXCAVATED SEDIMENT TRAPS.
 4. ROUGH GRADE THE LOT BY PLACING CUT MATERIAL IN FILL AREAS. IMPORTED FILL TO BE PLACED AND COMPACTED IN FILL AREA.
 5. ALL FILL TO BE PLACED AND COMPACTED TO 98% SPD ENGINEERED FILL STANDARDS WITH LIFTS NOT EXCEEDING 0.20m IN HEIGHT UNDER THE SUPERVISION AND TESTING BY THE GEOTECHNICAL ENGINEER.
- STAGE 2: SERVICING
6. INSTALL SITE SERVICING.
 7. THE UPSTREAM END OF THE SEWER IS TO BE CAPPED AT THE END OF EACH WORKING DAY TO PREVENT SILT FROM ENTERING THE PIPE.
 8. ONCE THE CATCHBASINS ARE INSTALLED THEY ARE TO BE PROTECTED WITH A SEDIMENT TRAP AND CLEANED FREQUENTLY.
 9. SILT FENCE IS TO BE INSPECTED REGULARLY AND REPAIRED & MAINTAINED AS NECESSARY.
- STAGE 3: BUILDING CONSTRUCTION
- 1.1. FOUNDATION WORK TO BE CARRIED OUT ONCE THE SERVICING IS COMPLETED FOLLOWED BY BUILDING CONSTRUCTION WITH INTERNAL AND EXTERNAL FINISHING.
 - 1.2. REGULAR FLUSHING AND SWEEPING OF THE PRIVATE LANES IS TO BE UNDERTAKEN TO ENSURE THAT SILT IS NOT TRACKED OFF SITE.
 - 1.3. SILT FENCE IS TO BE INSPECTED REGULARLY AND REPAIRED & MAINTAINED AS NECESSARY.
 - 1.4. CATCHBASIN SILT TRAPS ARE TO BE INSPECTED & MAINTAINED.
 - 1.5. LOTS ARE TO BE STABILIZED WITH SOD AND DRIVEWAYS ARE TO BE PAVED.
 - 1.6. TEMPORARY FACILITIES TO BE REMOVED AFTER COMPLETION OF THE CONSTRUCTION.

**SCHEDULE B:
COMMENTS FROM AGENCIES, BUILDING STANDARDS &
DEVELOPMENT PLANNING**

Department / Agency <small>*Comments Received</small>	Conditions Required		Nature of Comments
Building Standards (Zoning) *See Schedule B	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>	General Comments
Development Planning	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>	Recommend Approval/No Conditions

External Agencies <small>*Comments Received</small>	Conditions Required		Nature of Comments <small>*See Schedule B for full comments</small>
Alectra	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>	General Comments
TRCA	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>	General Comments

Date: June 6th 2024

Attention: **Christine Vigneault**

RE:

File No.: **A037-24**

Related Files:

Applicant Batory Planning + Management

Location 370 New Enterprise Way



Discover the possibilities

COMMENTS:

- We have reviewed the proposed Variance Application and have no comments or objections to its approval.
- We have reviewed the proposed Variance Application and have no objections to its approval, subject to the following comments (attached below).
- We have reviewed the proposed Variance Application and have the following concerns (attached below).

Alectra Utilities (formerly PowerStream) has received and reviewed the proposed Variance Application. This review, however, does not imply any approval of the project or plan.

All proposed billboards, signs, and other structures associated with the project or plan must maintain minimum clearances to the existing overhead or underground electrical distribution system as specified by the applicable standards, codes and acts referenced.

In the event that construction commences, and the clearance between any component of the work/structure and the adjacent existing overhead and underground electrical distribution system violates the Occupational Health and Safety Act, the customer will be responsible for 100% of the costs associated with Alectra making the work area safe. All construction work will be required to stop until the safe limits of approach can be established.

In the event construction is completed, and the clearance between the constructed structure and the adjacent existing overhead and underground electrical distribution system violates the any of applicable standards, acts or codes referenced, the customer will be responsible for 100% of Alectra's cost for any relocation work.

References:

- Ontario Electrical Safety Code, latest edition (Clearance of Conductors from Buildings)
- Ontario Health and Safety Act, latest edition (Construction Protection)
- Ontario Building Code, latest edition (Clearance to Buildings)
- PowerStream (Construction Standard 03-1, 03-4), attached
- Canadian Standards Association, latest edition (Basic Clearances)

If more information is required, please contact either of the following:

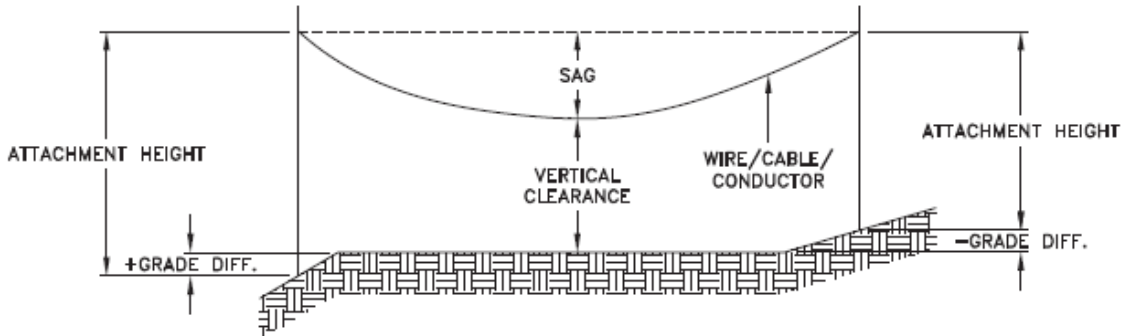
Mr. Stephen Cranley, C.E.T
Supervisor, Distribution Design, ICI & Layouts (North)
Phone: 1-877-963-6900 ext. 31297

E-mail: stephen.cranley@alectrautilities.com

Mitchell Penner
Supervisor, Distribution Design-Subdivisions
Phone: 416-302-6215

Email: Mitchell.Penner@alectrautilities.com

LOCATION OF WIRES, CABLES OR CONDUCTORS	SYSTEM VOLTAGE			
	SPAN GUYS AND COMMUNICATIONS WIRES	UP TO 600V AND NEUTRAL	4.16/2.4kV TO 27.6/16kV (SEE NOTE 1)	44kV
MINIMUM VERTICAL CLEARANCES (SEE NOTE 2)				
OVER OR ALONGSIDE ROADS, DRIVEWAYS OR LANDS ACCESSIBLE TO <u>VEHICLES</u>	442cm	442cm	480cm	520cm
OVER GROUND ACCESSIBLE TO <u>PEDESTRIANS AND BICYCLES ONLY</u>	250cm	310cm	340cm	370cm
ABOVE TOP OF RAIL AT <u>RAILWAY CROSSINGS</u>	730cm	730cm	760cm	810cm



MINIMUM ATTACHMENT HEIGHT = MAXIMUM SAG
 + MINIMUM VERTICAL CLEARANCE (FROM ABOVE TABLE)
 ± GRADE DIFFERENCE
 + 0.3m (VEHICLE OR RAILWAY LOCATION)
 + SNOW DEPTH (PEDESTRIAN LOCATION, SEE NOTE 3)

NOTES:

1. THE MULTIGROUNDED SYSTEM NEUTRAL HAS THE SAME CLEARANCE AS THE 600V SYSTEM.
2. THE VERTICAL CLEARANCES IN THE ABOVE TABLE ARE UNDER MAXIMUM SAG CONDITIONS.
3. REFER TO CSA STANDARD C22.3 No.1, ANNEX D FOR LOCAL SNOW DEPTH VALUES.
4. ALL CLEARANCES ARE IN ACCORDANCE TO CSA STANDARD C22.3.

CONVERSION TABLE

METRIC	IMPERIAL (APPROX)
810cm	27'-0"
760cm	25'-4"
730cm	24'-4"
520cm	17'-4"
480cm	16'-0"
442cm	15'-5"
370cm	12'-4"
340cm	11'-4"
310cm	10'-4"
250cm	8'-4"

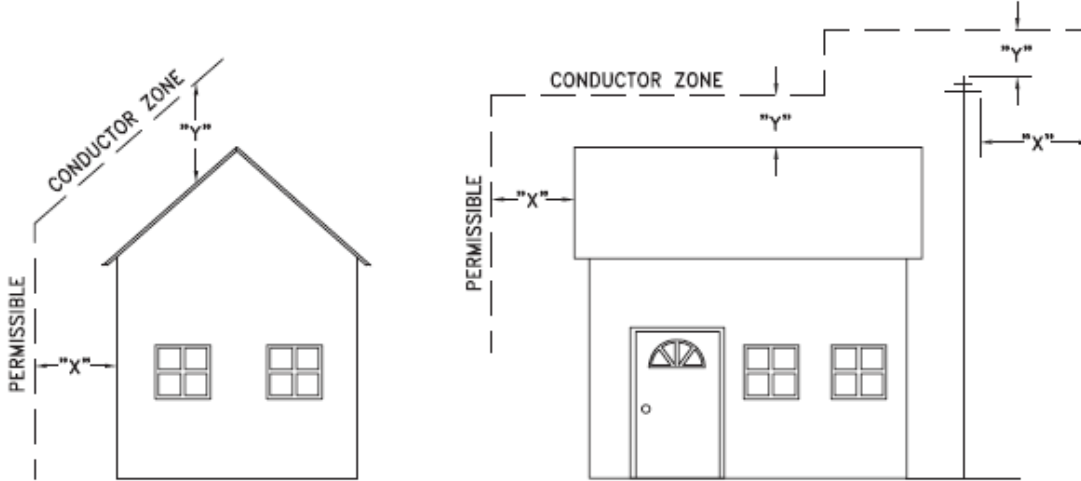
REFERENCES

SAGS AND TENSIONS | SECTION 02

MINIMUM VERTICAL CLEARANCES OF WIRES, CABLES AND CONDUCTORS ABOVE GROUND OR RAILS

ORIGINAL ISSUE DATE: 2010-DEC-24 REVISION NO: R1 REVISION DATE: 2012-JAN-09

Certificate of Approval	
This construction Standard meets the safety requirements of Section 4 of Regulation 22/04	
Joe Crozier, P.Eng.	2012-JAN-09
Name	Date
P.Eng. Approval By:	Joe Crozier



VOLTAGE	MINIMUM HORIZONTAL CLEARANCE UNDER MAXIMUM SWING CONDITIONS DIMENSION "X" (SEE NOTES 1, 3 & 4)	MINIMUM VERTICAL CLEARANCE UNDER MAXIMUM DESIGN SAG CONDITIONS DIMENSION "Y" (SEE NOTES 1, 2, 4 & 5)
0-600V AND NEUTRAL	100cm	250cm
4.16/2.4 TO 44kV	300cm	480cm

NOTES

1. UNDER NO CIRCUMSTANCES SHALL A CONDUCTOR BE PERMITTED TO PENETRATE THE ENVELOPE SHOWN BY THE DOTTED LINE.
2. THE VERTICAL CLEARANCES ARE UNDER CONDITIONS OF MAXIMUM DESIGN SAG.
3. THE HORIZONTAL CLEARANCES ARE UNDER CONDITIONS OF MAXIMUM SWING. WHERE THE CONDUCTOR SWING IS NOT KNOWN A HORIZONTAL CLEARANCE OF 480CM SHALL BE USED.
4. BUILDINGS THAT EXCEED 3 STOREYS OR 15M IN HEIGHT, THE MINIMUM HORIZONTAL CLEARANCE OF THE SECONDARY CONDUCTORS SHOULD BE INCREASED TO 300cm WHERE IT IS NECESSARY TO ALLOW FOR THE RAISING OF LADDERS BY LOCAL FIRE DEPARTMENTS.
5. IN SITUATIONS SUCH AS MULTI-LEVEL GARAGES, WHERE ROOFS ARE NORMALLY USED BY PERSONS AND VEHICLES, THE VERTICAL CLEARANCES OF POWERSTREAM STANDARD 03-1 SHALL APPLY.
6. DISTRIBUTION LINES CONSTRUCTED NEAR BUILDINGS SHALL BE BUILT TO AVOID OVERHANG WHEREVER POSSIBLE. WHERE LINES MUST BE CONSTRUCTED OVER OR ADJACENT TO BUILDINGS THE APPLICABLE HORIZONTAL AND VERTICAL CLEARANCES SHALL BE AT CONDITIONS OF MAXIMUM CONDUCTOR SWING AND MAXIMUM SAG. THE ABOVE CLEARANCES ARE DESIGNED TO PREVENT PERSONS ON OR IN BUILDINGS AS WELL AS EXTERNAL MACHINERY USED IN CONJUNCTION WITH A BUILDING TO COME IN CONTACT WITH CONDUCTORS. EFFORTS SHOULD BE MADE TO INCREASE THESE CLEARANCES WHERE POSSIBLE.
7. ALL CLEARANCES ARE IN ACCORDANCE TO CSA C22.3 NO.1-06 (TABLE-9).

METRIC	IMPERIAL (APPROX)
480cm	16'-0"
300cm	10'-0"
250cm	8'-4"
100cm	3'-4"

MINIMUM VERTICAL & HORIZONTAL CLEARANCES OF CONDUCTORS FROM BUILDINGS OR OTHER PERMANENT STRUCTURES (CONDUCTORS NOT ATTACHED TO BUILDINGS)

Certificate of Approval
This construction Standard meets the safety requirements of Section 4 of Regulation 22/04
Debbie Dadwani, P.Eng. 2010-MAY-05
Name Date
P. Eng. Approval By: *D. Dadwani*

ORIGINAL ISSUE DATE: 2010-MAY-05 REVISION NO: REVISION DATE:
PS:\System Planning and Standards\Standard Design\PowerStream Standards\PowerStream Standards working files\Section 3-1-02\WG 03-4 R0 May 5, 2010.dwg, 5/5/2010 10:22:02 AM, Adobe PDF

To: Committee of Adjustment
From: Christian Tinney, Building Standards Department
Date: July 24, 2024
Applicant: Batory Planning + Management
Location: 370 New Enterprise Way
 PLAN 65M3992 Block 29
File No.(s): A037/24

Zoning Classification:

The subject lands are zoned EM1 – Prestige Employment Zone and subject to the provisions of Exceptions 14.897 and 14.1021 under Zoning By-law 001-2021, as amended.

#	Zoning By-law 001-2021	Variance requested
1	The minimum number of parking spaces required is 268. [Table 6-2]	To permit a minimum of 181 parking spaces.
2	The maximum lot coverage permitted is 60.0 percent. [Table 11-3]	To permit a maximum lot coverage of 61.4 percent.
3	The minimum landscape open space required is 5.0 percent. [Table 11-3]	To permit a minimum landscape open space of 3.1 percent.

Staff Comments:

Building Permit(s) Issued:

Building Permit No. 23-107201 for Warehouse Use Unit - Addition, Issue Date: (Not Yet Issued)

Other Comments:

General Comments	
1	The applicant shall be advised that additional variances may be required upon review of detailed drawing for building permit/site plan approval.
2	This report has relied solely on the calculations provided by the applicant. Please note that the applicant takes responsibility for the accuracy of these calculations, and any discrepancy identified during subsequent reviews for this application or building permit application may require additional relief to achieve zoning compliance.

Conditions of Approval:

If the committee finds merit in the application, the following conditions of approval are recommended.

* Comments are based on the review of documentation supplied with this application.

To: Christine Vigneault, Committee of Adjustment Secretary Treasurer
From: Nancy Tuckett, Director of Development Planning
Date: September 03, 2024
Name of Owner: Jaswant Dass – 2835085 Ontario Ltd.
Location: 370 New Enterprise Way
File No.(s): A037/24

Proposed Variances (By-law 001-2021)

1. To permit a minimum of **181 parking spaces**.
2. To permit a maximum lot coverage of **61.4%**.
3. To permit a minimum landscape open space of **3.1%**.

By-Law Requirements (By-law 001-2021):

1. The minimum number of parking spaces required is **268**.
2. The maximum lot coverage permitted is **60.0%**.
3. The minimum landscape open space required is **5.0%**.

Official Plan:

Vaughan Official Plan 2010 ('VOP 2010'): "General Employment" and "Infrastructure and Utilities" by Volume 2, Section 12.12 Huntington Business Park.

Comments:

The Owner is requesting relief to facilitate the construction of a proposed 6,370 m² addition to an existing 15,241 m² manufacturing warehouse (Industrial Building) with the above-noted variances. The proposed addition spans the entire southern wall of the existing building.

The Development Planning Department has no objection to Variance 1 to permit a reduced minimum number of required parking spaces. The proposed number of employment parking spaces have been reviewed by the Transportation Engineering Division of the Development Engineering Department through the submission of a Parking Justification Study and are considered sufficient to serve the proposed/existing use.

The Development Planning Department has no objection to Variance 2 for an increased maximum lot coverage to allow for the proposed addition. The proposed 1.4% increase in lot coverage is negligible from a visual perspective when considering the larger building as a whole. The addition will maintain the same setback to New Enterprise Way as the existing building and a drive aisle will continue to separate the building from the abutting properties on the south side. As such, Development Planning Staff are of the opinion that the requested increase in maximum lot coverage for the proposed addition to the existing industrial building is not anticipated to adversely impact the existing streetscape of New Enterprise Way, or neighbouring properties / land uses.

The Development Planning Department has no objection to Variance 3 to permit a reduced minimum landscape open space of 3.1 %. The 1.9% reduction in minimum landscaped open space area has been reviewed by Urban Design Staff who have no objection, as well as Development Engineering Staff who are satisfied that appropriate drainage will be maintained. As such, Development Planning Staff do not anticipate any adverse visual impacts from the proposed reduced landscaping on the existing street network of New Enterprise Way or the abutting properties as the reduction is minimal from a visual perspective and sufficient space for drainage and snow storage is provided.

In support of the application, the Owner submitted a Tree Inventory and Preservation Plan Report prepared by Kuntz Forestry Consulting Inc., dated February 13, 2024. The report inventoried a total of forty (40) trees on the Subject Lands and neighbouring

properties, nine (9) of which are proposed to be preserved through construction. Thirty-one (31) trees are proposed to be removed. Urban Design staff have reviewed the report and concur with its recommendations.

Accordingly, the Development Planning Department supports the requested variances and is of the opinion that the proposal is minor in nature, maintains the general intent and purpose of the Official Plan and Zoning By-law, and is desirable for the appropriate development of the land.

Recommendation:

The Development Planning Department recommends approval of the application.

Condition of Approval:

If the Committee finds merit in the application, the following condition of approval is recommended:

None.

Comments Prepared by:

Nicholas Del Prete, Planner
David Harding, Senior Planner

Prabhdeep Kaur

From: Cameron McDonald <Cameron.McDonald@trca.ca>
Sent: Monday, June 10, 2024 10:46 AM
To: Committee of Adjustment
Subject: [External] RE: A037/24 - REQUEST FOR COMMENTS, CITY OF VAUGHAN

CAUTION! This is an external email. Verify the sender's email address and carefully examine any links or attachments before clicking. If you believe this may be a phishing email, please use the Phish Alert Button.

Good afternoon,

Based on a review of our screening mapping, I can confirm that the subject property is not located within TRCA's Regulated Area. As such, any site alteration or development on the property would not require a permit from TRCA.

Based on the above, we have no comments/requirements.

Regards,

Cameron McDonald
Planner I
Development Planning and Permits | Development and Engineering Services

T: [\(437\) 880-1925](tel:4378801925)
E: cameron.mcdonald@trca.ca
A: [101 Exchange Avenue, Vaughan, ON, L4K 5R6](https://www.trca.ca/101-Exchange-Avenue-Vaughan-ON-L4K-5R6) | [trca.ca](https://www.trca.ca)



From: Joshua Lacaria <Joshua.Lacaria@trca.ca>
Sent: Wednesday, June 5, 2024 5:01 PM
To: Cameron McDonald <Cameron.McDonald@trca.ca>
Cc: Joshua Lacaria <Joshua.Lacaria@trca.ca>
Subject: FW: A037/24 - REQUEST FOR COMMENTS, CITY OF VAUGHAN

MV for you

Joshua Lacaria, MES (PI)
Planner
Development Planning and Permits | Development and Engineering Services
Toronto and Region Conservation Authority (TRCA)

T: [\(437\) 880 2347](tel:4378802347)

E: joshua.lacaria@trca.ca

A: [101 Exchange Avenue, Vaughan, ON, L4K 5R6](https://www.trca.ca) | [trca.ca](https://www.trca.ca)



From: Prabhdeep Kaur <Prabhdeep.Kaur@vaughan.ca>

Sent: Wednesday, June 5, 2024 2:38 PM

To: rowcentre@bell.ca; carrie.gordon@bell.ca; developmentservices@york.ca; York Plan <yorkplan@trca.ca>; engineeringadmin@powerstream.ca; TCEnergy@mhbcplan.com

Cc: Committee of Adjustment <CofA@vaughan.ca>

Subject: A037/24 - REQUEST FOR COMMENTS, CITY OF VAUGHAN

EXTERNAL SENDER

Hello,

Please email comments and recommendations on the above noted application to cofa@vaughan.ca. If you wish to be notified of the decision, please confirm in writing.

The deadline to submit comments on this application is **June 10, 2024**.

Should you have any questions or require additional information please contact the undersigned.

Committee of Adjustment, City of Vaughan

Cofa@vaughan.ca

905-832-8504

City of Vaughan | Office of the City Clerk

2141 Major Mackenzie Dr., Vaughan ON L6A 1T1

[vaughan.ca](https://www.vaughan.ca)



This e-mail, including any attachment(s), may be confidential and is intended solely for the attention and information of the named addressee(s). If you are not the intended recipient or have received this message in error, please notify me immediately by return e-mail and permanently delete the original transmission from your computer, including any attachment(s). Any unauthorized distribution, disclosure or copying of this message and attachment(s) by anyone other than the recipient is strictly prohibited.

SCHEDULE C: PUBLIC & APPLICANT CORRESPONDENCE

Correspondence Type	Name	Address	Date Received (mm/dd/yyyy)	Summary
Applicant			07/24/2024	Application Cover Letter
Applicant				Planning Justification Report

July 24, 2024

Via Digital Delivery - Email
 City of Vaughan
 Committee of Adjustment
 2141 Major Mackenzie Dr.
 Vaughan, ON L6A 1T1

Re: Committee of Adjustment, Minor Variance Applications
 370 New Enterprise Way, Vaughan ON L4H 0S8
 Application File #A037/24

The following is being resubmitted in conjunction with a Committee of Adjustment application for 372 New Enterprise Way. The Minor Variance Application requests a reduction to the required number of parking spaces on-site to facilitate the construction of a warehouse addition to the existing industrial building.

Background and Preamble:

The Committee of Adjustment Minor Variance request is in support of a proposed 6,370 square metre *Warehouse and Distribution Facility* addition to the existing industrial building. The site is owned and operated by Dass Metals and the proposed addition is intended to provide more space for storing material and equipment for the metal manufacturing aspect of the business.

The existing building has a total floor area of 15,240 square metres and contains manufacturing, processing, and accessory office uses which support the business operations. The addition of 6,370 square metres of warehousing and storage space accounts for a planned total gross floor area of 21,610 square metres.

An application to the Committee of Adjustment was made on May 30th. The City of Vaughan reviewed the application and provided consolidated comments on June 20th. As a result of these comments, and in an effort to work with the City of Vaughan to resolve all outstanding concerns prior to the Committee meeting, the Owner requested that the application be deferred on June 21st. Since this time the Owner has worked with their consultant team to address the outstanding comments generated from the formal review. The revisions do not affect the variances requested for the subject site.

Comment Responses:

<u>Comments</u>	<u>Response</u>
Development Engineering Comments	
<ul style="list-style-type: none"> Fire Route shown on plan to be verified by Building Standard Department. The shown fire route is not updated to reflect proposed addition. 	The fire plan shown on plans will remain the same.

<ul style="list-style-type: none"> Please show snow storage area 2% of the lot area or identify if it is removed off-site. 	<p>Snow storage area has been provided. Please refer to site plan for more information.</p>
<ul style="list-style-type: none"> Please specify stop signs at the development's access on New Enterprise Way. 	<p>The stop signs have been shown on the architectural site plan.</p>
<ul style="list-style-type: none"> Provide by-permit only signs and associated depressed curb for accessible parking spaces. 	<p>Permit only signs and curb for accessible parking spaces have been provided.</p>
<ul style="list-style-type: none"> The short-term & long-term bicycle parking spaces should comply with the City of Vaughan's Zoning By-Law 001-2021 (Table 6-7). It appears that none are shown on the plan. 	<p>Short-term bike parking spaces have been provided within the development. Please refer to the site plan.</p>
<ul style="list-style-type: none"> Label and confirm all walkways/sidewalks minimum an uninterrupted width of 1.5m. Furthermore, the existing sidewalk on New Enterprise Way to be properly labeled on plan. 	<p>All walkways and sidewalks have been confirmed for a minimum width of 1.5m. Please refer to site plan.</p>
<ul style="list-style-type: none"> Additional comments are marked on the attached site plan A001. (see attachment APPPLANS_A037_24_6_4_24.pdf) 	<p>Acknowledged.</p>
<p>Urban Design Comments:</p>	
<ul style="list-style-type: none"> The elevation along New Enterprise Way should be designed to complement the existing building character and maintain the aesthetic value along the public view. Staff suggest using similar materials and articulation to the existing portion to ensure the architectural appearance along the public frontage is consistent. 	<p>The elevation design has been redesigned. Please refer to the architectural drawings submitted with this application.</p>
<ul style="list-style-type: none"> A minimum of 3 meters of landscape buffer with appropriate planting should be provided along the New Enterprise way. 	<p>Please refer to architectural site plan for confirmation of 3.0 m. setback, and landscape plan for proposed plantings</p>

Included within the resubmission, please find the included amended documents:

- Cover Letter, prepared by Batory Planning + Management, dated July 24, 2024
- Architectural Drawings, prepared by Chamberlain Architect Services Limited, dated June 27, 2024
- Landscape Drawings, prepared by MSLA, dated July 18, 2024
- Civil Engineering Drawings, prepared by Jain, dated June 19, 2024

Should you have any questions related to the above-noted summary, please do not hesitate to contact the undersigned.

Sincerely,



Fiona McGill
Intermediate Planner
Batory Management
fmcgill@batory.ca

cc. Christopher Langley, Batory Management (email)
cc. Raj Dass, 2835085 Ontario Ltd. (email)

RECEIVED

By providel at 4:25 pm, Jun 06, 2024

370 NEW ENTERPRISE WAY VAUGHAN, ONTARIO



PLANNING RATIONALE FOR MINOR VARIANCE APPLICATION

Vaughan Committee of Adjustment

Office of the City Clerk
2141 Major Mackenzie Drive
Vaughan, ON L6A 1T1

RE: Planning Rationale – 370 New Enterprise Way
Minor Variance Application for Reduced Parking

This report provides an overview of the requested minor variances to allow for the addition of a warehouse to the existing industrial building at 370 New Enterprise Way (the ‘subject site’).

A low-rise industrial building with a total of 15,241 square metres of floor space and a large surface parking area is currently located on the subject site. The building contains manufacturing and office uses.

The site is located within the ‘General Employment’ Official Plan designation and the ‘Prestige Employment Zone (Exception 897)’ in the City of Vaughan Zoning By-law No. 001-2021.

The following variances are being requested:

Permitted Parking Spaces

Required: Minimum of 268 parking spaces
Requested: Minimum of 181 parking spaces

Lot Coverage

Required: Maximum of 60%
Requested: Maximum of 61.3%

Landscape Open Space

Required: Minimum of 5.0%
Requested: Minimum of 3.1%

The requested variances facilitate the addition of a warehouse enables greater flexibility in the use of existing buildings on the site to achieve the Official Plan’s intent for General Employment – specifically, to provide flexibility for attracting and accommodating a wide range of industrial and associated employment uses while also providing a balance between vehicular, transit, and multi-modal access.

The subject site is the head office and facility for Dass Metals, a metal manufacturer that provides steel framing construction materials. The property at 372 New Enterprise Way, located immediately north of the subject site, has the same owner and also operates as part of the company's head office. A minor variance application for 372 New Enterprise Way is being submitted in conjunction with this application and requests variances to facilitate the construction of a warehouse addition.

A Parking Study, dated March 22, 2024 by NexTrans Consulting Engineers, prepared in support of the requested variances, found that the proposed number of parking spaces is adequate to accommodate the demands of all existing and permitted uses on the site.

The Arborist Report, dated February 13, 2024 by Kuntz Forestry Consulting, prepared in support of the requested variances, identified 40 trees, 31 of which are recommended for removal as part of the Proposed Development. The Proposed Development exceeds the minimum landscaping requirements despite the tree removals and the building is LEED certified with features such as solar panels.

In my opinion, the requested variances meet the four tests prescribed by Section 45 of the Planning Act and represents good planning.

Site, Context, Proposal, and Decision History

The subject site – 370 New Enterprise Way – is a 3.1 hectare (7.6 acres) industrial site located south of Zenway Boulevard as well as 350 metres west of Highway 427 and 450 metres north of Highway 7. The site has 134 metres of frontage on the west side of New Enterprise Way.



Aerial view of subject site (shown in orange)

One (1) low-rise building totalling 15,241 square metres in floor area, and a large surface parking area, are currently located on the site. The existing building on the site has 13,797 square metres of industrial manufacturing uses and 1,444 square metres of accessory office uses.



Left: Looking west toward the subject site from New Enterprise Way. Right: Looking north toward the subject site.



Left: Entrance to existing building, looking south. Right: Sheltered walkway and pick up/drop off area, looking south.



Left: Looking northwest toward subject site Right: Looking northwest from New Enterprise Way toward subject site

The site is located in southwest Vaughan, at the centre of a large employment industrial area referred to as the Huntington Business Park in the City's Official Plan. The nearby employment area contains a mix of employment, commercial, infrastructure, and utility uses.

The site is bordered to the north and west by industrial uses, to the south by infrastructure and utility uses, and to the east by vacant land. The TransCanada Pipeline runs east of the site, adjacent to Highway 427.

Proposal

The owner is proposing to construct a 6,370 square metre warehouse addition along the south façade of the existing building. The existing building, shown in the enclosed site plan, has a total floor area of 15,241 square metres and contains a range of industrial uses including manufacturing and processing, and office uses. The addition

of 6,370 square metres of warehousing and storage space accounts for a planned total gross floor area of 21,611 square metres.

The existing building is subject to the parking requirements within the previous City of Vaughan Zoning By-law 1-88, whereas the proposed addition is subject to the parking requirements within the current Zoning By-law 001-2021. The requested variance to decrease the minimum required parking spaces from 268 to 181 will allow for more flexibility in the future use of the subject site and will bring the prevailing zoning policies in line with contemporary best practices in the industry.

The table below shows the parking deficiency calculation.

Parking Rate Calculation: Zoning By-law

Use	GFA	Parking Rate	Parking Requirement	Parking Provided	Deficit
Industrial (Existing)	13,797 sq. m	1.5/100 sq. m of GFA	29	181	-87
Ancillary Office (Existing)	1,444 sq. m	2.0/100 sq. m of GFA	207		
Warehousing (Addition)	6,370 sq. m	0.5/100 sq. m of GFA	32		
Total	21,611 sq. m	-	268		

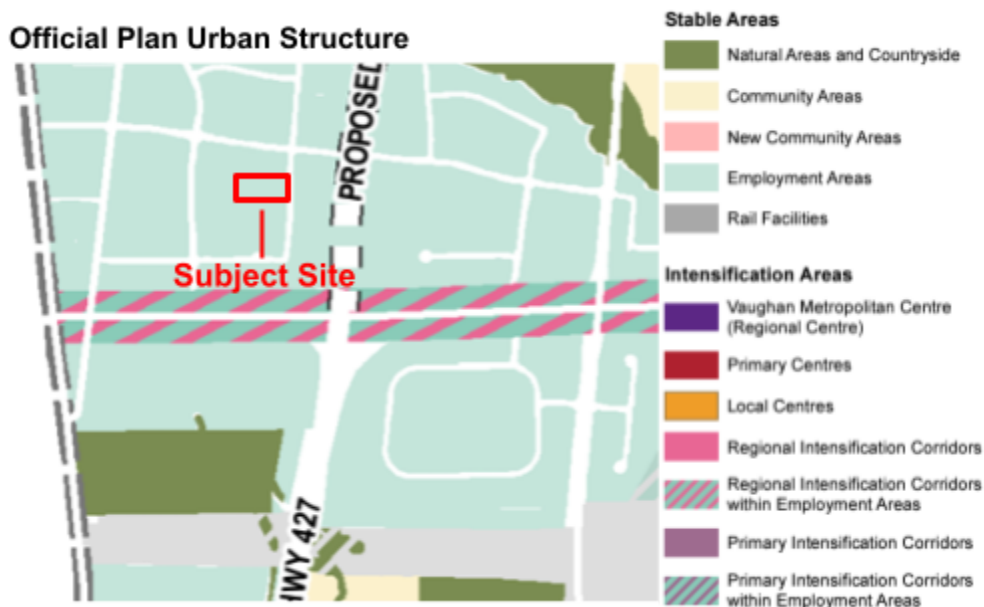
The requested variance to increase the maximum lot coverage is the result of a canopy along the west facade of the warehouse addition, and will be visually imperceptible from the street.

The requested variance to decrease the minimum required landscape open space from 5% to 3.1% is required to facilitate the proposed changes on the site. Landscaping is provided along all street frontages and the Subject Site shares outdoor open spaces facilities with the property to the north, which has an abundance of landscaped open space. The proposed variance will be imperceptible to employees, visitors, and visually imperceptible from the street.

Land Use Framework – Official Plan and Zoning By-law

Official Plan

The subject site is identified as **Employment Areas** on Official Plan Schedule 1 – Urban Structure. Employment Areas are considered stable areas that are planned to support future economic activity by maintaining industrial, manufacturing, warehousing, and some office uses.



The subject site is designated as **General Employment** on Official Plan Schedule 13 – Land Use Designations. General Employment areas are “predominantly industrial areas characterized by low scale buildings with a variety of lot sizes to provide flexibility for attracting and accommodating a wide range of industrial and associated employment uses.”

Official Plan Land Use Map



The subject site is also located in the **Huntington Business Park** Area Specific Plan under Schedule 14B of the Official Plan. The Area Specific Plan identifies acceptable locations for the development of service nodes in the Huntington Business Park to ensure that businesses, industries, and their employees in the area have convenient access to services and to maximize functional efficiency. The Area Specific Plan is intended to ensure that areas like the subject site have service nodes nearby to support its day to day convenience and service needs.

City of Vaughan Zoning By-law

The subject site is zoned Prestige Employment Zone Exception 897 (EM1 897) under the City of Vaughan Zoning By-law No. 001-2021.

Permitted uses include the following: manufacturing or processing facility, motor vehicle repair and sales, office, research and development, vertical farming, warehousing and distribution facility, day care, commercial school, car wash, temporary sales office, accessory office and retail, ancillary retail, and intermodal

Zoning Map - Schedule A | Map 42



containers. Some of these uses are subject to special conditions.

The office use is subject to a 10,000 square metre floor area limit. None of the other uses on the site are subject to a specific floor space limit.

The Proposed Development of the subject site meets all site-specific provisions under Zone Exception 897.

Evaluation of the Requested Minor Variances

This Planning Rationale evaluates the requested variances based on the four tests established in the Section 45(1) of the Planning Act: that the requested variance be consistent with the general intent and purpose of the Official Plan and the Zoning By-law, be minor in nature, and constitute appropriate and desirable development for the area.

General Intent and Purpose of the Official Plan and Zoning By-law

The intent of the General Employment policies in the Official Plan is to provide flexibility for attracting and accommodating a wide range of industrial and associated employment uses while also providing a balance between vehicular, transit, and multi-modal access.

Policy 9.2.2.10.a of the Official Plan states that General Employment areas shall aim to promote flexibility to attract and accommodate a range of industrial and associated employment uses. The proposed variance improves flexibility on site by allowing the land use to adapt to the needs of the business operations, which also contributes to the long term viability of business as well.

Policy 9.2.2.10.a also states that General Employment areas will continue to accommodate vehicles and trucks, and will be designed with pedestrian connectivity and amenities to serve the daily employee population and to facilitate access to public transit. The subject site is located with transit options nearby, with existing and planned transit along Highway 7 and Highway 427 as shown on Schedule 10 of the Official Plan.

Policy 9.2.2.10.b of the Official Plan provides development guidance in Employment Areas, mainly pertaining to achieving compatibility between uses and preventing adverse effects on environmentally sensitive land uses. The Proposed Development supports these goals as it is located among other industrial uses, and has been

designed in an environmentally sensitive manner. The existing building is also LEED certified and features solar panels.

The intent of the EM1 Zone is to permit a range of employment uses, excluding outside storage. The Proposed Development will accommodate more indoor storage and will allow for improved operational efficiency of the manufacturing services, which in turn will better support the site's primary industrial use.

The existing building is subject to the parking requirements within the previous City of Vaughan Zoning By-law 1-88, whereas the proposed addition is subject to the parking requirements within the current Zoning By-law 001-2021. The existing building parking requirements follow Section 2.8 (a) of By-law 1-88, which states that for employment uses (other than warehouses) with a GFA greater than 3,700 square metres, the minimum parking requirement is 1.5 parking spaces per 100 square metres GFA devoted to the employment use plus 2.0 parking spaces per 100 square metres GFA devoted to ancillary office use. The proposed warehouse addition follows Table 6-2 of By-law 001-2021, which requires 0.5 parking spaces per 100 square metres GFA devoted to a warehousing and distribution facility.

The purpose of minimum parking requirement provisions is to ensure particular uses are supplied with enough parking for employees, visitors, and customers as needed. The purpose of the proposed addition of warehouse space is to allow for additional storage on site. No change to the operations of the metal manufacturing or existing uses are proposed, and so very little change in the need for vehicle parking is anticipated. Under the applicable zoning, parking rates are a function of floor area, but in the case of the Proposed Development, the additional floor area is proposed as warehouse space and is not anticipated to substantially increase demand for parking.

The purpose of the maximum lot coverage requirement is to ensure there is balance between the building footprint and other areas, such as those used for landscaping, to prevent overdevelopment and to maintain a consistent and appropriate relationship with nearby properties. The proposed increase to the maximum permitted lot coverage from 60% to 61.3% is a result of the canopy being included in the total GFA. Reducing the canopy size would result in a staggered setback, but with the proposed variance, there is a consistent wall face connecting the canopy to the south building façade. Overall, the Proposed Development remains compatible with the character of the area.

The purpose of the minimum landscape open space requirement is to provide visual screening and improve unattractive elements of industrial uses while contributing to site recreational facilities and functions for employees and visitors.

The proposal requests a slight reduction to the minimum landscape open space requirement, from 5% to 3.1% of the total lot coverage. While the subject site requires a slight variance to reduce the minimum landscape open space, the property to the north (372 New Enterprise Way also owned by the developer) far exceeds the minimum landscape open space requirements, and in many ways, both sites function as one. It should be noted that both properties share the same access. To onlookers, the shared infrastructure and amenities between the two sites make it appear as one. Reducing the landscape open space on the subject site is offset by there being an abundance of open space on the property to the north. Furthermore, there are soft landscaping strips that line the street frontage and provide visual buffering between the street and the industrial building. There is additional landscaping in the City boulevard, which is not captured in the on-site open space calculation, but will integrate seamlessly and increase the overall appearance of landscape open space on site.

The requested parking variance is consistent with the general intent and purpose of the Official Plan and Zoning By-law.

Minor in Nature

The basis for determining whether a proposed variance to the Zoning By-law is minor in nature includes an assessment of impact. This determination is not solely a mathematical exercise and, even though a variance may constitute a considerable numerical change, the effect of the requested variances may still be considered minor in context.

The Parking Study prepared by NexTrans found that the existing site has a peak parking demand rate of 0.33 spaces per 100 square metres of GFA (50 spaces in use). To estimate the future parking demand rate, NexTrans added the existing peak parking demand with the Zoning By-law requirement addition, which resulted in an expected peak future demand of 82 parking spaces. That means the proposed number of parking spaces exceeds the expected demand by 99 spaces or 221%. The proposed number of parking spaces is more than adequate to accommodate the Proposed Development, and in this way, the requested variance is anticipated to be very minor in its impact.

From a numerical perspective, the requested 181 parking spaces represents a 32% deficiency (87 space deficiency) of the total permitted parking spaces on the site, which is proportionately minor. The impact of the proposed parking rate appears even more minor when compared against the expected future parking rate, which accommodates twice the future demand.

The proposed increase to the maximum lot coverage and decrease to minimum landscape open space is minor, both in impact and magnitude.

In my opinion, the requested variances are minor in nature.

Appropriate and Desirable Development

The requested variance facilitates greater flexibility in the use of existing buildings on the site to achieve the Official Plan's intent for General Employment – to allow a wide range of industrial and associated employment uses while also providing a balance between vehicular, transit, and multi-modal access.

The Parking Study prepared by NexTrans states that the future parking demand for the site is estimated at 82 spaces, whereas 181 spaces are proposed. The Parking Study substantiates that the proposed parking rate is appropriate and will more than adequately accommodate the Proposed Development.

The requested increase to the maximum lot coverage is appropriate as it improves the built form by enabling a consistent and linear built edge and is not impactful on adjacent sites.

The requested decrease to the minimum landscape open space is appropriate as it shares landscape open space facilities with the site to the north and adequate landscape buffering is provided for the scale and nature of the proposed development.

In my opinion, the requested parking variance constitutes appropriate and desirable development.

Conclusion

The Parking Study states that the Proposed Development will not result in increased traffic and that the provided parking spaces are more than adequate to accommodate the Proposed Development. The By-law requirements far exceed the existing and expected future parking demand and the requested variance is needed to facilitate an addition to the existing industrial building.

The requested variance to permit reduced parking spaces on a site within the General Employment designation is consistent with the intent of the Official Plan and Zoning By-law, allowing for flexibility in the permitted range of uses intended to serve workers in the broader Employment Area.

As the requested decrease to permitted parking spaces is intended to be accommodated within the current overall manufacturing limit for the site, and very little increase in the operational capacity is proposed, the change to the site will be generally imperceptible. The requested variance is minor in nature.

By increasing the flexibility of parking on site, the proposal creates a more resilient and varied group of industrial uses to serve the business and workers, and constitutes appropriate and desirable development.

The proposed increase to the maximum lot coverage and proposed decrease to the minimum landscape open space requirement will also be imperceptible.

In my opinion, the requested variance meets the four tests prescribed by Section 45 of the Planning Act and represents good planning.

Respectfully submitted by,



Fiona McGill
Intermediate Planning, Batory Planning + Management



Graig Uens, MCIP, RPP
Director of Planning, Batory Planning + Management

SCHEDULE D: BACKGROUND

None