



**COMMITTEE OF ADJUSTMENT
REPORT SUMMARY
MINOR VARIANCE APPLICATION
FILE NUMBER A275/21**

AGENDA ITEM NUMBER: 11	CITY WARD #: 3
APPLICANT:	Marc Cassar
AGENT:	Square Design Group
PROPERTY:	48 Hailsham Court, Woodbridge
ZONING DESIGNATION:	The subject lands are zoned RD2 9(1333) and subject to the provisions of Exception under By-law 1-88 as amended
VAUGHAN OFFICIAL PLAN (2010) DESIGNATION:	Vaughan Official Plan 2010 ('VOP 2010'): "Low-Rise Residential"
RELATED DEVELOPMENT APPLICATIONS:	None
PURPOSE OF APPLICATION:	Relief from the City's Zoning By-law is being requested to permit the existing cabana and installation of pool equipment in the rear yard.

**THIS REPORT CONTAINS COMMENTS FROM THE FOLLOWING
DEPARTMENTS & AGENCIES:**

*Please see **Schedule B** of this report for a copy of Development Planning and Agency correspondence.

Additional comments from departments and agencies may be received after the publication of the Staff Report. These comments will be processed as an addendum and posted on the City's Website.

DEPARTMENTS	Circulated	Comments Received	Conditions	Nature of Comments
Committee of Adjustment	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	General Comments
Building Standards (Zoning Review)	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	General Comments
Building Inspection (Septic)	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Development Planning	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	Recommend Approval/No Conditions
Development Engineering	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	Recommend Approval w/Conditions
Parks, Forestry and Horticulture Operations	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	No Comments or Concerns
By-law & Compliance, Licensing & Permits	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Development Finance	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Real Estate	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	No Comments or Concerns
Fire Department	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	No Comments or Concerns
AGENCIES	Circulated	Comments Received	Conditions	Nature of Comments
TRCA	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Ministry of Transportation (MTO)	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Region of York	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	General Comments
Alectra	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	General Comments
Bell Canada	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
YRDSB	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
YCDSB	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
CN Rail	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
CP Rail	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
TransCanada Pipeline	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Metrolinx	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Propane Operator	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	

PUBLIC & APPLICANT CORRESPONDENCE

*Please see **Schedule C** of this report for a copy of the public & applicant correspondence listed below.

The deadline to submit public comments is **noon on the last business day prior to the scheduled hearing date.**

Comments and written public submissions received after the publication of this Staff Report will be processed as an addendum and posted on the City's Website.

All personal information collected because of this public meeting (including both written and oral submissions) is collected under the authority of the Municipal Act, the Municipal Freedom of Information and Protection of Privacy Act (MFIPPA), the Planning Act and all other relevant legislation, and will be used to assist in deciding on this matter. All personal information (as defined by MFIPPA), including (but not limited to) names, addresses, opinions and comments collected will become property of the City of Vaughan, will be made available for public disclosure (including being posted on the internet) and will be used to assist the Committee of Adjustment and staff to process this application.

Correspondence Type	Name	Address	Date Received <small>(mm/dd/yyyy)</small>	Summary
Public	Vito Lisena	52 Hailsham Court	01/19/2022	Letter of Support
Public	YunYing Kong	42 Hailsham Court	01/19/2022	Letter of Support

PREVIOUS COA DECISIONS ON THE SUBJECT LAND

*Please see **Schedule D** for a copy of the Decisions listed below

File Number	Date of Decision <small>MM/DD/YYYY</small>	Decision Outcome
None		

ADJOURNMENT HISTORY

* Previous hearing dates where this application was adjourned by the Committee and public notice issued.

None



**COMMITTEE OF ADJUSTMENT REPORT
MINOR VARIANCE APPLICATION
A275/21**

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PROPERTY:	48 Hailsham Court, Woodbridge
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VAUGHAN OFFICIAL PLAN (2010) DESIGNATION:	Vaughan Official Plan 2010 ('VOP 2010'): "Low-Rise Residential"
RELATED DEVELOPMENT APPLICATIONS:	None
PURPOSE OF APPLICATION:	Relief from the City's Zoning By-law is being requested to permit the existing cabana and installation of pool equipment in the rear yard.

The following variances have been requested from the City's Zoning By-law:

The subject lands are zoned R2A and subject to the provisions of Exception 14.968 under Zoning By-law 01-2021.

#	Zoning By-law 01-2021	Variance Requested
1	A minimum rear yard setback of 2.4 metres to the proposed Residential Accessory Structure (Cabana) is required (Section 4.1.2, By-law 01-2021).	To permit a minimum rear yard setback of 1.68 metres to the proposed Residential Accessory Structure (Cabana).
2	A minimum interior side yard setback of 1.2 metres to the proposed Residential Accessory Structure (Cabana) is required (Section 4.1.2, By-law 01-2021).	To permit a minimum interior side yard setback of 0.46 metres to the proposed Residential Accessory Structure (Cabana).
3	A maximum eave projection of 0.5 metres for the proposed Residential Accessory Structure (Cabana) is permitted (Section 4.13, By-law 01-2021).	To permit a maximum eave projection of 0.61 metres for the proposed Residential Accessory Structure (Cabana).
4	A minimum rear yard soft landscaping of 60% is required (Section 4.19, By-law 01-2021).	To permit a minimum rear yard soft landscaping of 20%.
5	A minimum rear yard setback of 1.5 metres to the proposed pool equipment is required (Section 4.13, By-law 01-2021).	To permit a minimum rear yard setback of 0.61 metres to the proposed pool equipment.
6	A minimum interior yard setback of 1.0 metres to the proposed pool equipment is required (Section 4.13, By-law 01-2021).	To permit a minimum interior yard setback of 0.46 metres to the proposed pool equipment.
7	A maximum building height of 3.0 metres for the proposed Accessory Structure is permitted (Section 4.1.4, By-law 01-2021).	To permit a maximum building height of 3.3 metres for the proposed Accessory Structure
8	A minimum rear yard setback of 0.6 metres to the proposed hard landscape is required (Section 4.13, By-law 01-2021).	To permit a minimum rear yard setback of 0.1 metres to the proposed hard landscape.

The subject lands are zoned RD2 and subject to the provisions of Exception 9(1333) under Zoning By-law 1-88, as amended.

#	Zoning By-law 1-88	Variance Requested
9	A minimum rear yard setback of 7.5 metres to the proposed Accessory Structure (Cabana) is required (Section 4.1, Schedule A, By-law 1-88a.a.).	To permit a minimum rear yard setback of 1.68 metres to the proposed Accessory Structure (Cabana).
10	A minimum interior side yard setback of 1.2 metres to the proposed Accessory Structure (Cabana) is required (Section 4.1, Schedule A, By-law 1-88a.a.).	To permit a minimum interior side yard setback of 0.46 metres to the proposed Accessory Structure (Cabana).
11	A maximum eave projection of 0.5 metres for the proposed Accessory Structure (Cabana) is permitted (Section 3.14, By-law 1-88a.a.).	To permit a maximum eave projection of 0.61 metres for the proposed Accessory Structure (Cabana).
12	A minimum rear yard soft landscaping of 60% is required (Section 4.1, By-law 01-2021).	To permit a minimum rear yard soft landscaping of 20%.

	Zoning By-law 1-88	Variance Requested
13	A minimum rear yard setback of 6.0 metres to the proposed pool equipment is required (Section 3.14, By-law 1-88a.a.).	To permit a minimum rear yard setback of 0.61 metres to the proposed pool equipment.
14	A minimum interior yard setback of 0.6 metres to the proposed pool equipment is required (Section 3.14, By-law 1-88a.a.).	To permit a minimum interior yard setback of 0.46 metres to the proposed pool equipment.

HEARING INFORMATION

DATE & TIME OF HEARING: Thursday, February 10, 2022 at 6:00 p.m.

As a result of COVID-19, Vaughan City Hall and all other City facilities are closed to the public at this time.

PUBLIC PARTICIPATION

You can watch a live stream of the hearing at Vaughan.ca/LiveCouncil

If you wish to speak to the Committee of Adjustment on an application please complete and submit a [Public Deputation Form](#) to cofa@vaughan.ca by **noon** on the last business day prior to the hearing.

Any person who supports or opposes this application, but is unable to attend the hearing, may make a written submission, together with reasons for support or opposition. Written submissions on an Application must be submitted by **noon** on the last business day **prior** to the day of the scheduled hearing. Written submissions can be emailed to cofa@vaughan.ca

[For more information, please visit the City of Vaughan website.](#)

INTRODUCTION

Staff and Agencies act as advisory bodies to the Committee of Adjustment. The comments contained in this report are presented as recommendations to the Committee.

Section 45(1) of the Planning Act sets the criteria for authorizing minor variances to the City of Vaughan's Zoning By-law. Accordingly, review of the application may consider the following:

- That the general intent and purpose of the by-law will be maintained.
- That the general intent and purpose of the official plan will be maintained.
- That the requested variance(s) is/are acceptable for the appropriate development of the subject lands.
- That the requested variance(s) is/are minor in nature.

Public written and oral submissions relating to this application are taken into consideration by the Committee of Adjustment as part of its deliberations and final decision on this matter.

COMMITTEE OF ADJUSTMENT COMMENTS

Date Public Notice Mailed:	01/27/2022
Date Applicant Confirmed Posting of Sign:	01/26/2022
Applicant Justification for Variances: <small>*As provided by Applicant in Application Form</small>	Cannot comply with rear yard setback to cabana. Cannot comply with location and setbacks of the pool equipment. Also, cannot maintain the allowable softscape % in the rear yard. Lastly, cannot comply with hardscape to property line setback of 2 feet, proposing 4 inches instead.
Adjournment Requests (from staff): <small>*Adjournment requests provided to applicant prior to issuance of public notice</small>	None
Was a Zoning Review Waiver (ZRW) Form submitted by Applicant: <small>*ZRW Form may be used by applicant in instances where a revised submission is made, and zoning staff do not have an opportunity to review and confirm variances prior to the issuance of public notice. *A revised submission may be required to address staff / agency comments received as part of the application review process. *Where a zoning review has not been completed on a revised submission, an opportunity is provided to the applicant to adjourn the proposal prior to the issuance of public notice.</small>	No
Adjournment Fees: In accordance with Procedural By-law 069-2019, an Adjournment Fee is applicable to reschedule an application after the issuance of public notice where a request for adjournment has been provided to the applicant prior to the issuance of public notice. An Adjournment Fee can only be waived in instances where adjournment of an application is requested by the Committee or staff after the issuance of public notice.	
Committee of Adjustment Comments:	None

COMMITTEE OF ADJUSTMENT COMMENTS

Committee of Adjustment Recommended Conditions of Approval:	None
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BUILDING STANDARDS (ZONING) COMMENTS

There are no outstanding Orders on file.

Building Permit(s) Issued:

Building Permit No. 16-001937 for Single Detached Dwelling - Alteration, Issue Date: Jun 28, 2016
Building Permit No. 16-001937 for Single Detached Dwelling - Alteration, Issue Date: Aug 11, 2016
Building Permit No. 16-001937 for Single Detached Dwelling - Alteration, Issue Date: Oct 20, 2016
Building Permit No. 21-107601 for Shed/Gazebo - New, Issue Date: Aug 09, 2021
Building Permit No. 21-107601 for Shed/Gazebo - New, Issue Date: (Not Yet Issued)

Building Standards Recommended Conditions of Approval:	None
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DEVELOPMENT PLANNING COMMENTS

**See Schedule C for Development Planning Comments.

Development Planning Recommended Conditions of Approval:	None
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DEVELOPMENT ENGINEERING COMMENTS

The typical required setback for a cabana, pool equipment and hardscape are 0.6m from the property line but the proposed set back is 0.46.m and 0.1m. The applicant has proposed to install weeping tiles close to east and west side of the property line.

The Development Engineering (DE) is satisfied with the updated drawing received on January 18, 2022 showing weeping tiles will be installed to facilitate the drainage of the subject property.

As the proposed cabana in the subject property is 10.34 m², the owner/ applicant needs to obtain a lot grading permit from Development Inspection and Lot Grading division of the City's Development Engineering Department. Please note any in ground structure over 10 m² requires a grading permit. Please contact COA application engineering reviewer after receiving the grading permit to clear the condition.

Development Engineering Recommended Conditions of Approval:	The Owner/applicant shall submit the revised Lot Grading and/or Servicing Plan to the Development Inspection and Lot Grading division of the City's Development Engineering Department for final lot grading and/or servicing approval prior to any work being undertaken on the property. Please visit or contact the Development Engineering Department through email at DEPermits@vaughan.ca or visit https://www.vaughan.ca/services/residential/dev_eng/permits/Pages/default.aspx to learn how to apply for lot grading and/or servicing approval.
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PARKS, FORESTRY & HORTICULTURE (PFH) COMMENTS

No comments, no conditions

PFH Recommended Conditions of Approval:	None
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DEVELOPMENT FINANCE COMMENTS

No comment no concerns

Development Finance Recommended Conditions of Approval:	None
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BY-LAW AND COMPLIANCE, LICENSING AND PERMIT SERVICES COMMENTS

No response

BCLPS Recommended Conditions of Approval:	None
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BUILDING INSPECTION (SEPTIC) COMMENTS

No response

Building Inspection Recommended Conditions of Approval:	None
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FIRE DEPARTMENT COMMENTS

No comments, no concerns

Fire Department Recommended Conditions of Approval:	None
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SCHEDULES TO STAFF REPORT

*See Schedule for list of correspondence

Schedule A	Drawings & Plans Submitted with the Application
Schedule B	Development Planning & Agency Comments
Schedule C (if required)	Correspondence (Received from Public & Applicant)
Schedule D (if required)	Previous COA Decisions on the Subject Land

Should the Committee find it appropriate to approve this application in accordance with request and the sketch submitted with the application, as required by Ontario Regulation 200/96, the following conditions have been recommended:

SUMMARY OF RECOMMENDED CONDITIONS OF APPROVAL

All conditions of approval, unless otherwise stated, are considered to be incorporated into the approval “if required”. If a condition is no longer required after an approval is final and binding, the condition may be waived by the respective department or agency requesting conditional approval. A condition cannot be waived without written consent from the respective department or agency.

#	DEPARTMENT / AGENCY	CONDITION(S) DESCRIPTION
1	Development Engineering farzana.khan@vaughan.ca	The Owner/applicant shall submit the revised Lot Grading and/or Servicing Plan to the Development Inspection and Lot Grading division of the City’s Development Engineering Department for final lot grading and/or servicing approval prior to any work being undertaken on the property. Please visit or contact the Development Engineering Department through email at DEPermits@vaughan.ca or visit https://www.vaughan.ca/services/residential/dev_eng/permits/Pages/default.aspx to learn how to apply for lot grading and/or servicing approval.

IMPORTANT INFORMATION – PLEASE READ

CONDITIONS: It is the responsibility of the owner/applicant and/or authorized agent to obtain and provide a clearance letter from respective department and/or agency (**see condition chart above for contact**). This letter must be provided to the Secretary-Treasurer to be finalized. All conditions must be cleared prior to the issuance of a Building Permit.

APPROVALS: Making any changes to your proposal after a decision has been made may impact the validity of the Committee’s decision.

An approval obtained from the Committee of Adjustment, where applicable, is tied to the building envelope shown on the plans and drawings submitted with the application and subject to the variance approval.

A building envelope is defined by the setbacks of the buildings and/or structures shown on the plans and drawings submitted with the application, as required by Ontario Regulation 200/96. Future development outside of an approved building envelope, where a minor variance was obtained, must comply with the provisions of the City’s Zoning By-law.

Elevation drawings are provided to reflect the style of roof (i.e. flat, mansard, gable etc.) to which a building height variance has been applied. Where a height variance is approved, building height is applied to the style of roof (as defined in the City’s Zoning By-law) shown on the elevation plans submitted with the application.

Architectural design features that are not regulated by the City’s Zoning By-law are not to be considered part of an approval unless specified in the Committee’s decision.

DEVELOPMENT CHARGES: That the payment of the Regional Development Charge, if required, is payable to the City of Vaughan before issuance of a building permit in accordance with the Development Charges Act and the Regional Development Charges By-law in effect at the time of payment.

That the payment of the City Development Charge, if required, is payable to the City of Vaughan before issuance of a building permit in accordance with the Development Charges Act and the City’s Development Charges By-law in effect at the time of payment.

That the payment of the Education Development Charge if required, is payable to the City of Vaughan before issuance of a building permit in accordance with the Development Charges Act and the Boards of Education By-laws in effect at the time of payment

That the payment of Special Area Development charge, if required, is payable to the City of Vaughan before issuance of a building permit in accordance with the Development Charges Act and The City’s

IMPORTANT INFORMATION – PLEASE READ

Development Charge By-law in effect at the time of Building permit issuance to the satisfaction of the Reserves/Capital Department.

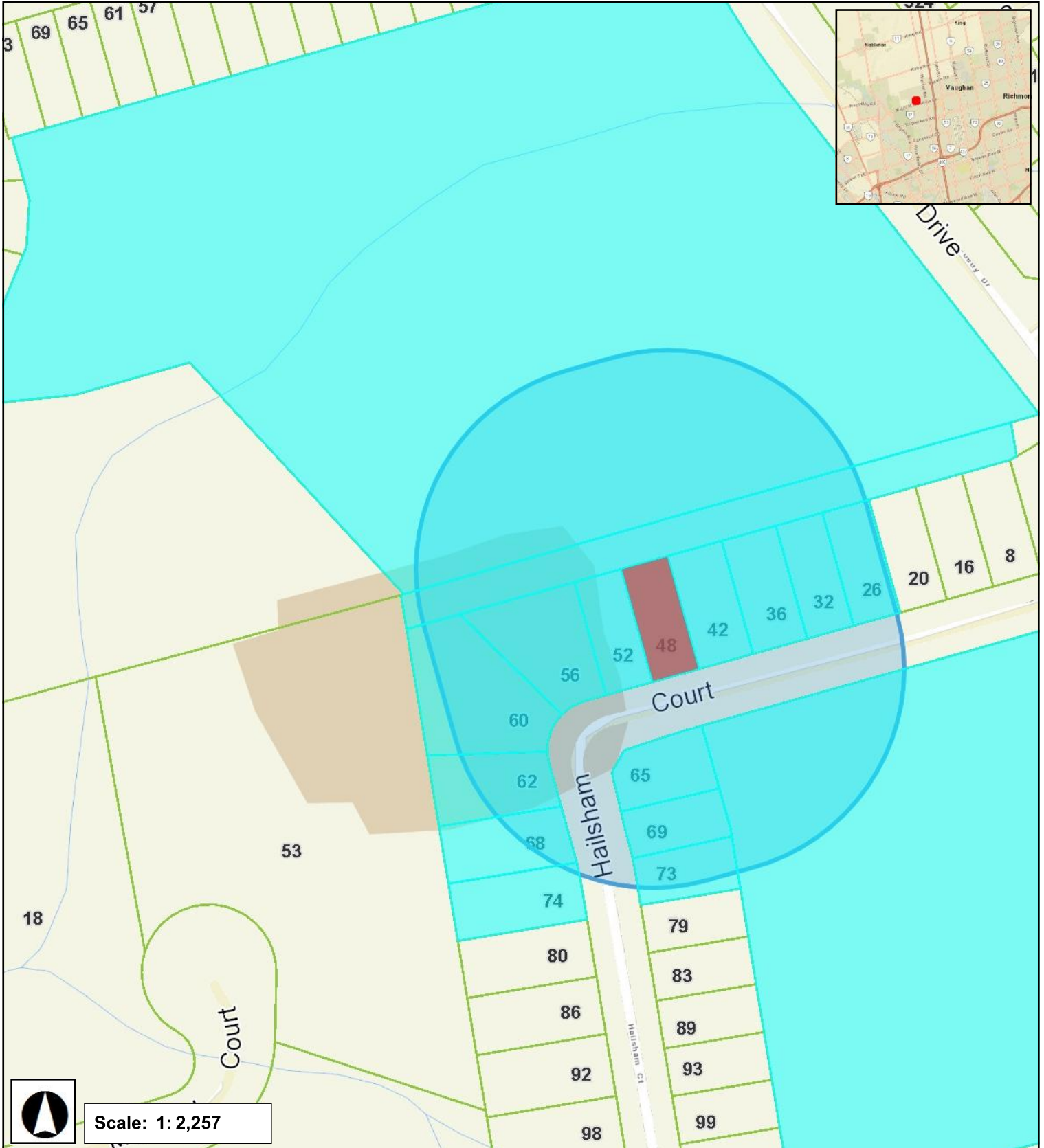
NOTICE OF DECISION: If you wish to be notified of the decision in respect to this application or a related Ontario Land Tribunal (OLT) hearing you must complete a Request for Decision form and submit to the Secretary Treasurer (ask staff for details). In the absence of a written request to be notified of the Committee's decision you will **not** receive notice.

SCHEDULE A: DRAWINGS & PLANS



A275/21 - Notification Map

48 Hailsham Court, Woodbridge



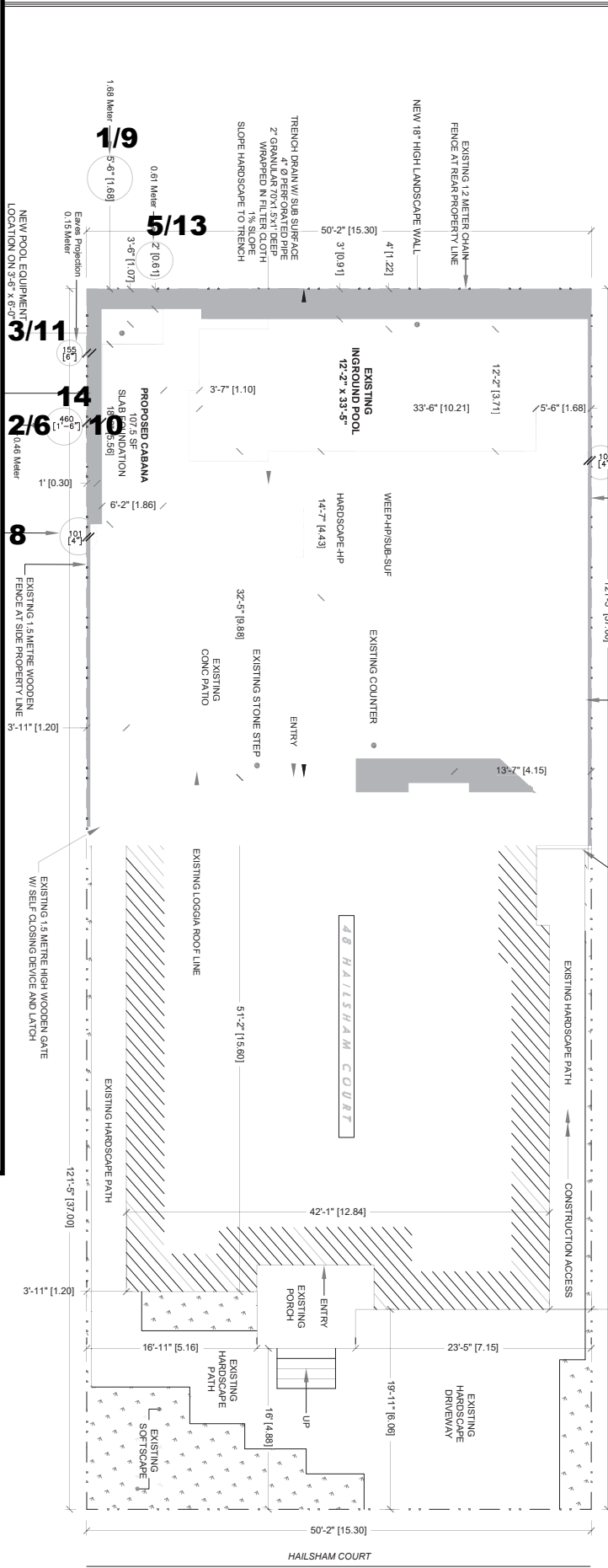
Scale: 1:2,257

Major Mackenzie Drive

January 25, 2022 1:21 PM

PROPOSAL:

1. To permit a minimum rear yard setback of 1.68 metres to the proposed Residential Accessory Structure (Cabana).
2. To permit a minimum interior side yard setback of 0.46 metres to the proposed Residential Accessory Structure (Cabana).
3. To permit a maximum eave projection of 0.61 metres for the proposed Residential Accessory Structure (Cabana).
4. To permit a minimum rear yard soft landscaping of 20%.
5. To permit a minimum rear yard setback of 0.61 metres to the proposed pool equipment.
6. To permit a minimum interior yard setback of 0.46 metres to the proposed pool equipment.
7. To permit a maximum building height of 3.3 metres for the proposed Accessory Structure
8. To permit a minimum rear yard setback of 0.1 metres to the proposed hard landscape.
9. To permit a minimum rear yard setback of 1.68 metres to the proposed Accessory Structure (Cabana).
10. To permit a minimum interior side yard setback of 0.46 metres to the proposed Accessory Structure (Cabana).
11. To permit a maximum eave projection of 0.61 metres for the proposed Accessory Structure (Cabana).
12. To permit a minimum rear yard soft landscaping of 20%.
13. To permit a minimum rear yard setback of 0.61 metres to the proposed pool equipment.
14. To permit a minimum interior yard setback of 0.46 metres to the proposed pool equipment.



REAR YARD SOFT LANDSCAPING CALCULATION:

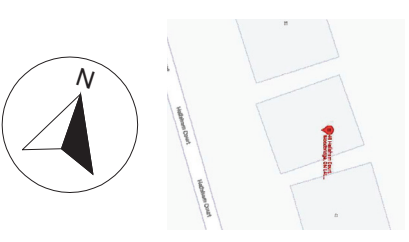
REAR LOT AREA = 2466.1 SQ.FT. [229.1 SQ.M.]
 LANDSCAPE CALCULATION = 229.1 SQ.M. - 135 SQ.M. x 60% = 56.4 SQ.M. [607.2 SQ.FT.]

REAR SOFT LANDSCAPE PROVIDED = 199.1 SQ.FT. [18.5 SQ.M.]
 = NEW HARDSCAPE
 = SOFT LANDSCAPE [20%]

LOT COVERAGE CALCULATIONS:

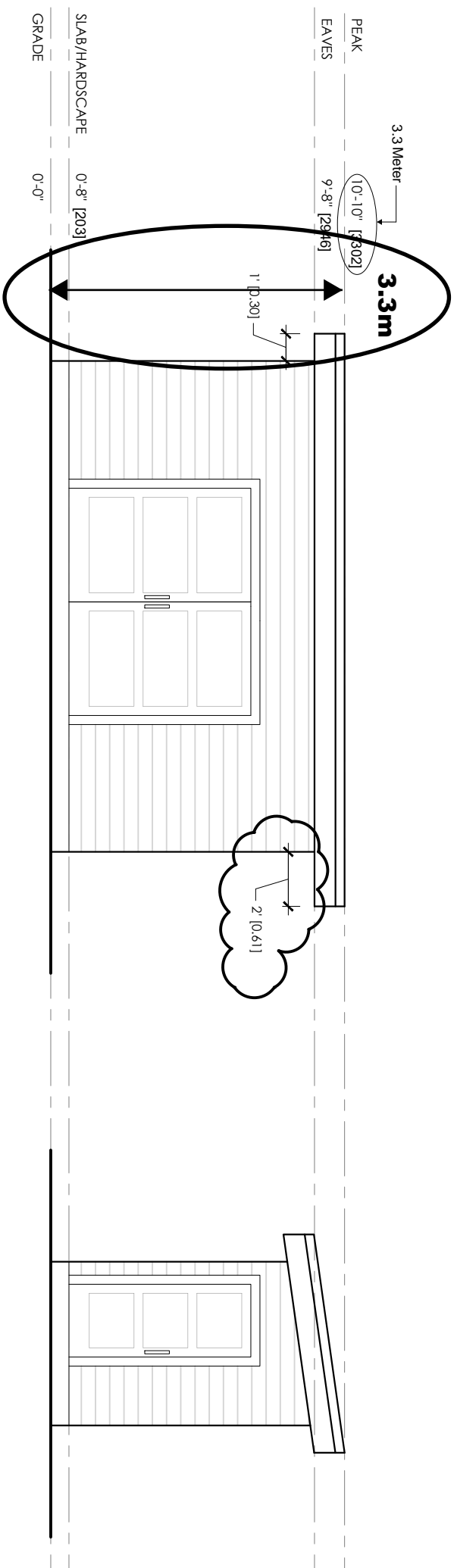
WHOLE LOT AREA: 6158.5 SQ.FT. [572.1 SQ.M.]
 HOUSE + COVERED PORCH FOOTPRINT: 2212 SQ.FT. [205.5 SQ.M.]
 PAVILION FOOTPRINT: 638.5 SQ.FT. [59 SQ.M.]
 CABANA FOOTPRINT: 111.9 SQ.FT. [10.4 SQ.M.]

TOTAL LOT COVERAGE: 2212 SQ.FT. + 638.5 SQ.FT. + 111.9 SQ.FT. = 2962.4 SQ.FT. [279 SQ.M.]
 TOTAL LOT COVERAGE %: 48%



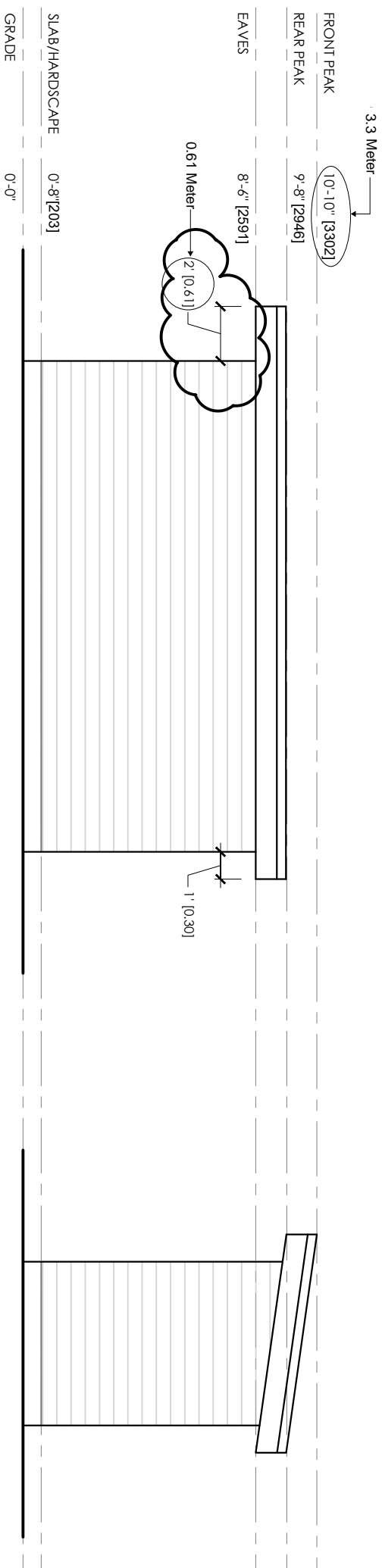
PROJECT: Proposed Pool Enclosure	
ON 48 Hailsham Court	
Vaughan	
DRAWING: SITE PLAN	
PLOTTED: 2021-12-15	PROJECT No.
DATE: 2021-12-15	
SCALE: AS NOTED	DRAWING No. A1
DRAWN BY: REVIEWED BY:	





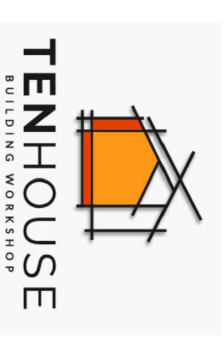
1 FRONT
A2.01 3/16" = 1'

2 LEFT
A2.01 3/16" = 1'



3 BACK
A2.01 3/16" = 1'

4 RIGHT
A2.01 3/16" = 1'



TenHouse Building Workshop
 25 Capreol Court
 Toronto ON M5V 3Z7
 T 905 699 7371

THE UNDERSIGNED HAS REVIEWED AND TAKES RESPONSIBILITY FOR THIS DESIGN, AND HAS THE QUALIFICATIONS AND MEETS THE REQUIREMENTS SET OUT IN THE ONTARIO BUILDING CODE TO DESIGN THE WORK SHOWN ON THE ATTACHED DOCUMENTS

QUALIFICATION INFORMATION
 MATTHEW FRATARCANGELI BCIN#:44839

Matthew Fratarcangeli

REGISTRATION INFORMATION
 TENHOUSE BUILDING WORKSHOP
 BCIN#:112916

REV	DATE	REMARK
0	07/19/21	PERMIT APPLICATION
1	08/19/21	ACCESSORY POSITION

PROJECT:
 NEW ACCESSORY STRUCTURE
 AND INGROUND POOL
 AT 48 HAILSHAM COURT,
 VAUGHAN, ONTARIO

DRAWN: MF APPROVED: MF
 FILE NO: 21-087 DATE: 08/19/21
 REVISION: 1 CHECKED BY: MF
 ELEVATIONS

A2.01

SCHEDULE B: DEVELOPMENT PLANNING & AGENCY COMMENTS

AGENCIES	Circulated	Comments Received	Conditions	Nature of Comments
TRCA	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Ministry of Transportation (MTO)	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Region of York	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	General Comments
Alectra	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	General Comments
Bell Canada	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
YRDSB	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
YCDSB	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
CN Rail	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
CP Rail	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
TransCanada Pipeline	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Metrolinx	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Propane Operator	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Development Planning	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	Recommend Approval/No Conditions

COMMENTS:

- We have reviewed the proposed Variance Application and have no comments or objections to its approval.
- We have reviewed the proposed Variance Application and have no objections to its approval, subject to the following comments (attached below).
- We have reviewed the proposed Variance Application and have the following concerns (attached below).

Alectra Utilities (formerly PowerStream) has received and reviewed the proposed Variance Application. This review, however, does not imply any approval of the project or plan.

All proposed billboards, signs, and other structures associated with the project or plan must maintain minimum clearances to the existing overhead or underground electrical distribution system as specified by the applicable standards, codes and acts referenced.

In the event that construction commences, and the clearance between any component of the work/structure and the adjacent existing overhead and underground electrical distribution system violates the Occupational Health and Safety Act, the customer will be responsible for 100% of the costs associated with Alectra making the work area safe. All construction work will be required to stop until the safe limits of approach can be established.

In the event construction is completed, and the clearance between the constructed structure and the adjacent existing overhead and underground electrical distribution system violates the any of applicable standards, acts or codes referenced, the customer will be responsible for 100% of Alectra's cost for any relocation work.

References:

- Ontario Electrical Safety Code, latest edition (Clearance of Conductors from Buildings)
- Ontario Health and Safety Act, latest edition (Construction Protection)
- Ontario Building Code, latest edition (Clearance to Buildings)
- PowerStream(Construction Standard 03-1, 03-4, 03-9), attached
- Canadian Standards Association, latest edition (Basic Clearances)

If more information is required, please contact either of the following:

Mr. Stephen Cranley, C.E.T
Supervisor, Distribution Design, ICI & Layouts (North)
Phone: 1-877-963-6900 ext. 31297

Mr. Tony D'Onofrio
Supervisor, Subdivisions (Alectra East)
Phone: 1-877-963-6900 ext. 24419

E-mail: stephen.cranley@alectrautilities.com

Email: tony.donofrio@alectrautilities.com

Adriana MacPherson

Subject: FW: [External] RE: A275/21 - Request for Comments (48 Hailsham Cres, Vaughan)

From: Hurst, Gabrielle <Gabrielle.Hurst@york.ca>

Sent: January-20-22 9:50 AM

To: Adriana MacPherson <Adriana.MacPherson@vaughan.ca>

Cc: Committee of Adjustment <CofA@vaughan.ca>

Subject: [External] RE: A275/21 - Request for Comments (48 Hailsham Cres, Vaughan)

Good morning Adriana,

The Regional Municipality of York has completed its review of the above minor variance and has no comment.

Gabrielle

Gabrielle Hurst mcip rpp | Community Planning and Development Services | The Regional Municipality of York | 1-877-464-9675 ext 71538 | gabrielle.hurst@york.ca | www.york.ca

To: Christine Vigneault, Committee of Adjustment Secretary Treasurer
From: Nancy Tuckett, Director of Development Planning
Date: February 10, 2022
Name of Owner: Marc Cassar
Location: 48 Hailsham Court
File No.(s): A275/21

Proposed Variance(s) (By-law 001-2021):

1. To permit a minimum rear yard setback of 1.68 m to the proposed residential accessory structure (Cabana).
2. To permit a minimum interior side yard setback of 0.46 m to the proposed residential accessory structure (Cabana).
3. To permit a maximum eave projection of 0.61 m for the proposed residential accessory structure (Cabana).
4. To permit a minimum rear yard soft landscaping of 20%.
5. To permit a minimum rear yard setback of 0.61 m to the proposed pool equipment.
6. To permit a minimum interior yard setback of 0.46 m to the proposed pool equipment.
7. To permit a maximum building height of 3.3 m for the proposed Accessory Structure.
8. To permit a minimum rear yard setback of 0.1 m to the proposed hard landscape.

By-Law Requirement(s) (By-law 001-2021):

1. A minimum rear yard setback of 2.4 m to the proposed residential accessory structure (Cabana) is required.
2. A minimum interior side yard setback of 1.2 m to the proposed residential accessory structure (Cabana) is required.
3. A maximum eave projection of 0.5 m for the proposed residential accessory structure (Cabana) is permitted.
4. A minimum rear yard soft landscaping of 60% is required.
5. A minimum rear yard setback of 1.5 m to the proposed pool equipment is required.
6. A minimum interior yard setback of 1 m to the proposed pool equipment is required.
7. A maximum building height of 3 m for the proposed Accessory Structure is permitted.
8. A minimum rear yard setback of 0.6 m to the proposed hard landscape is required.

Proposed Variance(s) (By-law 1-88):

9. To permit a minimum rear yard setback of 1.68 m to the proposed accessory structure (Cabana).
10. To permit a minimum interior side yard setback of 0.46 m to the proposed accessory structure (Cabana).
11. To permit a maximum eave projection of 0.61 m for the proposed accessory structure (Cabana).
12. To permit a minimum rear yard soft landscaping of 20%.
13. To permit a minimum rear yard setback of 0.61 m to the proposed pool equipment.
14. To permit a minimum interior yard setback of 0.46 m to the proposed pool equipment.

By-Law Requirement(s) (By-law 1-88):

9. A minimum rear yard setback of 7.5 m to the proposed accessory structure (Cabana) is required.
10. A minimum interior side yard setback of 1.2 m to the proposed accessory structure (Cabana) is required.
11. A maximum eave projection of 0.5 m for the proposed accessory structure (Cabana) is permitted.
12. A minimum rear yard soft landscaping of 60% is required.

13. A minimum rear yard setback of 6 m to the proposed pool equipment is required.
14. A minimum interior yard setback of 0.6 m to the proposed pool equipment is required.

Official Plan:

City of Vaughan Official Plan 2010 ('VOP 2010'): "Low-Rise Residential"

Comments:

The Owner is requesting permission to maintain an existing cabana, pool equipment, and soft landscaping in the rear yard subject to the above-noted variances.

The Owner had previously applied for a Minor Variance Application File (A125/21) in 2021 and received approval from the Committee of Adjustment to permit reductions in rear and interior side yard setbacks to a cabana and pool, and a reduction in rear yard soft landscaping. The cabana, which has since been constructed, requires a further reduction from a previously approved 0.61 m interior side yard setback, and the existing soft landscaping requires a further reduction from a previously approved 38% soft landscaping in the rear yard.

The Development Planning Department has no objection to the requested setback and height variances for the existing cabana, and to the reduction in rear yard soft landscaping and setback to hard landscape. The cabana will not pose a significant visual impact on the adjacent rear yard as it is located directly opposite to a neighbouring accessory structure. The Owner has also revised their application to include the installation of weeping tiles along the side yards to facilitate drainage on the property in response to comments received by the Development Engineering Department regarding potential drainage issues resulting from the reduced interior side yard setback to the cabana and soft landscaping. The Development Engineering Department has reviewed the revised plans showing the proposed weeping tiles and have no further concerns.

The Development Planning Department has no objection to the proposed location of the pool equipment in the rear yard, as the rear yard abuts an Open Space/Environmental Protection Zone.

Accordingly, the Development Planning Department is of the opinion that the proposal is minor in nature, maintains the general intent and purpose of the Official Plan and Zoning By-law, and is desirable for the appropriate development of the land.

Recommendation:

The Development Planning Department recommends approval of the application.

Conditions of Approval:

If the Committee finds merit in the application, the following conditions of approval are recommended:

None

Comments Prepared by:

Michael Torres, Planner 1

Chris Cosentino, Senior Planner

SCHEDULE C: PUBLIC & APPLICANT CORRESPONDENCE

Correspondence Type	Name	Address	Date Received (mm/dd/yyyy)	Summary
Public	Vito Lisena	52 Hailsham Court	01/19/2022	Letter of Support
Public	YunYing Kong	42 Hailsham Court	01/19/2022	Letter of Support

Committee of Adjustment Application Support Letter
File Number: A275.21
Home Owner: Marc Cassar
Address: 48 Hailsham Court, Woodbridge

Dear Sir/Madam,

As the home owner of address 52 HAIL SHAM COURT is it a pleasure to write this letter to express our full support for the construction/ cabana that Marc Cassar is proposing to the Committee. We have reviewed the drawings and list of minor variances and have no objections with the proposal.

Sincerely,

Name: VITO LIENA

Signature: Vito Liena

Date: JAN 19, 2022

Committee of Adjustment Application Support Letter
File Number: A275.21
Home Owner: Marc Cassar
Address: 48 Hailsham Court, Woodbridge

Dear Sir/Madam,

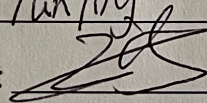
As the home owner of address 42 Hailsham Court, Woodbridge it is a pleasure to write this letter to express our full support for the construction/ cabana that Marc Cassar is proposing to the Committee. We have reviewed the drawings and list of minor variances and have no objections with the proposal.

Sincerely,

Name:

Yun Ying Kong

Signature:



Date:

January 19th, 2022