



**COMMITTEE OF ADJUSTMENT  
REPORT SUMMARY  
MINOR VARIANCE APPLICATION  
FILE NUMBER A263/21**

<b>AGENDA ITEM NUMBER: 8</b>	<b>CITY WARD #: 1</b>
<b>APPLICANT:</b>	Adrian Gajadhar & Harini De Silva
<b>AGENT:</b>	Smart Structural Solutions
<b>PROPERTY:</b>	160 Nevada Cr Maple
<b>ZONING DESIGNATION:</b>	See below.
<b>VAUGHAN OFFICIAL PLAN (2010) DESIGNATION:</b>	Vaughan Official Plan 2010 ('VOP2010'): Low-Rise Residential
<b>RELATED DEVELOPMENT APPLICATIONS:</b>	None
<b>PURPOSE OF APPLICATION:</b>	Relief from the City's Zoning By-law is being requested to permit the construction of a proposed addition to the existing single family dwelling and the installation of a proposed swimming pool in the rear yard.  The proposed addition is located within the northerly interior side yard.

**THIS REPORT CONTAINS COMMENTS FROM THE FOLLOWING DEPARTMENTS & AGENCIES:**

\*Please see **Schedule B** of this report for a copy of Development Planning and Agency correspondence.

Additional comments from departments and agencies may be received after the publication of the Staff Report. These comments will be processed as an addendum and posted on the City's Website.

<b>DEPARTMENTS</b>	<b>Circulated</b>	<b>Comments Received</b>	<b>Conditions</b>	<b>Nature of Comments</b>
Committee of Adjustment	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	General Comments
Building Standards (Zoning Review)	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	General Comments
Building Inspection (Septic)	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	No Comments Recieved to Date
Development Planning	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	Recommend Approval/No Conditions
Development Engineering	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	Recommend Approval w/Conditions
Parks, Forestry and Horticulture Operations	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	Recommend Approval w/Conditions
By-law & Compliance, Licensing & Permits	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	No Comments or Concerns
Development Finance	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	No Comments or Concerns
Real Estate	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Fire Department	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	No Comments or Concerns
<b>AGENCIES</b>	<b>Circulated</b>	<b>Comments Received</b>	<b>Conditions</b>	<b>Nature of Comments</b>
TRCA	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	No Comments or Concerns
Ministry of Transportation (MTO)	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Region of York	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	No Comments or Concerns
Alectra	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	No Comments or Concerns
Bell Canada	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	No Comments Recieved to Date
YRDSB	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
YCDSB	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
CN Rail	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
CP Rail	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
TransCanada Pipeline	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Metrolinx	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Propane Operator	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	

**PUBLIC & APPLICANT CORRESPONDENCE**

\*Please see **Schedule C** of this report for a copy of the public & applicant correspondence listed below.

The deadline to submit public comments is **noon on the last business day prior to the scheduled hearing date.**

Comments and written public submissions received after the publication of this Staff Report will be processed as an addendum and posted on the City’s Website.

All personal information collected because of this public meeting (including both written and oral submissions) is collected under the authority of the Municipal Act, the Municipal Freedom of Information and Protection of Privacy Act (MFIPPA), the Planning Act and all other relevant legislation, and will be used to assist in deciding on this matter. All personal information (as defined by MFIPPA), including (but not limited to) names, addresses, opinions and comments collected will become property of the City of Vaughan, will be made available for public disclosure (including being posted on the internet) and will be used to assist the Committee of Adjustment and staff to process this application.

<b>Correspondence Type</b>	<b>Name</b>	<b>Address</b>	<b>Date Received (mm/dd/yyyy)</b>	<b>Summary</b>
Public	Parham Parnian & Neda Zamanian	170 Nevada Crescent	02/02/2022	Letter of Opposition
Public	Parham Parnian & Neda Zamanian	170 Nevada Crescent	01/13/2022	Letter of Opposition

**PREVIOUS COA DECISIONS ON THE SUBJECT LAND**

\*Please see **Schedule D** for a copy of the Decisions listed below

<b>File Number</b>	<b>Date of Decision MM/DD/YYYY</b>	<b>Decision Outcome</b>
None		

**ADJOURNMENT HISTORY**

\* Previous hearing dates where this application was adjourned by the Committee and public notice issued.

None	
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<b>RELATED DEVELOPMENT APPLICATIONS:</b>	None
<b>PURPOSE OF APPLICATION:</b>	Relief from the City's Zoning By-law is being requested to permit the construction of a proposed addition to the existing single family dwelling and the installation of a proposed swimming pool in the rear yard.  The proposed addition is located within the northerly interior side yard.

The following variances have been requested from the City's Zoning By-law:

The subject lands are zoned R1A(EN) – Estate Residential Zone (Established Neighbourhood) and subject to the provisions of Exception 14.627 under Zoning By-law 01-2021.

#	Zoning By-law 01-2021	Variance requested
1	The maximum permitted lot coverage is 28 %. Exception 14.627	To permit a maximum lot coverage of 34% (27.84% dwelling; 5.14% addition; 1.02% porch)
2	The minimum required rear yard setback for a pool is 1.5m. Section 4.21 3.	To permit a minimum rear yard setback of 1.2m.

The subject lands are zoned RR – Rural Residential and subject to the provisions of Exception 9(949) under Zoning By-law 1-88, as amended.

#	Zoning By-law 1-88	Variance requested
3	The maximum permitted lot coverage is 28 %. Exception 9 (949) ai)	To permit a maximum lot coverage of 34% (27.84% dwelling; 5.14% addition; 1.02% porch)
4	The minimum required rear yard setback for a pool is 1.5m. Section 4.1.1 i)	To permit a minimum rear yard setback of 1.2m.

**HEARING INFORMATION**

**DATE & TIME OF HEARING:** Thursday , February 10, 2022 at 6:00 p.m.

As a result of COVID-19, Vaughan City Hall and all other City facilities are closed to the public at this time.

**PUBLIC PARTICIPATION**

You can watch a live stream of the hearing at [Vaughan.ca/LiveCouncil](http://Vaughan.ca/LiveCouncil)

If you wish to speak to the Committee of Adjustment on an application please complete and submit a [Public Deputation Form](#) to [cofa@vaughan.ca](mailto:cofa@vaughan.ca) **by noon** on the last business day prior to the hearing.

Any person who supports or opposes this application, but is unable to attend the hearing, may make a written submission, together with reasons for support or opposition. Written submissions on an Application must be submitted by **noon** on the last business day **prior** to the day of the scheduled hearing. Written submissions can be emailed to [cofa@vaughan.ca](mailto:cofa@vaughan.ca)

[For more information, please visit the City of Vaughan website.](#)

## INTRODUCTION

Staff and Agencies act as advisory bodies to the Committee of Adjustment. The comments contained in this report are presented as recommendations to the Committee.

Section 45(1) of the Planning Act sets the criteria for authorizing minor variances to the City of Vaughan's Zoning By-law. Accordingly, review of the application may consider the following:

- That the general intent and purpose of the by-law will be maintained.
- That the general intent and purpose of the official plan will be maintained.
- That the requested variance(s) is/are acceptable for the appropriate development of the subject lands.
- That the requested variance(s) is/are minor in nature.

Public written and oral submissions relating to this application are taken into consideration by the Committee of Adjustment as part of its deliberations and final decision on this matter.

## COMMITTEE OF ADJUSTMENT COMMENTS

<b>Date Public Notice Mailed:</b>	January 26, 2022
<b>Date Applicant Confirmed Posting of Sign:</b>	December 25, 2021
<b>Applicant Justification for Variances:</b> <small>*As provided by Applicant in Application Form</small>	The owner's family is growing and need more space.
<b>Adjournment Requests (from staff):</b> <small>*Adjournment requests provided to applicant prior to issuance of public notice</small>	None
<b>Was a Zoning Review Waiver (ZRW) Form submitted by Applicant:</b>  <small>*ZRW Form may be used by applicant in instances where a revised submission is made, and zoning staff do not have an opportunity to review and confirm variances prior to the issuance of public notice.  *A revised submission may be required to address staff / agency comments received as part of the application review process.  *Where a zoning review has not been completed on a revised submission, an opportunity is provided to the applicant to adjourn the proposal prior to the issuance of public notice.</small>	No
<b>Adjournment Fees:</b> In accordance with Procedural By-law 069-2019, an Adjournment Fee is applicable to reschedule an application after the issuance of public notice where a request for adjournment has been provided to the applicant prior to the issuance of public notice.  An Adjournment Fee can only be waived in instances where adjournment of an application is requested by the Committee or staff <b>after</b> the issuance of public notice.	
<b>Committee of Adjustment Comments:</b>	None
<b>Committee of Adjustment Recommended Conditions of Approval:</b>	None

## BUILDING STANDARDS (ZONING) COMMENTS

The applicant shall be advised that additional variances may be required upon review of detailed drawing for building permit/site plan approval.

The subject lands may be subject to the Oak Ridges Moraine Conservation Act, RSO 2001. Please note as of January 1, 2015 Accessible Parking Spaces are subject to the provisions of Ontario Regulation - O.Reg.413/12, Subsections 80.32 through 80.39, which supersede the current by-law requirements in By-law 1-88 as amended.

An A/C unit and/or pool equipment shall be setback a minimum of 1.2 metres from the interior side lot line; and may encroach a maximum of 1.5 metres into the required rear yard or exterior side yard.

<b>Building Standards Recommended Conditions of Approval:</b>	None
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## DEVELOPMENT PLANNING COMMENTS

\*\*See Schedule C for Development Planning Comments.

<b>Development Planning Recommended Conditions of Approval:</b>	None
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## DEVELOPMENT ENGINEERING COMMENTS

The Development Engineering (DE) Department does not object to variance application A263/21.

### DEVELOPMENT ENGINEERING COMMENTS

As the proposed addition in the subject property is 47.04 m2, the owner/ applicant needs to obtain a lot grading permit from Development Inspection and Lot Grading division of the City's Development Engineering Department. Please note any in ground structure over 10 m2 requires a grading permit. Please contact COA application engineering reviewer after receiving the grading permit to clear the condition. (Condition #1 attached)

The proposed work by the owner is increasing the lot coverage in the subject property. The added hardscape may have impact on City's Storm Water management system. Stuff requires the owner/applicant to introduce Low-impact Development (LID) measures (Bioswales, Permeable pavers, Rain Gardens, Rain Barrels etc.) to reduce the impacts. Please provide DE with a LID brief explaining the measures taken prior to clearing the condition. (Condition attached)

The Owner/applicant shall apply for a pool permit with the Development Engineering (DE) Department. Please visit or contact the Development Engineering Department through email at [DEPermits@vaughan.ca](mailto:DEPermits@vaughan.ca) or visit [https://www.vaughan.ca/services/residential/dev\\_eng/permits/Pages/default.aspx](https://www.vaughan.ca/services/residential/dev_eng/permits/Pages/default.aspx) to learn how to apply for the pool permit.

The Development Engineering (DE) Department does not object to variance application A263/21 subject to the following conditions:

<b>Development Engineering Recommended Conditions of Approval:</b>	<ol style="list-style-type: none"> <li>1. The Owner/applicant shall submit the revised Lot Grading and/or Servicing Plan to the Development Inspection and Lot Grading division of the City's Development Engineering Department for final lot grading and/or servicing approval prior to any work being undertaken on the property. Please visit or contact the Development Engineering Department through email at <a href="mailto:DEPermits@vaughan.ca">DEPermits@vaughan.ca</a> or visit <a href="https://www.vaughan.ca/services/residential/dev_eng/permits/Pages/default.aspx">https://www.vaughan.ca/services/residential/dev_eng/permits/Pages/default.aspx</a> to learn how to apply for lot grading and/or servicing approval.</li> <li>2. The owner/applicant shall provide a brief to demonstrate the appropriate LID (Low-impact Development) measures and show the measures taken in the drawing to the satisfaction of DE to address the increased lot coverage from 28% to 34% in order to mitigate potential impacts on the municipal storm water system.</li> </ol>
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### PARKS, FORESTRY & HORTICULTURE (PFH) COMMENTS

Applicant/owner shall amend the arborist report/arborist letter to the satisfaction of the forestry division.

<b>PFH Recommended Conditions of Approval:</b>	Applicant/owner shall provide an arborist report/arborist letter for the trees located on the neighboring properties at 52 and 170 Nevada Cres.
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### DEVELOPMENT FINANCE COMMENTS

No comment no concerns

<b>Development Finance Recommended Conditions of Approval:</b>	None
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### BY-LAW AND COMPLIANCE, LICENSING AND PERMIT SERVICES COMMENTS

No comment no concerns

<b>BCLPS Recommended Conditions of Approval:</b>	None
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### BUILDING INSPECTION (SEPTIC) COMMENTS

No comments received to date

<b>Building Inspection Recommended Conditions of Approval:</b>	None
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### FIRE DEPARTMENT COMMENTS

No comment no concerns

<b>Fire Department Recommended Conditions of Approval:</b>	None
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## SCHEDULES TO STAFF REPORT

\*See Schedule for list of correspondence

<b>Schedule A</b>	Drawings & Plans Submitted with the Application
<b>Schedule B</b>	Development Planning & Agency Comments
<b>Schedule C</b> (if required)	Correspondence (Received from Public & Applicant)
<b>Schedule D</b> (if required)	Previous COA Decisions on the Subject Land

Should the Committee find it appropriate to approve this application in accordance with request and the sketch submitted with the application, as required by Ontario Regulation 200/96, the following conditions have been recommended:

### SUMMARY OF RECOMMENDED CONDITIONS OF APPROVAL

All conditions of approval, unless otherwise stated, are considered to be incorporated into the approval “if required”. If a condition is no longer required after an approval is final and binding, the condition may be waived by the respective department or agency requesting conditional approval. A condition cannot be waived without written consent from the respective department or agency.

#	DEPARTMENT / AGENCY	CONDITION(S) DESCRIPTION
1	Development Engineering <a href="mailto:farzana.khan@vaughan.ca">farzana.khan@vaughan.ca</a>	<ol style="list-style-type: none"> <li>The Owner/applicant shall submit the revised Lot Grading and/or Servicing Plan to the Development Inspection and Lot Grading division of the City’s Development Engineering Department for final lot grading and/or servicing approval prior to any work being undertaken on the property. Please visit or contact the Development Engineering Department through email at <a href="mailto:DEPermits@vaughan.ca">DEPermits@vaughan.ca</a> or visit <a href="https://www.vaughan.ca/services/residential/dev_eng/permits/Pages/default.aspx">https://www.vaughan.ca/services/residential/dev_eng/permits/Pages/default.aspx</a> to learn how to apply for lot grading and/or servicing approval.</li> <li>The owner/applicant shall provide a brief to demonstrate the appropriate LID (Low-impact Development) measures and show the measures taken in the drawing to the satisfaction of DE to address the increased lot coverage from 28% to 34% in order to mitigate potential impacts on the municipal storm water system.</li> </ol>
2	Parks, Forestry and Horticulture Operations <a href="mailto:andrew.swedlo@vaughan.ca">andrew.swedlo@vaughan.ca</a>	Applicant/owner shall provide an arborist report/arborist letter for the trees located on the neighboring properties at 52 and 170 Nevada Cres.

### IMPORTANT INFORMATION – PLEASE READ

**CONDITIONS:** It is the responsibility of the owner/applicant and/or authorized agent to obtain and provide a clearance letter from respective department and/or agency (**see condition chart above for contact**). This letter must be provided to the Secretary-Treasurer to be finalized. All conditions must be cleared prior to the issuance of a Building Permit.

**APPROVALS:** Making any changes to your proposal after a decision has been made may impact the validity of the Committee’s decision.

An approval obtained from the Committee of Adjustment, where applicable, is tied to the building envelope shown on the plans and drawings submitted with the application and subject to the variance approval.

A building envelope is defined by the setbacks of the buildings and/or structures shown on the plans and drawings submitted with the application, as required by Ontario Regulation 200/96. Future development outside of an approved building envelope, where a minor variance was obtained, must comply with the provisions of the City’s Zoning By-law.

Elevation drawings are provided to reflect the style of roof (i.e. flat, mansard, gable etc.) to which a building height variance has been applied. Where a height variance is approved, building height is applied to the style of roof (as defined in the City’s Zoning By-law) shown on the elevation plans submitted with the application.

Architectural design features that are not regulated by the City’s Zoning By-law are not to be considered part of an approval unless specified in the Committee’s decision.

**DEVELOPMENT CHARGES:** That the payment of the Regional Development Charge, if required, is payable to the City of Vaughan before issuance of a building permit in accordance with the Development Charges Act and the Regional Development Charges By-law in effect at the time of payment.

That the payment of the City Development Charge, if required, is payable to the City of Vaughan before issuance of a building permit in accordance with the Development Charges Act and the City’s Development Charges By-law in effect at the time of payment.

### IMPORTANT INFORMATION – PLEASE READ

That the payment of the Education Development Charge if required, is payable to the City of Vaughan before issuance of a building permit in accordance with the Development Charges Act and the Boards of Education By-laws in effect at the time of payment

That the payment of Special Area Development charge, if required, is payable to the City of Vaughan before issuance of a building permit in accordance with the Development Charges Act and The City's Development Charge By-law in effect at the time of Building permit issuance to the satisfaction of the Reserves/Capital Department.

**NOTICE OF DECISION:** If you wish to be notified of the decision in respect to this application or a related Ontario Land Tribunal (OLT) hearing you must complete a Request for Decision form and submit to the Secretary Treasurer (ask staff for details). In the absence of a written request to be notified of the Committee's decision you will **not** receive notice.

**SCHEDULE A: DRAWINGS & PLANS**

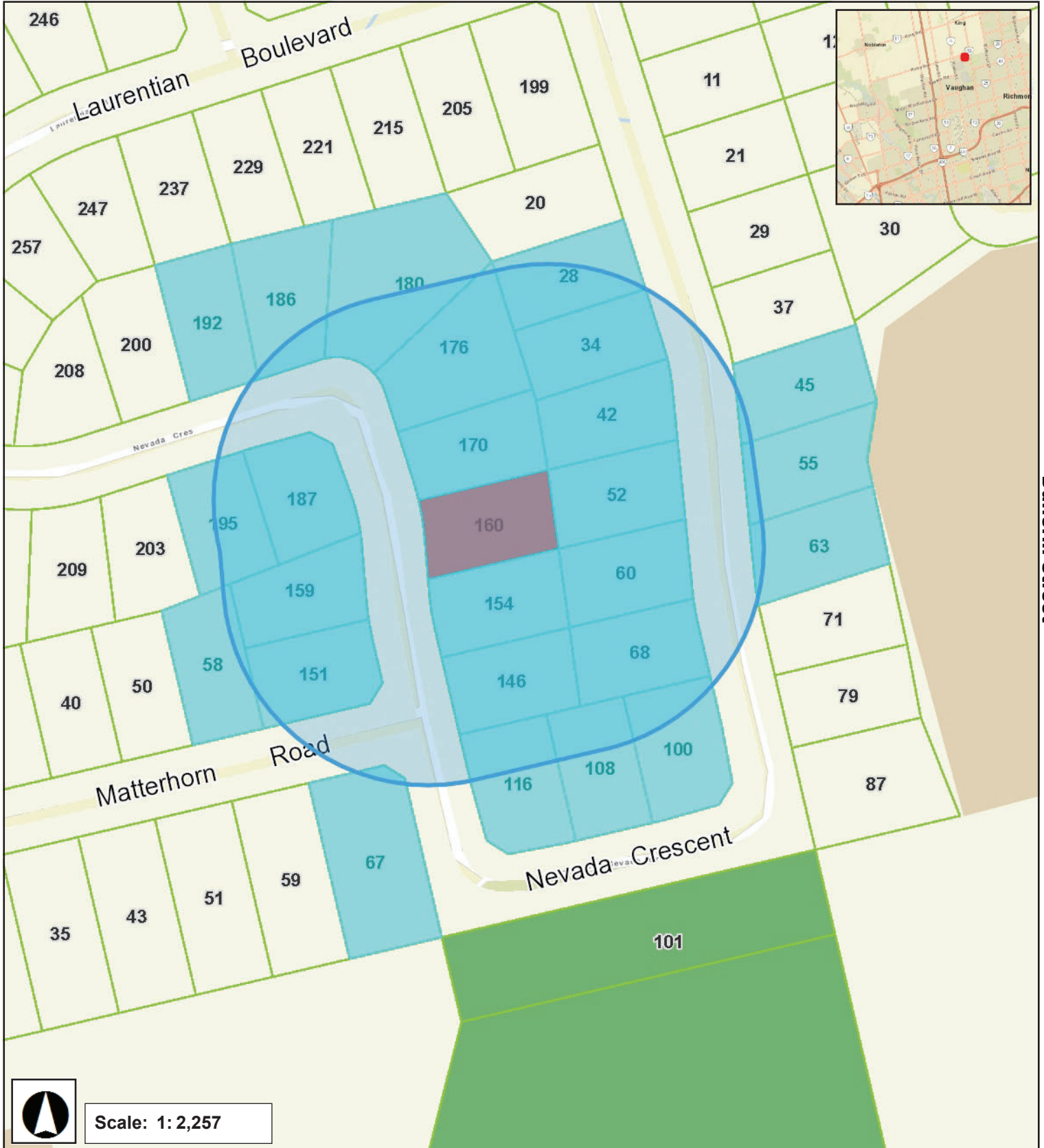




# LOCATION MAP - A263/21

160 NEVADA CRESCENT, MAPLE

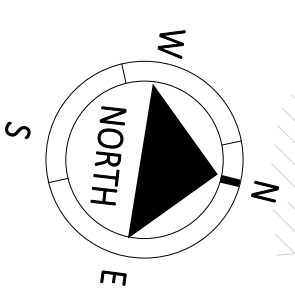
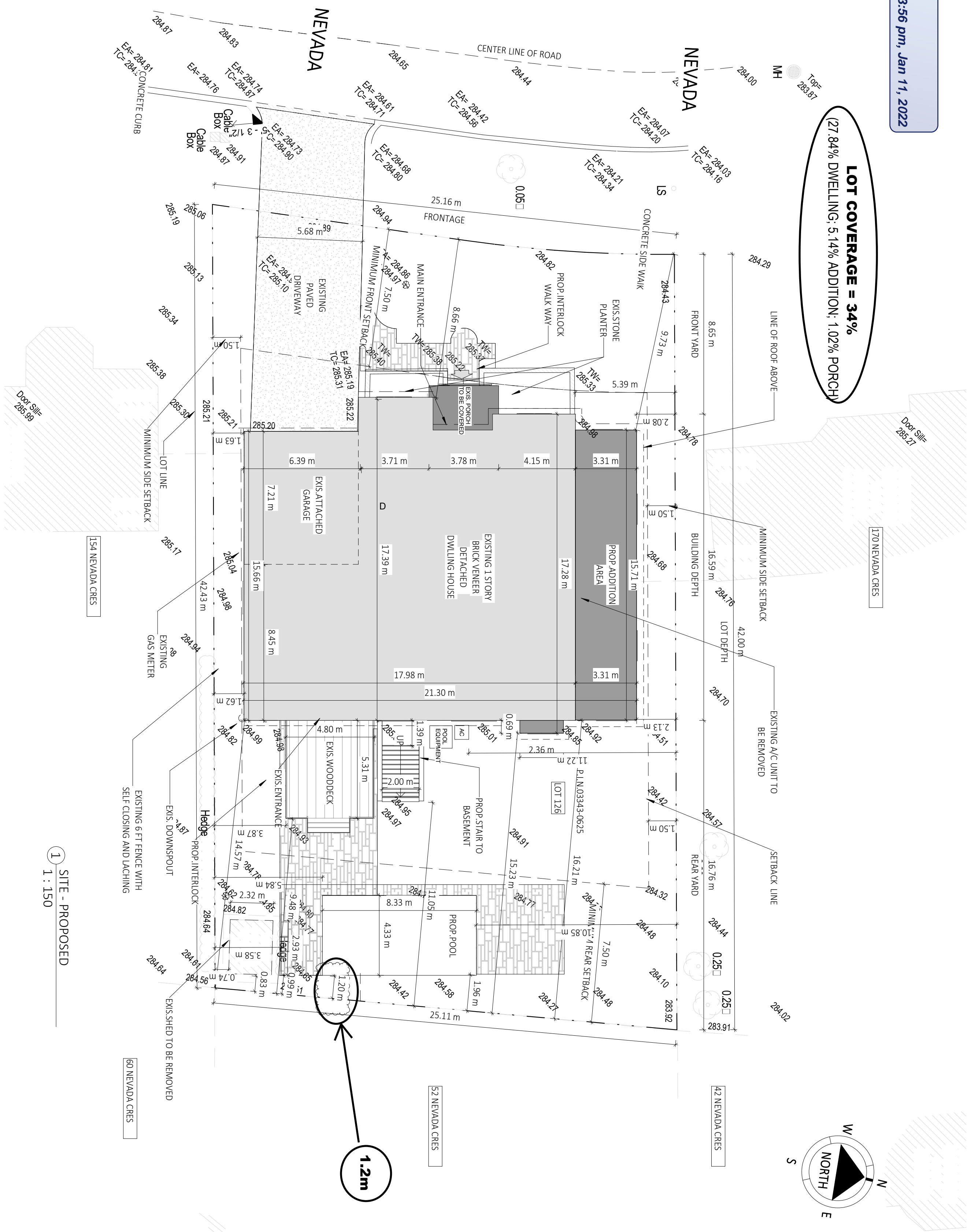
**Kirby Road**



**Teston Road**

January 25, 2022 4:36 PM

**LOT COVERAGE = 34%**  
(27.84% DWELLING; 5.14% ADDITION; 1.02% PORCH)



1 SITE - PROPOSED  
1 : 150

LOT AREA	
Name	Area
LOT AREA	1048.10 m <sup>2</sup>

EXISTING LOT COVERAGE	
Name	Area
EX. LOT COVERAGE	292.34 m <sup>2</sup>

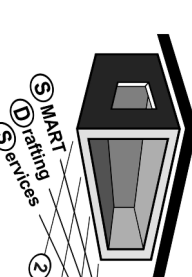
PROPOSED LOT COVERAGE	
Name	Area
EX. HOUSE	291.85 m <sup>2</sup>
COVERED PORCH	10.65 m <sup>2</sup>
PROP. ADDITION	52.07 m <sup>2</sup>
PROP. ADDITION	1.77 m <sup>2</sup>
PROP. COVERAGE	356.34 m <sup>2</sup>
PROP. COVERAGE	34%

FRONT YARD LANDSCAPE AREA PLAN	
Name	Area
FY DRIVEWAY	64.16 m <sup>2</sup>
FY DRIVEWAY	64.16 m <sup>2</sup>
FY HARD LANDSCAPE	21.87 m <sup>2</sup>
FY HARD LANDSCAPE	21.87 m <sup>2</sup>
FY SOFT LANDSCAPE	114.08 m <sup>2</sup>
FY SOFT LANDSCAPE	26.90 m <sup>2</sup>
FY SOFT LANDSCAPE	140.98 m <sup>2</sup>
TOTAL FRONT YARD	227.02 m <sup>2</sup>

REAR YARD LANDSCAPE AREA PLAN	
Name	Area
RY HARD LANDSCAPE	131.39 m <sup>2</sup>
RY SOFT LANDSCAPE	251.04 m <sup>2</sup>
TOTAL REAR YARD-2	382.43 m <sup>2</sup>

**GENERAL NOTE:**  
1- THESE DRAWINGS ARE COPYRIGHT AND THE PROPERTY OF SMART DRAFTING SERVICES.  
2- THE DRAWINGS MAY NOT BE USED FOR CONSTRUCTION UNLESS SEALED AND SIGNED BY ENGINEER AND OBTAINED PERMISSION BY THE AUTHORITIES.  
3- DO NOT SCALE THESE DRAWINGS.  
4- ANY ERROR OR DISCREPANCY IS TO BE REPORTED IMMEDIATELY TO ENGINEER.  
5- ANY MODIFICATION WITHOUT PERMISSION OF ENGINEER SHALL VOID ENGINEER'S RESPONSIBILITY.

No.	Date	Revision	ISSUED FOR	APVD
1	Date 1	Revision 1		

**DESIGNER:**  
  
7250 KEELE ST. UNIT 295, VAUGHAN, ON L4K 1Z8  
(+647) 877-6971, info@smartds.ca

**CLIENT:**  
160 Nevada Crescent, Maple, ON L6A 2V4

**PROJECT NAME:**  
PROJECT ADDRESS:  
160 Nevada Crescent, Maple, ON L6A 2V4

**SHEET NAME:**  
SITE PLAN PROPOSED  
**PROJECT No.:**  
PROJECT No.:  
**SCALE:** 1 : 150  
**DESIGNER:** F. AHMADIPPOOR  
**CHECKER:** A. PIROOZ  
**SHEET No.:**  
AO-04

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2 3D View 2



3 3D View 4

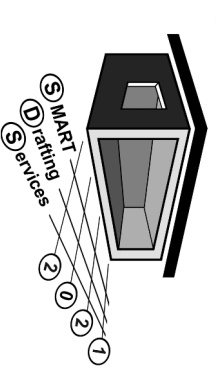


1 3D View 1

Sheet Number	Sheet Name
A0-01	COVER PAGE
A0-02	SURVEY PLAN
A0-03	SITE PLAN EXISTING
A0-04	SITE PLAN PROPOSED
A0-05	EXIS.AREA
A0-06	PROP.AREA
A1-01	BASEMENT EXIS. PLAN
A1-02	MAIN FLOOR EXIS. PLAN
A1-03	ROOF EXIS. PLAN
A1-04	BASEMENT DEMOL. PLAN
A1-05	MAIN FLOOR DEMO. PLAN
A1-06	BASEMENT PROP. PLAN
A1-07	MAIN FLOOR PROP. PLAN
A1-08	ROOF PROP. PLAN
A2-01	WEST (FRONT) ELEVATION
A2-02	EAST (REAR) ELEVATION
A2-03	EAST (RIGHT) ELEVATION
A2-04	NORTH (LEFT) ELEVATION
A3-01	SECTION 1
A3-02	SECTION 2
A3-03	SCHEDULES& LEGEND
A4-01	PERSPECTIVE
A4-02	PERSPECTIVE2

NO.	DATE	ISSUED FOR	APVD

DESIGNER:



7250 KEELE ST. UNIT 295, VAUGHAN, ON L4K 1Z8  
 (+647) 877-6971, info@smartds.ca

CLIENT:

PROJECT NAME:

PROJECT ADDRESS:  
 160 Nevada Crescent, Maple, ON L6A 2V4

SHEET NAME:

COVER PAGE

DATE: PROJECT No.:

SCALE: DESIGNER: F.AHMADPOOR SHEET No.:

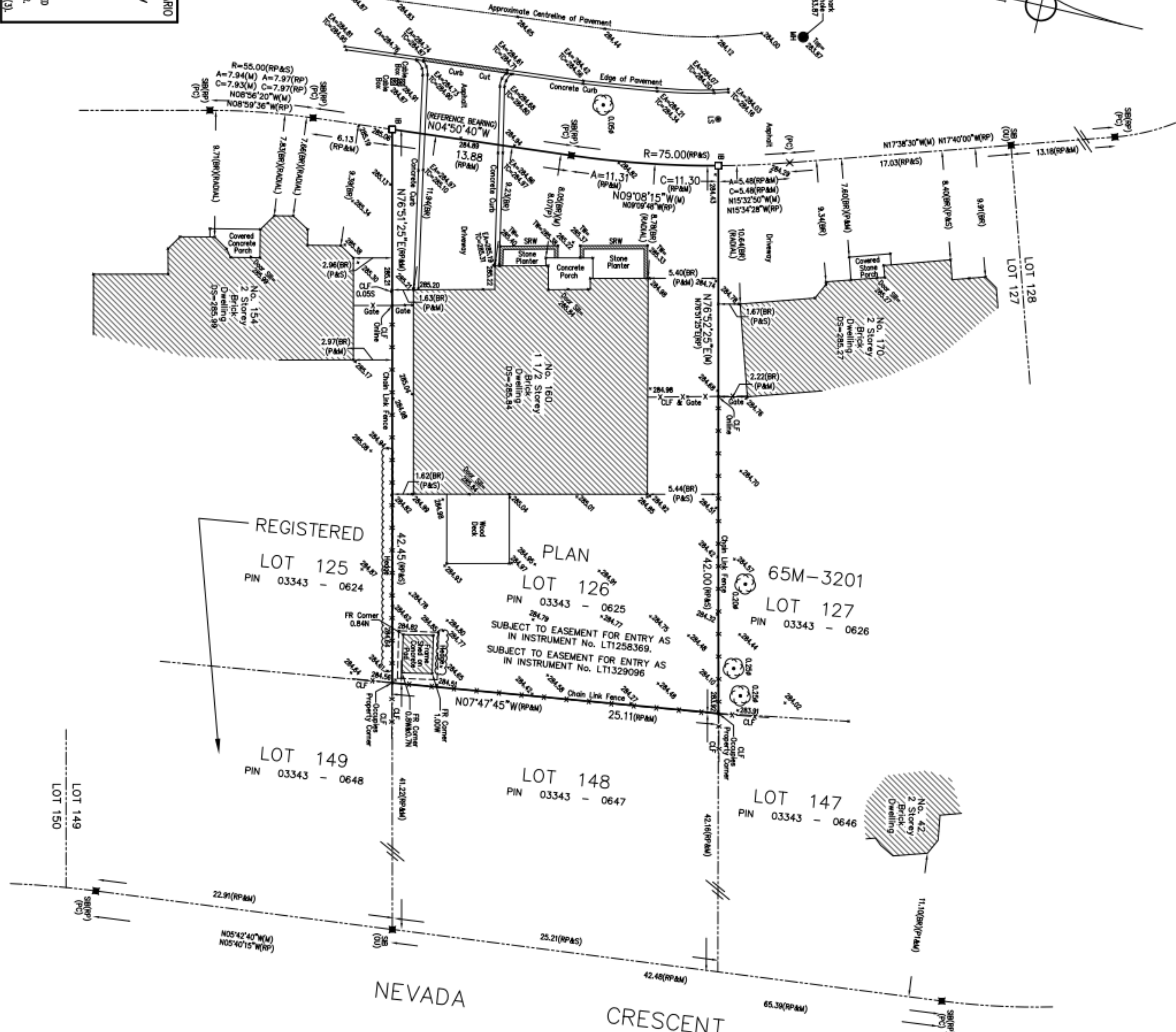
CHECKER: A.PIROOZ AO-01

ASSOCIATION OF ONTARIO  
LAND SURVEYORS  
PLAN SUBMISSION FORM  
2172062

THIS PLAN IS NOT VALID  
UNLESS IT HAS BEEN  
ISSUED BY THE SURVEYOR.  
In accordance with  
Regulation 1006, Section 29(3)

# NEVADA CRESCENT

(BY REGISTERED PLAN 65M-3201)  
PIN 03343 - 0821



**SURVEYOR'S REAL PROPERTY REPORT - PART 1**  
**PLAN OF SURVEY OF**  
**LOT 126**  
**REGISTERED PLAN 65M-3201**  
**CITY OF VAUGHAN**  
**REGIONAL MUNICIPALITY OF YORK**

SCALE 1:250

0 5 10 15 20 25 Meters

**COPYRIGHT**  
PEARSON & PEARSON SURVEYING LTD. 2021  
Ontario Land Surveyors

**Metric**  
DISTANCES SHOWN ON THIS PLAN ARE IN METRES AND CAN BE CONVERTED TO FEET BY DIVIDING BY 0.3048

**Part 2**  
DESCRIPTION OF LAND: LOT 126, REGISTERED PLAN 65M-3201, CITY OF VAUGHAN, REGIONAL MUNICIPALITY OF YORK.  
REGISTERED EASEMENTS AND/OR RIGHTS OF WAY:  
1. SUBJECT TO EASEMENT FOR ENTRY AS IN INSTRUMENT No. LT258369.  
2. SUBJECT TO EASEMENT FOR ENTRY AS IN INSTRUMENT No. LT1329096.  
BOUNDARY FEATURES: NOTE ALL FENCES IN RELATION TO THE BOUNDARY.  
COMPLIANCE WITH MUNICIPAL ZONING BY-LAWS: THIS PLAN DOES NOT CERTIFY ZONING COMPLIANCE OR IDENTIFY WHAT ZONING RESTRICTIONS ARE INVOLVED.  
THIS REPORT WAS PREPARED FOR RS HOMES AND THE UNDERSIGNED ACCEPTS AND NO RESPONSIBILITY FOR USE BY OTHER PARTIES.  
ADDITIONAL REMARKS: NONE.

**Bearing Note**  
BEARINGS ARE ASTRONOMIC AND ARE REFERRED TO THE EASTERLY LIMIT OF NEVADA CRESCENT SHOWN ON REGISTERED PLAN 65M-3201 AS HAVING A BEARING OF N04°50'40"W.

**Benchmark**  
ELEVATIONS ARE GEODETIC AND ARE REFERRED TO A CITY OF VAUGHAN BENCHMARK.  
BENCHMARK: MONUMENT No.105980119  
ELEVATION = 278.956m (DATUM: NAD83)

**Note**  
TREE CALIPERS ARE NOT TO ARBORIST STANDARDS AND FOR ARBORIST CALIPER REFER TO ARBORIST REPORT.

**Legend**

- DENOTES SURVEY MONUMENT FOUND
- DENOTES STANDARD IRON BAR
- DENOTES IRON BARK
- DENOTES PRISON UNKNOWN
- DENOTES POINT OF CURVATURE MEASURED
- DENOTES NORTH/SOUTH/EAST/WEST REGISTERED PLAN 65M-3201
- DENOTES SURVEYOR'S REAL PROPERTY REPORT BY RADT - FENTER & EDWARD SURVEYING, LTD, U.S., DATED OCTOBER 2, 1998
- DENOTES SURVEYOR'S REAL PROPERTY REPORT BY RADT - FENTER & EDWARD SURVEYING, LTD, U.S., DATED OCTOBER 2, 2000.
- DENOTES TOP OF CURB ELEVATION
- DENOTES TOP OF PAVEMENT ELEVATION
- DENOTES EDGE OF WALL ELEVATION
- DENOTES TOP OF RETAINING WALL
- DENOTES CHAIN LINK FENCE
- DENOTES TIES TO BRICK
- DENOTES TIES TO FRAME
- DENOTES LIGHT STANDARD
- DENOTES MANHOLE
- DENOTES DIAMETER (ROUND)
- DENOTES DOOR SILL ELEVATION
- DENOTES DECIDUOUS TREE WITH TRUNK DIAMETER

**Surveyor's Certificate**

I CERTIFY THAT:  
1. THIS SURVEY AND PLAN ARE CORRECT AND IN ACCORDANCE WITH THE SURVEY ACT, THE SURVEYORS ACT AND THE REGULATIONS MADE UNDER THEM.  
2. THE SURVEY WAS COMPLETED ON THE 25TH DAY OF JUNE, 2021.

June 25, 2021  
Dorte  
Michelle Pearson  
Ontario Land Surveyor

10033 JANE STREET, SECOND FLOOR, MARKHAM, ONTARIO, L6A 1S1  
O. : (289) 553-5453  
E. : mich@pearsonandpearson.com  
DRAWING : 2174-NevadaCrescent160-SRPR.DWG PROJECT : 2174-CALC. BY: JM DRAWN BY: TM/JM CHECKED BY: MP/JM

**P&P PEARSON & PEARSON**  
SURVEYING LTD.

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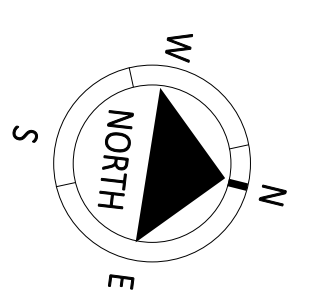
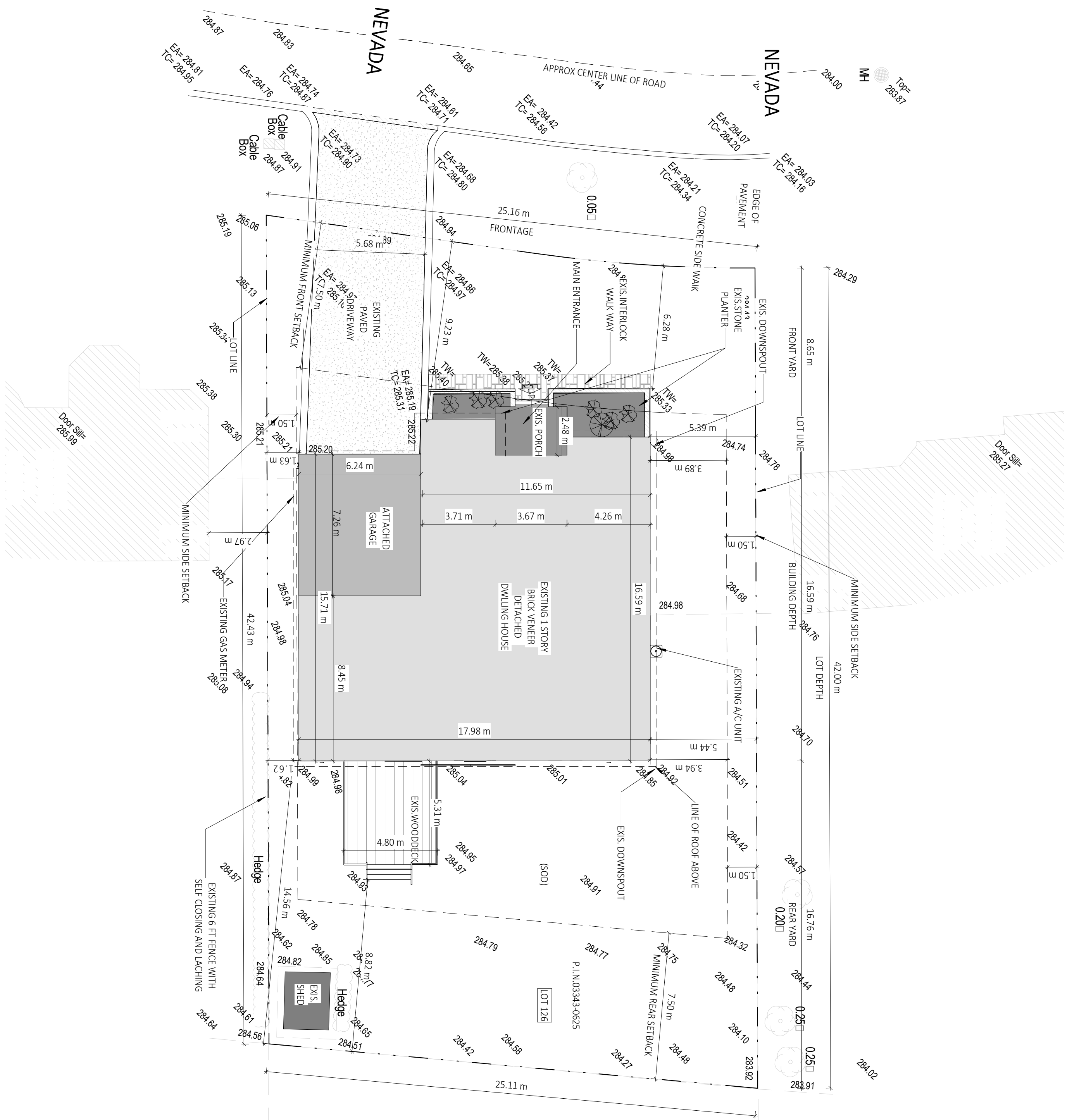
NO.	DATE	ISSUED FOR	APVD

**DESIGNER:**  
7250 KEELE ST. UNIT 295, VAUGHAN, ON L4K 1Z8  
(416) 877-6971, info@smartds.ca

**CLIENT:**  
PROJECT NAME:  
PROJECT ADDRESS:  
160 Nevada Crescent, Markham, ON L6A 2V4  
SHEET NAME:  
**SURVEY PLAN**

**DATE:**  
**SCALE:**  
**DESIGNER:** F.AHMADPOOR  
**CHECKER:** A.PIROOZ

**PROJECT NO.:**  
**SHEET NO.:** AO-02

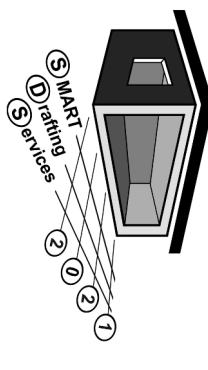


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NO.	DATE	ISSUED FOR	APVD

**REVISIONS**

**DESIGNER:**



7250 KEELE ST. UNIT 295, VAUGHAN, ON L4K 1Z8  
 (+647) 877-6971, info@smartds.ca

**CLIENT:**

**PROJECT NAME:**

**PROJECT ADDRESS:**  
 160 Nevada Crescent, Maple, ON L6A 2V4

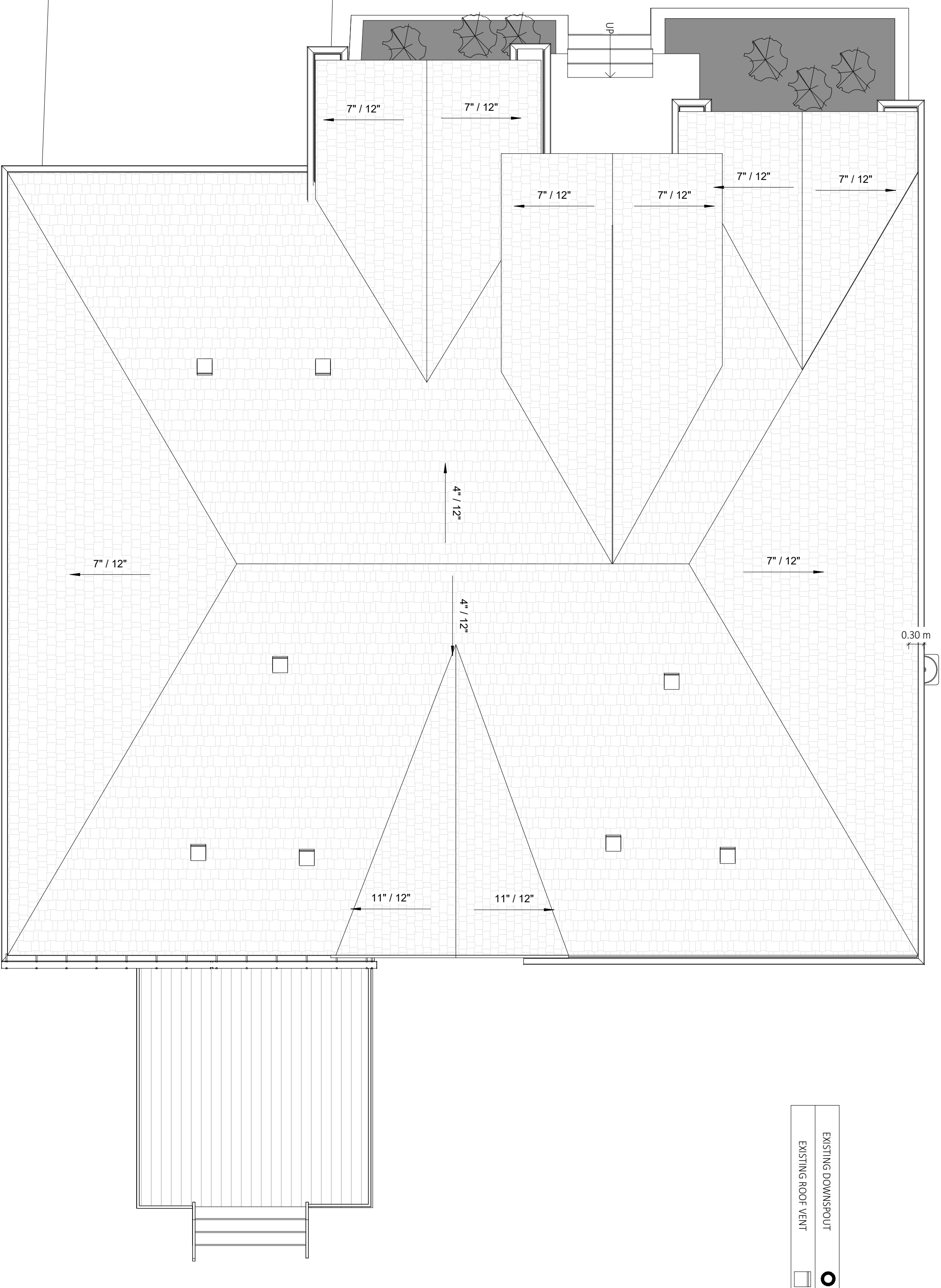
**SHEET NAME:**

**SITE PLAN EXISTING**

<b>DATE:</b>	<b>PROJECT NO.:</b>
<b>SCALE:</b> 1:150	<b>SHEET No.:</b>
<b>DESIGNER:</b> F.AHMADPOOR	<b>AO-03</b>
<b>CHECKER:</b> A.PIROOZ	

1 SITE - EXISTING  
 1 : 150

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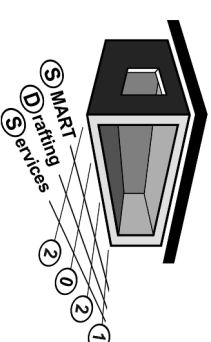


1 ROOF PEAK - EXISTING  
 3/16"=1'-0"

NO.	DATE	ISSUED FOR	APVD

REVISIONS

DESIGNER:



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CLIENT:

PROJECT NAME:

PROJECT ADDRESS:  
 160 Nevada Crescent, Maple, ON L6A 2V4

SHEET NAME:

ROOF EXIS. PLAN

DATE: PROJECT No.:

SCALE: 3/16" = 1'-0"


DESIGNER: F.AHMADIPPOOR SHEET No.:

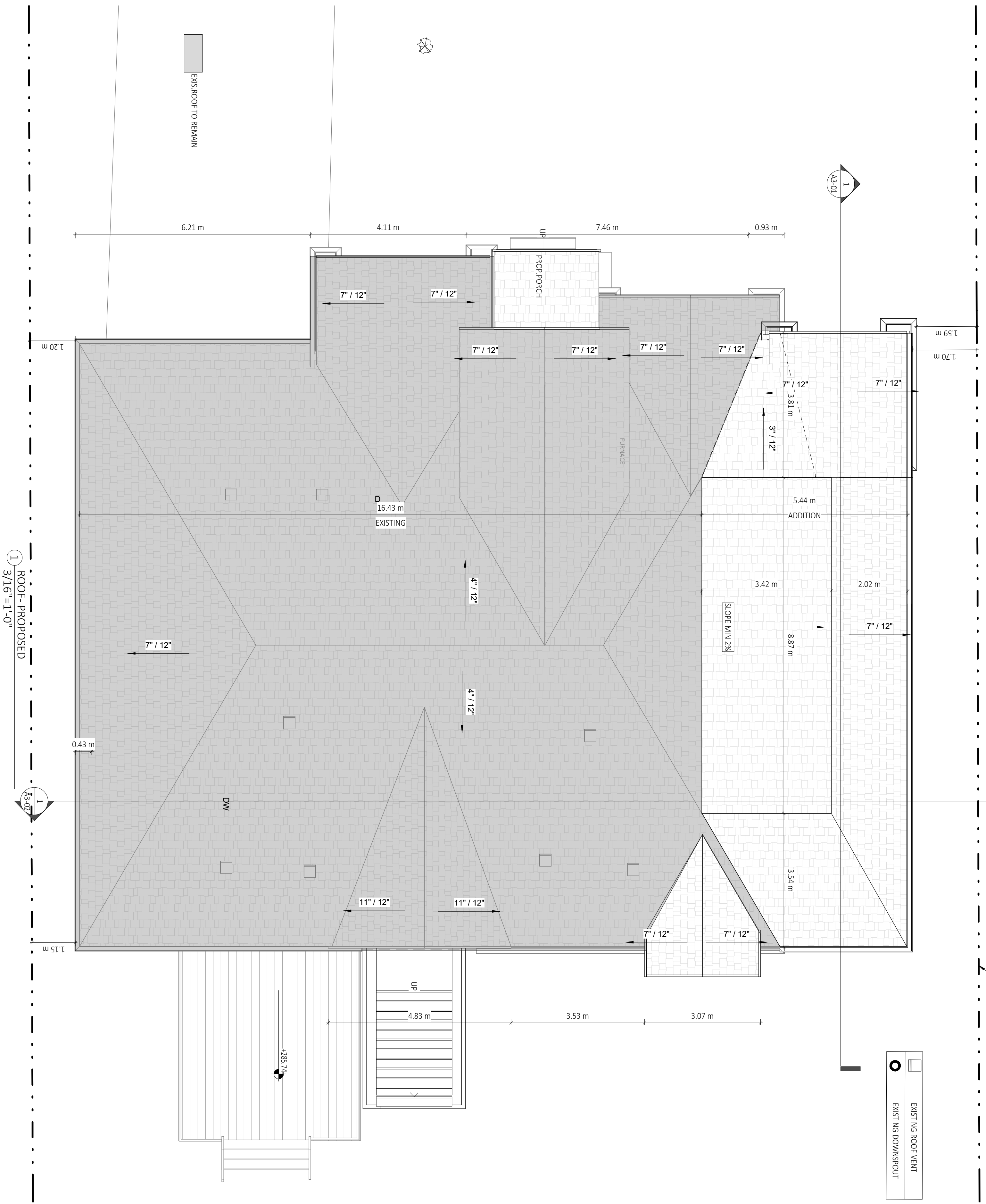
CHECKER: A.PIROOZ A1-03

LOT LINE

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	EXISTING ROOF VENT
	EXISTING DOWNSPOUT



EXS. ROOF TO REMAIN

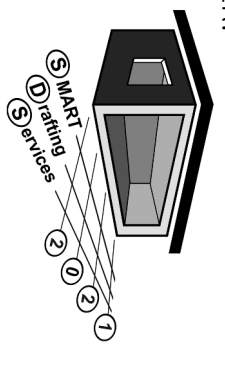
1 ROOF- PROPOSED  
3/16"=1'-0"

1  
A3-01

NO.	DATE	ISSUED FOR	APVD

REVISIONS

**DESIGNER:**



**CLIENT:**

7250 KEELE ST. UNIT 295, VAUGHAN, ON L4K 1Z8  
(+647) 877-6971, info@smartds.ca

**PROJECT NAME:**

**PROJECT ADDRESS:**

160 Nevada Crescent, Maple, ON L6A 2V4

**SHEET NAME:**

**ROOF PROP. PLAN**

**DATE:**

**SCALE:** 3/16" = 1'-0"

**DESIGNER:** F. AHMADIPPOOR

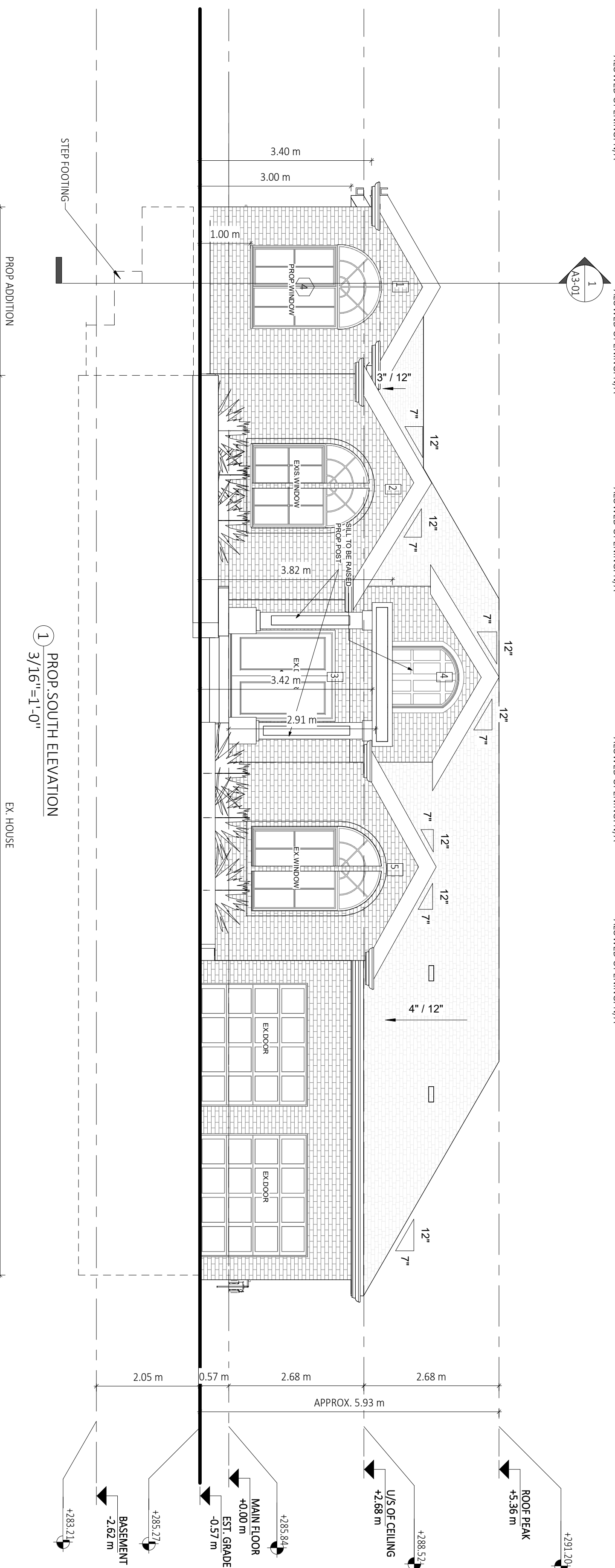
**CHECKER:** A. PIROOZ

**PROJECT No.:**

**SHEET No.:** A1-08

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- 1 BUILDING FACE: 11.44SM  
 OPENING: 2.44 SM (22.18 %)  
 LIMITING DISTANCE: 9.73 M  
 ALLOWED OPENING: N/A
- 2 BUILDING FACE: 15.77SM  
 OPENING: 3.68M (23.33 %)  
 LIMITING DISTANCE: 9.00M  
 ALLOWED OPENING: N/A
- 3 BUILDING FACE: 16.00SM  
 OPENING: 3.68M (23.33 %)  
 LIMITING DISTANCE: 9.00M  
 ALLOWED OPENING: N/A
- 4 BUILDING FACE: 16.00SM  
 OPENING: 3.68M (23.33 %)  
 LIMITING DISTANCE: 9.00M  
 ALLOWED OPENING: N/A
- 5 BUILDING FACE: 16.00SM  
 OPENING: 3.68M (23.33 %)  
 LIMITING DISTANCE: 9.00M  
 ALLOWED OPENING: N/A

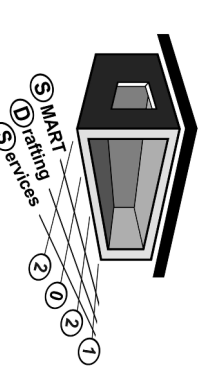


1 PROP SOUTH ELEVATION  
 3/16"=1'-0"

EX. HOUSE

NO.	DATE	ISSUED FOR	APVD
REVISIONS			

DESIGNER:



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CLIENT:

PROJECT NAME:

PROJECT ADDRESS:  
 160 Nevada Crescent, Maple, ON L6A 2V4

SHEET NAME:

WEST (FRONT) ELEVATION

DATE: PROJECT No.:

SCALE: 3/16" = 1'-0" SHEET No.:

DESIGNER: F. AHMADIPOOR

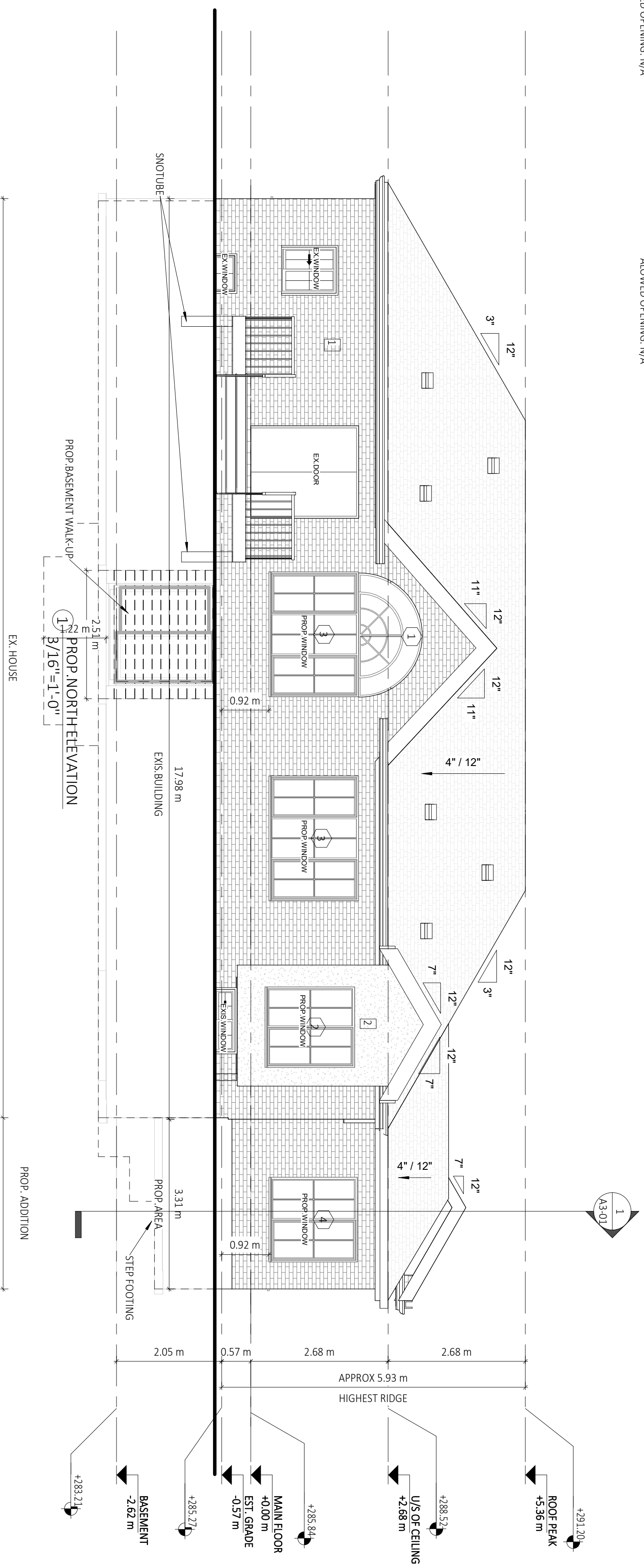
CHECKER: A.PIROOZ A2-01



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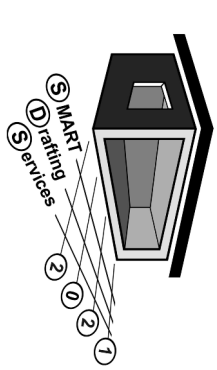
1 BUILDING FACE: 63.765M  
 OPENING: 18.37 SM (28.33 %)  
 LIMITING DISTANCE: 14.59 M  
 ALLOWED OPENING: N/A

1 BUILDING FACE: 9.225M  
 OPENING: 2.76 SM (28.33 %)  
 LIMITING DISTANCE: 15.20 M  
 ALLOWED OPENING: N/A



NO.	DATE	ISSUED FOR	APVD
REVISIONS			

DESIGNER:



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 (+647) 877-6971, info@smartds.ca

CLIENT:

PROJECT NAME:

PROJECT ADDRESS:  
 160 Nevada Crescent, Maple, ON L6A 2V4

SHEET NAME:

## EAST (REAR) ELEVATION

DATE: PROJECT No.:

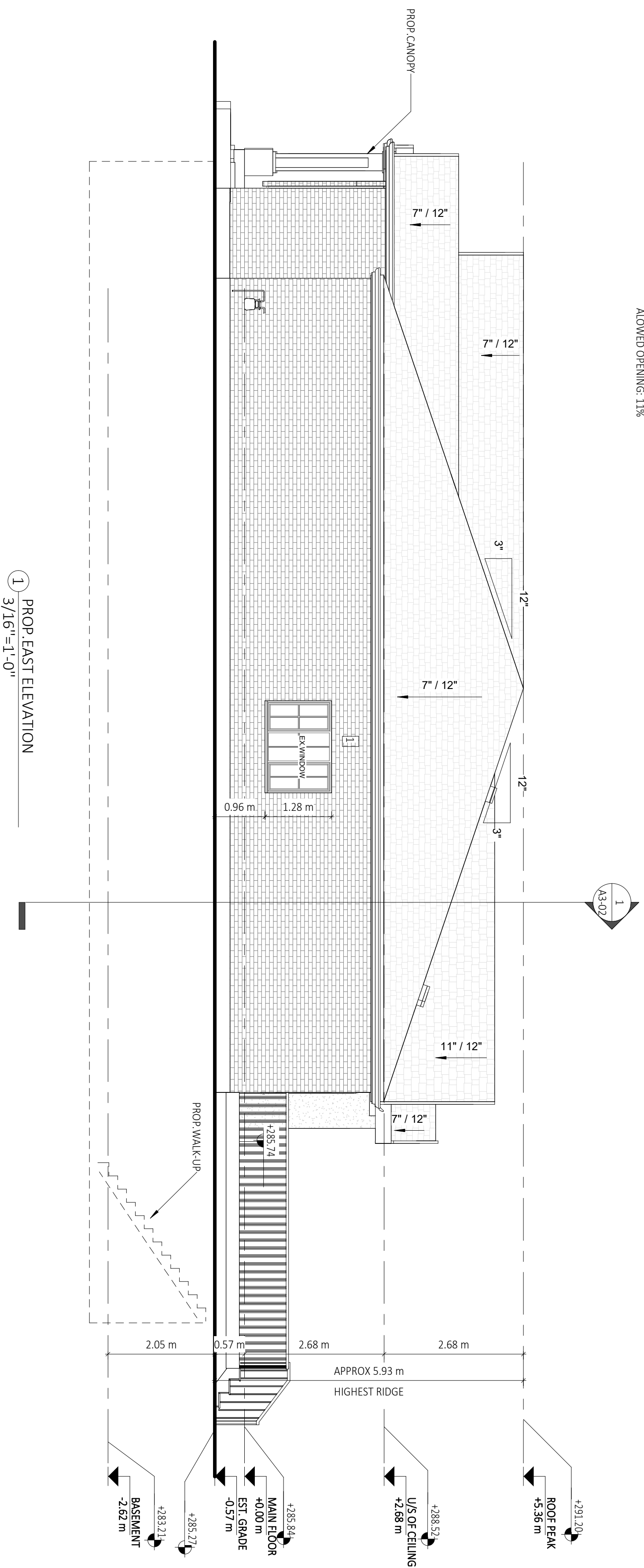
SCALE: 3/16" = 1'-0" SHEET No.:

DESIGNER: F.AHMADIPPOOR

CHECKER: A.PIROOZ A2-02

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1  
 BUILDING FACE: 44.44 SM  
 OPENING: 4.56 SM (10.20 %)  
 LIMITING DISTANCE: 1.62 M  
 ALLOWED OPENING: 11%



1 PROP EAST ELEVATION  
 3/16" = 1'-0"

PROJECT NAME:

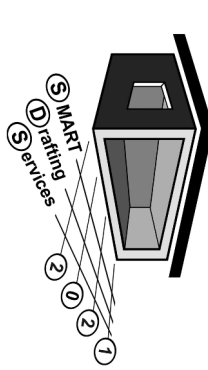
PROJECT ADDRESS:  
 160 Nevada Crescent, Maple, ON L6A 2V4

**EAST (RIGHT) ELEVATION**

DATE: PROJECT No.:  
 SCALE: 3/16" = 1'-0"  
 DESIGNER: F.AHMADIPPOOR SHEET No.:  
 CHECKER: A.PIROOZ A2-03

NO.	DATE	ISSUED FOR	APVD

DESIGNER:



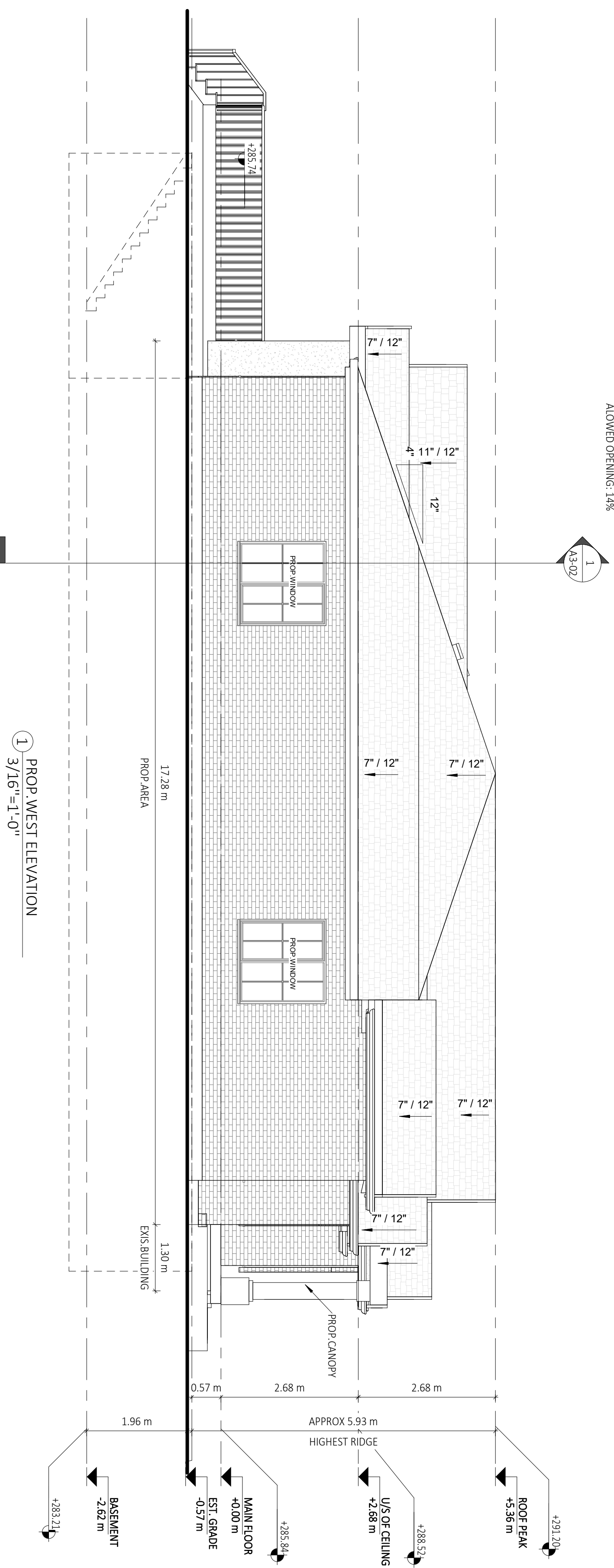
7250 KEELE ST. UNIT 295, VAUGHAN, ON L4K 1Z8  
 (+647) 877-6971, info@smartds.ca

CLIENT:

PROJECT NAME:

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1  
 BUILDING FACE: 46.82 SM  
 OPENING: 5.01 SM (10.00 %)  
 LIMITING DISTANCE: 2.13 M  
 ALLOWED OPENING: 14%



1  
 PROP. WEST ELEVATION  
 3/16"=1'-0"

PROJECT NAME:

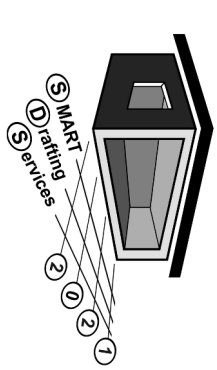
PROJECT ADDRESS:  
 160 Nevada Crescent, Maple, ON L6A 2V4

**NORTH (LEFT) ELEVATION**

DATE: PROJECT No.:  
 SCALE: 3/16" = 1'-0"  
 DESIGNER: F.AHMADIPPOOR SHEET No.:  
 CHECKER: A.PIROOZ A2-04

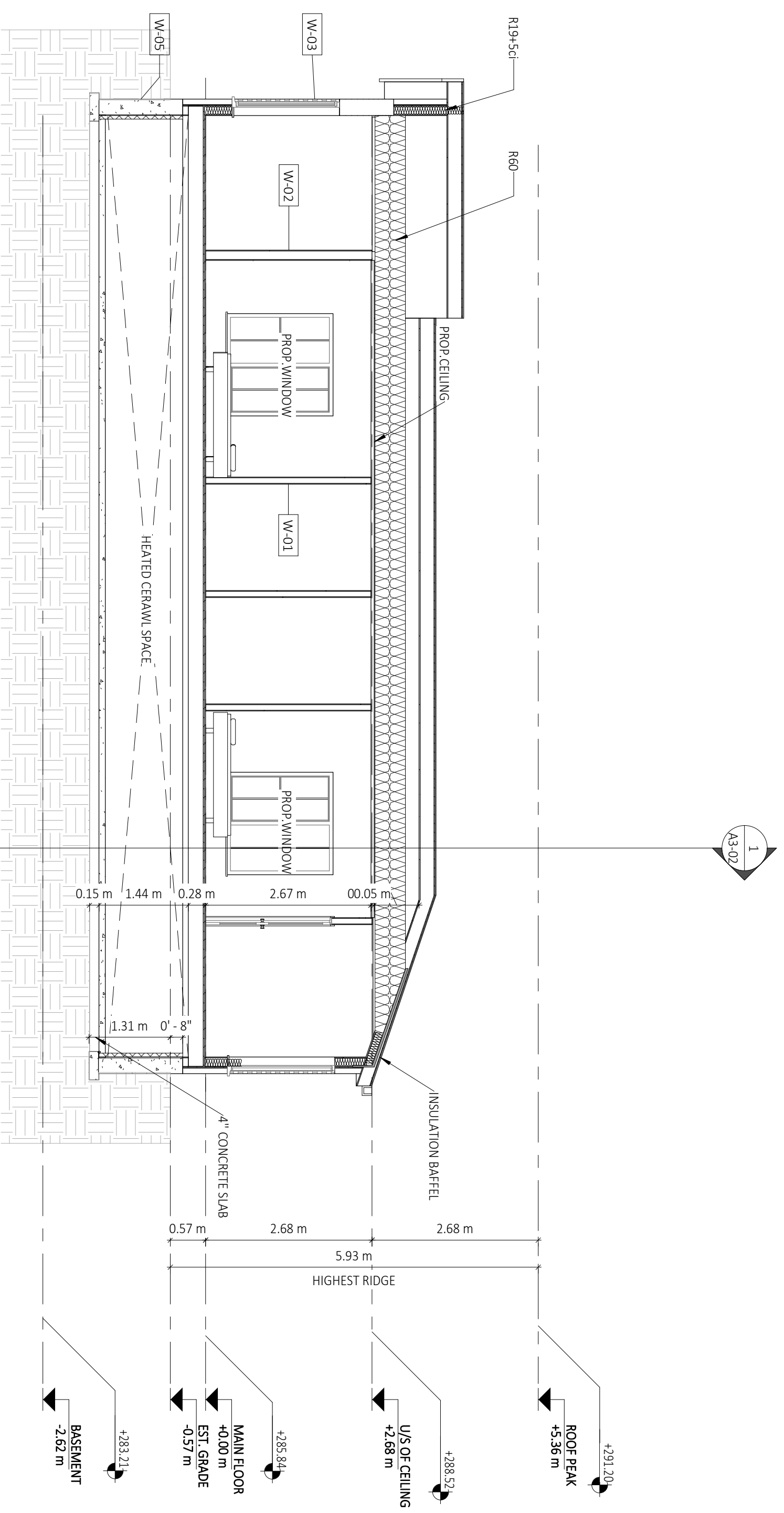
NO.	DATE	ISSUED FOR	APVD
REVISIONS			

DESIGNER:



CLIENT:  
 7250 KEELE ST. UNIT 295, VAUGHAN, ON L4K 1Z8  
 (+647) 877-6971, info@smatds.ca

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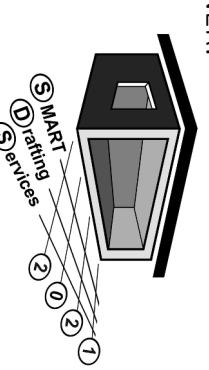


1 Section 3  
 3/16"=1'-0"

**PROJECT NAME:**  
**PROJECT ADDRESS:**  
 160 Nevada Crescent, Maple, ON L6A 2V4  
**SHEET NAME:**  
**SECTION 1**

**DATE:** PROJECT No.:  
**SCALE:** 3/16" = 1'-0"  
**DESIGNER:** F.AHMADIPPOOR SHEET No.:  
**CHECKER:** A.PIROOZ A3-01

**DESIGNER:**



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 (+647) 877-6971, info@smartds.ca

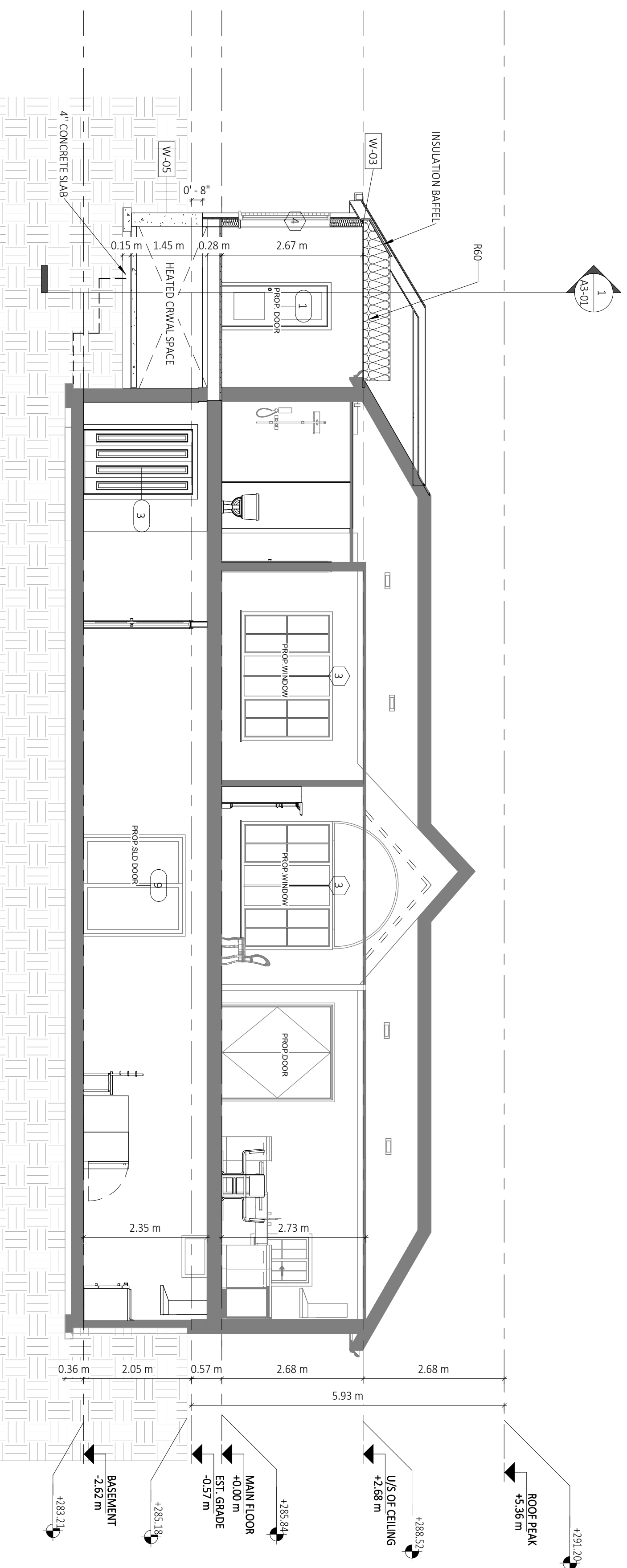
**CLIENT:**

NO.	DATE	ISSUED FOR	APVD

**PROJECT NAME:**  
**PROJECT ADDRESS:**  
 160 Nevada Crescent, Maple, ON L6A 2V4  
**SHEET NAME:**  
**SECTION 1**

**DATE:** PROJECT No.:  
**SCALE:** 3/16" = 1'-0"  
**DESIGNER:** F.AHMADIPPOOR SHEET No.:  
**CHECKER:** A.PIROOZ A3-01

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① Section 4  
 3/16"=1'-0"

PROJECT NAME:

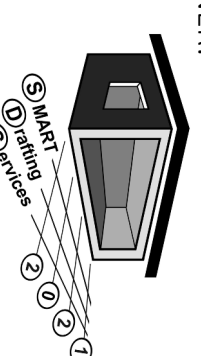
PROJECT ADDRESS:  
 160 Nevada Crescent, Maple, ON L6A 2V4

SECTION 2

DATE: PROJECT No.:  
 SCALE: 3/16" = 1'-0"  
 DESIGNER: F.AHMADIPPOOR SHEET No.:  
 CHECKER: A.PIROOZ A3-02

NO.	DATE	ISSUED FOR	APVD
REVISIONS			

DESIGNER:



CLIENT:  
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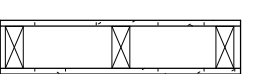
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Window Schedule			
Type	Height	Sill Height	Width
1	3'-11"	6'-11"	7'-1 1/2"
2	5'-9"	0'-11"	5'-2"
3	5'-9"	1'-2"	8'-0"
3	5'-9"	1'-2"	8'-0"
4	5'-8"	1'-2"	5'-5"
4	5'-8"	1'-5"	5'-5"
4	5'-8"	1'-1"	5'-5"
4	5'-8"	1'-1"	5'-5"
30	1'-3	6'-3	4'-0"
	1/2"	1/2"	
106	3'-11"	6'-3	5'-11"
	1/2"	1/2"	
106	3'-11"	7'-1"	5'-11"

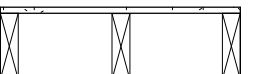
Door Schedule			
Type	Height	Width	Phase Created
1	6'-7"	2'-6"	PROPOSED
1	6'-7"	2'-6"	PROPOSED
1	6'-7"	2'-6"	PROPOSED
1	6'-7"	2'-6"	PROPOSED
1	6'-7"	2'-6"	PROPOSED
2	6'-7"	2'-2"	PROPOSED
2	6'-7"	2'-2"	PROPOSED
2	6'-7"	2'-2"	PROPOSED
2	6'-7"	2'-2"	PROPOSED
2	6'-7"	2'-2"	PROPOSED
2	6'-7"	2'-2"	PROPOSED
3	6'-8"	4'-0"	PROPOSED
4	6'-7"	2'-4"	PROPOSED
4	6'-7"	2'-4"	PROPOSED
4	6'-7"	2'-4"	PROPOSED
5	6'-7"	2'-8"	PROPOSED
5	6'-7"	2'-8"	PROPOSED
5	6'-7"	2'-8"	PROPOSED
7	6'-8"	4'-6"	PROPOSED
9	6'-2"	6'-0"	PROPOSED
9	0'-0"	0'-0"	PROPOSED
39	6'-11"	3'-0"	PROPOSED
97	0'-0"	0'-0"	PROPOSED

**WALL LEGEND**

**INTERIOR WALL**

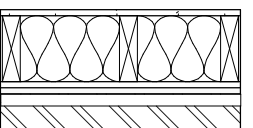


- W-01 2x4 STUD PARTITION
- 1/2" GYPSUM WALL BOARD
- 2"x4" @ 16" O.C WOOD STUDS
- 1/2" GYPSUM WALL BOARD

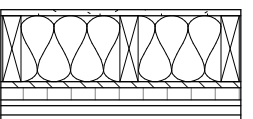


- W-02 2x6 STUD PARTITION
- 1/2" GYPSUM WALL BOARD
- 2"x6" @ 16" O.C WOOD STUDS
- 1/2" GYPSUM WALL BOARD

**EXTERIOR WALLS**



- W-03 2x6 BRICK VENEER WALL
- 3/4" BRICK VENEER
- 1" AIR GAP
- 1" RIGID INSULATION
- 1/2" PLYWOOD+SHEATING
- 5% BATT INSULATION
- 2"x6" @ 16" O.C SFR STUDS /W MIN SPECIFIED R VALUE
- 1/2" GYPSUM WALL BOARD

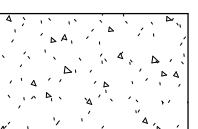


- W-03 2x6 STUCCO WALL (ADDITION)
- STUCCO FINISH COAT (STANDARD COLOURED CEMENT OR TEXTURED ACRYLICS)
- 1/2" BROWN COAT (2ND BASE COAT)
- 1/4" SCRATCH COAT (1ST BASE COAT)
- STUCCO REINFORCING (SELF-FURRING WELDED MESH OR FULLY PRIMED OR GALVANIZED WOVEN MESH) FASTENED WITH GALVANIZED NAIL (1/8" DIAMETER AND 7/16" HEAD) SPACED @ 6" VERTICALLY AND 16" HORIZONTALLY.
- SHEATHING MEMBRANE (TAR-IMPREGNATED FELTS OR PAPER)
- CONTINUE 1" RIGID INSULATION, RS
- 1/2" PLYWOOD
- 2"x6" @ 16" O.C SFR STUDS /W R19 BATT INSULATION
- 1/2" POLYETHYLENE VAPOUR BARRIER
- 1/2" GYPSUM WALL BOARD

**WALL LEGEND**

3/4" = 1'-0"

**FOUNDATION WALL**



- W-05 10" CONCRETE, POURED
- 10" POURED CONCRETE

**PROJECT ADDRESS:**  
 160 Nevada Crescent, Maple, ON L6A 2V4

**SHEET NAME:**  
**SCHEDULES & LEGEND**

**DATE:** PROJECT No.:  
**SCALE:** 3/4" = 1'-0"

**DESIGNER:** F. AHMADIPPOOR **SHEET No.:**  
**CHECKER:** A.PIROOZ **A3-03**

**DESIGNER:**

No.	DATE	ISSUED FOR	APVD

**REVISIONS**

**CLIENT:**

7250 KEELE ST. UNIT 295, VAUGHAN, ON L4K 1Z8  
 (+647) 877-6971, info@smartds.ca

**PROJECT NAME:**

**PROJECT ADDRESS:**  
 160 Nevada Crescent, Maple, ON L6A 2V4

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 1- THESE DRAWINGS ARE COPYRIGHT AND THE PROPERTY OF SMART DRAFTING SERVICES.  
 2- THE DRAWINGS MAY NOT BE USED FOR CONSTRUCTION UNLESS SEALED AND SIGNED BY ENGINEER AND OBTAINED PERMISSION BY THE AUTHORITIES.  
 3- DO NOT SCALE THESE DRAWINGS.  
 4- ANY ERROR OR DISCREPANCY IS TO BE REPORTED IMMEDIATELY TO ENGINEER.  
 5- ANY MODIFICATION WITHOUT PERMISSION OF ENGINEER, SHALL VOID ENGINEER'S RESPONSIBILITY.



① 3D - 1

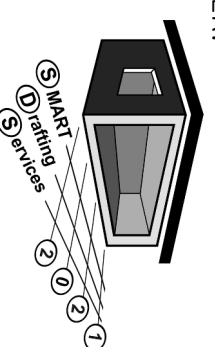


② 3D-2

No.	DATE	ISSUED FOR	APVD

**REVISIONS**

**DESIGNER:**



7250 KEELE ST. UNIT 295, VAUGHAN, ON L4K 1Z8  
 (+647) 877-6971, info@smartds.ca

**CLIENT:**

**PROJECT NAME:**

**PROJECT ADDRESS:**  
 160 Nevada Crescent, Maple, ON L6A 2V4

**SHEET NAME:**

**PERSPECTIVE**

<b>DATE:</b>	<b>PROJECT No.:</b>
<b>SCALE:</b>	<b>SHEET No.:</b>
<b>DESIGNER: F.AHMADPOOR</b>	<b>A4-01</b>
<b>CHECKER: A.PIROOZ</b>	

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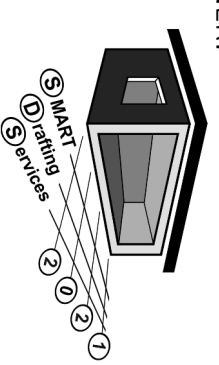


② 3D - 4

No.	DATE	ISSUED FOR	APVD

**REVISIONS**

**DESIGNER:**



7250 KEELE ST. UNIT 295, VAUGHAN, ON L4K 1Z8  
 (+647) 877-6971, info@smartds.ca

**CLIENT:**

**PROJECT NAME:**

**PROJECT ADDRESS:**  
 160 Nevada Crescent, Maple, ON L6A 2V4

**SHEET NAME:**

**PERSPECTIVE2**

**DATE:** PROJECT No.:

**SCALE:** SHEET No.:

**DESIGNER:** F.AHMADPOOR

**CHECKER:** A.PIROOZ **A4-02**



<b>SCHEDULE B: DEVELOPMENT PLANNING &amp; AGENCY COMMENTS</b>				
<b>AGENCIES</b>	<b>Circulated</b>	<b>Comments Received</b>	<b>Conditions</b>	<b>Nature of Comments</b>
Development Planning	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	Recommend Approval/No Conditions
TRCA	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	No Comments or Concerns
Ministry of Transportation (MTO)	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Region of York	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	No Comments or Concerns
Alectra	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	No Comments or Concerns
Bell Canada	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	No Comments Recieved to Date
YRDSB	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
YCDSB	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
CN Rail	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
CP Rail	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
TransCanada Pipeline	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Metrolinx	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Propane Operator	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	

**To:** Christine Vigneault, Committee of Adjustment Secretary Treasurer

**From:** Nancy Tuckett, Director of Development Planning

**Date:** February 10, 2022

**Name of Owner:** Adrian Gajadhar & Harini De Silva

**Location:** 160 Nevada Crescent

**File No.(s):** A263/21

---

**Proposed Variance(s) (By-law 01-2021):**

- 1) To permit a maximum lot coverage of 34%.
- 2) To permit a minimum rear yard setback of 1.2 m.

**By-Law Requirement(s) (By-law 01-2021):**

- 1) The maximum permitted lot coverage is 28%. [Exception 14.627]
- 2) The minimum required rear yard setback for a pool is 1.5 m. [Section 4.21.3]

**Proposed Variance(s) (By-law 1-88):**

- 3) To permit a maximum lot coverage of 34%.
- 4) To permit a minimum rear yard setback of 1.2 m.

**By-law Requirement(s) (By-law 1-88):**

- 3) The maximum permitted lot coverage is 28%. [Exception 9 (949) ai]
- 4) The minimum required rear yard setback for a pool is 1.5 m. [Section 4.1.1 i)]

**Official Plan:**

Vaughan Official Plan 2010 ("VOP2010"): "Low-Rise Residential"

**Comments:**

The Owners are requesting permission to construct a covered porch, pool and additions to an existing single storey dwelling with the above noted variances.

The Development Planning Department has no objection to the variances, as the proposal remains compatible and consistent with the surrounding dwellings in the area. The additions comply with the setback provisions under both By-laws and the lot coverage increase of 4% is minor and includes 1% lot coverage towards an unenclosed covered porch. The 1.2 m setback to the proposed pool provides appropriate access around the pool.

The Development Planning Department is of the opinion that the requested variances are minor in nature, maintain the general intent and purpose of the Official Plan and Zoning By-law, and are desirable for the appropriate development of the land.

**Recommendation:**

The Development Planning Department recommends approval of the application.

**Conditions of Approval:**

If the Committee finds merit in the application, the following condition of approval is recommended:

None

**Comments Prepared by:**

Roberto Simbana, Planner I  
Chris Cosentino, Senior Planner

**Date:** January 12<sup>th</sup> , 2022  
**Attention:** **Christine Vigneault**  
**RE:** Request for Comments

**File No.:** **A263-21**

**Related Files:**

**Applicant:** Adrian Gajadhar and Harini De Silv

**Location** 160 Nevada Crescent

**COMMENTS:**

- We have reviewed the proposed Variance Application and have no comments or objections to its approval.
- We have reviewed the proposed Variance Application and have no objections to its approval, subject to the following comments (attached below).
- We have reviewed the proposed Variance Application and have the following concerns (attached below).

Alectra Utilities (formerly PowerStream) has received and reviewed the proposed Variance Application. This review, however, does not imply any approval of the project or plan.

All proposed billboards, signs, and other structures associated with the project or plan must maintain minimum clearances to the existing overhead or underground electrical distribution system as specified by the applicable standards, codes and acts referenced.

In the event that construction commences, and the clearance between any component of the work/structure and the adjacent existing overhead and underground electrical distribution system violates the Occupational Health and Safety Act, the customer will be responsible for 100% of the costs associated with Alectra making the work area safe. All construction work will be required to stop until the safe limits of approach can be established.

In the event construction is completed, and the clearance between the constructed structure and the adjacent existing overhead and underground electrical distribution system violates the any of applicable standards, acts or codes referenced, the customer will be responsible for 100% of Alectra's cost for any relocation work.

**References:**

- Ontario Electrical Safety Code, latest edition (Clearance of Conductors from Buildings)
- Ontario Health and Safety Act, latest edition (Construction Protection)
- Ontario Building Code, latest edition (Clearance to Buildings)
- PowerStream(Construction Standard 03-1, 03-4, 03-9), attached
- Canadian Standards Association, latest edition (Basic Clearances)

If more information is required, please contact either of the following:

Mr. Stephen Cranley, C.E.T  
Supervisor, Distribution Design, ICI & Layouts (North)  
**Phone:** 1-877-963-6900 ext. 31297

Mr. Tony D'Onofrio  
Supervisor, Subdivisions (Alectra East)  
**Phone:** 1-877-963-6900 ext. 24419

**E-mail:** [stephen.cranley@alectrautilities.com](mailto:stephen.cranley@alectrautilities.com)

**Email:** [tony.donofrio@alectrautilities.com](mailto:tony.donofrio@alectrautilities.com)

## Pravina Attwala

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**Subject:** FW: [External] RE: A263/21 (160 NEVADA CRESCENT) - REQUEST FOR COMMENTS

---

**From:** Hurst, Gabrielle <Gabrielle.Hurst@york.ca>

**Sent:** January-14-22 9:55 AM

**To:** Pravina Attwala <Pravina.Attwala@vaughan.ca>

**Cc:** Committee of Adjustment <CofA@vaughan.ca>

**Subject:** [External] RE: A263/21 (160 NEVADA CRESCENT) - REQUEST FOR COMMENTS

Good morning Pravina,

The Regional Municipality of York has completed its review of the above minor variance and has no comment.

*Gabrielle*

**Gabrielle Hurst mcip rpp** | Community Planning and Development Services | The Regional Municipality of York | 1-877  
464 9675 ext 71538 | [gabrielle.hurst@york.ca](mailto:gabrielle.hurst@york.ca) | [www.york.ca](http://www.york.ca)

## Pravina Attwala

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**Subject:** FW: [External] RE: A263/21 (160 NEVADA CRESCENT) - REQUEST FOR COMMENTS

---

**From:** York Plan <yorkplan@trca.ca>

**Sent:** January-13-22 2:56 PM

**To:** Pravina Attwala <Pravina.Attwala@vaughan.ca>

**Cc:** Hamedeh Razavi <Hamedeh.Razavi@trca.ca>

**Subject:** [External] RE: A263/21 (160 NEVADA CRESCENT) - REQUEST FOR COMMENTS

TRCA wishes to confirm that it has **no interests or concerns with the above noted application.**

Based on a review of our available mapping, the subject property is not within TRCA's Regulated Area. As such, a permit from TRCA pursuant to Ontario Regulation 166/06 would not be required for any development or site alteration on the property.

Although the site is located within the Well Head Protection Area for Quantity control (WHPA-Q2) per the Source Protection Plan, no water balance would be required recognizing this requirement would have been addressed through the subdivision approvals process.

Should further clarification be required, please contact me at your convenience.

Have a great day,  
Mark

**Mark Howard, BES, MLA, MCIP, RPP**

Senior Planner – Vaughan Review Area

Development Planning and Permits | Development and Engineering Services

Toronto and Region Conservation Authority (TRCA)

T: [\(416\) 661-6600](tel:4166616600) ext 5269

E: [mark.howard@trca.ca](mailto:mark.howard@trca.ca)

A: [101 Exchange Avenue, Vaughan, ON, L4K 5R6](https://www.trca.ca) | [trca.ca](https://www.trca.ca)



**SCHEDULE C: PUBLIC & APPLICANT CORRESPONDENCE**

<b>Correspondence Type</b>	<b>Name</b>	<b>Address</b>	<b>Date Received (mm/dd/yyyy)</b>	<b>Summary</b>
Public	Parham Parnian & Neda Zamanian	170 Nevada Crescent	02/02/2022	Letter of Opposition
Public	Parham Parnian & Neda Zamanian	170 Nevada Crescent	01/13/2022	Letter of Opposition

OBJECTION LETTER

To: City Of Vaughan Committee of Adjustment  
Mackenzie Drive

2141 Major  
Vaughan, Ontario  
Canada L6A 1T1  
(905) 832-2281

Date: Feb 2, 2022

File No.(s): A263/21

Regarding Notice of Hearing for Location: PLAN 65M3201 Lot 126 municipally known as 160 Nevada Cres.,Maple

Zoning Classification:The subject lands are zoned R1A(EN) - Estate Residential Zone (Established Neighbourhood) and subject to the provisions of Exception 14.627 under Zoning By-law 01-2021.

Dear Madam/Sir

We are the Property owners of 170 Nevada Cres.,Maple,On,adjacent to the property at 160 Nevada Cres.,Maple,On for which the hearing is being held.

According to Zoning By-law 01-2021,the maximum permitted lot coverage is 28 %. This application has requested to permit a maximum lot coverage of 34% and the enlargement is visible to our property.

(Please note that increasing from 28% to 34% is increasing more than 20% of the total coverage toward our property).

We do not agree with the Zoning By-law 01-2021 Variance requested in this application.

Regards,

Parham Parnian,  
Neda Zamanian,

Owners of 170 Nevada Cres., Maple, On, L6A 2V4



OBJECTION LETTER

To: City Of Vaughan Committee of Adjustment  
Mackenzie Drive

2141 Major  
Vaughan, Ontario  
Canada L6A 1T1  
(905) 832-2281

Date: January 13, 2022

File No.(s): A263/21

Regarding Notice of Hearing for Location: PLAN 65M3201 Lot 126 municipally known as  
160 Nevada  
Crescent

Zoning Classification: The subject lands are zoned R1A(EN) - Estate Residential Zone  
(Established  
Neighbourhood) and subject to the provisions of Exception 14.627 under Zoning By-law  
01-2021.

Dear Madam/Sir

We are the Property owners of 170 Nevada Cres., Maple, On, adjacent to the property at  
160 Nevada Cres., Maple, On for which the hearing is being held.

According to Zoning By-law 01-2021, the maximum permitted lot coverage is 28 %.  
This application has requested to permit a maximum lot coverage of 34% and the  
enlargement is visible to our property.

We do not agree with the Zoning By-law 01-2021 Variance requested in this  
application.

Regards,

Parham Parnian,  
Neda Zamanian,

Owners of 170 Nevada Cres., Maple, On, L6A 2V4

