



**COMMITTEE OF ADJUSTMENT
REPORT SUMMARY
MINOR VARIANCE APPLICATION
FILE NUMBER A244/21**

AGENDA ITEM NUMBER: 2	CITY WARD #: 1
APPLICANT:	2790355 Ontario Inc.
AGENT:	SMPL Design Studio
PROPERTY:	31 Old Forest Ln Vaughan
ZONING DESIGNATION:	See below.
VAUGHAN OFFICIAL PLAN (2010) DESIGNATION:	Vaughan Official Plan 2010 ("VOP 2010"): "Agricultural" and "Natural Areas" (Schedule 13) within the "Greenbelt Natural Heritage System" (Schedule 4)
RELATED DEVELOPMENT APPLICATIONS: <small>*May include related applications for minor variance, consent, site plan, zoning amendments etc.</small>	None
PURPOSE OF APPLICATION:	Relief from the City's Zoning By-law is being requested to permit the construction of a proposed single family dwelling.

THIS REPORT CONTAINS COMMENTS FROM THE FOLLOWING DEPARTMENTS & AGENCIES:

*Please see **Schedule B** of this report for a copy of Development Planning and Agency correspondence.
Additional comments from departments and agencies may be received after the publication of the Staff Report. These comments will be processed as an addendum and posted on the City's Website.

DEPARTMENTS	Circulated	Comments Received	Conditions	Nature of Comments
Committee of Adjustment	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	General Comments
Building Standards (Zoning Review)	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	General Comments
Building Inspection (Septic)	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	No Comments Recieved to Date
Development Planning	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	Recommend Approval w/Conditions
Development Engineering	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	Recommend Approval w/Conditions
Parks, Forestry and Horticulture Operations	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	No Comments Recieved to Date
By-law & Compliance, Licensing & Permits	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	No Comments or Concerns
Development Finance	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	No Comments or Concerns
Real Estate	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Fire Department	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	No Comments or Concerns
AGENCIES	Circulated	Comments Received	Conditions	Nature of Comments
TRCA	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	Recommend Approval w/Conditions
Ministry of Transportation (MTO)	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Region of York	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	No Comments or Concerns
Alectra	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	No Comments or Concerns
Bell Canada	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
YRDSB	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
YCDSB	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
CN Rail	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
CP Rail	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
TransCanada Pipeline	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Metrolinx	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Propane Operator	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	

PUBLIC & APPLICANT CORRESPONDENCE

*Please see **Schedule C** of this report for a copy of the public & applicant correspondence listed below.

The deadline to submit public comments is **noon on the last business day prior to the scheduled hearing date.**

Comments and written public submissions received after the publication of this Staff Report will be processed as an addendum and posted on the City’s Website.

All personal information collected because of this public meeting (including both written and oral submissions) is collected under the authority of the Municipal Act, the Municipal Freedom of Information and Protection of Privacy Act (MFIPPA), the Planning Act and all other relevant legislation, and will be used to assist in deciding on this matter. All personal information (as defined by MFIPPA), including (but not limited to) names, addresses, opinions and comments collected will become property of the City of Vaughan, will be made available for public disclosure (including being posted on the internet) and will be used to assist the Committee of Adjustment and staff to process this application.

Correspondence Type	Name	Address	Date Received (mm/dd/yyyy)	Summary
None				

PREVIOUS COA DECISIONS ON THE SUBJECT LAND

*Please see **Schedule D** for a copy of the Decisions listed below

File Number	Date of Decision MM/DD/YYYY	Decision Outcome
None		

ADJOURNMENT HISTORY

* Previous hearing dates where this application was adjourned by the Committee and public notice issued.

None	
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A244/21**

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RELATED DEVELOPMENT APPLICATIONS:	None
PURPOSE OF APPLICATION:	Relief from the City's Zoning By-law is being requested to permit the construction of a proposed single family dwelling.

The following variances have been requested from the City's Zoning By-law:

The subject lands are zoned RE(EN) – Estate Residential Zone (Established Neighbourhood) and subject to the provisions of Exception 14.385 under Zoning By-law 01-2021.

#	Zoning By-law 01-2021	Variance requested
1	The minimum front yard setback is 15.0m. Section 7.2.2 Table7-3	To permit a front yard setback of 4.4metres.

The subject lands are zoned RR – Rural Residential and subject to the provisions of Exception 9(640) under Zoning By-law 1-88, as amended.

#	Zoning By-law 1-88	Variance requested
2	The minimum front yard setback is 15.0 metres. (Schedule A)	To permit a front yard setback of 4.4metres.
3	The maximum lot coverage is 10% or 503.1m2. (Schedule A)	To permit a lot coverage of 10.10%. (508.2m2) (9.33% dwelling; 0.77% patio)

PLEASE SEE REVERSE FOR LOCATION MAP OF THE SUBJECT

HEARING INFORMATION	
DATE & TIME OF HEARING:	Thursday, February 10, 2022 at 6:00 p.m.
As a result of COVID-19, Vaughan City Hall and all other City facilities are closed to the public at this time.	
PUBLIC PARTICIPATION	
You can watch a live stream of the hearing at Vaughan.ca/LiveCouncil	
If you wish to speak to the Committee of Adjustment on an application please complete and submit a Public Deputation Form to cofa@vaughan.ca by noon on the last business day prior to the hearing.	
Any person who supports or opposes this application, but is unable to attend the hearing, may make a written submission, together with reasons for support or opposition. Written submissions on an Application must be submitted by noon on the last business day prior to the day of the scheduled hearing. Written submissions can be emailed to cofa@vaughan.ca	
For more information, please visit the City of Vaughan website.	

INTRODUCTION

Staff and Agencies act as advisory bodies to the Committee of Adjustment. The comments contained in this report are presented as recommendations to the Committee.

Section 45(1) of the Planning Act sets the criteria for authorizing minor variances to the City of Vaughan's Zoning By-law. Accordingly, review of the application may consider the following:

That the general intent and purpose of the by-law will be maintained.

That the general intent and purpose of the official plan will be maintained.

That the requested variance(s) is/are acceptable for the appropriate development of the subject lands.

That the requested variance(s) is/are minor in nature.

Public written and oral submissions relating to this application are taken into consideration by the Committee of Adjustment as part of its deliberations and final decision on this matter.

COMMITTEE OF ADJUSTMENT COMMENTS

Date Public Notice Mailed:	January 26, 2022	
Date Applicant Confirmed Posting of Sign:	January 26, 2022	
Applicant Justification for Variances: <small>*As provided by Applicant in Application Form</small>	<p>The curved shape of the irregular configuration of the lot prevents us from complying with the minimum front yard setback at the north corner of the lot.</p> <p>The house is positioned on the lot to provide adequate space for private septic in the rear while preserving as many trees as possible.</p> <p>The proposed 10.1% provides the desirable size for the proposed dwelling, including the cantilivered living spaces and is a very minor increase to the allowable.</p>	
Adjournment Requests (from staff): <small>*Adjournment requests provided to applicant prior to issuance of public notice</small>	None	
Was a Zoning Review Waiver (ZRW) Form submitted by Applicant:	No	
<p>*ZRW Form may be used by applicant in instances where a revised submission is made, and zoning staff do not have an opportunity to review and confirm variances prior to the issuance of public notice.</p> <p>*A revised submission may be required to address staff / agency comments received as part of the application review process.</p> <p>*Where a zoning review has not been completed on a revised submission, an opportunity is provided to the applicant to adjourn the proposal prior to the issuance of public notice.</p>		
<p>Adjournment Fees: In accordance with Procedural By-law 069-2019, an Adjournment Fee is applicable to reschedule an application after the issuance of public notice where a request for adjournment has been provided to the applicant prior to the issuance of public notice.</p> <p>An Adjournment Fee can only be waived in instances where adjournment of an application is requested by the Committee or staff after the issuance of public notice.</p>		
Committee of Adjustment Comments:	None	
Committee of Adjustment Recommended Conditions of Approval:	None	

BUILDING STANDARDS (ZONING) COMMENTS

The applicant shall be advised that additional variances may be required upon review of detailed drawing for building permit/site plan approval.

The subject lands may be subject to Ontario Regulation 166/06 (TRCA - Toronto and Region Conservation Authority).

Building Standards Recommended Conditions of Approval:	None
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DEVELOPMENT PLANNING COMMENTS

**See Schedule C for Development Planning Comments.

Development Planning Recommended Conditions of Approval:	That a revised Arborist Report and Species at Risk Assessment be submitted to the satisfaction of Policy Planning and Special Programs Department.
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DEVELOPMENT ENGINEERING COMMENTS

The Development Engineering (DE) Department does not object to variance application A244/21

As the proposed dwelling in the subject property is 343.76 m², the owner/ applicant needs to obtain a lot grading permit from Development Inspection and Lot Grading division of the City's Development Engineering Department. Please note any in ground structure over 10 m² requires a grading permit. Please contact COA application engineering reviewer after receiving the grading permit to clear the condition. (Condition #1 attached)

As the subdivision is not assumed yet, the owner/applicant needs to provide Development Engineering Department with an acknowledgement/ approval letter/email from the developer/builder saying they are aware of the work taking place in the subject property and have no objection, to clear the condition #2.

The owner/applicant shall apply and obtain the necessary curb cut/ reinstating permit through the Transportation and Fleet Management Services. Please visit https://www.vaughan.ca/services/residential/transportation/roads/curb_cuts_and_driveway_widening/Pages/default.aspx to learn how to apply for the curb cut/ reinstating permit.

The Owner/applicant shall apply for a pool permit with the Development Engineering (DE) Department. Please visit or contact the Development Engineering Department through email at DEPermits@vaughan.ca or visit https://www.vaughan.ca/services/residential/dev_eng/permits/Pages/default.aspx to learn how to apply for the pool permit.

Development Engineering Recommended Conditions of Approval:

1. The Owner/applicant shall submit the revised Lot Grading and/or Servicing Plan to the Development Inspection and Lot Grading division of the City's Development Engineering Department for final lot grading and/or servicing approval prior to any work being undertaken on the property. Please visit or contact the Development Engineering Department through email at DEPermits@vaughan.ca or visit https://www.vaughan.ca/services/residential/dev_eng/permits/Pages/default.aspx to learn how to apply for lot grading and/or servicing approval.
2. Staff have confirmed that the property is located within an unassumed subdivision. The Owner/applicant shall provide satisfactory notification to the developer/builder about the proposed work to the subject property and provide a copy of the acknowledgement letter/email from the developer/builder to the City's Development Engineering Department.

PARKS, FORESTRY & HORTICULTURE (PFH) COMMENTS

No comments received to date

PFH Recommended Conditions of Approval:

None

DEVELOPMENT FINANCE COMMENTS

That the payment of the City Development Charge is payable to the City of Vaughan prior to issuance of a building permit in accordance with the Development Charges Act and City-wide Development Charge By-law in effect at time of payment.

That the payment of Region of York Development Charge is payable to the City of Vaughan prior to issuance of a building permit in accordance with the Development Charges Act and Regional Development Charges By-laws in effect at time of payment.

That the payment of Education Development Charge is payable to the City of Vaughan prior to issuance of a building permit in accordance with the Education Act and York Region District School Board and York Catholic District School Board Development Charges By-laws in effect at time of payment

That the payment of applicable Area Specific Development Charges are payable to the City of Vaughan prior to issuance of a building permit in accordance with the Development Charges Act and Area Specific Development Charge By-laws in effect at time of payment.

Development Finance Recommended Conditions of Approval:

None

BY-LAW AND COMPLIANCE, LICENSING AND PERMIT SERVICES COMMENTS

No comments or concerns

BCLPS Recommended Conditions of Approval:	None
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BUILDING INSPECTION (SEPTIC) COMMENTS

No comments received to date

Building Inspection Recommended Conditions of Approval:	None
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FIRE DEPARTMENT COMMENTS

Ensure application/Permits submitted for review comply with applicable Ontario Building code requirements and all other referenced standards.

Fire Department Recommended Conditions of Approval:	None
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SCHEDULES TO STAFF REPORT

*See Schedule for list of correspondence

Schedule A	Drawings & Plans Submitted with the Application
Schedule B	Development Planning & Agency Comments
Schedule C (if required)	Correspondence (Received from Public & Applicant)
Schedule D (if required)	Previous COA Decisions on the Subject Land

Should the Committee find it appropriate to approve this application in accordance with request and the sketch submitted with the application, as required by Ontario Regulation 200/96, the following conditions have been recommended:

SUMMARY OF RECOMMENDED CONDITIONS OF APPROVAL

All conditions of approval, unless otherwise stated, are considered to be incorporated into the approval “**if required**”. If a condition is no longer required after an approval is final and binding, the condition may be waived by the respective department or agency requesting conditional approval. A condition cannot be waived without written consent from the respective department or agency.

#	DEPARTMENT / AGENCY	CONDITION(S) DESCRIPTION
1	Development Planning michael.torres@vaughan.ca	That a revised Arborist Report and Species at Risk Assessment be submitted to the satisfaction of Policy Planning and Special Programs Department.
2	Development Engineering farzana.khan@vaughan.ca	<ol style="list-style-type: none"> 1. The Owner/applicant shall submit the revised Lot Grading and/or Servicing Plan to the Development Inspection and Lot Grading division of the City’s Development Engineering Department for final lot grading and/or servicing approval prior to any work being undertaken on the property. Please visit or contact the Development Engineering Department through email at DEPermits@vaughan.ca or visit https://www.vaughan.ca/services/residential/dev_eng/permits/Pages/default.aspx to learn how to apply for lot grading and/or servicing approval. 2. Staff have confirmed that the property is located within an unassumed subdivision. The Owner/applicant shall provide satisfactory notification to the developer/builder about the proposed work to the subject property and provide a copy of the acknowledgement letter/email from the developer/builder to the City’s Development Engineering Department.
3	TRCA hamedeh.razavi@trca.ca	<ol style="list-style-type: none"> 1. The applicant successfully obtains a permit pursuant to Ontario Regulation 166/06 from TRCA for the proposed works. 2. That the applicant provides the required fee amount of \$610.00 payable to the Toronto and Region Conservation Authority.

IMPORTANT INFORMATION – PLEASE READ

CONDITIONS: It is the responsibility of the owner/applicant and/or authorized agent to obtain and provide a clearance letter from respective department and/or agency (**see condition chart above for contact**). This letter must be provided to the Secretary-Treasurer to be finalized. All conditions must be cleared prior to the issuance of a Building Permit.

IMPORTANT INFORMATION – PLEASE READ

APPROVALS: Making any changes to your proposal after a decision has been made may impact the validity of the Committee's decision.

An approval obtained from the Committee of Adjustment, where applicable, is tied to the building envelope shown on the plans and drawings submitted with the application and subject to the variance approval.

A building envelope is defined by the setbacks of the buildings and/or structures shown on the plans and drawings submitted with the application, as required by Ontario Regulation 200/96. Future development outside of an approved building envelope, where a minor variance was obtained, must comply with the provisions of the City's Zoning By-law.

Elevation drawings are provided to reflect the style of roof (i.e. flat, mansard, gable etc.) to which a building height variance has been applied. Where a height variance is approved, building height is applied to the style of roof (as defined in the City's Zoning By-law) shown on the elevation plans submitted with the application.

Architectural design features that are not regulated by the City's Zoning By-law are not to be considered part of an approval unless specified in the Committee's decision.

DEVELOPMENT CHARGES: That the payment of the Regional Development Charge, if required, is payable to the City of Vaughan before issuance of a building permit in accordance with the Development Charges Act and the Regional Development Charges By-law in effect at the time of payment.

That the payment of the City Development Charge, if required, is payable to the City of Vaughan before issuance of a building permit in accordance with the Development Charges Act and the City's Development Charges By-law in effect at the time of payment.

That the payment of the Education Development Charge if required, is payable to the City of Vaughan before issuance of a building permit in accordance with the Development Charges Act and the Boards of Education By-laws in effect at the time of payment

That the payment of Special Area Development charge, if required, is payable to the City of Vaughan before issuance of a building permit in accordance with the Development Charges Act and The City's Development Charge By-law in effect at the time of Building permit issuance to the satisfaction of the Reserves/Capital Department.

NOTICE OF DECISION: If you wish to be notified of the decision in respect to this application or a related Ontario Land Tribunal (OLT) hearing you must complete a Request for Decision form and submit to the Secretary Treasurer (ask staff for details). In the absence of a written request to be notified of the Committee's decision you will **not** receive notice.

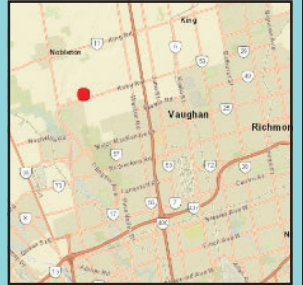
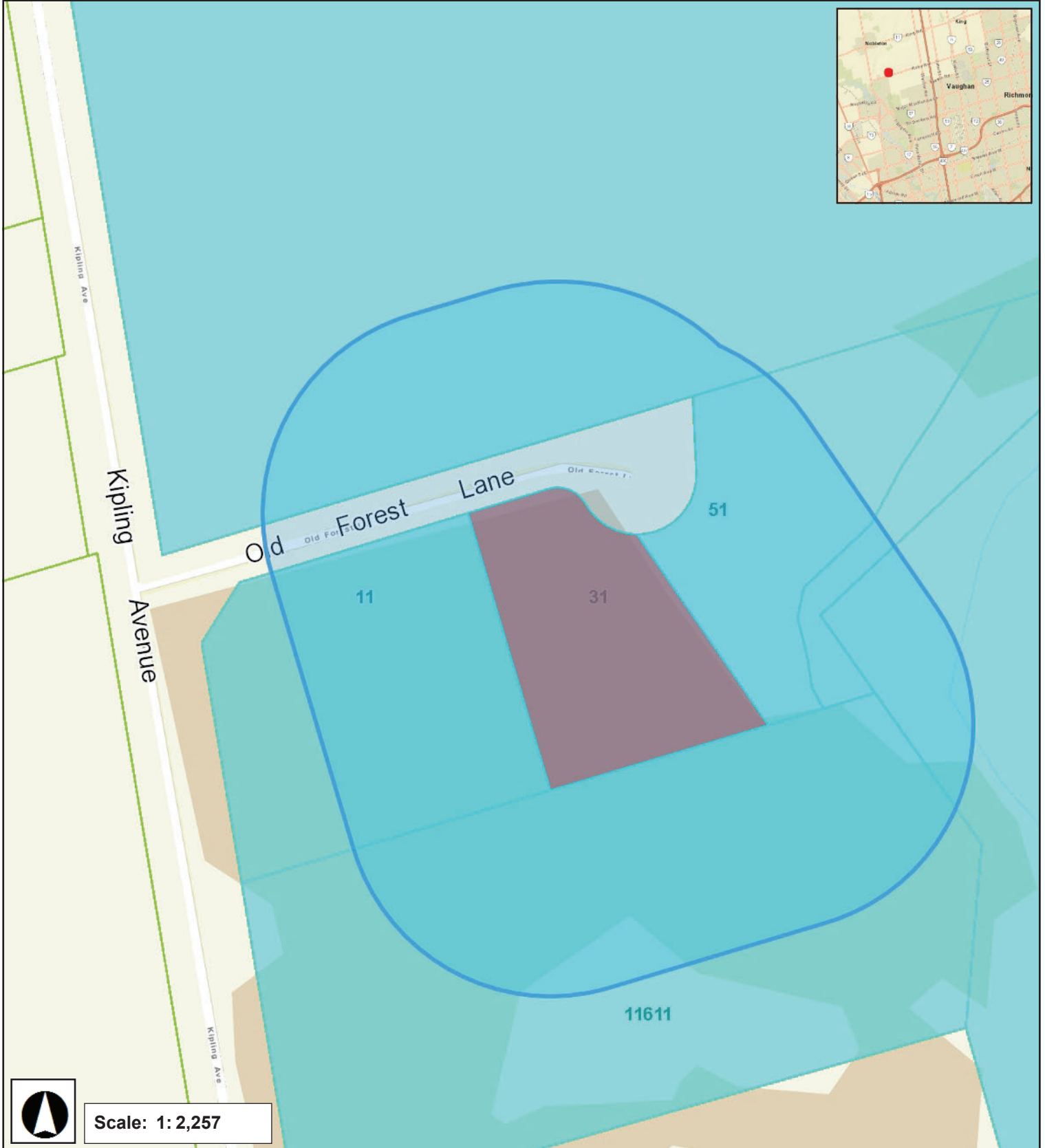
SCHEDULE A: DRAWINGS & PLANS



LOCATION MAP - A244/21

31 OLD FOREST LANE, VAUGHAN

King-Vaughan Road



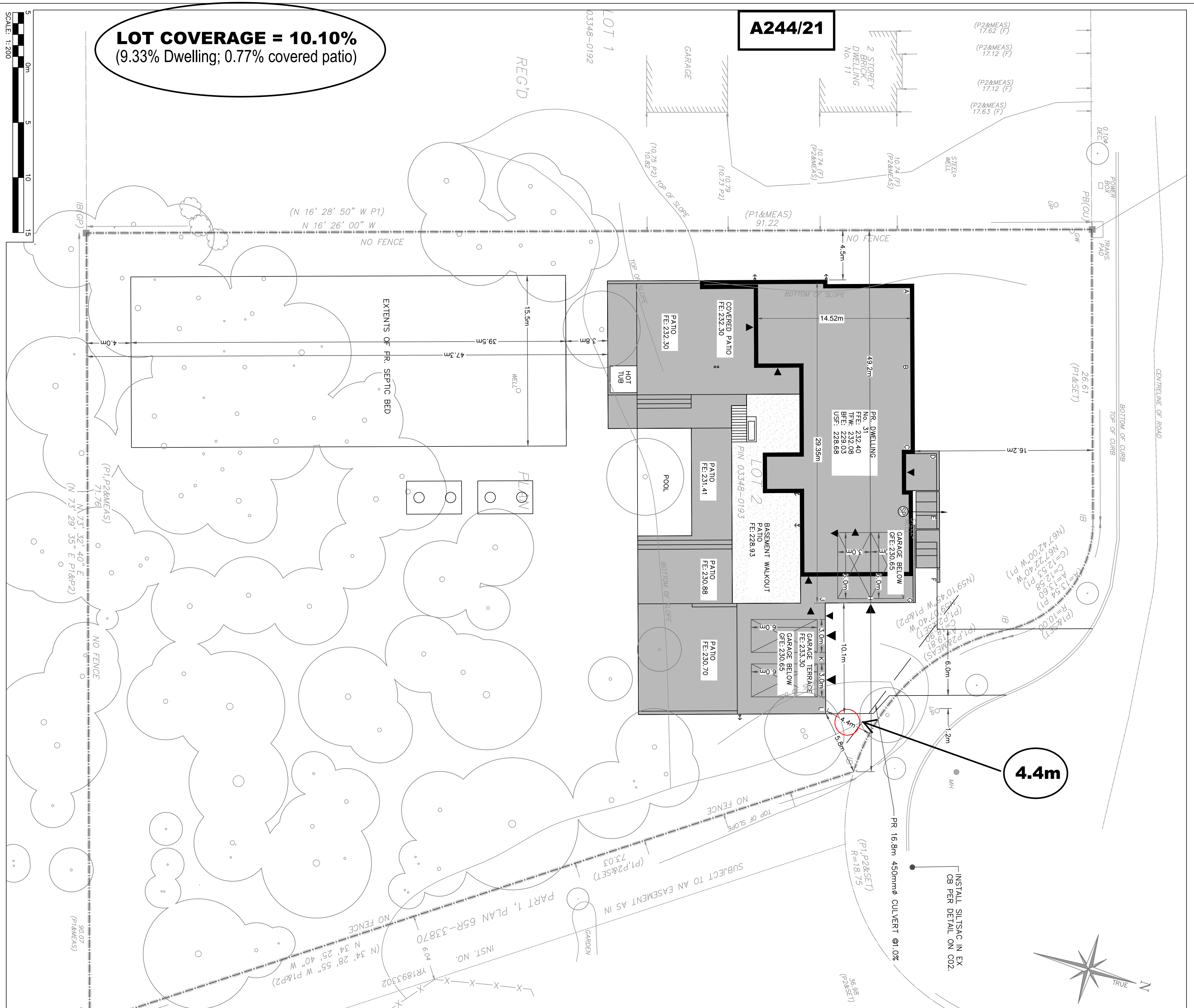
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Kirby Road

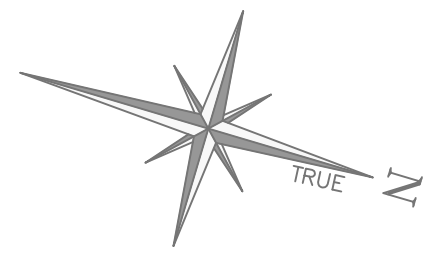
January 25, 2022 11:36 AM

A244/21

LOT COVERAGE = 10.10%
(9.33% Dwelling; 0.77% covered patio)



4.4m



CONSTRUCTION NOTES

- GENERAL NOTES FOR SUBMISSION DRAWING SETS (PER CITY OF VAUGHAN - ENGINEERING DESIGN CRITERIA & STANDARD DRAWINGS, APPENDIX C, DECEMBER 2020)
- 1.0 GENERAL NOTES
- 2. ALL DRAWINGS SHALL BE FOR THE PROJECT AND NOT FOR ANY OTHER PROJECT.
- 3. THE CONTRACTOR SHALL VERIFY THE EXISTING CONDITIONS IN THE FIELD AND REPORT ANY DISCREPANCIES TO THE CONSULTING ENGINEER IMMEDIATELY.
- 4. INFORMATION REGARDING ANY EXISTING SERVICES AND/OR UTILITIES SHOWN ON THESE DRAWINGS SHALL BE VERIFIED BY THE CONTRACTOR AT THE TIME OF PREPARATION AND THE CONTRACTOR SHALL VERIFY THIS INFORMATION IN THE FIELD. THE CITY DISCLAIMS ALL RESPONSIBILITY FOR ITS ACCURACY AND/OR SUFFICIENCY.
- 5. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE CITY OF VAUGHAN AND ANY APPLICABLE MUNICIPALITIES.
- 6. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE CITY OF VAUGHAN AND ANY APPLICABLE MUNICIPALITIES.
- 7. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE CITY OF VAUGHAN AND ANY APPLICABLE MUNICIPALITIES.
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- 16. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE CITY OF VAUGHAN AND ANY APPLICABLE MUNICIPALITIES.

GRADING

- 1. ALL ELEVATIONS ALONG AFFECTED PROPERTY LINES TO MATCH EXISTING ELEVATIONS AND ALL GRADING SHALL NOT ADVERSELY AFFECT SHEET FLOW FROM ADJACENT LOTS.
- 2. ALL IMPROVED TILES TO BE CLEAN AND ENVIRONMENTALLY SAFE CLAY COMPACTING IS NOT PERMITTED OR PROHIBITED ON COMPACTION WHILE EXISTING CONDITIONS ARE BETTER.
- 3. ALL DISTURBED AREAS WITHIN THE ROAD ALLOWANCE SHALL BE RESTORED TO EXISTING OR BETTER.
- 4. THE GRADING BETWEEN PROPOSED ELEVATIONS ON THIS SHEET SHALL BE GRADUALLY AS A SMOOTH LINE.

COMPACTON REQUIREMENTS

- 1. ALL BEDDING AND BACKFILL MATERIAL, ROAD SURFACES AND GENERALLY ALL MATERIAL USED FOR LOT GRADING AND FILL SECTIONS ETC. SHALL BE COMPACTED TO A MINIMUM 98% UNLESS OTHERWISE RECOMMENDED BY A REGISTERED PROFESSIONAL ENGINEER AND SHALL BE VERIFIED BY THE CONTRACTOR EXCEEDING 300mm LIFTS.
- 2. ALL GRANULAR ROAD BASE MATERIALS SHALL BE COMPACTED TO A MINIMUM 98%.

ROOTPLATER LEADERS

- 1. ALL ROOTPLATER LEADERS SHALL BE PREPARED ONTO GRAVEL BARS AND THEN TO GRASSSED OR LANDSCAPED AREAS A MINIMUM OF 0.6m FROM THE BUILDING FACE.

EROSION & SEDIMENT CONTROL

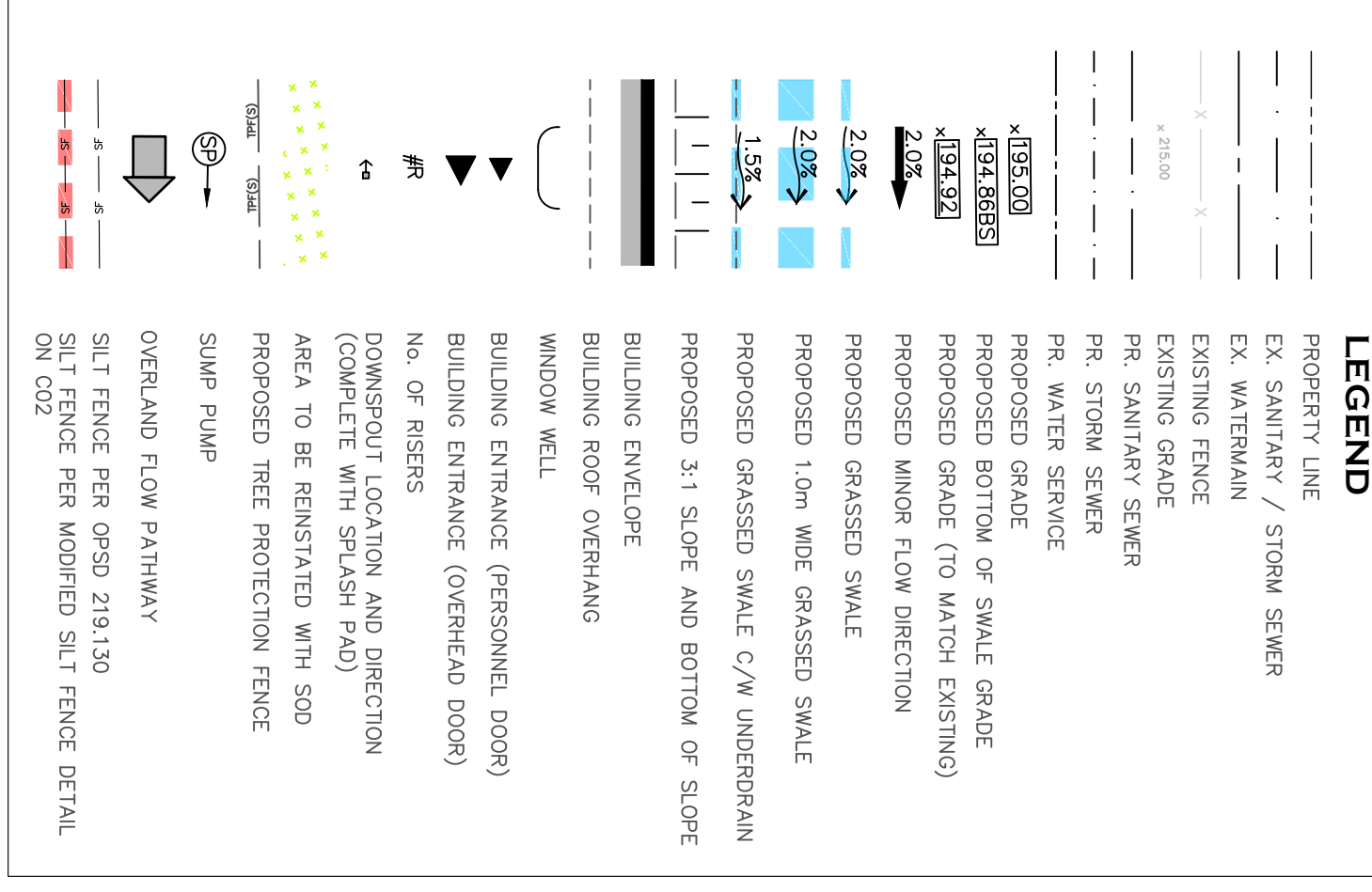
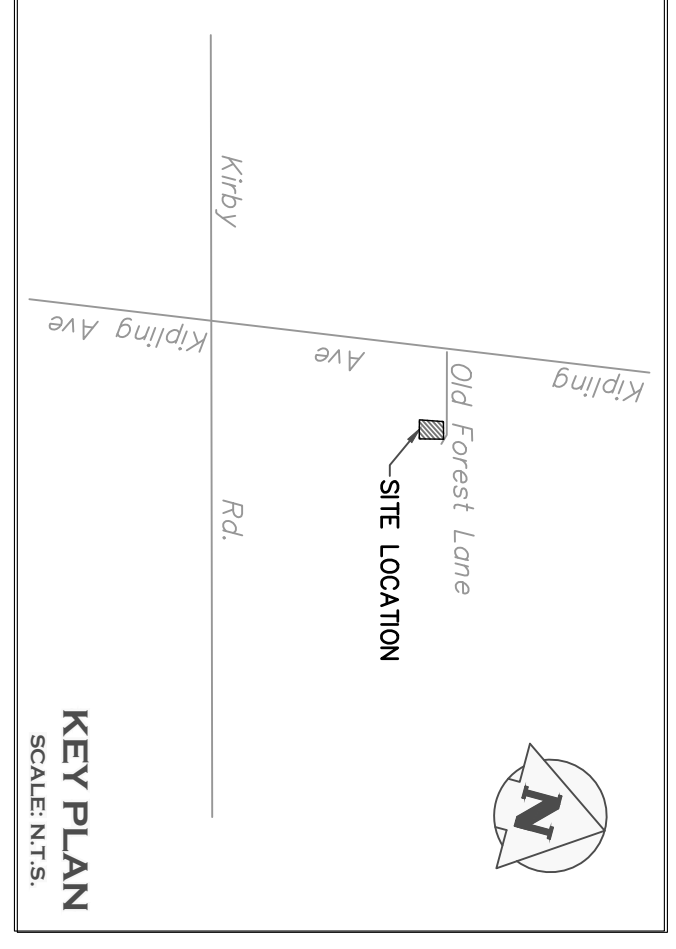
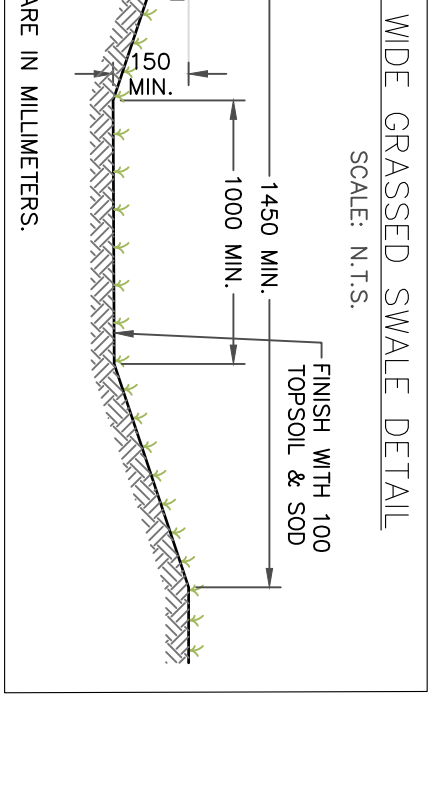
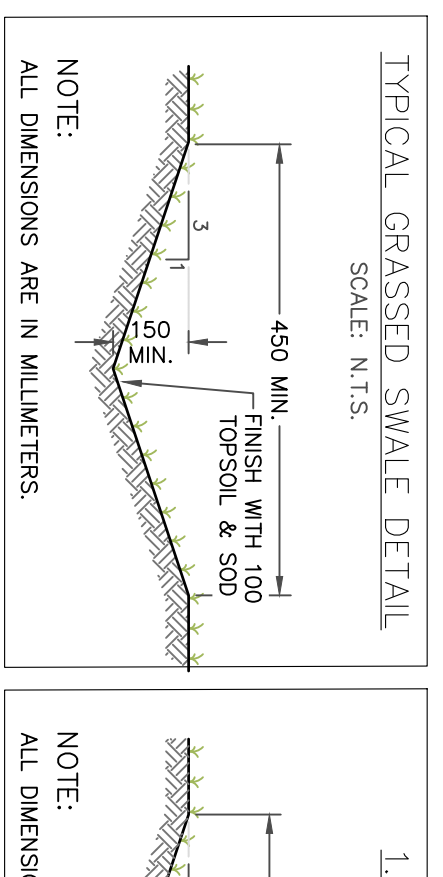
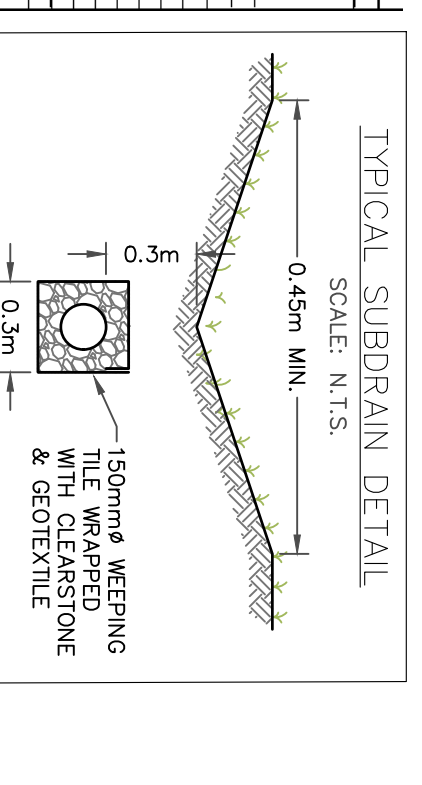
- 1. EROSION AND SEDIMENT CONTROL DEVICES SHALL BE INSTALLED PRIOR TO THE BEGINNING OF CONSTRUCTION AND UNTIL GROUND COVER IS ESTABLISHED AND THE SITE IS FULLY DEVELOPED.
- 2. EROSION AND SEDIMENT CONTROL DEVICES MUST BE INSPECTED ON A REGULAR BASIS BY THE CONTRACTOR TO ENSURE THEY ARE MAINTAINED AND OPERATING PROPERLY.
- 3. EROSION AND SEDIMENT CONTROL DEVICES MUST BE INSTALLED ON ALL EXPOSED SOILS TO PREVENT SEDIMENT FROM LEAVING THE SITE.
- 4. IT IS REQUIRED TO STABILIZE ALL AREAS THAT WILL REMAIN UNDISTURBED FOR A PERIOD OF CONSTRUCTION.
- 5. SILT FENCE AND CATCHBASIN PROTECTION ARE NOT TO BE REMOVED UNTIL COMPLETION OF CONSTRUCTION.
- 6. THE SITUATION AND EROSION CONTROL MEASURES ILLUSTRATED ON THIS PLAN ARE CONSIDERED TO BE THE MINIMUM REQUIREMENT CONDITIONS FOR THE PROPOSED CONSTRUCTION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR IMPROVING THESE MEASURES AS REQUIRED BY THE ENGINEER DURING CONSTRUCTION.
- 7. ALL EROSION AND SITUATION CONTROL DEVICES SHOULD BE AS PER THE "GREATER GOLDEN HORSHOE AREA CONSERVATION AUTHORITY" EROSION AND SEDIMENT CONTROL REQUIREMENTS.
- 8. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE REMOVAL AND DESTRUCTION OF ALL TEMPORARY EROSION CONTROL MEASURES AND DEBRIS THAT ARE TRACKED ONTO THE ROADWAYS FROM VEHICLES ENTERING AND LEAVING THE CONSTRUCTION SITE. THE OWNER SHALL, UPON VERBAL AND/OR WRITTEN PERMISSION FROM THE CITY, IMMEDIATELY PROCEED WITH THE CLEANUP OPERATION OF ALL TEMPORARY EROSION CONTROL DEVICES AND DEBRIS TRACKED ONTO THE ROADWAYS FROM VEHICLES ENTERING AND LEAVING THE CONSTRUCTION SITE. THE CITY WILL HAVE THE CLEANING CHARGED OUT AND DRAW ON THE SECURITY FOR COSTS AND/OR LAW CHARGES.

TREE PRESERVATION

- 1. WHEREVER POSSIBLE, THE CUTTING OF SURFACE ROOTS OF EXISTING TREES IS TO BE AVOIDED. HOWEVER, IF THESE CUTS ARE REQUIRED, THE CUTS SHALL BE MADE BY A REGISTERED PROFESSIONAL (I.E. CERTIFIED ARBORIST) SO THAT CUTS ARE MADE APPROPRIATELY.
- 2. THE TREES ON THIS PROPERTY MAY BE USED BY BIRDS THAT ARE ATtracted TO THE PROPERTY. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROTECTING THESE TREES FROM HARM DURING CONSTRUCTION AND SHALL BE RESPONSIBLE FOR THE REMOVAL OF ANY DEBRIS THAT ARE TRACKED ONTO THE ROADWAYS FROM VEHICLES ENTERING AND LEAVING THE CONSTRUCTION SITE. THE OWNER SHALL, UPON VERBAL AND/OR WRITTEN PERMISSION FROM THE CITY, IMMEDIATELY PROCEED WITH THE CLEANUP OPERATION OF ALL TEMPORARY EROSION CONTROL DEVICES AND DEBRIS TRACKED ONTO THE ROADWAYS FROM VEHICLES ENTERING AND LEAVING THE CONSTRUCTION SITE. THE CITY WILL HAVE THE CLEANING CHARGED OUT AND DRAW ON THE SECURITY FOR COSTS AND/OR LAW CHARGES.

1.0 PROPOSED SWALE DETAIL

Item #	Description	Unit	Quantity	Unit Price	Total Price
1.0	1.0m Wide Grassed Swale	m	15.0	\$150.00	\$2250.00
1.1	450mm Minimum Grassed Swale	m	10.0	\$100.00	\$1000.00
1.2	1.0m Wide Grassed Swale	m	10.0	\$100.00	\$1000.00
1.3	450mm Minimum Grassed Swale	m	10.0	\$100.00	\$1000.00
1.4	1.0m Wide Grassed Swale	m	10.0	\$100.00	\$1000.00
1.5	450mm Minimum Grassed Swale	m	10.0	\$100.00	\$1000.00
1.6	1.0m Wide Grassed Swale	m	10.0	\$100.00	\$1000.00
1.7	450mm Minimum Grassed Swale	m	10.0	\$100.00	\$1000.00
1.8	1.0m Wide Grassed Swale	m	10.0	\$100.00	\$1000.00
1.9	450mm Minimum Grassed Swale	m	10.0	\$100.00	\$1000.00
1.10	1.0m Wide Grassed Swale	m	10.0	\$100.00	\$1000.00
1.11	450mm Minimum Grassed Swale	m	10.0	\$100.00	\$1000.00
1.12	1.0m Wide Grassed Swale	m	10.0	\$100.00	\$1000.00
1.13	450mm Minimum Grassed Swale	m	10.0	\$100.00	\$1000.00
1.14	1.0m Wide Grassed Swale	m	10.0	\$100.00	\$1000.00
1.15	450mm Minimum Grassed Swale	m	10.0	\$100.00	\$1000.00
1.16	1.0m Wide Grassed Swale	m	10.0	\$100.00	\$1000.00
1.17	450mm Minimum Grassed Swale	m	10.0	\$100.00	\$1000.00
1.18	1.0m Wide Grassed Swale	m	10.0	\$100.00	\$1000.00
1.19	450mm Minimum Grassed Swale	m	10.0	\$100.00	\$1000.00
1.20	1.0m Wide Grassed Swale	m	10.0	\$100.00	\$1000.00



NOT FOR CONSTRUCTION
FOR REVIEW

1.0 RE-ISSUED FOR SUBMISSION

No.	ISSUE / REVISION	Date	Author
1.0	RE-ISSUED FOR SUBMISSION	2021/OCT/28	WST
0	ISSUED FOR SUBMISSION	2021/SEP/14	WST

SURVEY NOTES

- 1. SURVEY COMPLETED BY J.H. GELBLOOM SURVEYING LIMITED, PROJECT 21-0333
- 2. REFERENCE PLAN 65M-4348
- 3. REFERENCE PLAN 65M-4348

LOCAL BENCHMARK

- 1. ELEVATIONS ARE REFERRED TO THE CITY OF VAUGHAN BENCHMARK NO 81-100
- 2. BEARINGS ARE ASTROMERIC AND ARE REFERRED TO THE SOUTHERLY LIMIT OF OLD FOREST LANE AS SHOWN ON REG'D PLAN 65M-4348, HAVING A BEARING OF N 73° 31' 10" E.

DRAWING NOTES

- 1. THIS DRAWING IS THE EXCLUSIVE PROPERTY OF WESTX INC. AND THE REPRODUCTION OF ANY PART OF IT WITHOUT PRIOR WRITTEN CONSENT OF THIS OFFICE IS STRICTLY PROHIBITED.
- 2. CONTRACTORS SHALL VERIFY ALL DIMENSIONS, LEVELS, AND UTILITIES ON SITE AND REPORT ANY DISCREPANCIES OR OMISSIONS TO THIS OFFICE PRIOR TO CONSTRUCTION.
- 3. THIS DRAWING IS TO BE READ AND UNDERSTOOD IN CONJUNCTION WITH ALL OTHER PLANS AND DOCUMENTS APPLICABLE TO THIS PROJECT. DO NOT SCALE THIS DRAWING.
- 4. ALL EXISTING UNDERGROUND UTILITIES TO BE VERIFIED IN THE FIELD BY THE CONTRACTOR PRIOR TO CONSTRUCTION.
- 5. DISTANCES SHOWN ON THIS PLAN ARE IN METERS AND CAN BE CONVERTED TO FEET BY DIVIDING BY 0.3048.

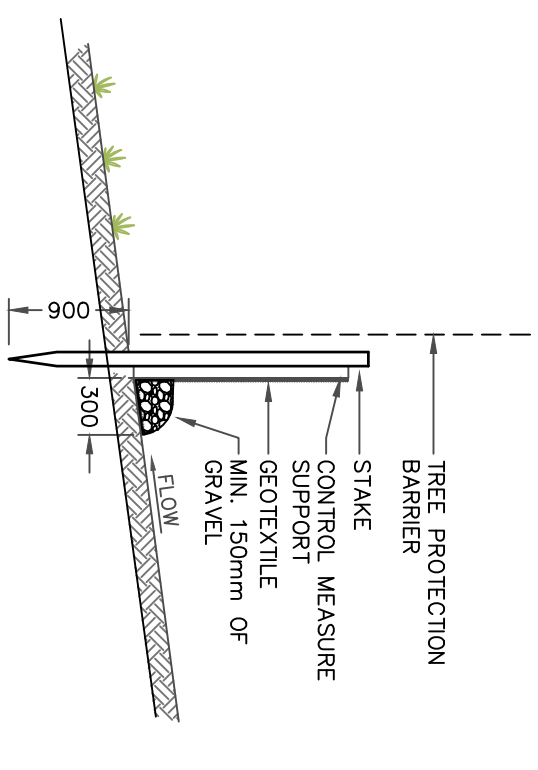
31 OLD FOREST LANE
VAUGHAN, ON

SITE AND GRADING PLAN

Project No: 1022-0041
Sheet: 1 of 2
Scale: 1:200

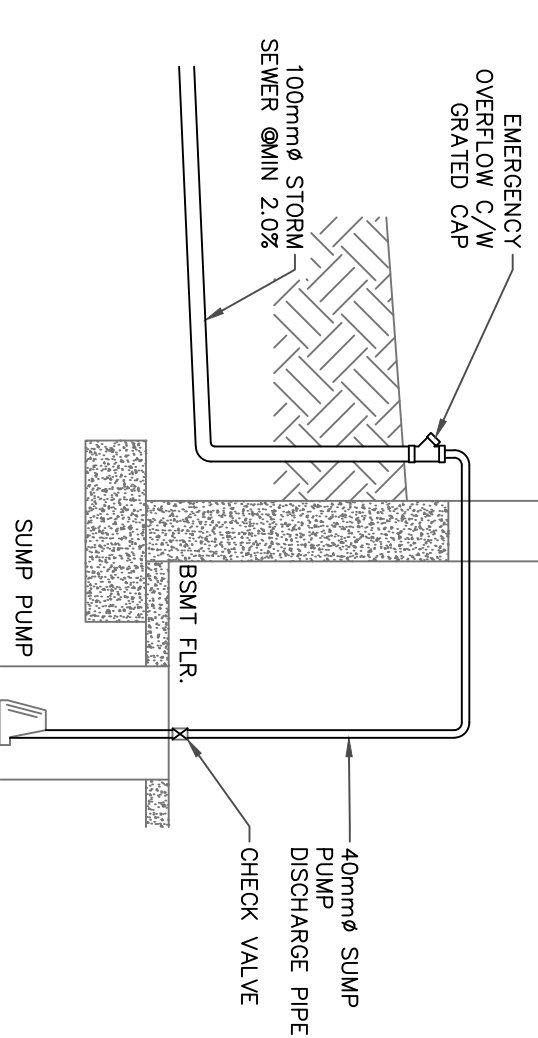
westx inc.
WESTX INC. CIVIL ENGINEERING
1. 289 880-9378
2. westx@westx.ca
3. www.westx.ca
4. Westx Engineering
5. Westx Inc.

MODIFIED HEAVY DUTY SILT FENCE DETAIL
SCALE: N.T.S.



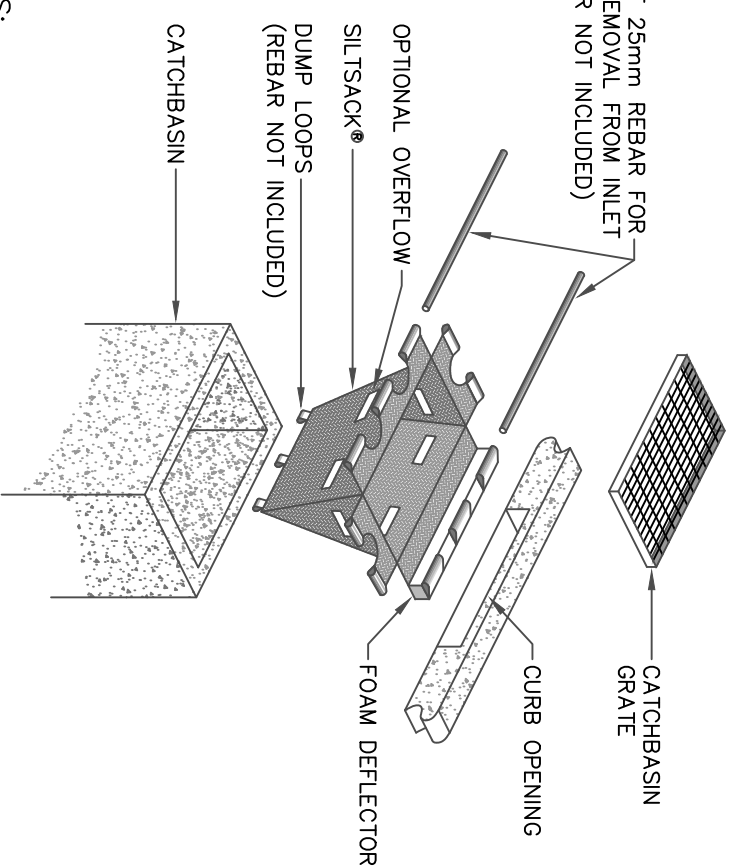
- NOTES:
1. THIS DETAIL IS FOR USE IN AREAS WHERE TREE ROOT ZONE PROTECTION IS DESIRED.
2. DIMENSIONS ARE IN MILLIMETERS UNLESS NOTED OTHERWISE.

TYP. SUMP PUMP DETAIL
SCALE: N.T.S.



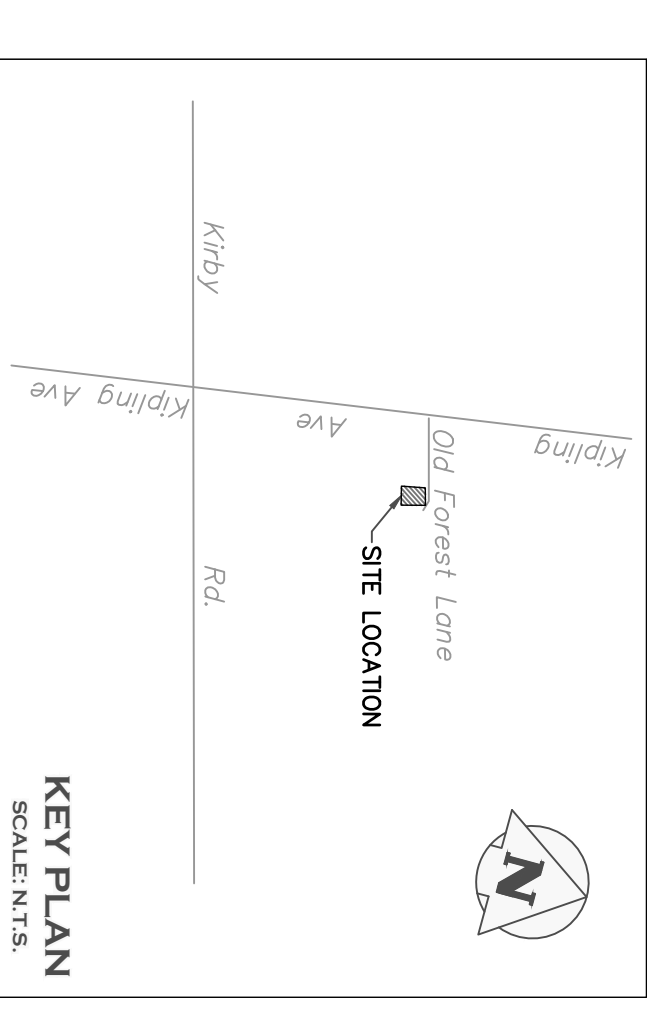
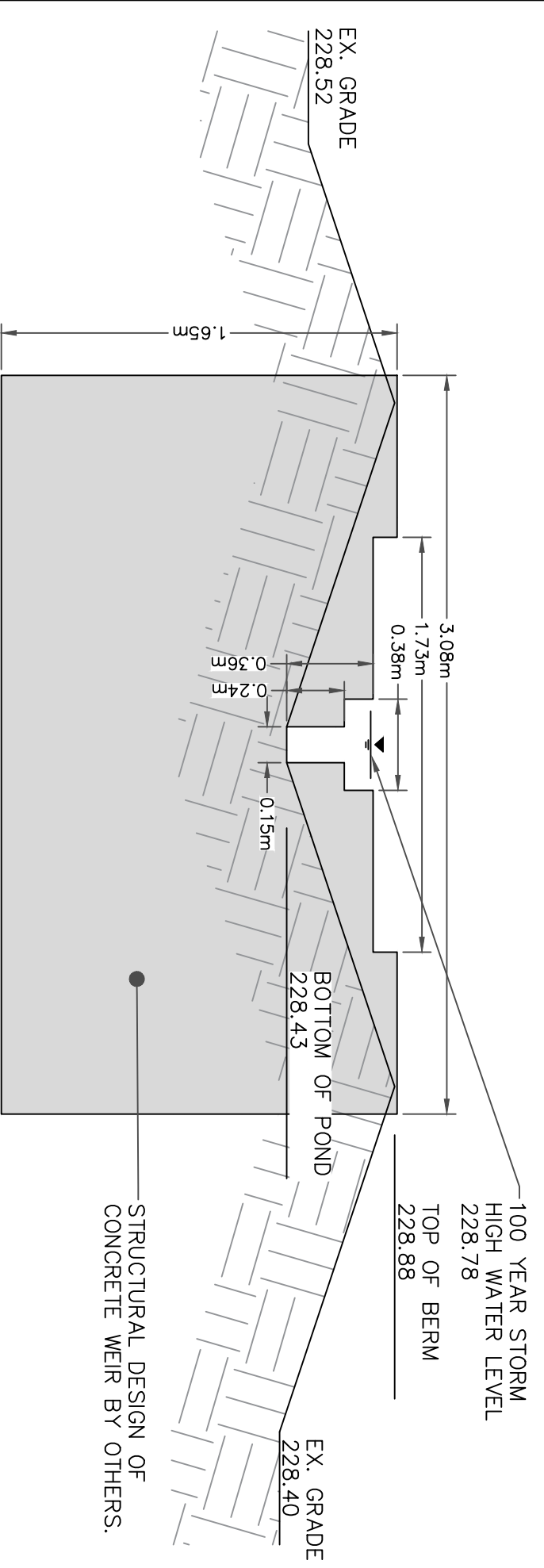
- NOTES:
1. THE SUMP OUTLET SHALL EXTEND A MINIMUM 150mm ABOVE THE PROPOSED GRADE AT THE DWELLING (BASEMENT CEILING) PRIOR TO DISCHARGING.
2. SUMP PUMP MUST HAVE BACKUP POWER TO ENSURE OPERATION DURING A POWER OUTAGE.

'SILTSACK' DETAIL
SCALE: N.T.S.



- NOTES:
1. INSTALL TERRAFIX 'SILTSACK' IN ALL CATCHBASINS & CATCHBASIN MANHOLES AFFECTED BY CONSTRUCTION.
2. INSTALL TERRAFIX 'SILTSACK' IN ALL NEW CATCHBASINS & CATCHBASIN MANHOLES.

CAST IN PLACE CONCRETE WEIR
SCALE: N.T.S.



KEY PLAN
SCALE: N.T.S.

NOT FOR CONSTRUCTION

FOR REVIEW

1A	RE-ISSUED FOR SUBMISSION	2021/OCT/28	
0	ISSUED FOR SUBMISSION	2021/SEP/14	
	ISSUE / REVISION	YYYY/MM/DO	

SURVEY NOTES:
SURVEY COMPLETED BY J.H. DELBLOOM SURVEYING LIMITED, PROJECT 21-033.
REFERENCE PLAN 65M-4348.
LOCAL BENCHMARK:
ELEVATIONS ARE REFERRED TO THE CITY OF VAUGHAN BENCHMARK NO 81-100 BEARINGS ARE ASTRONOMIC AND ARE REFERRED TO THE SOUTHERLY LIMIT OF OLD FOREST LANE AS SHOWN ON RECD PLAN 65M-4348, HAVING A BEARING OF N 73° 31' 10" E.

DRAWING NOTES:
THIS DRAWING IS THE EXCLUSIVE PROPERTY OF WESTX INC. AND THE REPRODUCTION OF ANY PART OF IT WITHOUT PRIOR WRITTEN CONSENT OF THIS OFFICE IS STRICTLY PROHIBITED. CONTRACTOR SHALL VERIFY ALL DIMENSIONS, LEVELS, AND DATUMS ON SITE AND REPORT ANY DISCREPANCIES OR OMISSIONS TO THIS OFFICE PRIOR TO CONSTRUCTION. THIS DRAWING IS TO BE READ AND UNDERSTOOD IN CONJUNCTION WITH ALL OTHER PLANS AND DOCUMENTS APPLICABLE TO THIS PROJECT. DO NOT SCALE THIS DRAWING. ALL EXISTING UNDERGROUND UTILITIES TO BE VERIFIED IN THE FIELD BY THE CONTRACTOR PRIOR TO CONSTRUCTION.

LEGEND:
DISTANCES SHOWN ON THIS PLAN ARE IN METERS AND CAN BE CONVERTED TO FEET BY DIVIDING BY 0.3048.

31 OLD FOREST LANE
VAUGHAN, ON

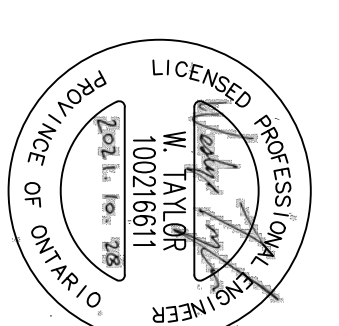
NOTES AND DETAILS

WESTX
INC. ENGINEERING

WESTX INC. CIVIL ENGINEERING
1. 289 880-9378
e. westx@westx-engineering.com
w. www.westx-engineering.com

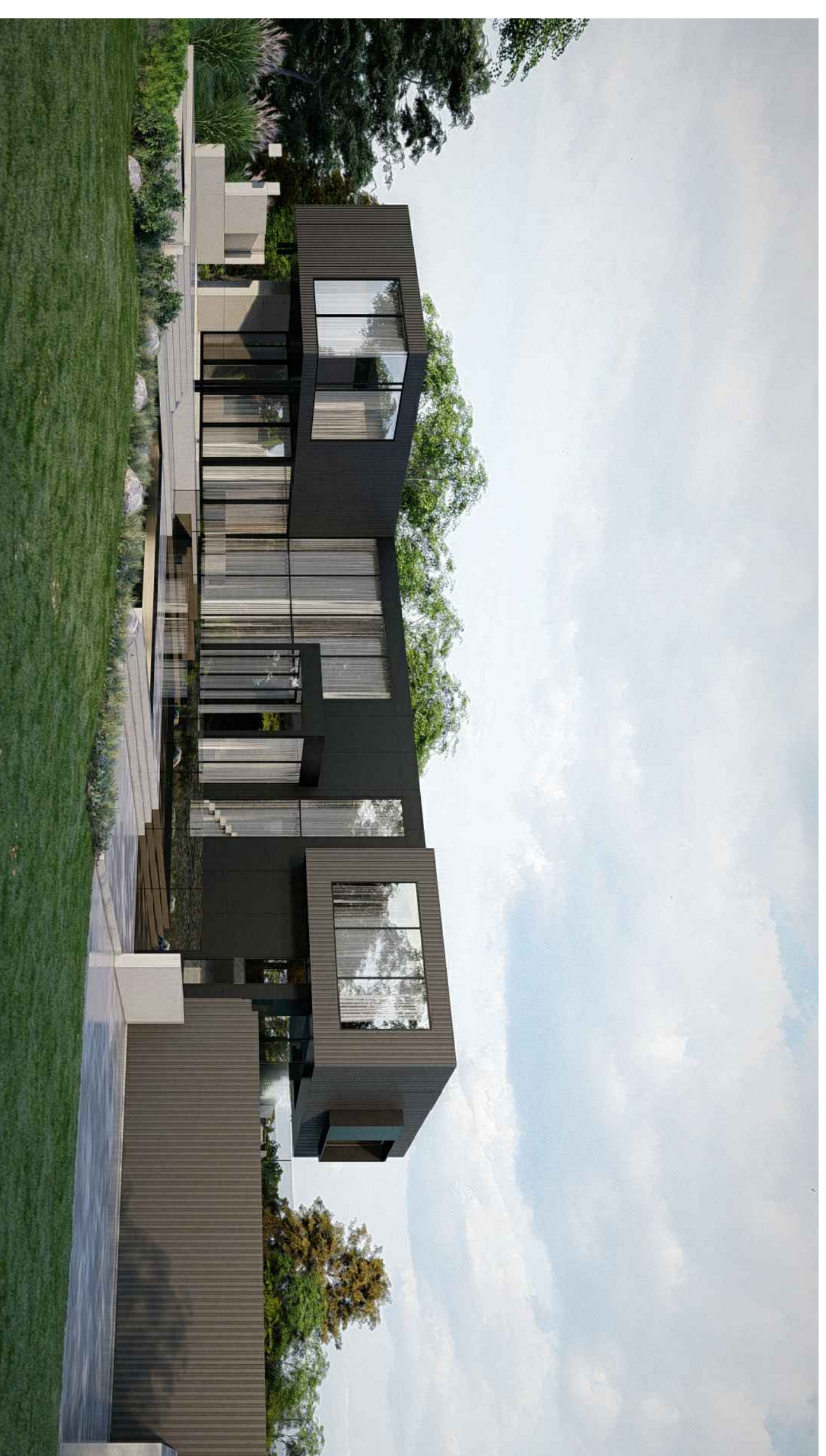
Drawn	WST	Design	WST	Project No.	1022-0041
Check	WST	Scale	VARIABLES	Sheet	2 of 2

Title: C02



31 Old Forest Lane Kleinburg, Ontario

Project Description: - New Construction



DO NOT SCALE DRAWINGS
 Note:
 1) Contractor to check all dimensions, responsible for reporting any discrepancy to the engineer and/or designer.
 2) These drawings are to remain and the intended upon request. These drawings are the written approval of the designer.
 3) All works to be in accordance with the Ontario Building Code.



www.smpdesignstudio.com

Drawing Submission: _____ Type: _____
 Date: 2021.11.22 Engineering
 2021.11.02 COA

Square Footage:

Basement	4861.08 ft ²	451.61 m ²
Main	3700.17 ft ²	343.76 m ²
Second	3851.59 ft ²	357.82 m ²
Garage 1	590.11 ft ²	54.82 m ²
Garage 2	889.00 ft ²	80.73 m ²
Covered Porch	116.14 ft ²	10.79 m ²
Covered Lower Patio	165.76 ft ²	15.40 m ²
Covered Dining Patio	376.62 ft ²	34.99 m ²
Uncovered Patio	5135.24 ft ²	477.08 m ²

Architectural Design Firm:
SMP Design Studio
 Address: 15 Colbourne St,
 Hamilton, Ontario
 Postal: L8R 2G2
 Phone: 905-529-7675

Structural Engineer:
Centric Engineering
 Address: 1584 N Routledge Park,
 London, Ontario
 Postal: N6H 5L6
 Phone: 519-963-0444

HVAC Designer:
Pedi Enterprises Inc.
 Address: 32 Church St. Unit 308,
 Schomberg, Ontario
 Postal: L0G 1T0
 Phone: 416-994-8041



In accordance with subsection 3.2.4. of Division C, of the Building Code. I am qualified, and the firm is registered, in the appropriate classes/categories.

David Shouldice
 David Shouldice CBCO MAATO

Individual BCIN: 19618 Firm BCIN: 31829

Reviewed By: JT
 Drawn By: MM
 Pwd Date: 2021.11.02

Page: **A0.01**

Cover Page

**31 Old Forest Lane
Kleinburg, Ontario**

Note:
1) Contractor to check all dimensions, responsible for reviewing and dimensioning to the engineer and/or designer.
2) These drawings are to remain and the intended use is for construction. These drawings are not to be used for any other purpose without the written approval of the designer. Check the Ontario Building Code.
3) All works to be in accordance with the Ontario Building Code.



www.smpdesignstudio.com

Drawing Submission:	Type:
Date: 2021.10.22	Engineering
Date: 2021.11.02	COA

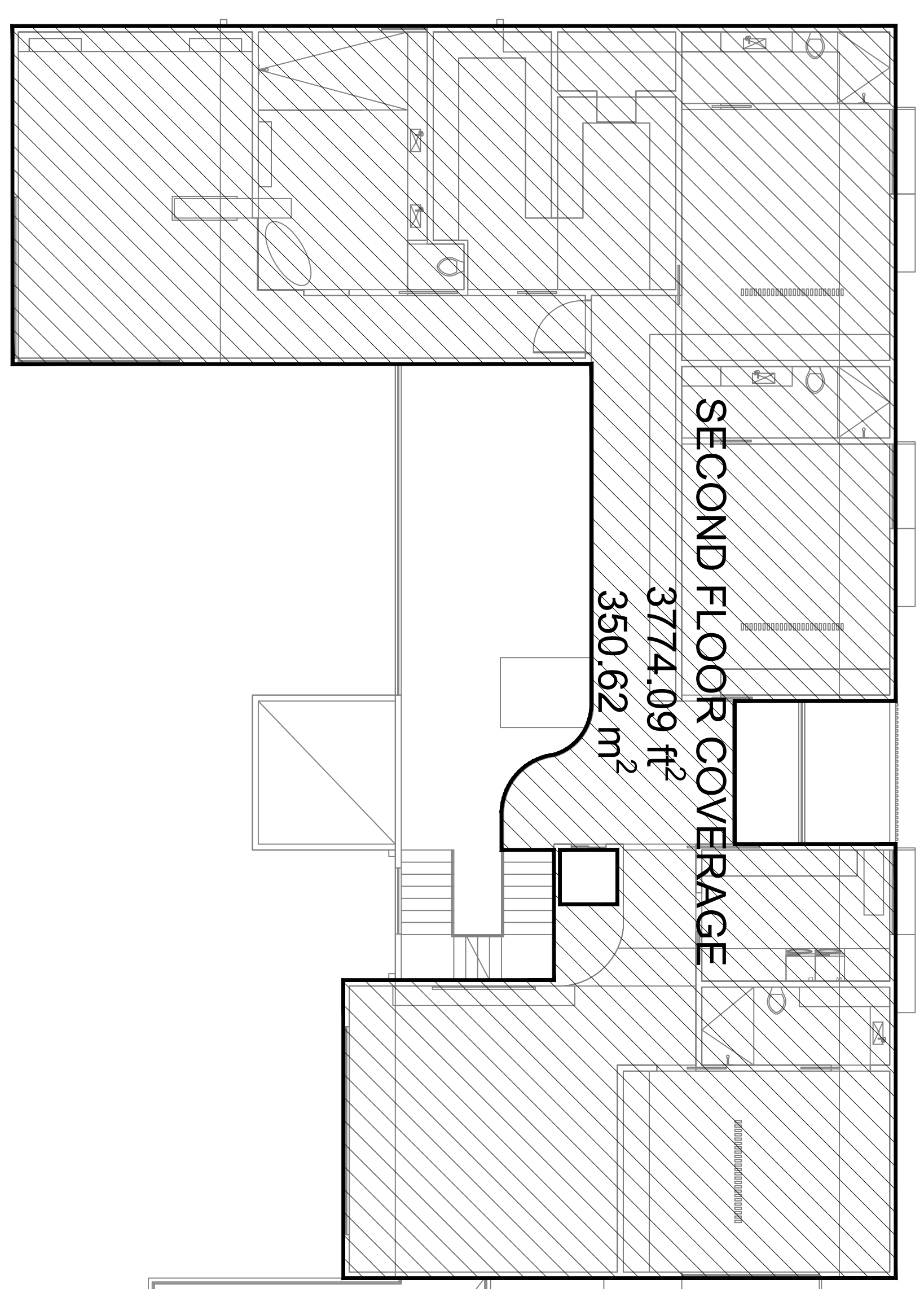
31 Old Forest Lane
Kleinburg, Ontario

Reviewed By: JT
Drawn By: MM
Pnd Date: 2021.11.02

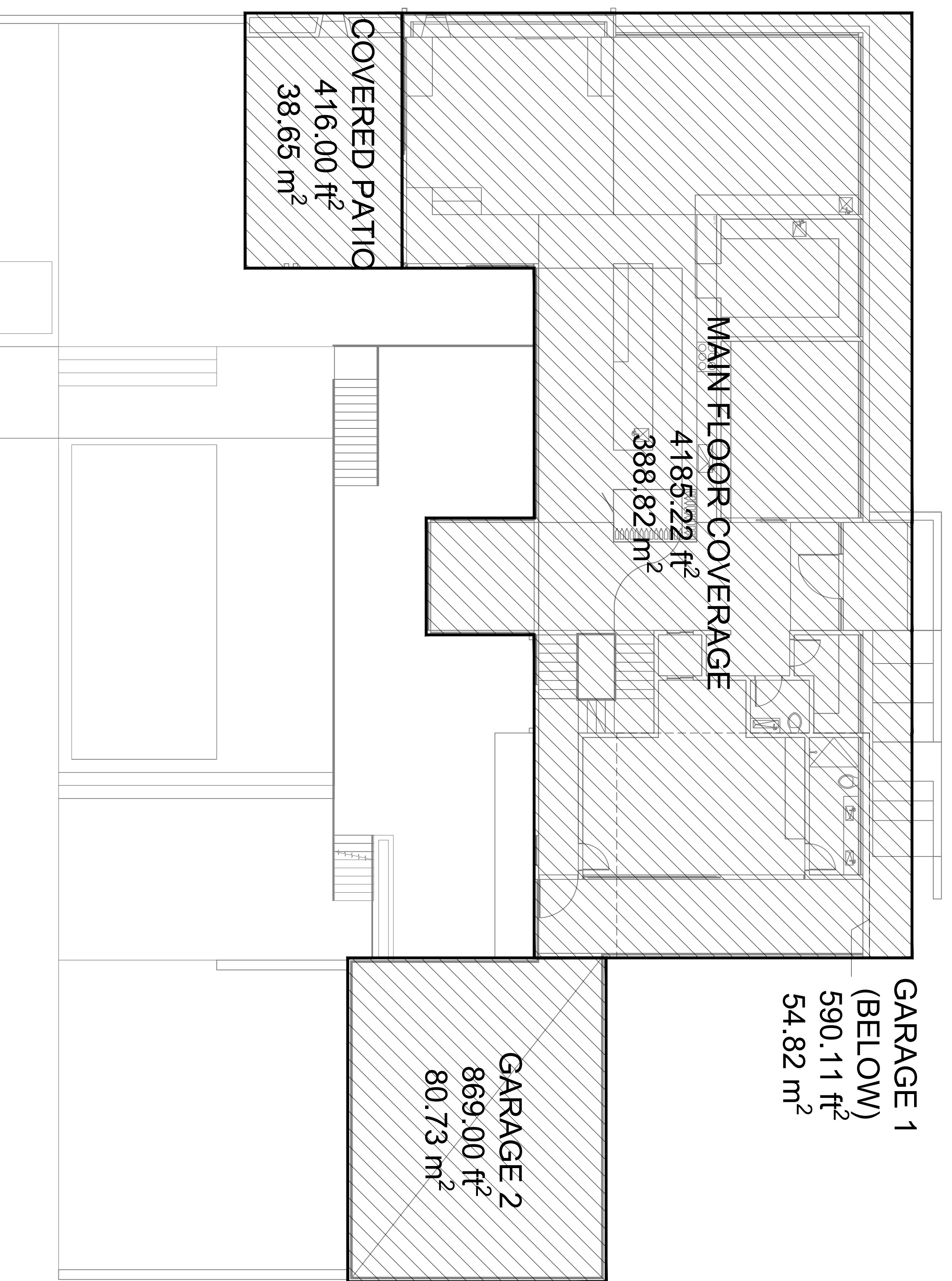
Page: Z1.01
Zoning

In accordance with subsection 3.2.4. of Division C, of the Building Code, I am qualified, and the firm is registered, in the appropriate classes/categories.

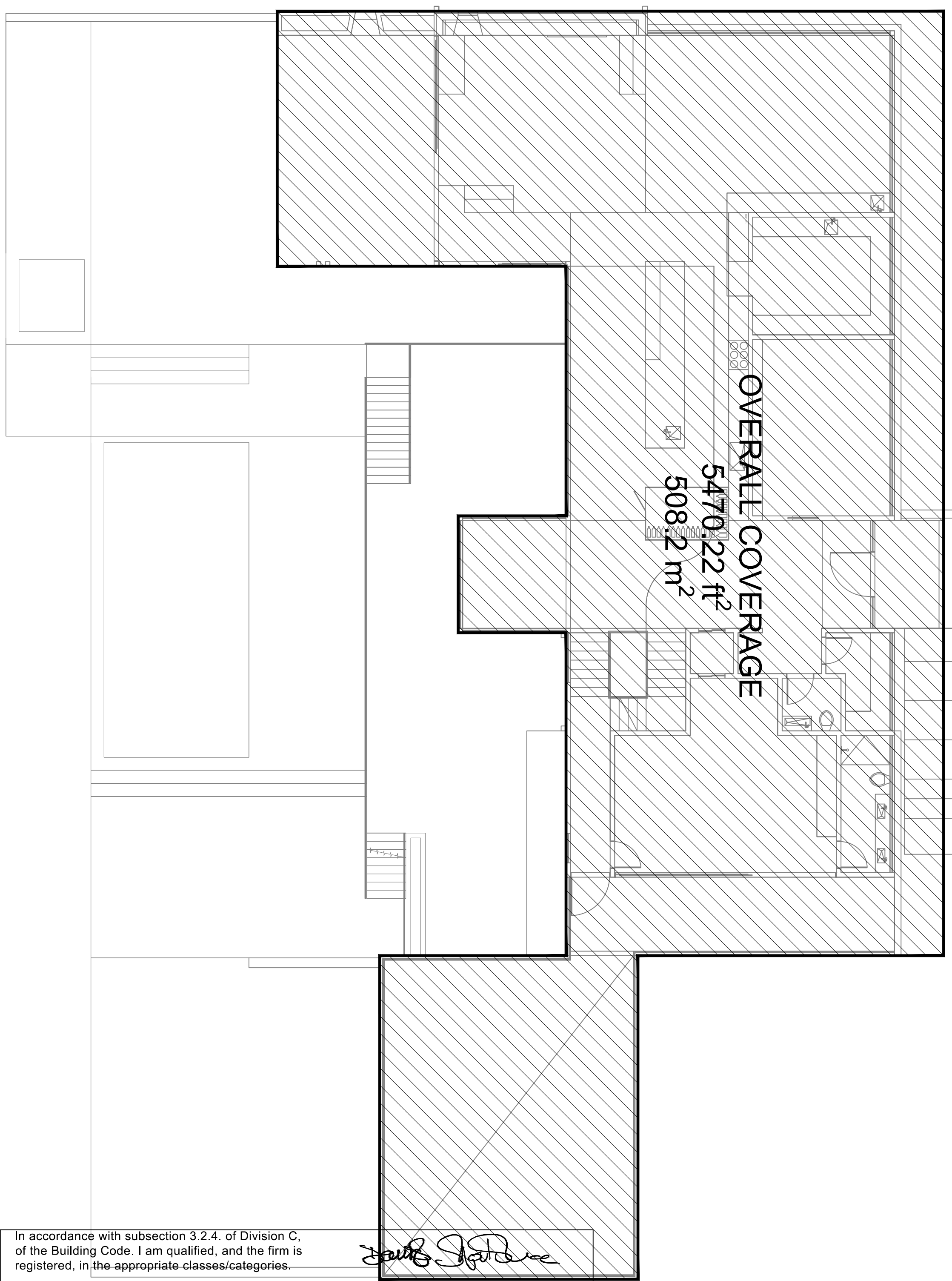
Individual BCIN: 19618 Firm BCIN: 31829 David Shouldice CBCO MAATO



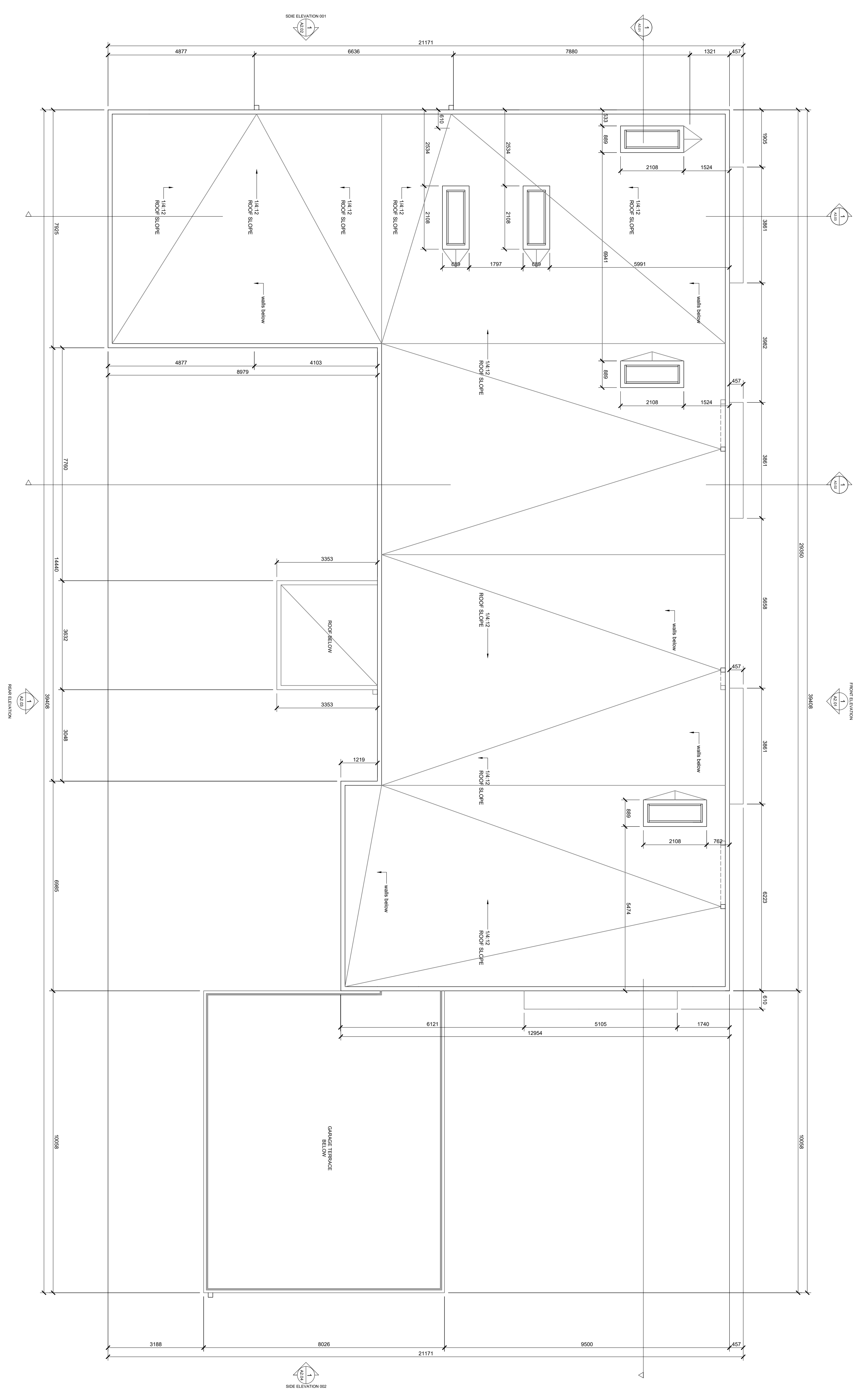
2
Z1.01
Second Floor Zoning
Scale 1:100



1
Z1.01
Main Floor Zoning
Scale 1:100



3
Z1.01
Overall Coverage
Scale 1:100



In accordance with subsection 3.2.4. of Division C, of the Building Code, I am qualified, and the firm is registered, in the appropriate classes/categories.

David Shouldice
David Shouldice CBCO MAATO

Individual BCIN: 19618 Firm BCIN: 31829

Reviewed By: JT
Drawn By: MM
Pkg Date: 2021.11.02

Page: A1.04
Proposed Second Floor

31 Old Forest Lane
Kleinburg, Ontario

Drawing Submission:	Type:
2021.11.22	Engineering
2021.11.02	COA

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Architectural Design Services
www.smpdesignstudio.com

DO NOT SCALE DIMENSIONS

Note:
1) Contractor to check all dimensions, responsible for reporting any discrepancy to the engineer and/or designer.
2) These notes are to remain and the intended upon request. These notes shall be written approval of the designer. These notes shall be in accordance with the Ontario Building Code.
3) All works to be in accordance with the Ontario Building Code.

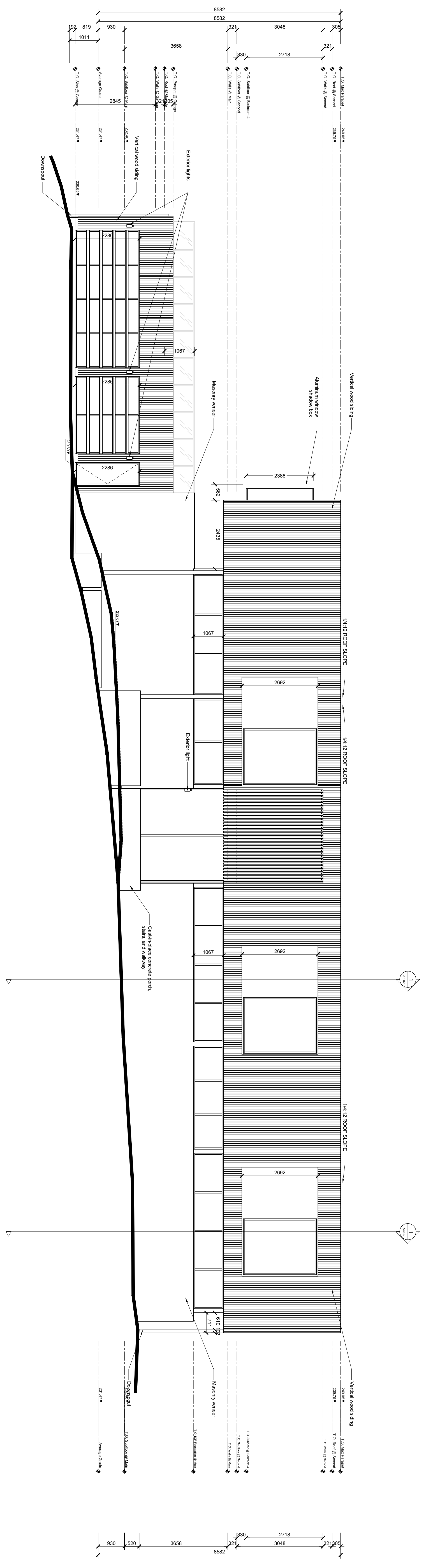
DO NOT SCALE DIMENSIONS

Note:
 1) Contractor to check all dimensions, responsible for reporting any discrepancy to the engineer and/or designer.
 2) These notes are to inform and the intended upon request. These notes shall be written approval of the design. Check the Ontario Building Code.
 3) All works to be in accordance with the Ontario Building Code.



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Drawing Submission:
 Date: 2021.10.22
 Type: Engineering
 2021.11.02
 COA



David Shouldice
 David Shouldice CBCC MAATO

In accordance with subsection 3.2.4. of Division C, of the Building Code. I am qualified, and the firm is registered, in the appropriate classes/categories.
 Individual BCIN: 19618 Firm BCIN: 31829

Reviewed By: JT
 Drawn By: MM
 Pwd Date: 2021.11.02

31 Old Forest Lane
 Kleinburg, Ontario

Page
A2.01

Elevations

DO NOT SCALE DIMENSIONS

Note:
 1) Contractor to check all dimensions, responsible for reporting any discrepancy to the engineer and/or designer.
 2) These notes are to remain and the contractor is responsible for ensuring that they are followed upon request. These notes shall be written approval of the designer. Refer to the Ontario Building Code.
 3) All work to be in accordance with the Ontario Building Code.

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Drawing Submission: Type
 Date: 2021.10.22 Engineering
 2021.11.02 CMA
 2021.11.02

**31 Old Forest Lane
 Kleinburg, Ontario**

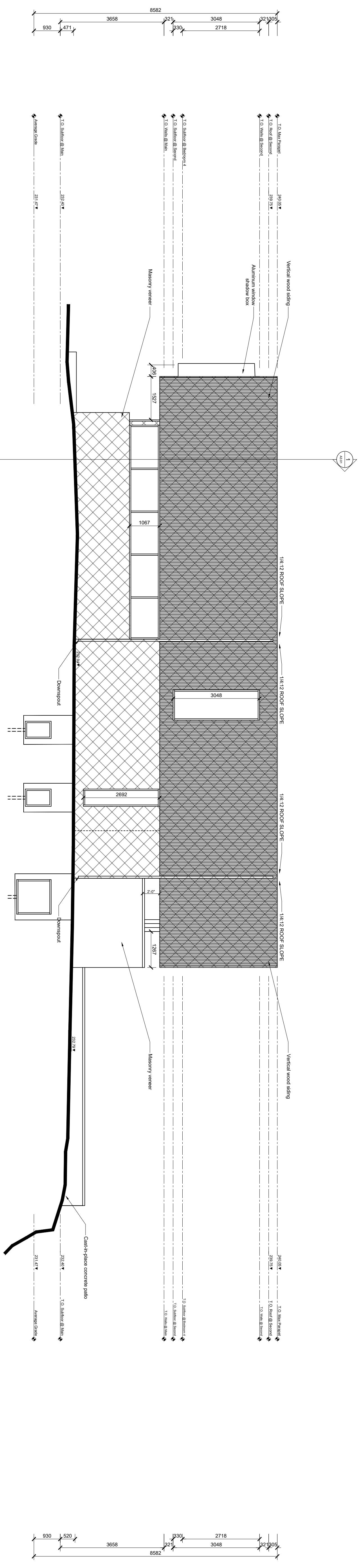
Reviewed By: JT
 Drawn By: MM
 Pwd Date: 2021.11.02

Page **A2.02**

Elevations

In accordance with subsection 3.2.4. of Division C, of the Building Code. I am qualified, and the firm is registered, in the appropriate classes/categories.
 Individual BCIN: 19618 Firm BCIN: 31829 David Shouldice CBCO MAATO

David Shouldice



DO NOT SCALE DIMENSIONS

Note:

- 1) Contractor to check all dimensions, responsible for reporting any discrepancy to the engineer and/or designer.
- 2) These notes are to inform and the intended upon request. These notes are the written approval of the designer, which the Ontario Building Code.
- 3) All works to be in accordance with the Ontario Building Code.



Drawing Submission:
 Date: 2021.10.22
 Type: Engineering
 2021.11.02
 COA

31 Old Forest Lane
 Kleinburg, Ontario

Reviewed By: JT
 Drawn By: MM
 Pwd Date: 2021.11.02

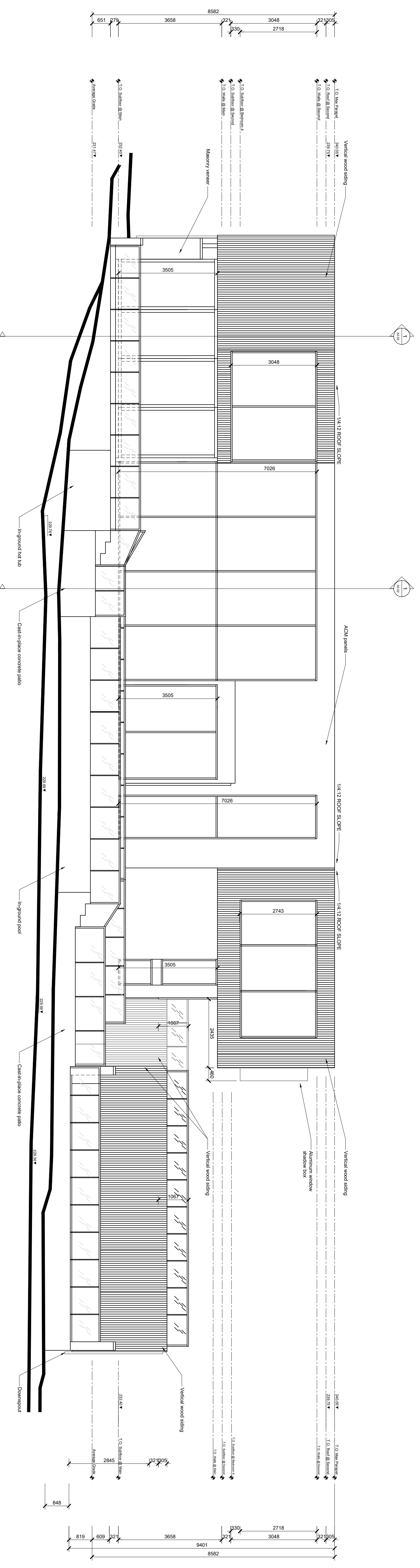
Page
A2.03

Elevations

In accordance with subsection 3.2.4. of Division C, of the Building Code, I am qualified, and the firm is registered, in the appropriate classes/categories.

David Shouldice CBCO MAATO

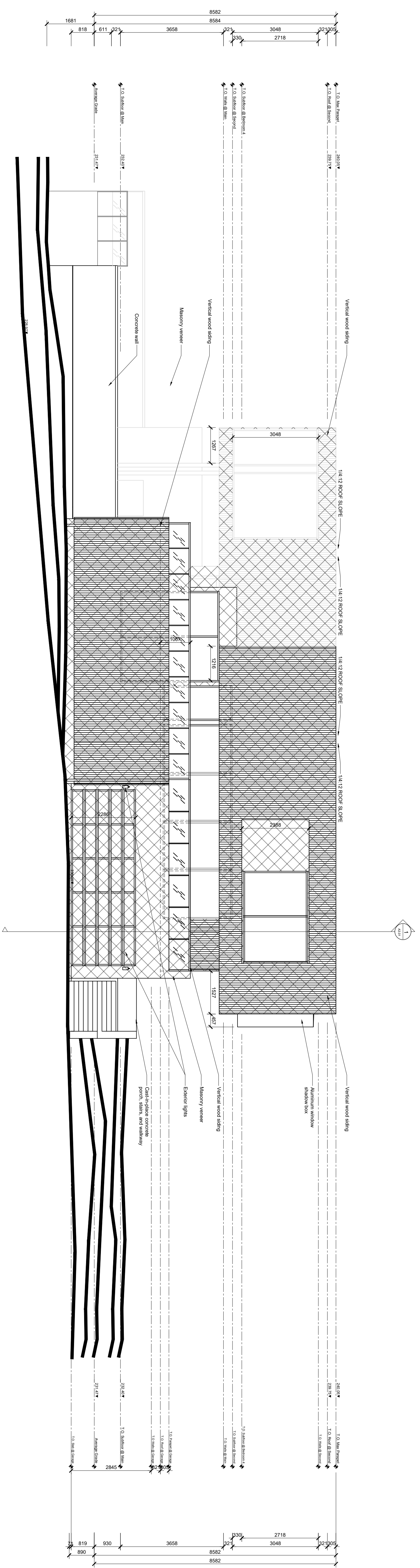
Individual BCIN: 19618 Firm BCIN: 31829



DO NOT SCALE DIMENSIONS

Note:

- 1) Contractor to check all dimensions, responsible for reworking and determining the engineer and/or designer.
- 2) These notes are to review and the intended upon request. They do not constitute a written approval of the design. See the Ontario Building Code.
- 3) All work to be in accordance with the Ontario Building Code.



1
A2.04

Proposed Side Elevation 002

Scale 1:175

David Shouldice

In accordance with subsection 3.2.4. of Division C, of the Building Code, I am qualified, and the firm is registered, in the appropriate classes/categories.

Individual BCIN: 19618 Firm BCIN: 31829 David Shouldice CBCO MAATO

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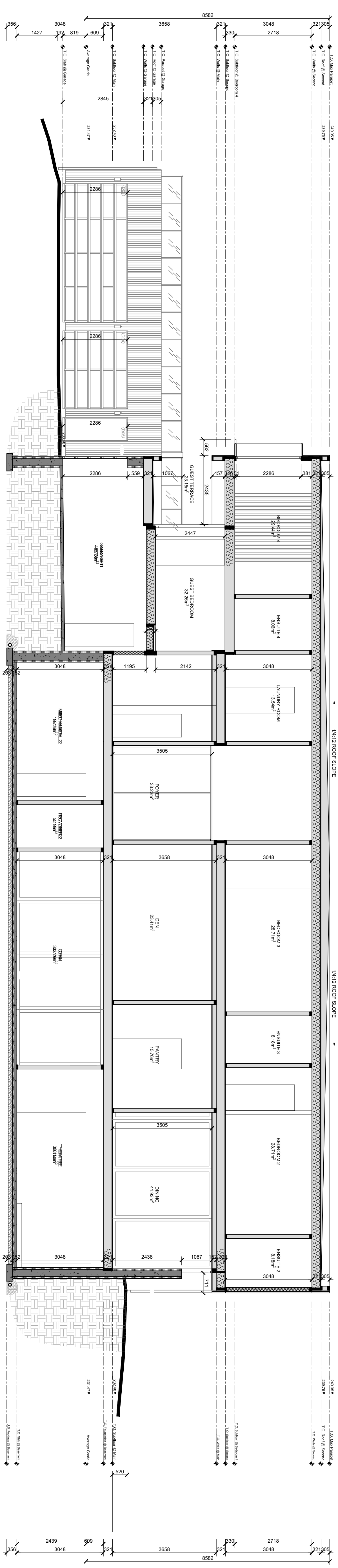
www.smpldesignstudio.com

Drawing Submission:

Date	Type
2021.10.22	Engineering
2021.11.02	COA

31 Old Forest Lane
Kleinburg, Ontario

Reviewed By	JT
Drawn By	MM
Proj Date	2021.11.02
Page	A2.04
Elevations	



In accordance with subsection 3.2.4. of Division C, of the Building Code. I am qualified, and the firm is registered, in the appropriate classes/categories.

Individual BCIN: 19618 Firm BCIN: 31829 David Shouldice CBCO MAATO

David Shouldice

Reviewed By: JT
 Drawn By: MM
 Pwd Date: 2021.11.02

Page
A3.01

Sections

31 Old Forest Lane
 Kleinburg, Ontario

Drawing Submission: Type
 Date: 2021.10.22
 Engineering: 2021.11.02
 COA

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DO NOT SCALE DRAWINGS

Note:
 1) Contractor to check all dimensions, responsible for reporting any discrepancy to the engineer and/or designer.
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 3) All works to be in accordance with the Ontario Building Code.

LOT 3, CONCESSION 7
PART 5, PLAN 65R-20450

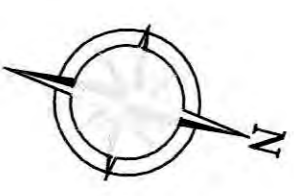
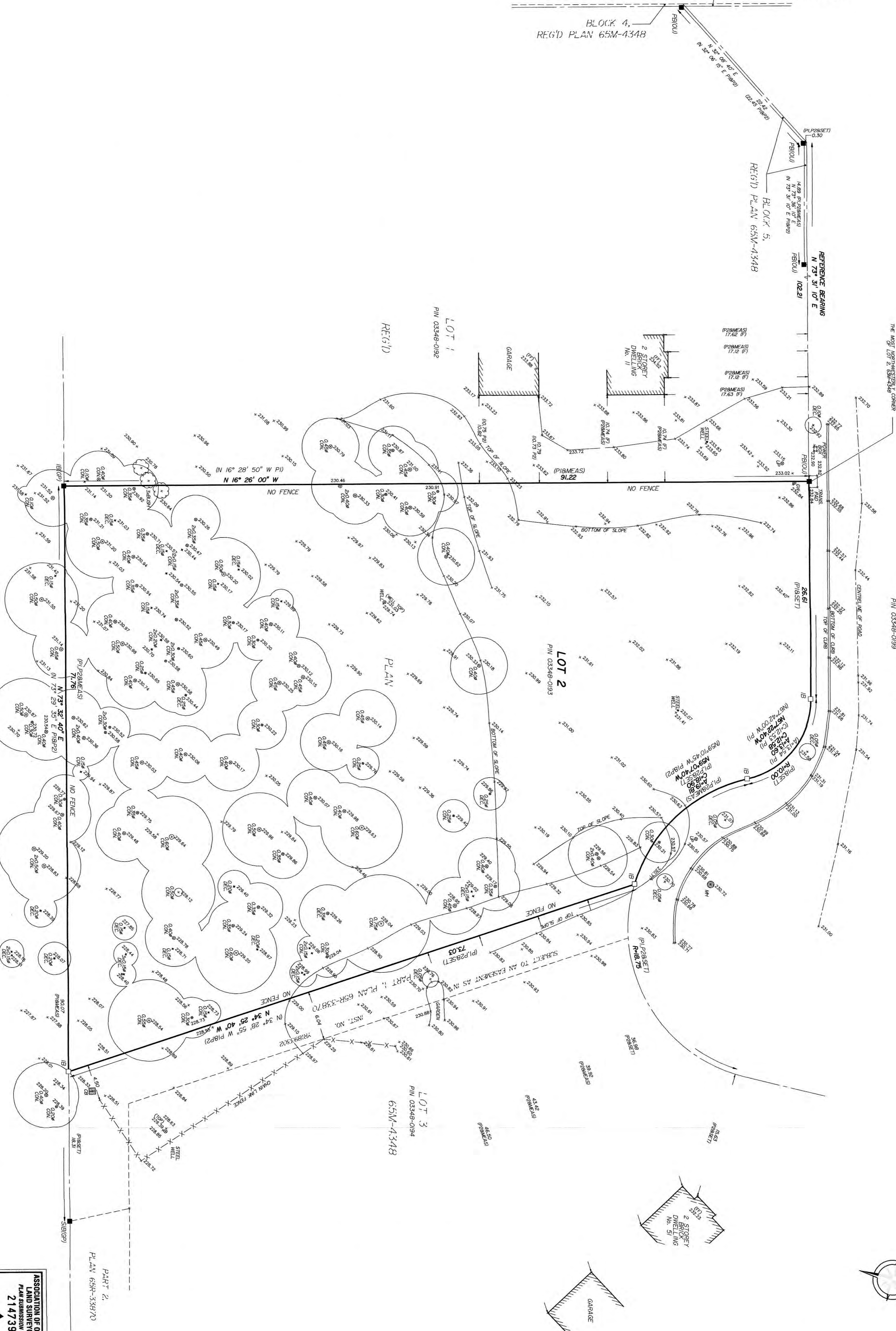
PART 1, PLAN 65R-31284

BLOCK 4,
REG'D PLAN 65M-4348

BLOCK 5,
REG'D PLAN 65M-4348

OLD FOREST LANE
(BY REG'D PLAN 65M-4348)
PIN 03348-0199

PART 2, PLAN 65R-20450
LOT 3, CONCESSION 7
PIN 03348-0108



SURVEYOR'S REAL PROPERTY REPORT - PART 1
PLAN OF SURVEY AND TOPOGRAPHIC OF
LOT 2
REGISTERED PLAN 65M-4348
CITY OF VAUGHAN

SCALE 1 : 250
2021
I. H. Gellibloom Surveying Limited
Ontario Land Surveyor

NOTABLES
None

LEGEND
Survey Monument Found
Standard Iron Bar
Plastic Bar
Origin Unknown
Guide Flag Surveying, O.L.S.
P1
P2
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BENCHMARK
Elevations are Referenced to the City of Vaughan Benchmark No. 81-100.
Having an Elevation of 258.88 m.

NOTE
This REPORT can be updated by the office, however NO ADDITIONAL DATE OF CERTIFICATION.
All building lines are perpendicular to property lines unless otherwise noted.
This REPORT was prepared for Amal Thakkar and the undersigned accepts no responsibility for use by other parties.

NOTE
Distances shown on this plan are in metres and can be converted to feet by dividing by 0.3048.

BEARING NOTE
Bearings are Astronomic and are referred to the Southern limit of Old Forest Lane shown on Reg'd Plan 65M-4348, having a bearing of N 73° 31' 10" E.

SURVEYOR'S CERTIFICATE
I certify that:
1. This survey and plan are correct and in accordance with the Survey Regulations and the Rules and Regulations of the Association of Ontario Land Surveyors.
2. The survey was completed on the 17th day of February, 2021.

ASSOCIATION OF ONTARIO LAND SURVEYORS
PLAN SUBMISSION FORM
2147398

THIS PLAN NOTIFIED UNDER THE REGISTRATION OF INSTRUMENTS ACT AND THE REGISTRATION OF INSTRUMENTS REGULATIONS 1925, SECTION 29(3).

March 17, 2021

J. H. Gellibloom Surveying Limited
Ontario Land Surveyor
478 Morden Road, Unit 102, Oakville, Ont. L6K 3K4
Phone: (905) 339-8210 Fax: (905) 339-9446

SCHEDULE B: DEVELOPMENT PLANNING & AGENCY COMMENTS

AGENCIES	Circulated	Comments Received	Conditions	Nature of Comments
Development Planning	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	Recommend Approval w/Conditions
TRCA	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	Recommend Approval w/Conditions
Ministry of Transportation (MTO)	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Region of York	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	No Comments or Concerns
Alectra	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	No Comments or Concerns
Bell Canada	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
YRDSB	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
YCDSB	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
CN Rail	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
CP Rail	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
TransCanada Pipeline	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Metrolinx	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Propane Operator	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	

To: Christine Vigneault, Committee of Adjustment Secretary Treasurer
From: Nancy Tuckett, Director of Development Planning
Date: February 10, 2022
Name of Owner: 2790355 Ontario Inc. c/o Amit Thakkar
Location: 31 Old Forest Lane
File No.(s): A244/21

Proposed Variance(s) (By-law 001-2021):

1. To permit a front yard setback of 4.4 m.

By-Law Requirement(s) (By-law 001-2021):

1. The minimum front yard setback is 15 m.

Proposed Variance(s) (By-law 1-88):

2. To permit a front yard setback of 4.4 m.
3. To permit a lot coverage of 10.10%. (508.2 m²)

By-Law Requirement(s) (By-law 1-88):

2. The minimum front yard setback is 15 m.
3. The maximum lot coverage is 10% or 503.1 m².

Official Plan:

City of Vaughan Official Plan 2010 ('VOP 2010'): "Agricultural" and "Natural Areas" (Schedule 13) within the "Greenbelt Natural Heritage System" (Schedule 4).

Comments:

The Owner is proposing to construct a two-storey single detached dwelling with the above-noted variances.

The subject lands are located within a three-lot subdivision in what is primarily an agricultural area. The requested front yard setback is measured to a pinch-point between the corner of the garage and the cul-de-sac, while most of the front wall of the dwelling maintains a front yard setback greater than 15 m and is similar to the adjacent dwelling on 11 Old Forest Lane. The requested lot coverage is considered to be a minor deviation from the requirements of Zoning By-law and will not impact the abutting properties. The Development Planning Department therefore has no objection to Variances 1, 2 and 3.

The subject lands contain a significant woodland feature that forms part of the Natural Heritage Network as identified on Schedule 2 of VOP 2010 and is also partially located within the Toronto and Region Conservation Authority ('TRCA') Regulated Area. As part of this application, the Owner is proposing a septic tank located in the rear yard which will impact the Natural Heritage Feature. In consultation with the TRCA and Policy Planning and Special Programs Department staff, the Owner is to provide a revised Arborist Report that reviews the potential locations of the septic tank at the rear of the property to demonstrate minimum impacts to the woodland, a species at risk assessment, and a planting and restoration plan to compensate for woodland tree removals. A recommendation to this effect has been included in the Conditions of Approval.

Accordingly, the Development Planning Department is of the opinion that the proposal is minor in nature, maintains the general intent and purpose of the Official Plan and Zoning By-law, and is desirable for the appropriate development of the land.

Recommendation:

The Development Planning Department recommends approval of the application, subject to the following conditions:

Conditions of Approval:

If the Committee finds merit in the application, the following Conditions of Approval are recommended:

1. That a revised Arborist Report and Species at Risk Assessment be submitted to the satisfaction of Policy Planning and Special Programs Department.

Comments Prepared by:

Michael Torres, Planner 1

Chris Cosentino, Senior Planner

Date: December 21st , 2021

Attention: **Christine Vigneault**

RE: Request for Comments

File No.: **A244-21**

Related Files:

Applicant 2790355 Ontario Inc. c/o Amit Thakkar

Location 31 Old Forest Lane



Discover the possibilities

COMMENTS:

- We have reviewed the proposed Variance Application and have no comments or objections to its approval.
- We have reviewed the proposed Variance Application and have no objections to its approval, subject to the following comments (attached below).
- We have reviewed the proposed Variance Application and have the following concerns (attached below).

Alectra Utilities (formerly PowerStream) has received and reviewed the proposed Variance Application. This review, however, does not imply any approval of the project or plan.

All proposed billboards, signs, and other structures associated with the project or plan must maintain minimum clearances to the existing overhead or underground electrical distribution system as specified by the applicable standards, codes and acts referenced.

In the event that construction commences, and the clearance between any component of the work/structure and the adjacent existing overhead and underground electrical distribution system violates the Occupational Health and Safety Act, the customer will be responsible for 100% of the costs associated with Alectra making the work area safe. All construction work will be required to stop until the safe limits of approach can be established.

In the event construction is completed, and the clearance between the constructed structure and the adjacent existing overhead and underground electrical distribution system violates the any of applicable standards, acts or codes referenced, the customer will be responsible for 100% of Alectra's cost for any relocation work.

References:

- Ontario Electrical Safety Code, latest edition (Clearance of Conductors from Buildings)
- Ontario Health and Safety Act, latest edition (Construction Protection)
- Ontario Building Code, latest edition (Clearance to Buildings)
- PowerStream (Construction Standard 03-1, 03-4), attached
- Canadian Standards Association, latest edition (Basic Clearances)

If more information is required, please contact either of the following:

Mr. Stephen Cranley, C.E.T
Supervisor, Distribution Design, ICI & Layouts (North)
Phone: 1-877-963-6900 ext. 31297

Mr. Tony D'Onofrio
Supervisor, Subdivisions (Alectra East)
Phone: 1-877-963-6900 ext. 24419

E-mail: stephen.cranley@alectrautilities.com

Email: tony.donofrio@alectrautilities.com

February 1, 2022

CFN 64195.42

SENT BY E-MAIL: Christine.Vigneault@vaughan.ca

Christine Vigneault
Secretary Treasurer
Committee of Adjustment
City of Vaughan
2141 Major Mackenzie Drive
Vaughan, Ontario L6A 1T1

Dear Christine:

**Re: Minor Variance Application A244.21
Lot 2, Plan 65M-4348
31 Old Forest Lane
City of Vaughan, Region of York
Owner: 2790355 Ontario Inc. c/o Amit Thakkar
Agent: SMPL Design Studio c/o Lindsey Bruce and/or Joel Tanner**

This letter acknowledges receipt of the above-noted application circulated by the City of Vaughan. The materials were received by Toronto and Region Conservation Authority (TRCA) on December 21, 2021. TRCA staff has reviewed the above noted application, and as per the “Living City Policies for Planning and Development within the Watersheds of the TRCA” (LCP), provides the following comments as part of TRCA’s commenting role under the *Planning Act*; the Authority’s delegated responsibility of representing the provincial interest on natural hazards encompassed by Section 3.1 of the *Provincial Policy Statement, 2020*; TRCA’s Regulatory Authority under Ontario Regulation 166/06, *Development, Interference with Wetlands and Alterations to Shorelines and Watercourses*; and, our Memorandum of Understanding (MOU) with the Region of York, wherein we provide technical environmental advice related to provincial plans.

Purpose of the Application

It is our understanding that the purpose of the above noted application is to request the following variances under both Zoning By-Law 01-2021 and By-Law 1-88:

By-Law 01-2021

1. To permit a front yard setback of 4.4 metres, whereas a minimum front yard setback of 15.0 m is required.

By-Law 1-88

1. To permit a front yard setback of 4.4 metres, whereas a minimum front yard setback of 15.0 m is required.
2. To permit a lot coverage of 10.10%. (508.2m²), whereas the maximum lot coverage is 10% or 503.1m².

The noted variances are being requested to permit the construction of a single family residential dwelling and associated septic system.

Ontario Regulation 166/06:

The southwest portion of the subject property is within TRCA's Regulated Area as it is located within the 120 metre Area of Interference (AOI) associated with a Provincially Significant Wetland (PSW) feature. The feature is located to the southwest of the property at 11 Old Forest Lane. In accordance with Ontario Regulation 166/06 (Regulation of Development, Interference with Wetlands and Alterations to Shorelines and Watercourses), development and site alteration may be permitted in the Regulated Area where it can be demonstrated to TRCA's satisfaction that the control of flooding, erosion, dynamic beaches, pollution, or the conservation of land will not be affected. Based on a review of circulated materials, the proposed septic system is located within the Regulated Area. As such, a permit will be required pursuant to Ontario Regulation 166/06.

Application-Specific Comments

TRCA staff were previously involved in the review of a draft plan of subdivision (Municipal File No. 19T-03V07), through which the subject property was created. The subdivision application was appealed to the Ontario Municipal Board and an Order (Decision/Order No. 3129) was issued on November 7, 2006. A plan was included in the order that depicted development envelopes on each of the three proposed lots in the subdivision.

Based on a review of the submitted materials, TRCA staff have no objections to the proposed variances. However, the size and location of the septic system are not consistent with the development envelope approved by the OMB and previous subdivision. TRCA defer the compliance of the developable area with the OMB order to the City of Vaughan.

Based on a review of the submitted Arborist Report, prepared by Strybos Barron King Ltd., dated October 8, 2021, it appears that a significant number of trees will be removed because of the proposed north southerly septic system. Whereas reconfiguring the septic system to east-west orientation and shifting the system toward the dwelling will result in fewer tree removals and, subsequently, less impact on the natural features. TRCA will work with the proponent to minimize the impact to the woodland as part of the TRCA Permit Application. Please refer to appendix 'A' for TRCA Permit Requirements.

Fees

By copy of this letter, the applicant is advised that TRCA has implemented a fee schedule for our planning application review services. This application is subject to a \$610.00 (Variance-Residential-Minor) review fee. The applicant is responsible for fee payment and should forward the application fee to this office as soon as possible.

Recommendations

Based on the comments noted above, TRCA has **no objection** to the approval of Minor Variance Application A244.21 subject to the following conditions:

1. The applicant successfully obtains a permit pursuant to Ontario Regulation 166/06 from TRCA for the proposed works.
2. That the applicant provides the required fee amount of \$610.00 payable to the Toronto and Region Conservation Authority.

We trust these comments are of assistance. Should you have any questions, please contact me at extension 5256 or at Hamedeh.Razavi@trca.ca

Sincerely,



Hamedeh Razavi
Planner I
Development Planning and Permits

HR/mh

Appendix 'A: TRCA Permit Requirements

As noted above, TRCA has concerns regarding the size and location of the proposed septic system as the woodland on the property is considered part of a significant woodland complex given its contiguity to the PSW feature to the southwest. TRCA requires that the natural features protection hierarchy is applied in all developments - avoidance, minimization of impacts, and then mitigation measures to offset any remaining impacts deemed unavoidable.

In order to initiate the permit process, a digital copy of the following materials must be submitted to TRCA:

1. Complete Application for Development, Interference with Wetlands & Alterations to Shorelines & Watercourses (Residential/Development Projects) (Pursuant to Ontario Regulation 166/06).
2. A digital copy of the following finalized plans/drawings:
 - Site Plan
 - Grading Plan
 - Erosion and Sediment Control Plan
 - Arborist Report quantifying proposed tree removals in different proposed layouts (i.e., septic system). Please include an appendix demonstrating that avoidance and minimization of impacts was incorporated as much as possible.
 - Planting/Restoration Plan detailing how the tree removals required to facilitate the single-family dwelling and septic system will be compensated for. A robust native species planting plan should be provided along the disturbed feature edge to provide for a net ecological gain.
 - A Species at Risk (SAR) Review in consultation with MECP.
3. One Copy of a legal survey of the subject property.
4. Permit Review fee of \$495.00 (Works on Private Residential Property – Minor).

Pravina Attwala

Subject: FW: [External] RE: A244/21 (31 OLD FOREST LANE) - REQUEST FOR COMMENTS

From: Hurst, Gabrielle <Gabrielle.Hurst@york.ca>

Sent: December-23-21 1:39 PM

To: Pravina Attwala <Pravina.Attwala@vaughan.ca>

Cc: Committee of Adjustment <CofA@vaughan.ca>

Subject: [External] RE: A244/21 (31 OLD FOREST LANE) - REQUEST FOR COMMENTS

Good afternoon Pravina,

The Regional Municipality of York has completed its review of the above minor variance and has no comment.

Gabrielle

Gabrielle Hurst mcip rpp | Community Planning and Development Services | The Regional Municipality of York | 1-877
464 9675 ext 71538 | gabrielle.hurst@york.ca | www.york.ca

d.

SCHEDULE C: PUBLIC & APPLICANT CORRESPONDENCE

Correspondence Type	Name	Address	Date Received (mm/dd/yyyy)	Summary
None				