



**COMMITTEE OF ADJUSTMENT
REPORT SUMMARY
MINOR VARIANCE APPLICATION
FILE NUMBER A198/21**

AGENDA ITEM NUMBER: 1	CITY WARD #: 5
APPLICANT:	Yao Quan
AGENT:	Battaglia Architect Inc.
PROPERTY:	16 Cavalier Crescent, Thornhill
ZONING DESIGNATION:	See below.
VAUGHAN OFFICIAL PLAN (2010) DESIGNATION:	Vaughan Official Plan 2010 ('VOP 2010'): "Low-Rise Residential"
RELATED DEVELOPMENT APPLICATIONS: <small>*May include related applications for minor variance, consent, site plan, zoning amendments etc.</small>	None
PURPOSE OF APPLICATION:	Relief from the City's Zoning By-law is being requested to permit the construction of a proposed single family dwelling.

**THIS REPORT CONTAINS COMMENTS FROM THE FOLLOWING
DEPARTMENTS & AGENCIES:**

*Please see **Schedule B** of this report for a copy of Development Planning and Agency correspondence.

Additional comments from departments and agencies may be received after the publication of the Staff Report. These comments will be processed as an addendum and posted on the City's Website.

DEPARTMENTS	Circulated	Comments Received	Conditions	Nature of Comments
Committee of Adjustment	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	General Comments
Building Standards (Zoning Review)	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	General Comments
Building Inspection (Septic)	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	No Comments Recieved to Date
Development Planning	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Application Under Review
Development Engineering	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	Recommend Approval w/Conditions
Parks, Forestry and Horticulture Operations	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	Recommend Approval w/Conditions
By-law & Compliance, Licensing & Permits	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	Recommend Approval/No Conditions
Development Finance	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	Recommend Approval/No Conditions
Real Estate	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Choose an item.
Fire Department	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	Recommend Approval/No Conditions
AGENCIES	Circulated	Comments Received	Conditions	Nature of Comments
TRCA	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	No Comments Recieved to Date
Ministry of Transportation (MTO)	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Choose an item.
Region of York	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	Recommend Approval/No Conditions
Alectra	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	Recommend Approval/No Conditions
Bell Canada	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	No Comments Recieved to Date
YRDSB	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
YCDSB	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
CN Rail	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
CP Rail	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
TransCanada Pipeline	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Metrolinx	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Propane Operator	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	

PUBLIC & APPLICANT CORRESPONDENCE

*Please see **Schedule C** of this report for a copy of the public & applicant correspondence listed below.

The deadline to submit public comments is **noon on the last business day prior to the scheduled hearing date.**

Comments and written public submissions received after the publication of this Staff Report will be processed as an addendum and posted on the City’s Website.

All personal information collected because of this public meeting (including both written and oral submissions) is collected under the authority of the Municipal Act, the Municipal Freedom of Information and Protection of Privacy Act (MFIPPA), the Planning Act and all other relevant legislation, and will be used to assist in deciding on this matter. All personal information (as defined by MFIPPA), including (but not limited to) names, addresses, opinions and comments collected will become property of the City of Vaughan, will be made available for public disclosure (including being posted on the internet) and will be used to assist the Committee of Adjustment and staff to process this application.

Correspondence Type	Name	Address	Date Received (mm/dd/yyyy)	Summary
Applicant / Authorized Agent	Yao Quan	16 Cavalier Cr.	01/28/2022	Response to Staff Correspondence

PREVIOUS COA DECISIONS ON THE SUBJECT LAND

*Please see **Schedule D** for a copy of the Decisions listed below

File Number	Date of Decision MM/DD/YYYY	Decision Outcome
None		

ADJOURNMENT HISTORY

* Previous hearing dates where this application was adjourned by the Committee and public notice issued.

None	
------	--



**COMMITTEE OF ADJUSTMENT REPORT
MINOR VARIANCE APPLICATION
A198/21**

AGENDA ITEM NUMBER: 1	CITY WARD #: 5
APPLICANT:	Yao Quan
AGENT:	Battaglia Architect Inc.
PROPERTY:	16 Cavalier Crescent, Thornhill
ZONING DESIGNATION:	See below.
VAUGHAN OFFICIAL PLAN (2010) DESIGNATION:	Vaughan Official Plan 2010 ('VOP 2010'): "Low-Rise Residential"
RELATED DEVELOPMENT APPLICATIONS: <small>*May include related applications for minor variance, consent, site plan, zoning amendments etc.</small>	None
PURPOSE OF APPLICATION:	Relief from the City's Zoning By-law is being requested to permit the construction of a proposed single family dwelling.

The following variances have been requested from the City's Zoning By-law:

The subject lands are zoned R1E(EN) – First Density Residential Zone (Established Neighbourhood) under Zoning By-law 01-2021.

#	Zoning By-law 01-2021	Variance requested
1	The maximum building height shall be the least (more restrictive) of: a. The requirement of the applicable zone; or b. The existing building height plus 3.0 m (existing 5.49 m + 3.0 m = 8.49 m), but in no case shall the maximum building height requirement be less than 8.5 m. Maximum permitted building height = 8.5 m. [4.5.1]	To permit a maximum building height of 10.35 metres.
2	For any proposed or new replacement dwelling that exceeds the existing height, and is greater than 9.5 m in height, the minimum interior side yard shall be the greater (more restrictive) of: a. The requirement of the applicable zone; b. The existing interior side yard; or c. 2.2 m. Interior side yard setbacks of 2.2 metres are required for the dwelling.	To permit a minimum interior side yard setback of 1.6 metres (north) and 1.65 metres (south).
3	A maximum lot coverage of 20% is permitted. [Table 7.3]	To permit a maximum lot coverage of 26.07% 25.10% (22.92% dwelling; 2.18% deck & porch) *Variance revised by zoning waiver
4	A maximum encroachment of 0.6 metres is permitted into a minimum required interior side yard of 2.2 metres for a chimney.	To permit a maximum encroachment of 0.7 metres into a minimum required interior side yard of 2.2 metres for a chimney.

The subject lands are zoned R1V, Residential under Zoning By-law 1-88, as amended.

#	Zoning By-law 1-88	Variance requested
5	A maximum lot coverage of 20% is permitted. [Schedule A]	To permit a maximum lot coverage of 26.07% 25.10% (22.92% dwelling; 2.18% deck & porch) *Variance revised by zoning waiver
6	A maximum building height of 9.5 metres is permitted. [Schedule A]	To permit a maximum building height of 10.35 metres.

HEARING INFORMATION

DATE & TIME OF HEARING: Thursday, February 10, 2022 at 6:00 p.m.

As a result of COVID-19, Vaughan City Hall and all other City facilities are closed to the public at this time.

PUBLIC PARTICIPATION

You can watch a live stream of the hearing at Vaughan.ca/LiveCouncil

If you wish to speak to the Committee of Adjustment on an application please complete and submit a [Public Deputation Form](#) to cofa@vaughan.ca **by noon** on the last business day prior to the hearing.

Any person who supports or opposes this application, but is unable to attend the hearing, may make a written submission, together with reasons for support or opposition. Written submissions on an Application must be submitted by **noon** on the last business day **prior** to the day of the scheduled hearing. Written submissions can be emailed to cofa@vaughan.ca

[For more information, please visit the City of Vaughan website.](#)

INTRODUCTION

Staff and Agencies act as advisory bodies to the Committee of Adjustment. The comments contained in this report are presented as recommendations to the Committee.

Section 45(1) of the Planning Act sets the criteria for authorizing minor variances to the City of Vaughan's Zoning By-law. Accordingly, review of the application may consider the following:

- That the general intent and purpose of the by-law will be maintained.
- That the general intent and purpose of the official plan will be maintained.
- That the requested variance(s) is/are acceptable for the appropriate development of the subject lands.
- That the requested variance(s) is/are minor in nature.

Public written and oral submissions relating to this application are taken into consideration by the Committee of Adjustment as part of its deliberations and final decision on this matter.

COMMITTEE OF ADJUSTMENT COMMENTS

Date Public Notice Mailed:	January 26, 2022
Date Applicant Confirmed Posting of Sign:	January 21, 2022
Applicant Justification for Variances: <small>*As provided by Applicant in Application Form</small>	-Lot coverage exceeds 20% -Building Height exceeds 9.5m -Side yard setbacks less than 2.2m -Maximum encroachment for a chimney exceeds 0.6m -Front yard landscaping less than 60%
Adjournment Requests (from staff): <small>*Adjournment requests provided to applicant prior to issuance of public notice</small>	None
Was a Zoning Review Waiver (ZRW) Form submitted by Applicant: <small>*ZRW Form may be used by applicant in instances where a revised submission is made, and zoning staff do not have an opportunity to review and confirm variances prior to the issuance of public notice. *A revised submission may be required to address staff / agency comments received as part of the application review process. *Where a zoning review has not been completed on a revised submission, an opportunity is provided to the applicant to adjourn the proposal prior to the issuance of public notice.</small>	Yes
Adjournment Fees: In accordance with Procedural By-law 069-2019, an Adjournment Fee is applicable to reschedule an application after the issuance of public notice where a request for adjournment has been provided to the applicant prior to the issuance of public notice. An Adjournment Fee can only be waived in instances where adjournment of an application is requested by the Committee or staff after the issuance of public notice.	
Committee of Adjustment Comments:	General Comments
Committee of Adjustment Recommended Conditions of Approval:	None

BUILDING STANDARDS (ZONING) COMMENTS

The applicant shall be advised that additional variances may be required upon review of detailed drawing for building permit.

Building Standards Recommended Conditions of Approval:	None
---	------

DEVELOPMENT PLANNING COMMENTS

Application Under Review

Development Planning Recommended Conditions of Approval:	TBD
---	-----

DEVELOPMENT ENGINEERING COMMENTS

The Development Engineering (DE) Department does not object to variance application A198/21

As the proposed dwelling in the subject property is 236.67 m², the owner/ applicant needs to obtain a lot grading permit from Development Inspection and Lot Grading division of the City's Development Engineering Department. Please note any in ground structure over 10 m² requires a grading permit. Please contact COA application engineering reviewer after receiving the grading permit to clear the condition. (Condition attached)

The proposed work by the owner is increasing the lot coverage in the subject property. The added hardscape may have impact on City's Storm Water management system. Stuff requires the owner/applicant to introduce Low-impact Development (LID) measures (Bioswales, Permeable pavers, Rain Gardens, Rain Barrels etc.) to reduce the impacts. Please provide DE with a LID brief explaining the measures taken prior to clearing the condition.

The owner/applicant shall apply and obtain the necessary curb cut/ reinstating permit through the Transportation and Fleet Management Services. Please visit https://www.vaughan.ca/services/residential/transportation/roads/curb_cuts_and_driveway_widening/Pages/default.aspx to learn how to apply for the curb cut/ reinstating permit.

Development Engineering Recommended Conditions of Approval:	<ol style="list-style-type: none">1. The Owner/applicant shall submit the final Lot Grading and/or Servicing Plan to the Development Inspection and Lot Grading division of the City's Development Engineering Department for final lot grading and/or servicing approval prior to any work being undertaken on the property. Please visit or contact the Development Engineering Department through email at DEPermits@vaughan.ca or visit https://www.vaughan.ca/services/residential/dev_eng/permits/Pages/default.aspx to learn how to apply for lot grading and/or servicing approval.2. The owner/applicant shall provide a brief to demonstrate the appropriate LID (Low-impact Development) measures and show the measures taken in the drawing to the satisfaction of DE to address the increased lot coverage from 20% to 28% in order to mitigate potential impacts on the municipal storm water system.
--	---

PARKS, FORESTRY & HORTICULTURE (PFH) COMMENTS

No comments no concerns

PFH Recommended Conditions of Approval:	Applicant/owner shall obtain a "Private Property Tree Removal & Protection" permit through the forestry division prior to any construction works on the subject property.
--	---

DEVELOPMENT FINANCE COMMENTS

That the payment of the City Development Charge is payable to the City of Vaughan prior to issuance of a building permit in accordance with the Development Charges Act and City-wide Development Charge By-law in effect at time of payment.

That the payment of Region of York Development Charge is payable to the City of Vaughan prior to issuance of a building permit in accordance with the Development Charges Act and Regional Development Charges By-laws in effect at time of payment.

That the payment of Education Development Charge is payable to the City of Vaughan prior to issuance of a building permit in accordance with the Education Act and York Region District School Board and York Catholic District School Board Development Charges By-laws in effect at time of payment

DEVELOPMENT FINANCE COMMENTS

That the payment of applicable Area Specific Development Charges are payable to the City of Vaughan prior to issuance of a building permit in accordance with the Development Charges Act and Area Specific Development Charge By-laws in effect at time of payment.

Development Finance Recommended Conditions of Approval:	None
--	------

BY-LAW AND COMPLIANCE, LICENSING AND PERMIT SERVICES COMMENTS

No comments no concerns

BCLPS Recommended Conditions of Approval:	None
--	------

BUILDING INSPECTION (SEPTIC) COMMENTS

No comments received to date

Building Inspection Recommended Conditions of Approval:	None
--	------

FIRE DEPARTMENT COMMENTS

No comments no concerns

Fire Department Recommended Conditions of Approval:	None
--	------

SCHEDULES TO STAFF REPORT

*See Schedule for list of correspondence

Schedule A	Drawings & Plans Submitted with the Application
Schedule B	Development Planning & Agency Comments
Schedule C (if required)	Correspondence (Received from Public & Applicant)
Schedule D (if required)	Previous COA Decisions on the Subject Land

Should the Committee find it appropriate to approve this application in accordance with request and the sketch submitted with the application, as required by Ontario Regulation 200/96, the following conditions have been recommended:

SUMMARY OF RECOMMENDED CONDITIONS OF APPROVAL

All conditions of approval, unless otherwise stated, are considered to be incorporated into the approval “if required”. If a condition is no longer required after an approval is final and binding, the condition may be waived by the respective department or agency requesting conditional approval. A condition cannot be waived without written consent from the respective department or agency.

#	DEPARTMENT / AGENCY	CONDITION(S) DESCRIPTION
1	Development Planning roberto.simbana@vaughan.ca	Application under review
2	Development Engineering farzana.khan@vaughan.ca	<ol style="list-style-type: none"> 1. The Owner/applicant shall submit the final Lot Grading and/or Servicing Plan to the Development Inspection and Lot Grading division of the City’s Development Engineering Department for final lot grading and/or servicing approval prior to any work being undertaken on the property. Please visit or contact the Development Engineering Department through email at DEPermits@vaughan.ca or visit https://www.vaughan.ca/services/residential/dev_eng/permits/Pages/default.aspx to learn how to apply for lot grading and/or servicing approval. 2. The owner/applicant shall provide a brief to demonstrate the appropriate LID (Low-impact Development) measures and show the measures taken in the drawing to the satisfaction of DE to address the increased lot coverage from 20% to 28% in order to mitigate potential impacts on the municipal storm water system.
3	Parks, Forestry and Horticulture Operations andrew.swedlo@vaughan.ca	Applicant/owner shall obtain a “Private Property Tree Removal & Protection” permit through the forestry division prior to any construction works on the subject property.

IMPORTANT INFORMATION – PLEASE READ

CONDITIONS: It is the responsibility of the owner/applicant and/or authorized agent to obtain and provide a clearance letter from respective department and/or agency (**see condition chart above for contact**). This letter must be provided to the Secretary-Treasurer to be finalized. All conditions must be cleared prior to the issuance of a Building Permit.

IMPORTANT INFORMATION – PLEASE READ

APPROVALS: Making any changes to your proposal after a decision has been made may impact the validity of the Committee's decision.

An approval obtained from the Committee of Adjustment, where applicable, is tied to the building envelope shown on the plans and drawings submitted with the application and subject to the variance approval.

A building envelope is defined by the setbacks of the buildings and/or structures shown on the plans and drawings submitted with the application, as required by Ontario Regulation 200/96. Future development outside of an approved building envelope, where a minor variance was obtained, must comply with the provisions of the City's Zoning By-law.

Elevation drawings are provided to reflect the style of roof (i.e. flat, mansard, gable etc.) to which a building height variance has been applied. Where a height variance is approved, building height is applied to the style of roof (as defined in the City's Zoning By-law) shown on the elevation plans submitted with the application.

Architectural design features that are not regulated by the City's Zoning By-law are not to be considered part of an approval unless specified in the Committee's decision.

DEVELOPMENT CHARGES: That the payment of the Regional Development Charge, if required, is payable to the City of Vaughan before issuance of a building permit in accordance with the Development Charges Act and the Regional Development Charges By-law in effect at the time of payment.

That the payment of the City Development Charge, if required, is payable to the City of Vaughan before issuance of a building permit in accordance with the Development Charges Act and the City's Development Charges By-law in effect at the time of payment.

That the payment of the Education Development Charge if required, is payable to the City of Vaughan before issuance of a building permit in accordance with the Development Charges Act and the Boards of Education By-laws in effect at the time of payment

That the payment of Special Area Development charge, if required, is payable to the City of Vaughan before issuance of a building permit in accordance with the Development Charges Act and The City's Development Charge By-law in effect at the time of Building permit issuance to the satisfaction of the Reserves/Capital Department.

NOTICE OF DECISION: If you wish to be notified of the decision in respect to this application or a related Ontario Land Tribunal (OLT) hearing you must complete a Request for Decision form and submit to the Secretary Treasurer (ask staff for details). In the absence of a written request to be notified of the Committee's decision you will **not** receive notice.

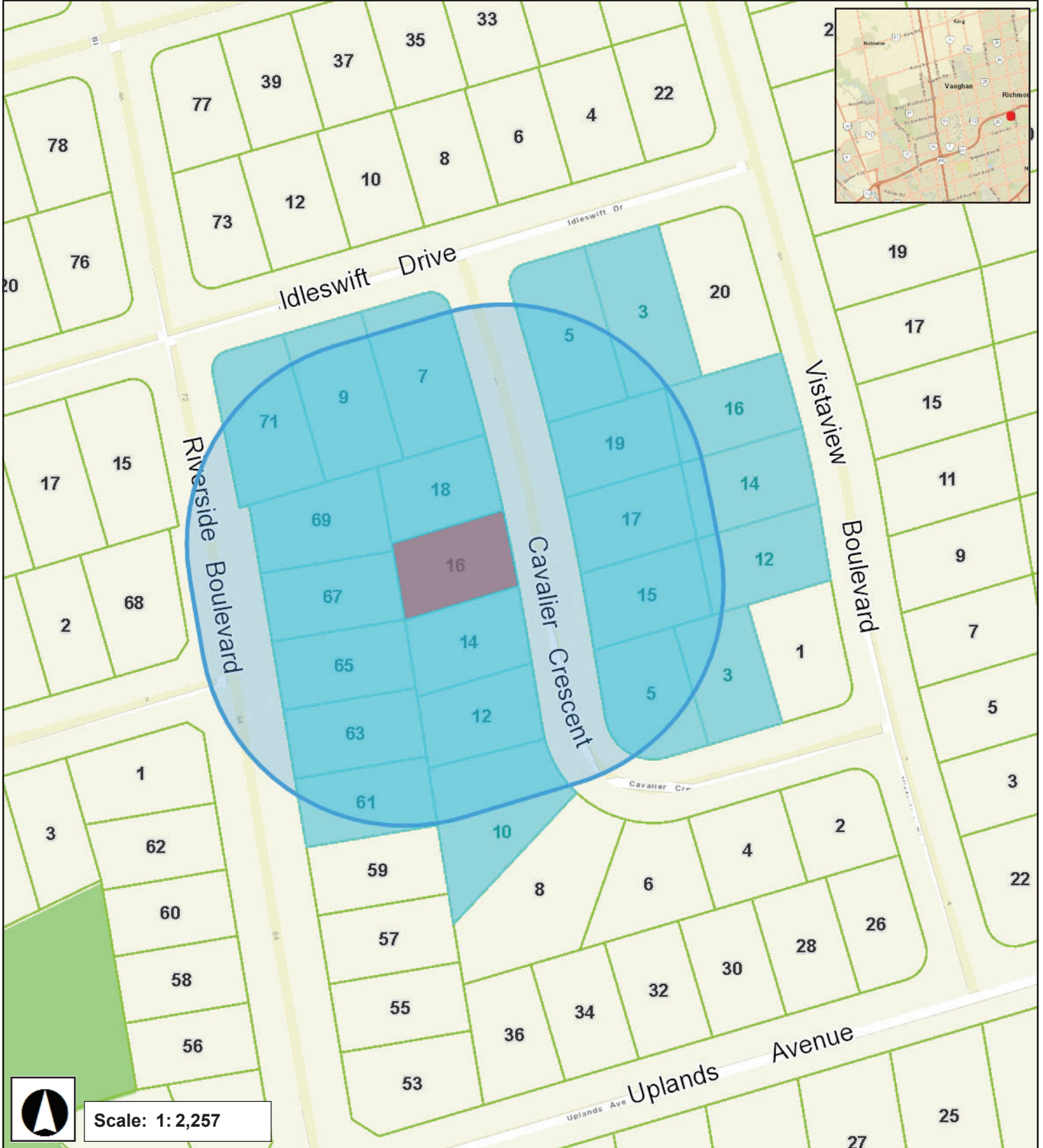
SCHEDULE A: DRAWINGS & PLANS



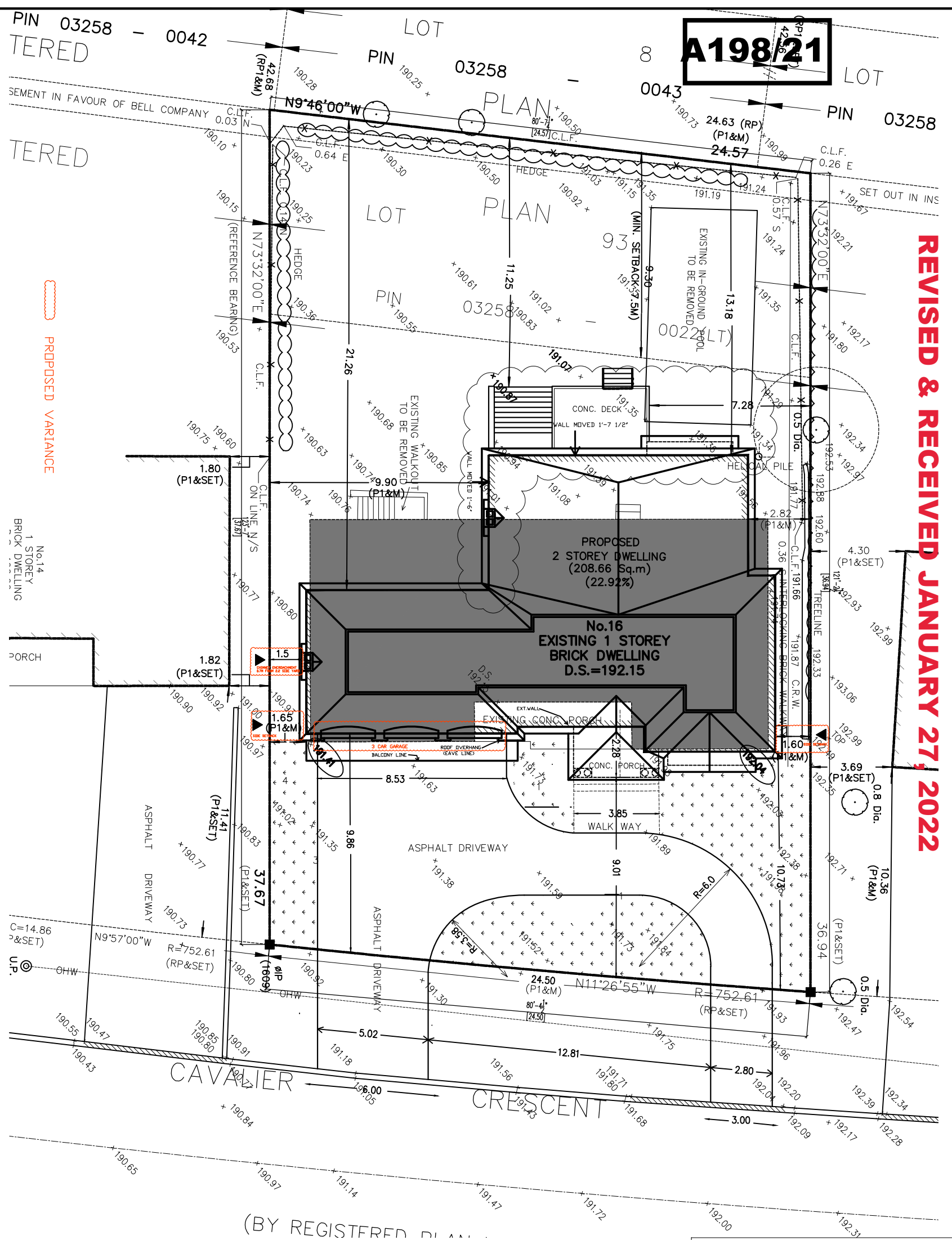
LOCATION MAP - A198/21

16 CAVALIER CRESCENT, THORNHILL

Highway 7



REVISED & RECEIVED JANUARY 27, 2022



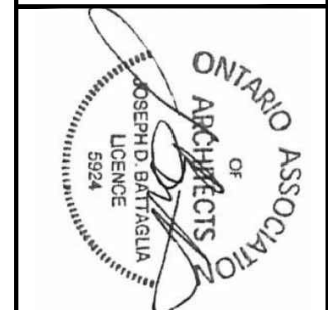
A198/21

NO.	DATE
-----	------

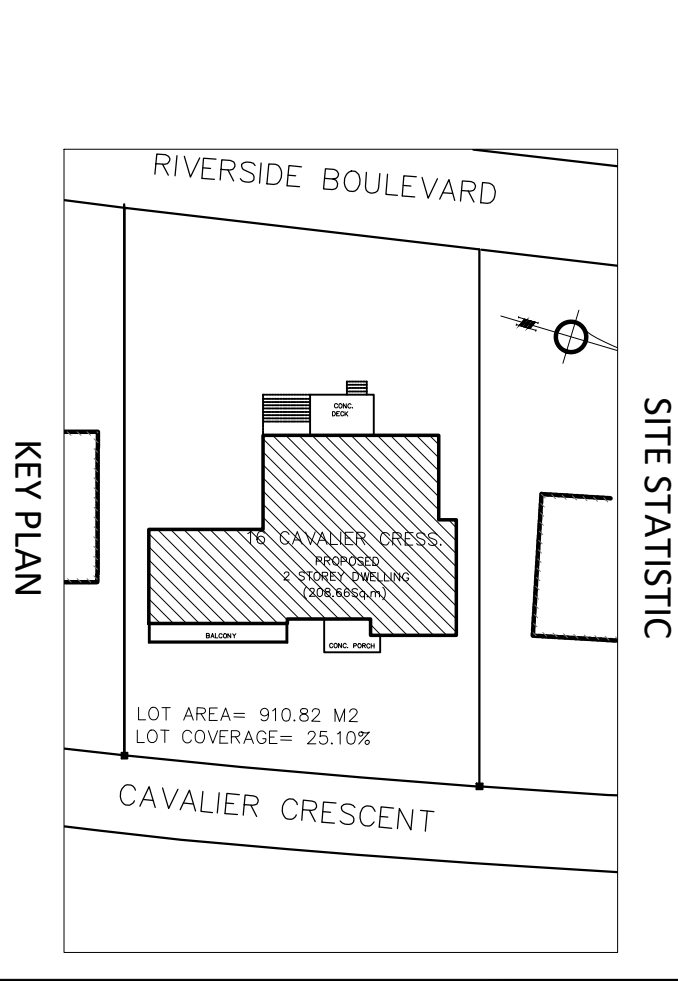
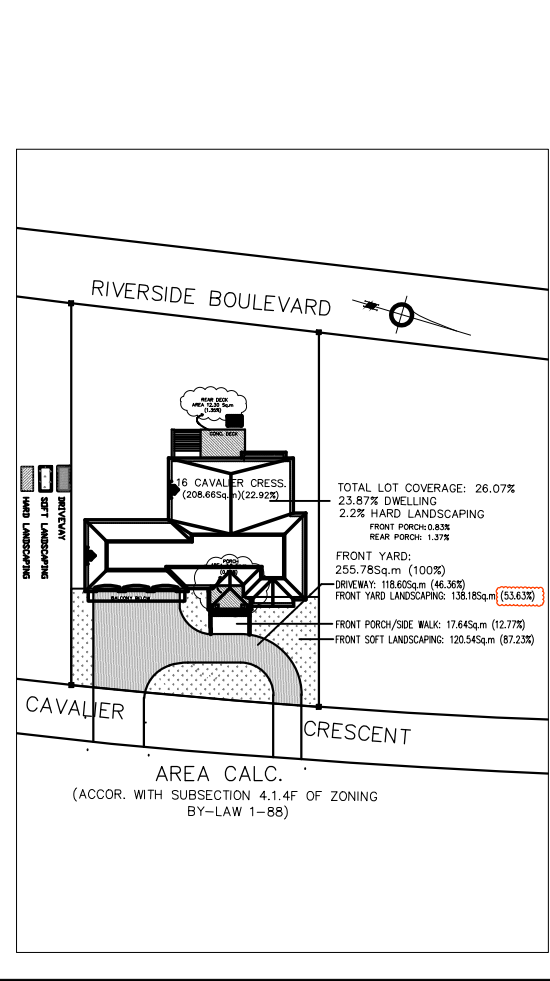
BATTAGLIA ARCHITECT INC.
 1050 McNICOLL Ave, unit 14
 Scarborough, ON M1W 2L8
 TEL: (416) 491-2946
 battaglia.arch@gmail.com

PROJECT: 16 CAVALIER CRES. THORNHILL, ON.
DWG: SITE PLAN SITE STATISTIC

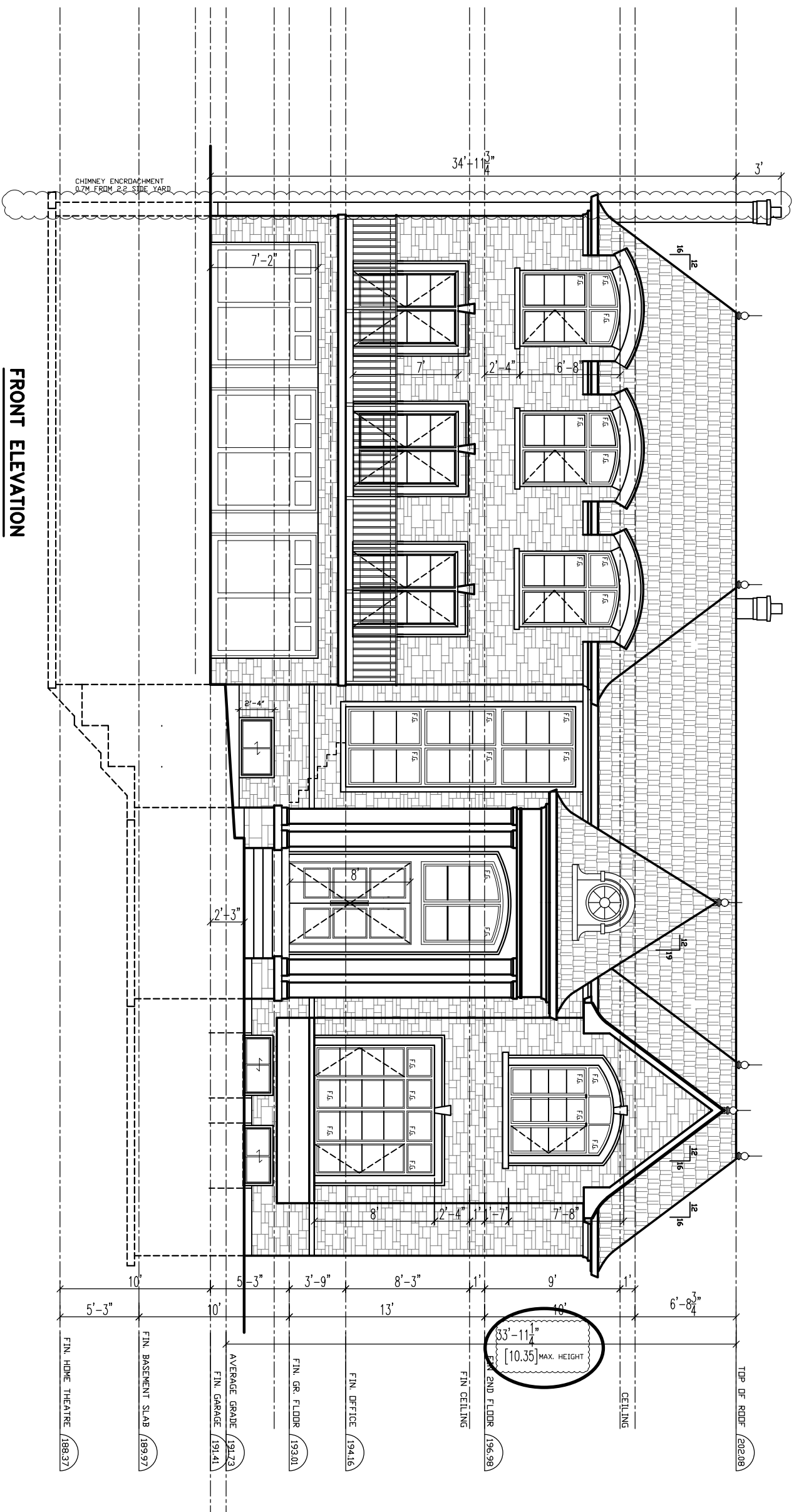
DESIGN BUILD
 1050 McNICOLL Avenue, Unit 14,
 Scarborough, On, M1W 2L8
 T: 416-492-1777
 info@qtricanada.com
 www.qtricanada.com



DATE:	JAN. 25, 2022
SCALE:	1/16" = 1'-00"
DRAWN BY:	N.M.
PROJECT NO.	
DRAWING NO.	A1



ZONING BY-LAW: 1-88, ZONE R1V, OLD VILLAGE RESIDENTIAL	FRONT YARD:	255.78m ² (27531.9 sq ft)	100%
AREA: 945 M ²	TOTAL FRONT YARD AREA:	118.6m ² (1276.80 sq ft)	46.36%
HEIGHT: 9.5 M	TOTAL LANDSCAPING AREA:	137.18m ² (1476.58sq ft)	53.63%
SITE STATISTICS	DRIVEWAY AREA:	118.6m ² (1276.80 sq ft)	46.36%
LOT AREA:	FRONT PORCH/SIDE WALK AREA:	17.64m ² (188.88 sq ft)	12.84%
FOOTPRINT:	TOTAL SOFT LANDSCAPING AREA:	119.54m ² (1287.7 sq ft)	87.14%
DIVERGENCE 25102, 218XPORCH & DECK 22922 (DWELLING)	TOTAL AREA:	478.12m ² (5147.00 sq ft)	
FIRST FLOOR AREA:	INTERMEDIATE FLOOR AREA:	60.95 m ² (655,005sq ft)	
208.66m² (2246.00 sq ft)	PROPOSED BUILDING HEIGHT:	10.50M	
SECOND FLOOR AREA:			
208.66m² (2246.00 sq ft)			
TOTAL AREA:			
478.12m² (5147.00 sq ft)			



FRONT ELEVATION

NO.	DATE
-----	------

The contractor shall check and verify all dimensions and report all errors and omissions to the architect before proceeding with the work. This drawing is the property of the architect and must be returned on completion of the work. Do not scale drawings.

**BATTAGLIA
ARCHITECT INC.**

1050 McNicoll Ave, unit 14
Scarborough, ON M1W 2L8
TEL: (416) 491-2946
battaglia.arch@gmail.com

**PROJECT:
16 CAVALIER CRES.
THORNHILL, ON.**

**DWG.:
FRONT ELEVATION
(EAST SIDE)**



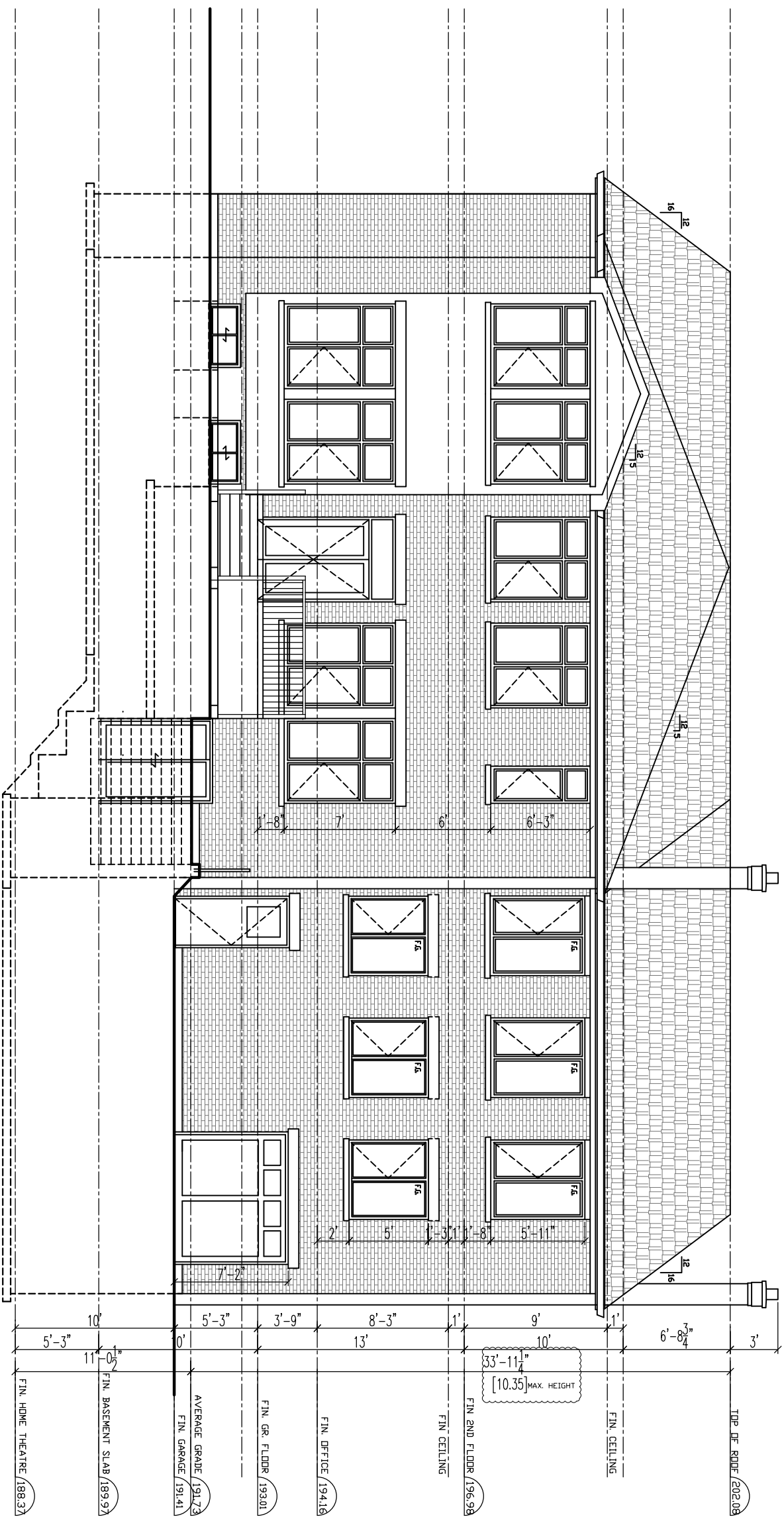
1050 McNicoll Avenue, Unit 14,
Scarborough, On, M1W 2L8
T: 416-492-1777
info@qtrccanada.com
www.qtrccanada.com



DATE: JAN. 21, 2022
SCALE: 1/8" = 1'-00"

PROJECT NO. N.M.
DRAWING NO. A8

TOP OF ROOF (202.08)
 CEILING
 FIN. 2ND FLOOR (196.98)
 FIN. CEILING
 FIN. OFFICE (194.16)
 FIN. GR. FLOOR (193.01)
 AVERAGE GRADE (192.73)
 FIN. GARAGE (191.41)
 FIN. BASEMENT SLAB (189.97)
 FIN. HOME THEATRE (188.37)



REAR ELEVATION

NO.	DATE
-----	------

The contractor shall check and verify all dimensions and report all errors and omissions to the architect before proceeding with the work. This drawing is the property of the architect and must be returned on completion of the work. Do not scale drawings.

BATTAGLIA ARCHITECT INC.
 1050 McNicoll Ave, unit 14
 Scarborough, ON M1W 2L8
 TEL: (416) 491-2946
 battaglia.arch@gmail.com

PROJECT:
 16 CAVALIER CRES.
 THORNHILL, ON.

DWG.:
 REAR ELEVATION
 (WEST SIDE)



1050 McNicoll Avenue, Unit 14,
 Scarborough, On, M1W 2L8
 T: 416-492-1777
 info@qtrccanada.com
 www.qtrccanada.com



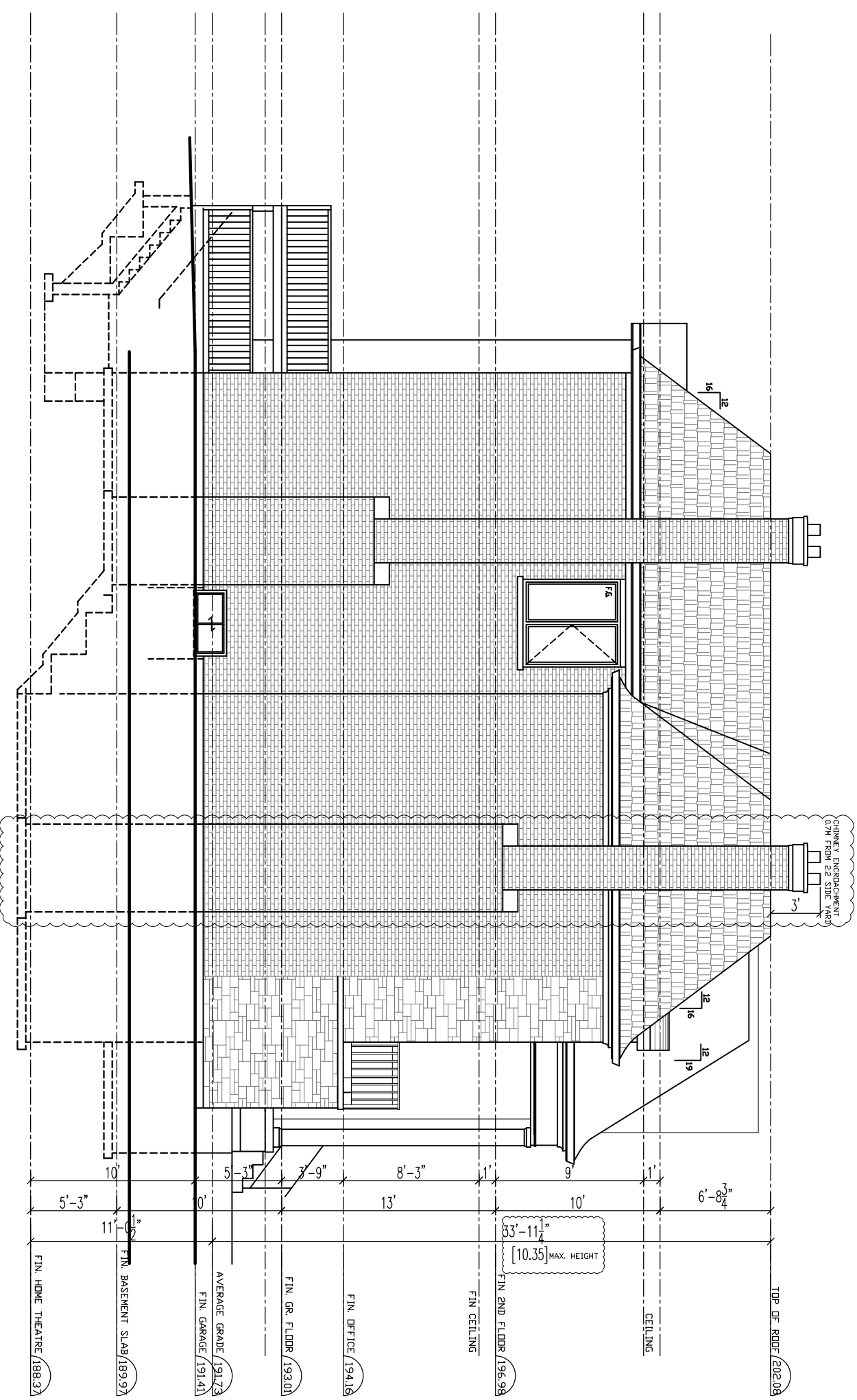
DATE:
 JAN. 21, 2022

SCALE:
 1/8" = 1'-00"

DRAWN BY:
 N.M.

PROJECT NO.

DRAWING NO.
 A9



SIDE(SOUTH) ELEVATION

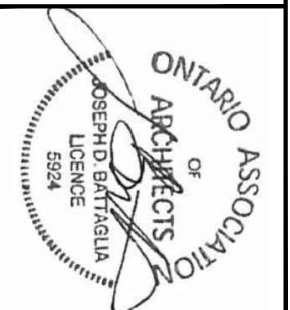
NO.	DATE
-----	------

The contractor shall check and verify all dimensions and report all errors and omissions to the architect before proceeding with the work. This drawing is the property of the architect and must be returned on completion of the work. Do not scale drawings.

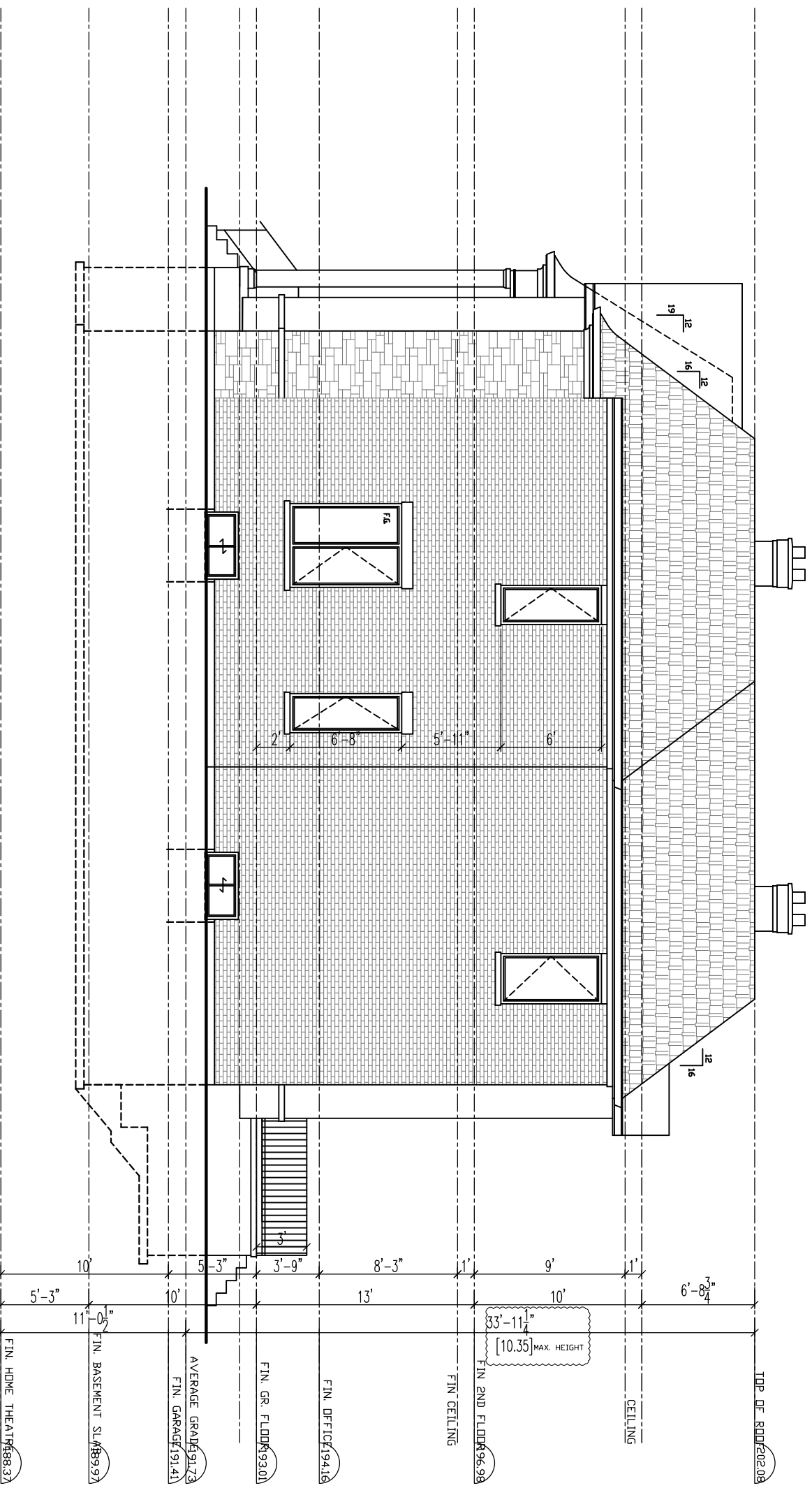
BATTAGLIA ARCHITECT INC.
 1050 McNicoll Ave, unit 14
 Scarborough, ON M1W 2L8
 TEL: (416) 491-2946
 battaglia.arch@gmail.com

PROJECT: 16 CAVALIER CRES.
 THORNHILL, ON.
DWG.: SIDE ELEVATION
 (SOUTH SIDE)

DESIGN BUILD
 1050 McNicoll Avenue, Unit 14,
 Scarborough, On, M1W 2L8
 T: 416-492-1777
 info@qtrcanada.com
 www.qtrcanada.com



DATE:	JAN. 21, 2022
SCALE:	1/8" = 1'-00"
DRAWN BY:	N.M.
PROJECT NO.	
DRAWING NO.	A10



SIDE(NORTH) ELEVATION

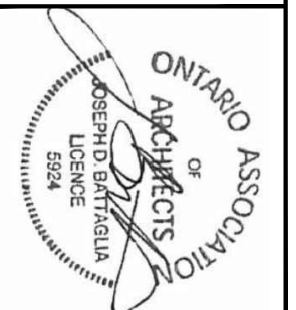
NO.	DATE
-----	------

The contractor shall check and verify all dimensions and report all errors and omissions to the architect before proceeding with the work. This drawing is the property of the architect and must be returned on completion of the work. Do not scale drawings.

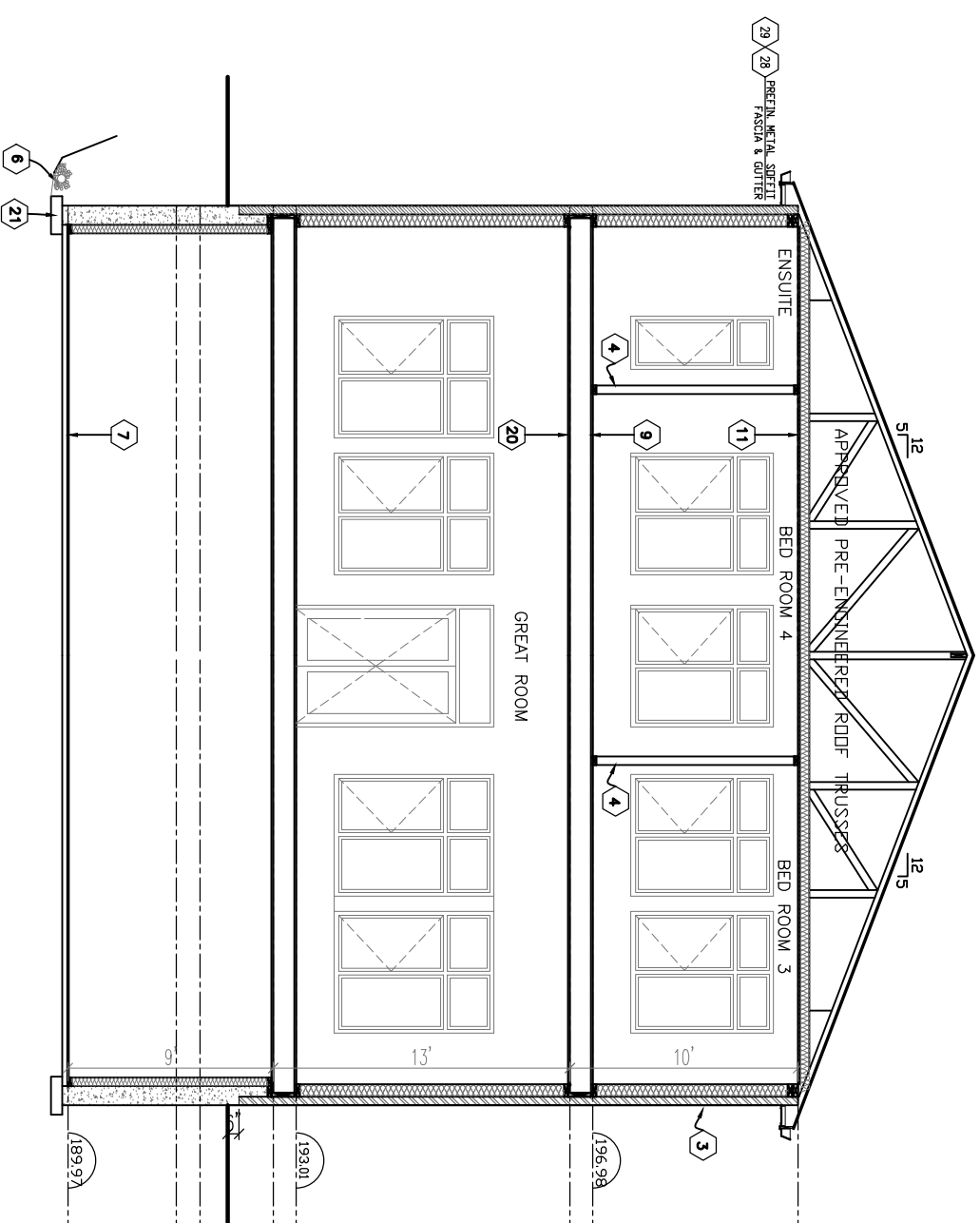
BATTAGLIA ARCHITECT INC.
 1050 McNicoll Ave, unit 14
 Scarborough, ON M1W 2L8
 TEL: (416) 491-2946
 battaglia.arch@gmail.com

PROJECT: 16 CAVALIER CRES.
 THORNHILL, ON.
DWG.: SIDE ELEVATION
 (NORTH SIDE)

DESIGN BUILD
 1050 McNicoll Avenue, Unit 14,
 Scarborough, On, M1W 2L8
 T: 416-492-1777
 info@qtrcanada.com
 www.qtrcanada.com



DATE:	JAN. 21, 2022
SCALE:	1/8" = 1'-00"
DRAWN BY:	N.M.
PROJECT NO.	
DRAWING NO.	A11



CROSS SECTION A-A

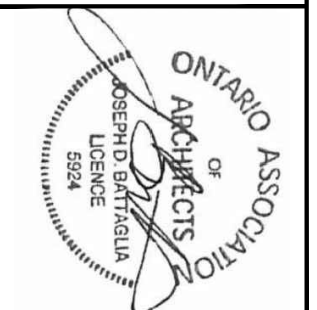
NO.	DATE
-----	------

The contractor shall check and verify all dimensions and report all errors and omissions to the architect before proceeding with the work. This drawing is the property of the architect and must be returned on completion of the work. Do not scale drawings.

BATTAGLIA ARCHITECT INC.
 1050 McNicoll Ave, unit 14
 Scarborough, ON M1W 2L8
 TEL: (416) 491-2946
 battaglia.arch@gmail.com

PROJECT: 16 CAVALIER CRES.
 THORNHILL, ON.
DWG.: CROSS SECTION A-A

1050 McNicoll Avenue, Unit 14,
 Scarborough, On. M1W 2L8
 T: 416-492-1777
 info@qtrccanada.com
 www.qtrccanada.com



DATE:	JAN. 21, 2022
SCALE:	1/8" = 1'-00"
DRAWN BY:	N.M.
PROJECT NO.	
DRAWING NO.	A12

SCHEDULE B: DEVELOPMENT PLANNING & AGENCY COMMENTS

AGENCIES	Circulated	Comments Received	Conditions	Nature of Comments
Development Planning	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Application Under Review
TRCA	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	No Comments Recieved to Date
Region of York	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	Recommend Approval/No Conditions
Alectra	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	Recommend Approval/No Conditions
Bell Canada	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	No Comments Recieved to Date
YRDSB	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
YCDSB	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
CN Rail	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
CP Rail	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
TransCanada Pipeline	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Metrolinx	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Propane Operator	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	



Discover the possibilities

COMMENTS:

- We have reviewed the proposed Variance Application and have no comments or objections to its approval.
- We have reviewed the proposed Variance Application and have no objections to its approval, subject to the following comments (attached below).
- We have reviewed the proposed Variance Application and have the following concerns (attached below).

Alectra Utilities (formerly PowerStream) has received and reviewed the proposed Variance Application. This review, however, does not imply any approval of the project or plan.

All proposed billboards, signs, and other structures associated with the project or plan must maintain minimum clearances to the existing overhead or underground electrical distribution system as specified by the applicable standards, codes and acts referenced.

In the event that construction commences, and the clearance between any component of the work/structure and the adjacent existing overhead and underground electrical distribution system violates the Occupational Health and Safety Act, the customer will be responsible for 100% of the costs associated with Alectra making the work area safe. All construction work will be required to stop until the safe limits of approach can be established.

In the event construction is completed, and the clearance between the constructed structure and the adjacent existing overhead and underground electrical distribution system violates the any of applicable standards, acts or codes referenced, the customer will be responsible for 100% of Alectra's cost for any relocation work.

References:

- Ontario Electrical Safety Code, latest edition (Clearance of Conductors from Buildings)
- Ontario Health and Safety Act, latest edition (Construction Protection)
- Ontario Building Code, latest edition (Clearance to Buildings)
- PowerStream (Construction Standard 03-1, 03-4), attached
- Canadian Standards Association, latest edition (Basic Clearances)

If more information is required, please contact either of the following:

Mr. Stephen Cranley, C.E.T
Supervisor, Distribution Design, ICI & Layouts (North)
Phone: 1-877-963-6900 ext. 31297

Mr. Tony D'Onofrio
Supervisor, Subdivisions (Alectra East)
Phone: 1-877-963-6900 ext. 24419

E-mail: stephen.cranley@alectrautilities.com

Email: tony.donofrio@alectrautilities.com

Pravina Attwala

Subject: FW: [External] RE: A198/21 (16 CAVALIER CRESCENT) - REQUEST FOR COMMENTS

From: Hurst, Gabrielle <Gabrielle.Hurst@york.ca>

Sent: December-17-21 9:10 AM

To: Pravina Attwala <Pravina.Attwala@vaughan.ca>

Cc: Committee of Adjustment <CofA@vaughan.ca>

Subject: [External] RE: A198/21 (16 CAVALIER CRESCENT) - REQUEST FOR COMMENTS

Good morning Pravina,

The Regional Municipality of York has completed its review of the above minor variance and has no comment.

Gabrielle

Gabrielle Hurst mcip rpp | Community Planning and Development Services | The Regional Municipality of York | 1-877
464 9675 ext 71538 | gabrielle.hurst@york.ca | www.york.ca

SCHEDULE C: PUBLIC & APPLICANT CORRESPONDENCE

Correspondence Type	Name	Address	Date Received <small>(mm/dd/yyyy)</small>	Summary
Applicant / Authorized Agent	Yao Quan	16 Cavalier Cr.	01/28/2022	Response to Staff Correspondence

RECEIVED

By RECEIVED at 11:54 am, Jan 28, 2022

A198/21



I, Yao Quan, property owner of 16 Cavalier Cres confirm that the personal office as illustrated on the Intermediate Floor Plan (drawing A6) is for personal use only and not a Home Occupation. It will be used for storage of books, computers and other personal belongings.

Sincerely,

A handwritten signature in black ink, appearing to be 'Yao Quan', enclosed within a simple oval outline.

DESIGN • BUILD • DEVELOP

QH DESIGN-BUILD CORP. | T: (416) 492-1777 | E: INFO@QHRCCANADA.COM | UNIT 14-1050 MCNICOLL AVE, TORONTO ON M1W 2L8 | WWW.QHGROUP.CA