

ITEM: 6.14	REPORT SUMMARY MINOR VARIANCE APPLICATION FILE NUMBER A209/23
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Report Date: August 16, 2024

**THIS REPORT CONTAINS COMMENTS FROM THE FOLLOWING
DEPARTMENTS & AGENCIES (SEE SCHEDULE B):**

Additional comments from departments and agencies received after the publication of the report will be made available on the City's [website](#).

Internal Departments <small>*Comments Received</small>	Conditions Required		Nature of Comments
Building Standards (Zoning) *See Schedule B	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>	General Comments
Committee of Adjustment	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>	General Comments
Development Planning	Yes <input type="checkbox"/>	No <input type="checkbox"/>	Application Under Review
Development Engineering	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>	Recommend Approval/No Conditions
Development Finance	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>	General Comments
Forestry	Yes <input checked="" type="checkbox"/>	No <input type="checkbox"/>	General Comments w/Conditions

External Agencies <small>*Comments Received</small>	Conditions Required		Nature of Comments <small>*See Schedule B for full comments</small>
Alectra	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>	General Comments
Region of York	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>	General Comments
TRCA	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>	General Comments
Metrolinx	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>	General Comments

PUBLIC & APPLICANT CORRESPONDENCE (SEE SCHEDULE C)

All personal information collected because of this public meeting (including both written and oral submissions) is collected under the authority of the Municipal Act, the Municipal Freedom of Information and Protection of Privacy Act (MFIPPA), the Planning Act and all other relevant legislation, and will be used to assist in deciding on this matter. All personal information (as defined by MFIPPA), including (but not limited to) names, addresses, opinions and comments collected will become property of the City of Vaughan, will be made available for public disclosure (including being posted on the internet) and will be used to assist the Committee of Adjustment and staff to process this application.

Correspondence Type	Name	Address	Date Received <small>(mm/dd/yyyy)</small>	Summary
Applicant				Planning Justification Report

BACKGROUND (SCHEDULE D, IF REQUIRED)	
<small>* Background Information contains historical development approvals considered to be related to this file. This information should not be considered comprehensive.</small>	
Application No. (City File)	Application Description <small>(i.e. Minor Variance Application; Approved by COA / OLT)</small>
A136/18	APPROVED; COA (June 27, 2019)
A124/21	APPROVED; COA (June 30, 2021)

ADJOURNMENT HISTORY	
<small>* Previous hearing dates where this application was adjourned by the Committee and public notice issued.</small>	
Hearing Date	Reason for Adjournment (to be obtained from NOD_ADJ)
N/A	N/A

SCHEDULES	
Schedule A	Drawings & Plans Submitted with the Application
Schedule B	Comments from Agencies, Building Standards & Development Planning
Schedule C (if required)	Public & Applicant Correspondence
Schedule D (if required)	Background



MINOR VARIANCE APPLICATION FILE NUMBER A209/23

CITY WARD #:	4
APPLICANT:	VMC GP Inc.
AGENT:	Vanessa Bulfon, Lauren Capilongo, Angela Fang
PROPERTY:	3201 Hwy 7, Vaughan
ZONING DESIGNATION:	See below.
VAUGHAN OFFICIAL PLAN (2010) DESIGNATION:	Vaughan Official Plan 2010 (,VOP 2010'): "Station Precinct", Volume 2, Vaughan Metropolitan Centre ('VMC') Secondary Plan
RELATED DEVELOPMENT APPLICATIONS:	DA.17.015.
PROPOSAL:	Relief from the Zoning By-law is being requested to facilitate the redevelopment of the subject lands for a high-rise, mixed-use development consisting of residential, retail, office, and privately-owned publicly accessible space uses. Relief is also required to facilitate related Site Development Application DA.17.015.

The following variances are being requested from the City's Zoning By-law to accommodate the above proposal:

The subject lands are zoned C9 Corporate Centre and subject to the provisions of Exception 9(957) under Zoning By-law 1-88, as amended.

	Zoning By-law 1-88	Variance requested
1	A minimum front yard setback of 3.0 metres is required for Residential Uses. [Schedule A2]	To permit a minimum front yard setback of 1.0 metre to the portion of the building containing residential units abutting Hwy 7 and a minimum front yard setback of 1.7 metres to the portion of the building containing residential uses at the north/west sight-triangle.
2	Canopies shall not project more than 0.5 metres into a required yard. [Section 3.14 a)]	To permit a maximum projection of 2.6 m into a required yard for a canopy.
3	Exterior stairways, porches and balconies which are uncovered, unexcavated and unenclosed may extend into a required front, exterior side or rear yard to a maximum of 1.8 metres. [Section 3.14, c)]	To permit exterior stairs and porches to extend up to a maximum of 2.75 metres into the exterior east and exterior west side yards.
4	A minimum building height of 16.5 metres is required. [By-law 144-2009]	To permit a minimum building height of 6.0 metres for the podium portions of the buildings.
5	A minimum build-to-zone of 0.0 - 3.0 metres is required for non-residential uses and a minimum build-to-zone of 3.0-6.0 metres for residential uses is required (Major Streets, Hwy 7) [Schedule A2, Notes 3 and 9]	To permit a minimum build-to-zone of 1.0 m to 8.3 m for both non-residential and residential uses abutting Hwy 7.
6	A minimum build-to-zone of 0.0 - 3.0 metres is required for non-residential uses and a minimum build-to-zone of 3.0-6.0 metres for residential uses is required (Major Streets, Interchange Way) [Schedule A2, Notes 3 and 9]	To permit a minimum build -to-zone of 1.0 m to 8.9 m for both non-residential and residential uses abutting Interchange Way.
7	A minimum build-to-zone of 0.0 - 3.0 metres is required for non-residential uses and a minimum build-to-zone of 3.0-6.0 metres for residential uses is required (Other Streets, proposed east/west road) [Schedule A2, Notes 3 and 9]	To permit a build-to-zone of 1.0 m to 7.8 m for both non-residential and residential uses abutting the proposed east/west road along the south lot line. A minimum of 50% of the street line shall have buildings located within the build-to-zone abutting the east/west road
8	A minimum build-to-zone of 0.0 - 3.0 metres is required for non-residential uses and a	To permit a build-to-zone of 1.0 m to 8.3 m for both non-residential and residential uses abutting

	Zoning By-law 1-88	Variance requested
	minimum build-to-zone of 3.0-6.0 metres for residential uses is required (Other Streets, north/south road) [Schedule A2, Notes 3 and 9]	the proposed north/south road along the east lot line. A minimum of 50% of the street line shall have buildings located within the build to zone along the north/south road.
9	A minimum landscape strip of 3.0 metres is required abutting a Street line. [Section 5.1.1 c) i)]	To permit residential patios, exhaust grills, exterior staircases, retaining walls, gas metres, manholes, air shafts, bicycle racks, and any other required infrastructure within a minimum 3.0 metre landscape strip abutting a street line.
10	Lot: Means a parcel of land fronting on a street separate from any abutting land to the extent that a consent contemplated by Section 50 of the Planning Act, R.S.O 1990, c. P.13. would not be required for its conveyance. For the purpose of this paragraph, land defined in an application for a building permit shall be deemed to be a parcel of land and a reserve shall not form part of the lot. [Section 2.0 Definitions]	For the purposes of zoning conformity, the Lands identified on the attached sketch shall be deemed to be one lot, regardless of the number of buildings constructed thereon, the creation of separate units, and or lots by way of Plan of Condominium, consents, conveyance or private or public roads, strata title arrangements, or other permissions, and easements or registrations that are granted.
11	A minimum of 921 long term bicycle parking spaces are required for 1841 residential units @ 0.5 bicycle parking spaces per unit. [Section 3.8.1 a)]	To permit a minimum of 920 long term bicycle parking spaces.

HEARING INFORMATION

DATE OF MEETING: Thursday, August 22, 2024
TIME: 6:00 p.m.
MEETING LOCATION: Vaughan City Hall, Woodbridge Room (2nd Floor), 2141 Major Mackenzie Drive
LIVE STREAM LINK: Vaughan.ca/LiveCouncil

PUBLIC PARTICIPATION

If you would like to speak to the Committee of Adjustment at the meeting, either remotely or in person, please complete the [Request to Speak Form](#) and submit to cofa@vaughan.ca

If you would like to submit written comments, please quote file number above and submit by mail or email to:

Email: cofa@vaughan.ca

Mail: City of Vaughan, Office of the City Clerk, Committee of Adjustment, 2141 Major Mackenzie Drive, Vaughan, ON, L6A 1T1

To speak electronically, pre-registration is required by completing the [Request to Speak Form](#) on-line and submitting it to cofa@vaughan.ca no later than NOON on the last business day before the meeting.

THE DEADLINE TO REGISTER TO SPEAK ELECTRONICALLY OR SUBMIT WRITTEN COMMENTS ON THE ABOVE NOTED FILE(S) IS NOON ON THE LAST BUSINESS DAY BEFORE THE MEETING.

INTRODUCTION

Staff and Agencies act as advisory bodies to the Committee of Adjustment. The comments contained in this report are presented as recommendations to the Committee.

Section 45(1) of the Planning Act sets the criteria for authorizing minor variances to the City of Vaughan's Zoning By-law. Accordingly, review of the application may consider the following:

- That the general intent and purpose of the by-law will be maintained.
- That the general intent and purpose of the official plan will be maintained.
- That the requested variance(s) is/are acceptable for the appropriate development of the subject lands.
- That the requested variance(s) is/are minor in nature.

Public written and oral submissions relating to this application are taken into consideration by the Committee of Adjustment as part of its deliberations and final decision on this matter.

COMMITTEE OF ADJUSTMENT

Date Public Notice Mailed:	August 8, 2024
Date Applicant Confirmed Posting of Sign:	August 8, 2024

COMMITTEE OF ADJUSTMENT

Applicant Justification for Variances: <small>*As provided in Application Form</small>	The Zoning By-law requires prescriptive build to zones that limits the design flexibility required to implement the proposed development.
Was a Zoning Review Waiver (ZRW) Form submitted by Applicant: <small>*ZRW Form may be used by applicant in instances where a revised submission is made, and zoning staff do not have an opportunity to review and confirm variances prior to the issuance of public notice.</small>	Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>
COMMENTS:	
None	
Committee of Adjustment Recommended Conditions of Approval:	None

BUILDING STANDARDS (ZONING)

**See Schedule B for Building Standards (Zoning) Comments	
Building Standards Recommended Conditions of Approval:	None

DEVELOPMENT PLANNING

**See Schedule B for Development Planning Comments. Application Under Review.	
Development Planning Recommended Conditions of Approval:	TBC

DEVELOPMENT ENGINEERING

Link to Grading Permit Link to Pool Permit Link to Curb Curt Permit Link Culvert Installation	
Development Engineering (DE) does not object to Minor Variance Application A209/23.	
Development Engineering Recommended Conditions of Approval:	None

PARKS, FORESTRY & HORTICULTURE (PFH)

Recommended conditions of approval:	
PFH Recommended Conditions of Approval:	<ol style="list-style-type: none">1. Applicant/owner shall obtain a "Private Property Tree Removal & Protection" permit through the forestry division prior to any construction works on the subject property.2. Tree protection & preservation methods must be followed according to City of Vaughan's Tree Protection By-law 052-2018.

DEVELOPMENT FINANCE

No comment no concerns.	
Development Finance Recommended Conditions of Approval:	None

BY-LAW AND COMPLIANCE, LICENSING AND PERMIT SERVICES

No comments received to date.	
BCLPS Recommended Conditions of Approval:	None

BUILDING INSPECTION (SEPTIC)

No comments received to date.	
Building Inspection Recommended Conditions of Approval:	None

FIRE DEPARTMENT

No comments received to date.	
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FIRE DEPARTMENT

Fire Department Recommended Conditions of Approval:	None
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RECOMMENDED CONDITIONS OF APPROVAL SUMMARY

Should the Committee find it appropriate to approve this application in accordance with request and the sketch submitted with the application, as required by Ontario Regulation 200/96, the following conditions have been recommended:

#	DEPARTMENT / AGENCY	CONDITION
1	Development Planning 1alyssa.pangilinan@vaughan.ca	TBC
2	Parks, Forestry and Horticulture Operations zachary.quizzetti@vaughan.ca	<ol style="list-style-type: none"> 1. Applicant/owner shall obtain a “Private Property Tree Removal & Protection” permit through the forestry division prior to any construction works on the subject property. 2. Tree protection & preservation methods must be followed according to City of Vaughan’s Tree Protection By-law 052-2018.

All conditions of approval, unless otherwise stated, are considered to be incorporated into the approval “if required”. If a condition is no longer required after an approval is final and binding, the condition may be waived by the respective department or agency requesting conditional approval. A condition cannot be waived without written consent from the respective department or agency.

IMPORTANT INFORMATION

CONDITIONS: It is the responsibility of the owner/applicant and/or authorized agent to obtain and provide a clearance letter from respective department and/or agency (**see condition chart above for contact**). This letter must be provided to the Secretary-Treasurer to be finalized. All conditions must be cleared prior to the issuance of a Building Permit.

APPROVALS: Making any changes to your proposal after a decision has been made may impact the validity of the Committee’s decision.

An approval obtained from the Committee of Adjustment, where applicable, is tied to the building envelope shown on the plans and drawings submitted with the application and subject to the variance approval.

A building envelope is defined by the setbacks of the buildings and/or structures shown on the plans and drawings submitted with the application, as required by Ontario Regulation 200/96. Future development outside of an approved building envelope, where a minor variance was obtained, must comply with the provisions of the City’s Zoning By-law.

Elevation drawings are provided to reflect the style of roof (i.e. flat, mansard, gable etc.) to which a building height variance has been applied. Where a height variance is approved, building height is applied to the style of roof (as defined in the City’s Zoning By-law) shown on the elevation plans submitted with the application.

Architectural design features that are not regulated by the City’s Zoning By-law are not to be considered part of an approval unless specified in the Committee’s decision.

DEVELOPMENT CHARGES: That the payment of the Regional Development Charge, if required, is payable to the City of Vaughan before issuance of a building permit in accordance with the Development Charges Act and the Regional Development Charges By-law in effect at the time of payment.

That the payment of the City Development Charge, if required, is payable to the City of Vaughan before issuance of a building permit in accordance with the Development Charges Act and the City’s Development Charges By-law in effect at the time of payment.

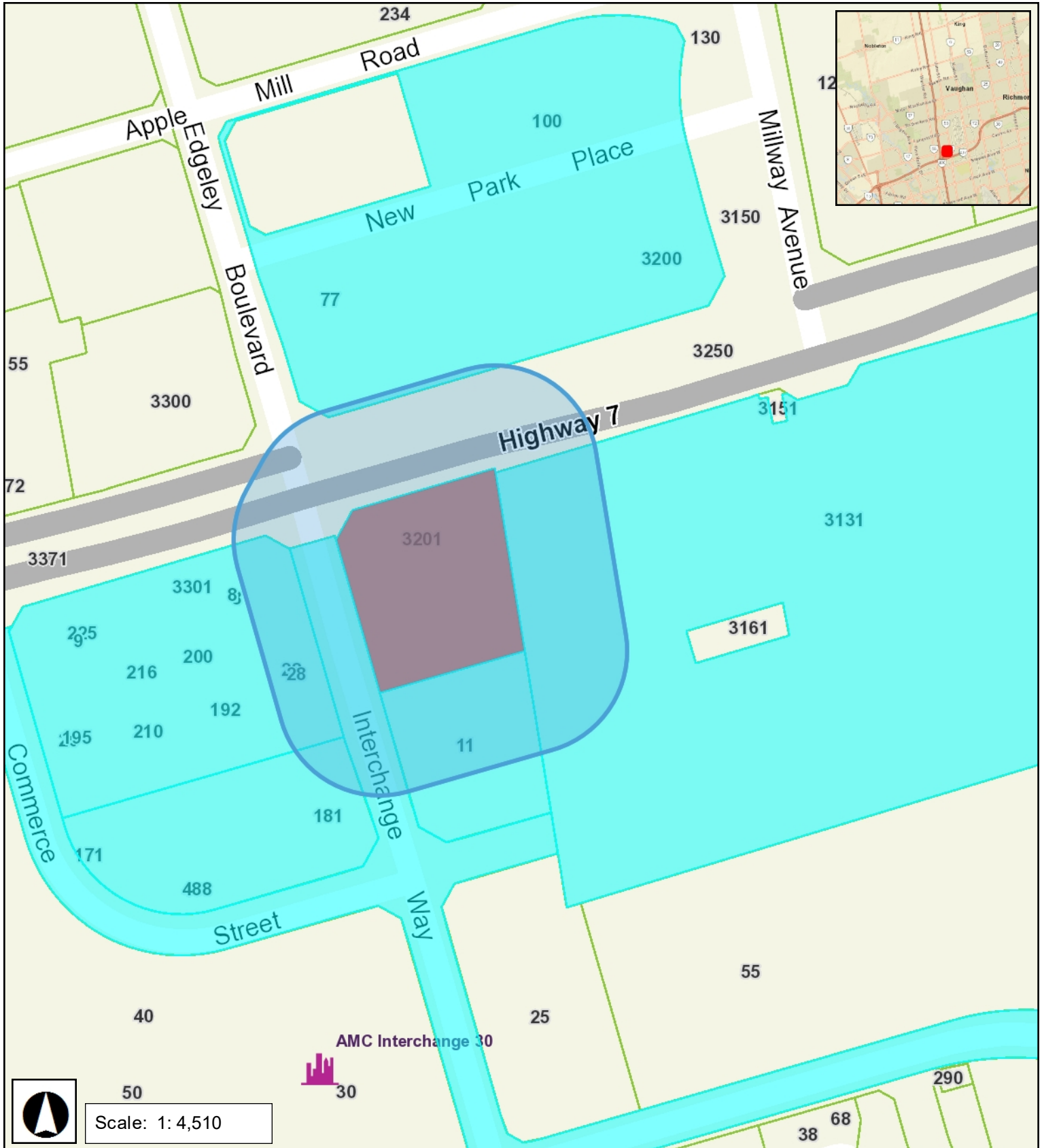
That the payment of the Education Development Charge if required, is payable to the City of Vaughan before issuance of a building permit in accordance with the Development Charges Act and the Boards of Education By-laws in effect at the time of payment

That the payment of Special Area Development charge, if required, is payable to the City of Vaughan before issuance of a building permit in accordance with the Development Charges Act and The City’s Development Charge By-law in effect at the time of Building permit issuance to the satisfaction of the Reserves/Capital Department.

NOTICE OF DECISION: If you wish to be notified of the decision in respect to this application or a related Ontario Land Tribunal (OLT) hearing you must complete a Request for Decision form and submit to the Secretary Treasurer (ask staff for details). In the absence of a written request to be notified of the Committee’s decision you will **not** receive notice.

SCHEDULE A: DRAWINGS & PLANS

3201 Hwy 7, Vaughan



RECEIVED
By Christine Vigneault at 9:16 am, Aug 07, 2024



MIXED USE DEVELOPMENT AT HIGHWAY 7 AND INTERCHANGE WAY (VAUGHAN, ON)

Sheet Number Sheet Name

A000	COVER PAGE
A001	CONTEXT & STATISTICS
A100A	SITE - INTERIM PHASE 1
A100B	SITE - INTERIM PHASE 1&2
A100C	SITE - INTERIM
A100D	SITE - ULTIMATE
A101.1	LEVEL P3
A101.2	LEVEL P2
A101.3	LEVEL P1
A102.1	GROUND LEVEL
A102.2	MEZZANINE LEVEL
A103	SECOND LEVEL
A104	THIRD LEVEL
A105	FORTH LEVEL
A106	FIFTH LEVEL
A107	SIXTH LEVEL
A108	TYPICAL TOWER
A109	27TH LEVEL
A110	MPH PLAN
A111	ROOF PLAN
A300	BUILDING SECTION
A301	BUILDING SECTION
A302	BUILDING SECTION
A303	ELEVATION
A304	ELEVATION
A305	ELEVATION
A306	ELEVATION
A307	DIGITAL MATERIAL BOARD
A308	DIGITAL MATERIAL BOARD
A309	DIGITAL MATERIAL BOARD

CLIENT	VMC Condos LP																			
COPYRIGHT																				
ISSUES	<table border="1"> <thead> <tr><th>No.</th><th>DESCRIPTION</th><th>DATE</th></tr> </thead> <tbody> <tr><td>1.</td><td>ISSUED FOR SPA</td><td>16-12-2021</td></tr> <tr><td>2.</td><td>RE-ISSUED FOR SPA</td><td>21-09-2022</td></tr> <tr><td>3.</td><td>RE-ISSUED FOR SPA</td><td>03-03-2023</td></tr> <tr><td>4.</td><td>RE-ISSUED FOR SPA</td><td>28-11-2023</td></tr> <tr><td>5.</td><td>RE-ISSUED FOR SPA</td><td>17-05-2024</td></tr> </tbody> </table>		No.	DESCRIPTION	DATE	1.	ISSUED FOR SPA	16-12-2021	2.	RE-ISSUED FOR SPA	21-09-2022	3.	RE-ISSUED FOR SPA	03-03-2023	4.	RE-ISSUED FOR SPA	28-11-2023	5.	RE-ISSUED FOR SPA	17-05-2024
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CONSULTANTS																				
SEAL																				
PRIME CONSULTANT																				
PROJECT	MIXED USE DEVELOPMENT AT HIGHWAY 7 AND INTERCHANGE WAY (VAUGHAN, ON)																			
PROJECT NO:	135572																			
DRAWN BY:	CHECKED BY:																			
PROJECT MGR:	APPROVED BY:																			
SHEET TITLE	SCALE																			
COVER PAGE	N/A																			
	DATE	MAY 17, 2024																		
SHEET NUMBER	ISSUE																			
A.000																				

VAUGHAN
SITE STATISTICS AND DEVELOPMENT DATA
SITE AREA = 11,591.1m²

HEIGHT	
EXCLUSIVE OF ANY ACCESSORY ROOF CONSTRUCTION SUCH AS CHIMNEY, STEEPLE, ELEVATOR, MECHANICAL ROOM, TELEVISION ANTENNA, PARAPETS AND ARCHITECTURAL FEATURES, WINDOW WASHING EQUIPMENT.	
AVERAGE ELEV. OF FINISHED GRADE: EAST TOWER (46 STOREYS)	202.21 m ABOVE SEA LEVEL
AVERAGE ELEV. OF FINISHED GRADE: WEST TOWER (55 STOREYS)	202.21 m ABOVE SEA LEVEL
AVERAGE ELEV. OF FINISHED GRADE: SOUTH TOWER (40 STOREYS)	200.63 m ABOVE SEA LEVEL
TOP of EAST TOWER (46 STOREYS)	144.64m
TOP of WEST TOWER (55 STOREYS)	171.19 m
TOP of SOUTH TOWER (40 STOREYS)	131.22 m
TOP of EAST TOWER (46 STOREYS)	202.21m + 144.64m = 346.85 m ABOVE SEA LEVEL
TOP of WEST TOWER (55 STOREYS)	202.21m + 171.19 m = 373.4 m ABOVE SEA LEVEL
TOP of SOUTH TOWER (40 STOREYS)	200.63m + 131.22 = 331.85 m ABOVE SEA LEVEL

RESIDENTIAL GFA CALCULATION				
	PHASE 1	PHASE 2	PHASE 3	TOTAL
GF GFA	1472.1m ²	1271.6m ²	864.0m ²	3,607.7m ²
MEZZANINE GFA	1397.7m ²	1227.7m ²	425.7m ²	3,051.1m ²
2nd FLOOR GFA	1512.5m ²	1104.8m ²	433.5m ²	3,050.8m ²
3rd FLOOR GFA	1299.6m ²	1060.7m ²	47.10m ²	2,407.4m ²
4th FLOOR GFA	1299.6m ²	1060.7m ²	850.0m ²	3,210.3m ²
5th FLOOR GFA	1299.6m ²	1060.7m ²	850.0m ²	3,210.3m ²
TYPICAL FLOOR GFA	843 m ² x 50 FLOORS=42,150m ²	843 m ² x 41 FLOORS=34,563m ²	850.00 m ² x 35 FLOORS=29,750m ²	106,463 m ²
TOTAL RESIDENTIAL GFA	50,431.1m²	41,349.1m²	33,220.3m²	125,000.5
AMENITY – INDOOR				TOTAL
GF	138.0m ²		165.9m ²	303.9m ²
2ND FLOOR	716.8m ²	854.8m ²	228.2m ²	1,799.8m ²
4TH FLOOR			54m ²	54.0m ²
TOTAL INDOOR				2,157.8m ²

AMENITY – OUTDOOR	WEST TOWER	EAST TOWER	SOUTH TOWER	TOTAL
	568.0m ²	689.0m ²	232.0m ²	1,489.0m ²

RESIDENTIAL GFA (INCLUDING INDOOR AMENITY AREA AND EXCLUDING MPH)	125,000.5m ²
MPH AREA	2,536.0m ²

RETAIL GFA	831.2m ²
TOTAL GFA AT GROUND FLOOR (NORTH BUILDING) = 3,574.9 m ²	RETAIL AREA IS 23%
TOTAL OFFICE GFA (EXCLUDING MPH)	4,984.0m ²
TOTAL GFA OF SOUTH BUILDINGS = 33,220.3 m ²	OFFICE AREA IS 13.00%

TOTAL PROJECT GFA (INCLUDES RESIDENTIAL GFA, OFFICE GFA, RETAIL GFA AND EXCLUDING MPH AREA) = 130,795.6 m²

FSI (GFA/SITE AREA)	11.28
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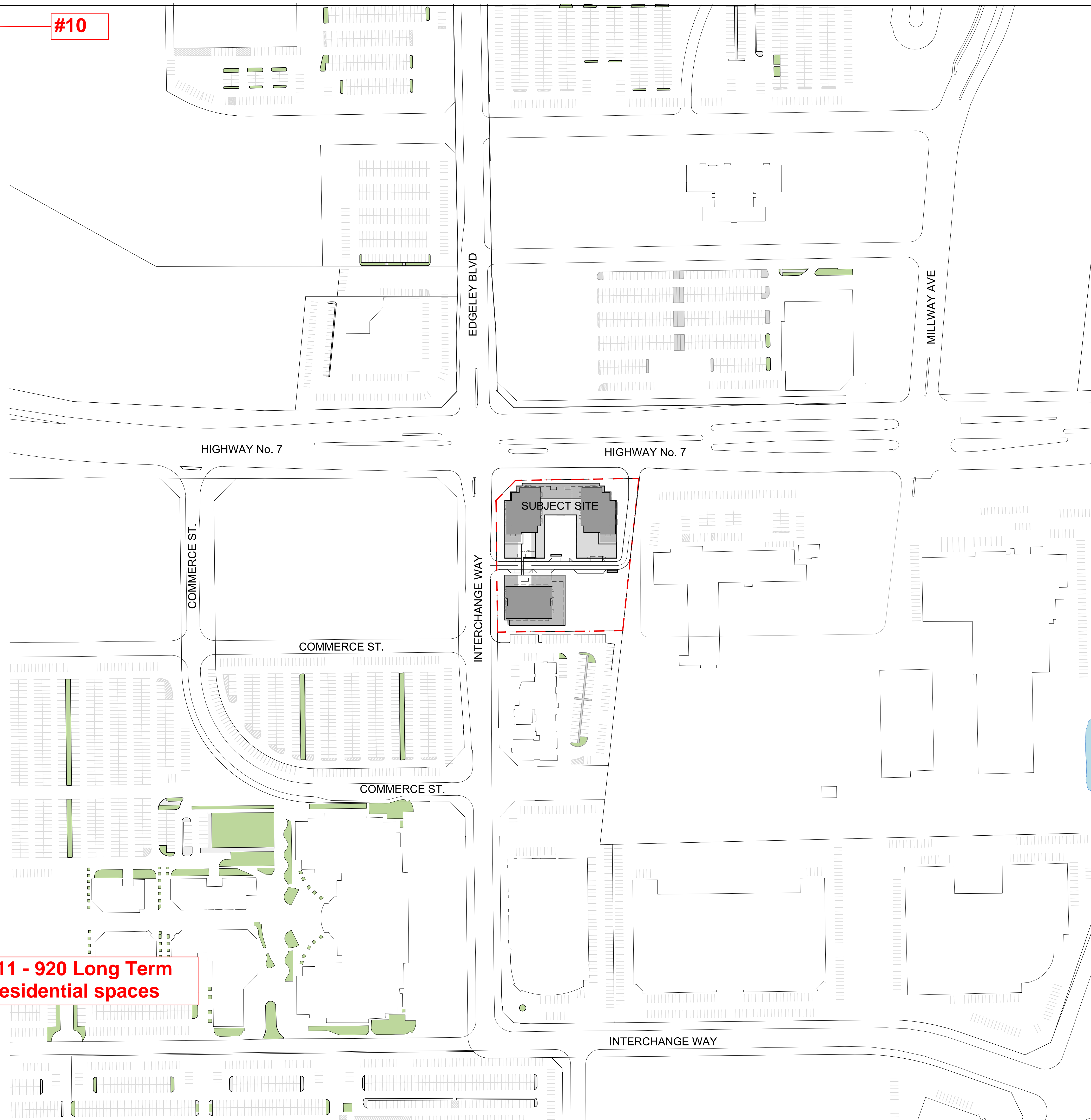
RESIDENTIAL UNITS					
	STUDIOS	1BR	2BR	3BR	TOTAL
PHASE 1	206	250	209	60	725
PHASE 2	129	255	166	49	599
PHASE 3	111	259	110	37	517
GRAND TOTAL	446	764	485	146	1,841

PARKING SPACE COUNTS	
P3 =261 - INCLUDING 3 TYPE 'A' & 4 TYPE 'B' ACCESSIBLE SPACES	
P2 =270 - INCLUDING 3 TYPE 'A' & 4 TYPE 'B' ACCESSIBLE SPACES	
P1 =208 - INCLUDING 3 TYPE 'A' & 2 TYPE 'B' ACCESSIBLE SPACES	
GF = 6 - INCLUDING 1 TYPE 'B' ACCESSIBLE SPACE	
TOTAL PARKING SPACES = 745 SPACES INCLUDING 9 TYPE 'A' & 11 TYPE 'B' ACCESSIBLE SPACES	

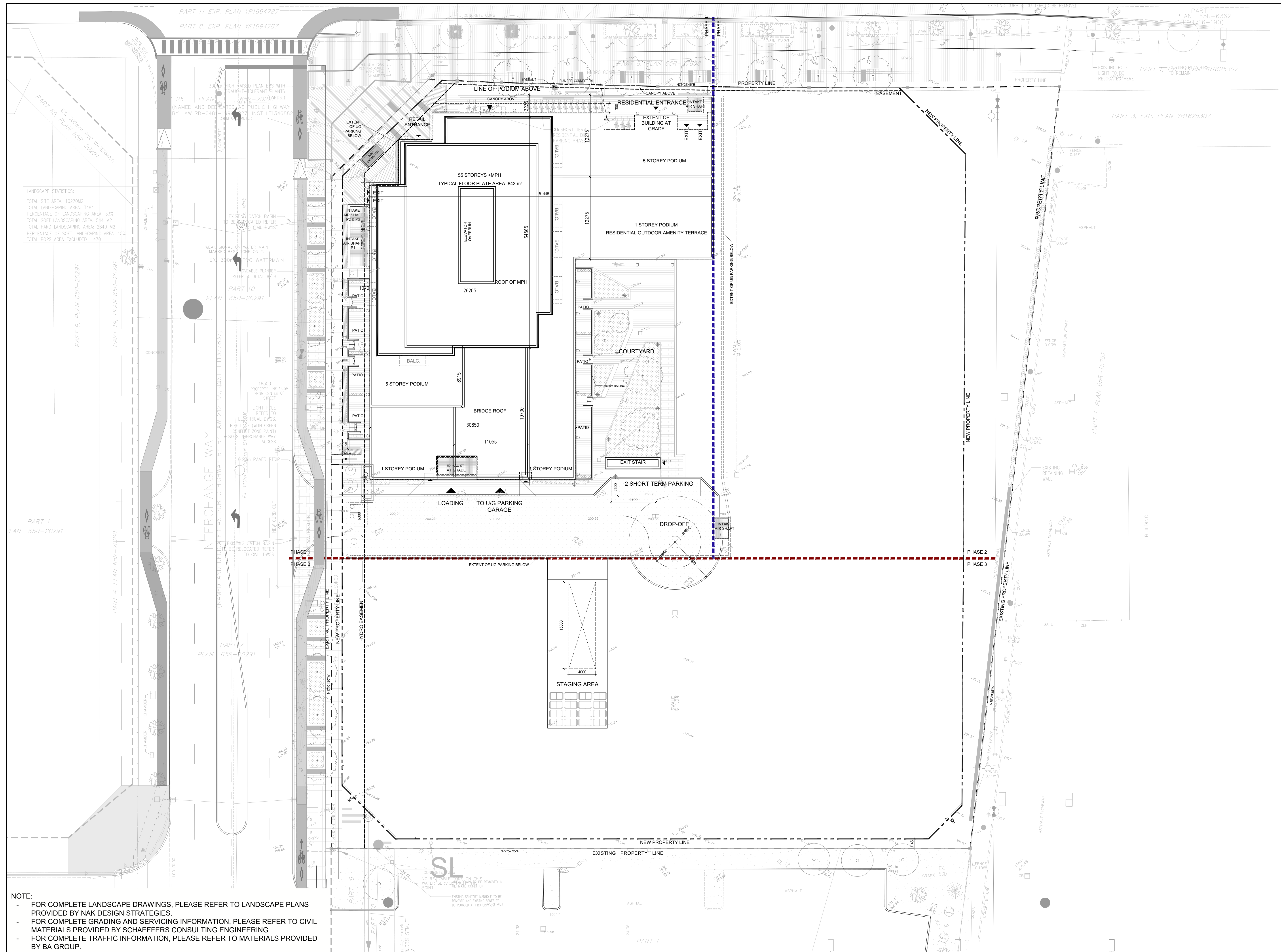
BICYCLE PARKING SPACE COUNTS	
10 SPACES	SHORT TERM OFFICE
10 SPACES	LONG TERM OFFICE
116 SPACES	SHORT TERM RESIDENTIAL
920 SPACES	LONG TERM RESIDENTIAL
6 SPACES	SHORT TERM COMMERCIAL
1 SPACES	LONG TERM COMMERCIAL
132 SPACES	TOTAL SHORT TERM
931 SPACES	TOTAL LONG TERM

#10

#11 - 920 Long Term Residential spaces





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1.	ISSUED FOR SPA	16-12-2021	
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CONSULTANTS			
SEAL			
PRIME CONSULTANT			
PROJECT			
MIXED USE DEVELOPMENT AT HIGHWAY 7 AND INTERCHANGE WAY (VAUGHAN, ON)			
PROJECT NO:	135572		
DRAWN BY:	CHECKED BY:		
PROJECT MGR:	APPROVED BY:		
SHEET TITLE		SCALE	
CONTEXT PLAN & STATISTICS		1:1500	
		DATE MAY 17, 2024	
SHEET NUMBER		ISSUE	
A.001			

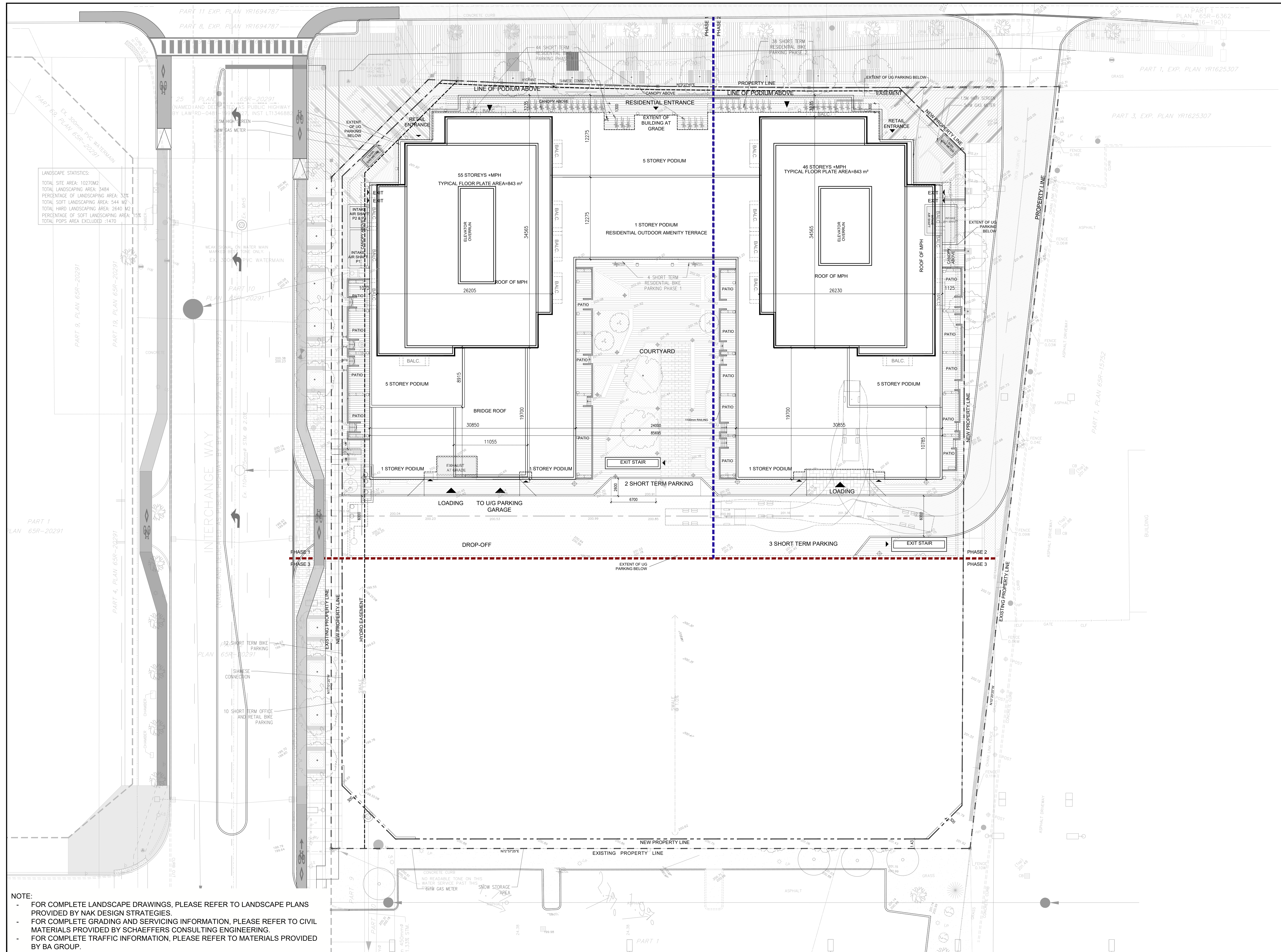


LANDSCAPE STATISTICS:
 TOTAL SITE AREA: 10270M2
 TOTAL LANDSCAPING AREA: 3484
 PERCENTAGE OF LANDSCAPING AREA: 33%
 TOTAL SOFT LANDSCAPING AREA: 584 M2
 TOTAL HARD LANDSCAPING AREA: 2840 M2
 PERCENTAGE OF SOFT LANDSCAPING AREA: 15%
 TOTAL POPS AREA EXCLUDED: 1430

NOTE:

- FOR COMPLETE LANDSCAPE DRAWINGS, PLEASE REFER TO LANDSCAPE PLANS PROVIDED BY NAK DESIGN STRATEGIES.
- FOR COMPLETE GRADING AND SERVICING INFORMATION, PLEASE REFER TO CIVIL MATERIALS PROVIDED BY SCHAEFFERS CONSULTING ENGINEERING.
- FOR COMPLETE TRAFFIC INFORMATION, PLEASE REFER TO MATERIALS PROVIDED BY BA GROUP.

CLIENT		
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1.	ISSUED FOR SPA	16-12-2021
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CONSULTANTS		
SEAL		
		
PRIME CONSULTANT		
		
PROJECT		
MIXED USE DEVELOPMENT AT HIGHWAY 7 AND INTERCHANGE WAY (VAUGHAN, ON)		
PROJECT NO:	135572	
DRAWN BY:	CHECKED BY:	
PROJECT MGR:	APPROVED BY:	
SHEET TITLE	SCALE	
SITE PLAN - INTERIM PHASE 1	1:250	
	DATE	MAY 17, 2024
SHEET NUMBER	ISSUE	
A.100A		



LANDSCAPE STATISTICS:
 TOTAL SITE AREA: 10270M²
 TOTAL LANDSCAPING AREA: 3484
 PERCENTAGE OF LANDSCAPING AREA: 33%
 TOTAL SOFT LANDSCAPING AREA: 544 M²
 TOTAL HARD LANDSCAPING AREA: 3040 M²
 PERCENTAGE OF SOFT LANDSCAPING AREA: 53%
 TOTAL POPS AREA EXCLUDED: 1470

NOTE:
 - FOR COMPLETE LANDSCAPE DRAWINGS, PLEASE REFER TO LANDSCAPE PLANS PROVIDED BY NAK DESIGN STRATEGIES.
 - FOR COMPLETE GRADING AND SERVICING INFORMATION, PLEASE REFER TO CIVIL MATERIALS PROVIDED BY SCHAEFFERS CONSULTING ENGINEERING.
 - FOR COMPLETE TRAFFIC INFORMATION, PLEASE REFER TO MATERIALS PROVIDED BY BA GROUP.

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No.	DESCRIPTION	DATE
1.	ISSUED FOR SPA	16-12-2021
2.	RE-ISSUED FOR SPA	21-09-2022
3.	RE-ISSUED FOR SPA	03-03-2023
4.	RE-ISSUED FOR SPA	28-11-2023
5.	RE-ISSUED FOR SPA	17-05-2024

CONSULTANTS

SEAL

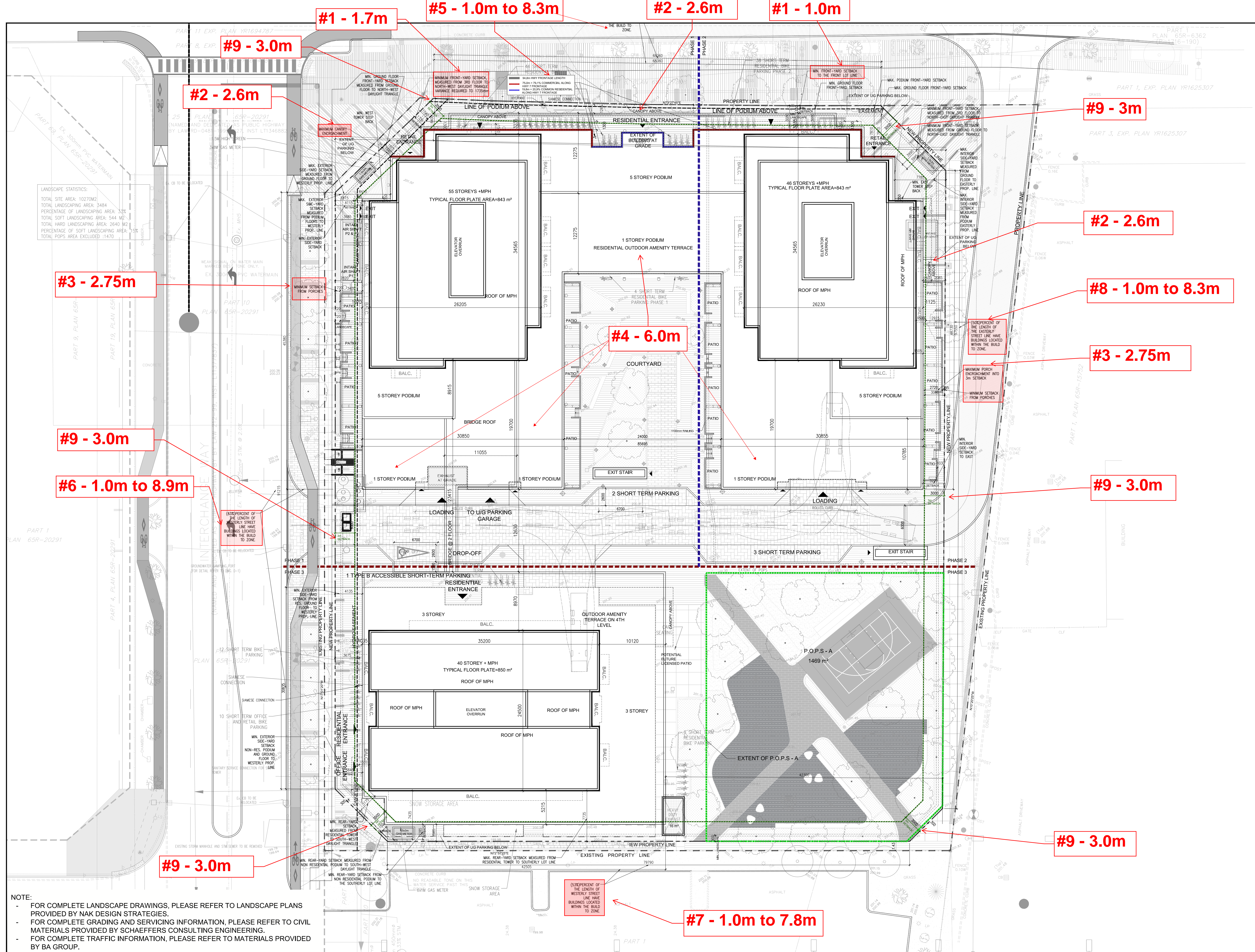


PRIME CONSULTANT
ARCADIS

PROJECT
MIXED USE DEVELOPMENT AT HIGHWAY 7 AND INTERCHANGE WAY (VAUGHAN, ON)



PROJECT NO:	135572
DRAWN BY:	CHECKED BY:
PROJECT MGR:	APPROVED BY:

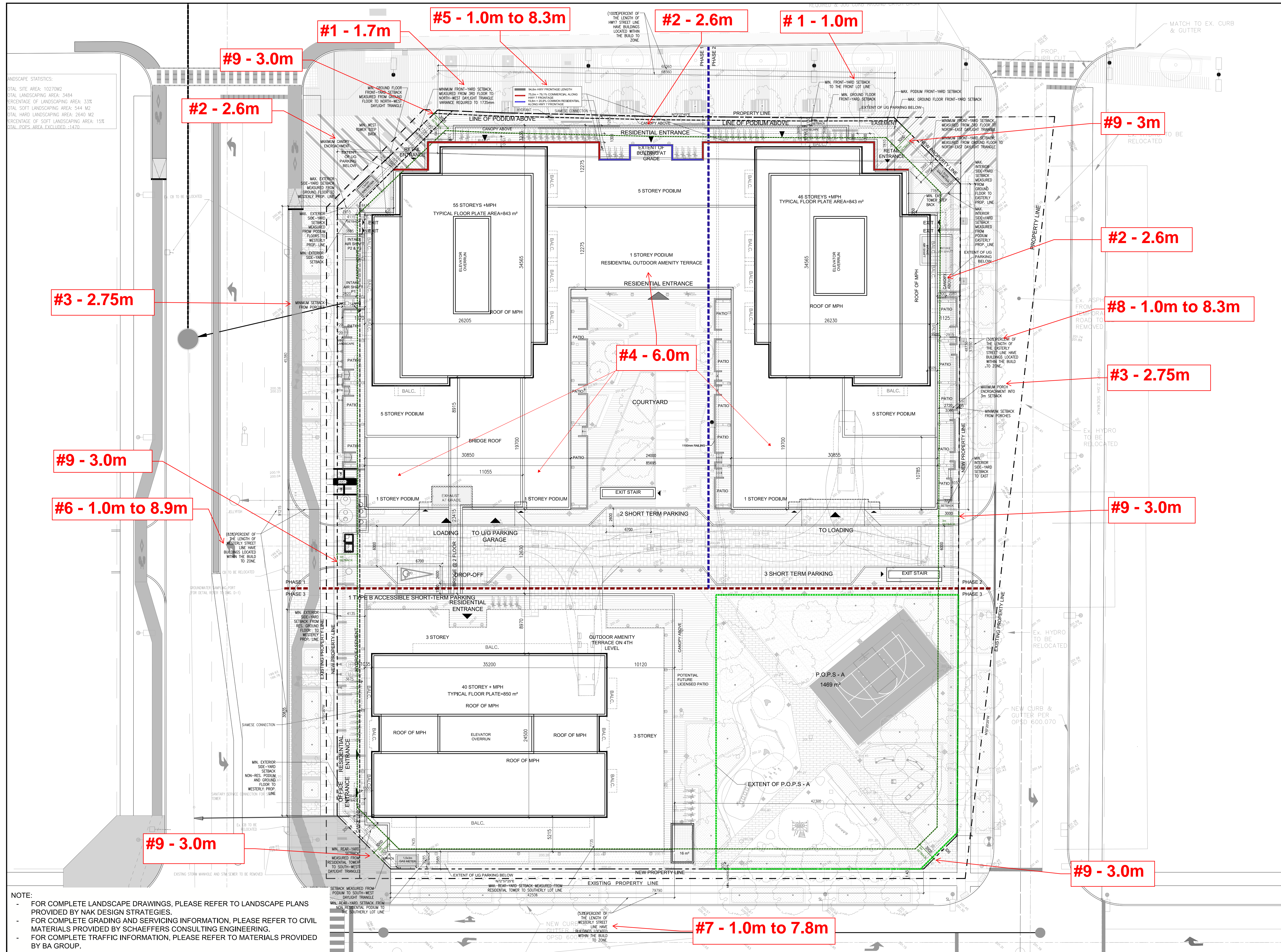
SHEET TITLE	SCALE
SITE PLAN - INTERIM PHASE 1&2	1:250
	DATE
SHEET NUMBER	ISSUE
A.100B	



LANDSCAPE STATISTICS:
 TOTAL SITE AREA: 10270M2
 TOTAL LANDSCAPING AREA: 3484
 PERCENTAGE OF LANDSCAPING AREA: 33%
 TOTAL SOFT LANDSCAPING AREA: 544 M2
 TOTAL HARD LANDSCAPING AREA: 3040 M2
 PERCENTAGE OF SOFT LANDSCAPING AREA: 15%
 TOTAL POPS AREA EXCLUDED: 1470



NOTE:
 - FOR COMPLETE LANDSCAPE DRAWINGS, PLEASE REFER TO LANDSCAPE PLANS PROVIDED BY NAK DESIGN STRATEGIES.
 - FOR COMPLETE GRADING AND SERVICING INFORMATION, PLEASE REFER TO CIVIL MATERIALS PROVIDED BY SCHAEFFERS CONSULTING ENGINEERING.
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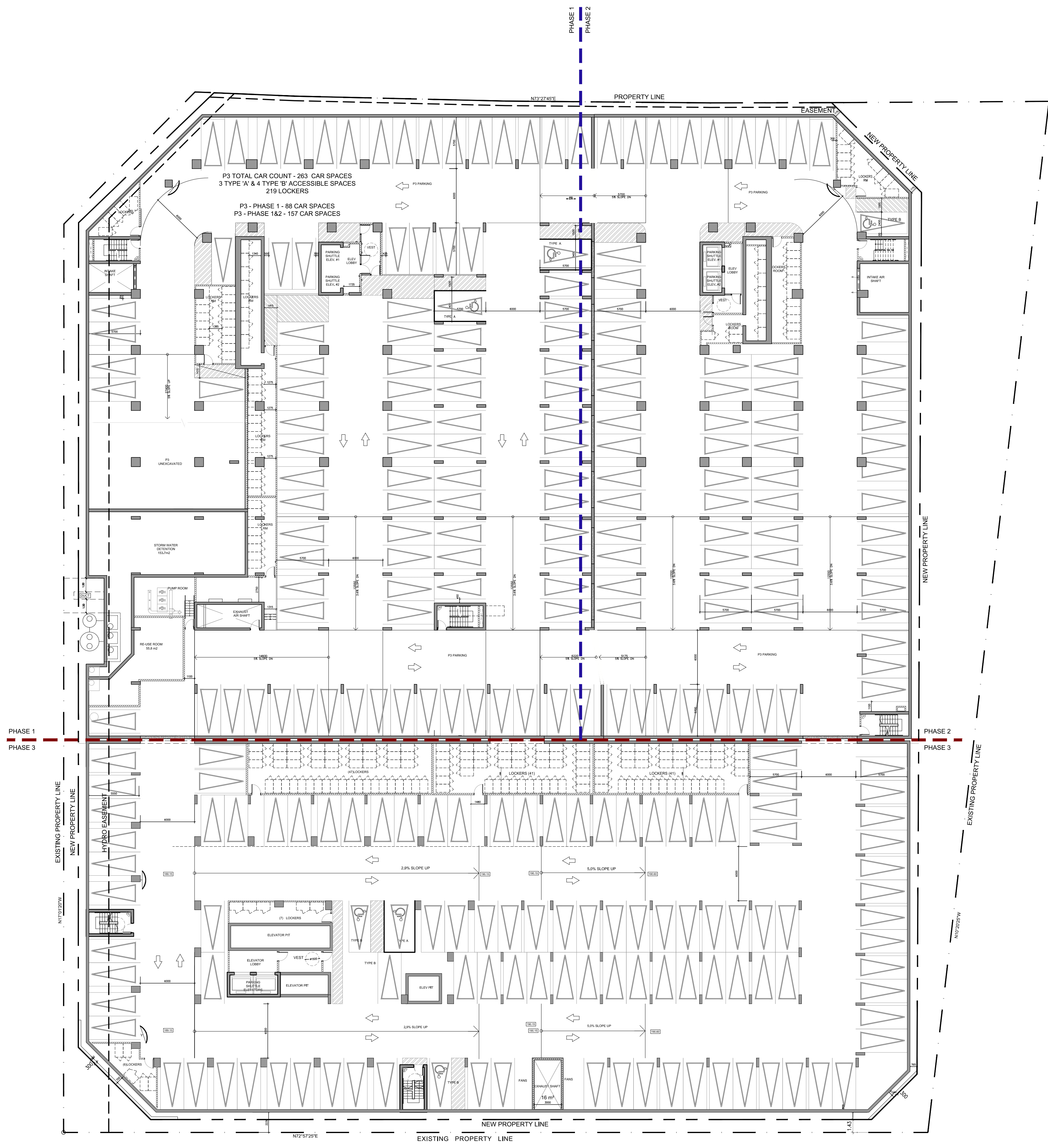
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3.	RE-ISSUED FOR SPA	03-03-2023
4.	RE-ISSUED FOR SPA	28-11-2023
5.	RE-ISSUED FOR SPA	17-05-2024
CONSULTANTS		
 Mansoor H. Kazerooni LICENCE 5880		
SEAL		
PRIME CONSULTANT		
		
PROJECT		
MIXED USE DEVELOPMENT AT HIGHWAY 7 AND INTERCHANGE WAY (VAUGHAN, ON)		
PROJECT NO:	135572	
DRAWN BY:	CHECKED BY:	
PROJECT MGR:	APPROVED BY:	
SHEET TITLE	SCALE	
SITE PLAN - INTERIM ALL PHASES	1:250	
	DATE MAY 17, 2024	
SHEET NUMBER	ISSUE	
A.100C		



LANDSCAPE STATISTICS:
 TOTAL SITE AREA: 10270M2
 TOTAL LANDSCAPING AREA: 3484
 PERCENTAGE OF LANDSCAPING AREA: 33%
 TOTAL SOFT LANDSCAPING AREA: 544 M2
 TOTAL HARD LANDSCAPING AREA: 2640 M2
 PERCENTAGE OF SOFT LANDSCAPING AREA: 15%
 TOTAL P.O.P.S. AREA EXCLUDED: 1470

NOTE:
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4.	RE-ISSUED FOR SPA	28-11-2023
5.	RE-ISSUED FOR SPA	17-05-2024
CONSULTANTS		
 MANSOOR H. KAZEROUNI LICENCE 5880		
PRIME CONSULTANT 		
PROJECT MIXED USE DEVELOPMENT AT HIGHWAY 7 AND INTERCHANGE WAY (VAUGHAN, ON)		
PROJECT NO:	135572	
DRAWN BY:	CHECKED BY:	
PROJECT MGR:	APPROVED BY:	
SHEET TITLE	SCALE	
SITE PLAN - ULTIMATE	1:250	
	DATE MAY 17, 2024	
SHEET NUMBER	ISSUE	
A.100D		



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4.	RE-ISSUED FOR SPA	28-11-2023
5.	RE-ISSUED FOR SPA	17-05-2024

CONSULTANTS



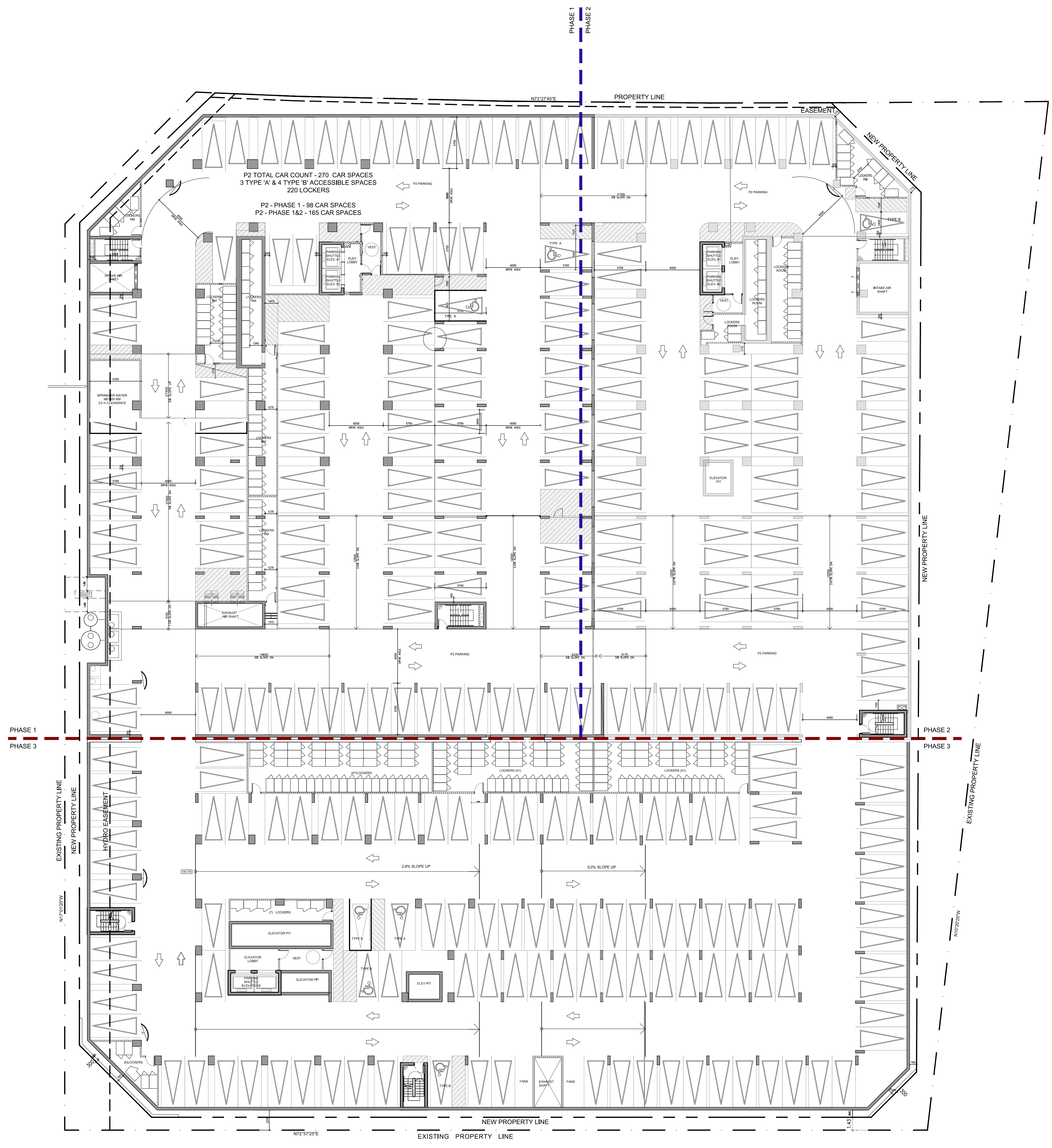
PRIME CONSULTANT
ARCADIS

PROJECT
MIXED USE DEVELOPMENT AT HIGHWAY 7 AND INTERCHANGE WAY (VAUGHAN, ON)

PROJECT NO:	135572
DRAWN BY:	CHECKED BY:
PROJECT MGR:	APPROVED BY:

SHEET TITLE P3 PARKING LEVEL	SCALE 1:250
	DATE MAY 17, 2024

SHEET NUMBER A.101.1	ISSUE
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3.	RE-ISSUED FOR SPA	03-03-2023
4.	RE-ISSUED FOR SPA	28-11-2023
5.	RE-ISSUED FOR SPA	17-05-2024

CONSULTANTS

SEAL



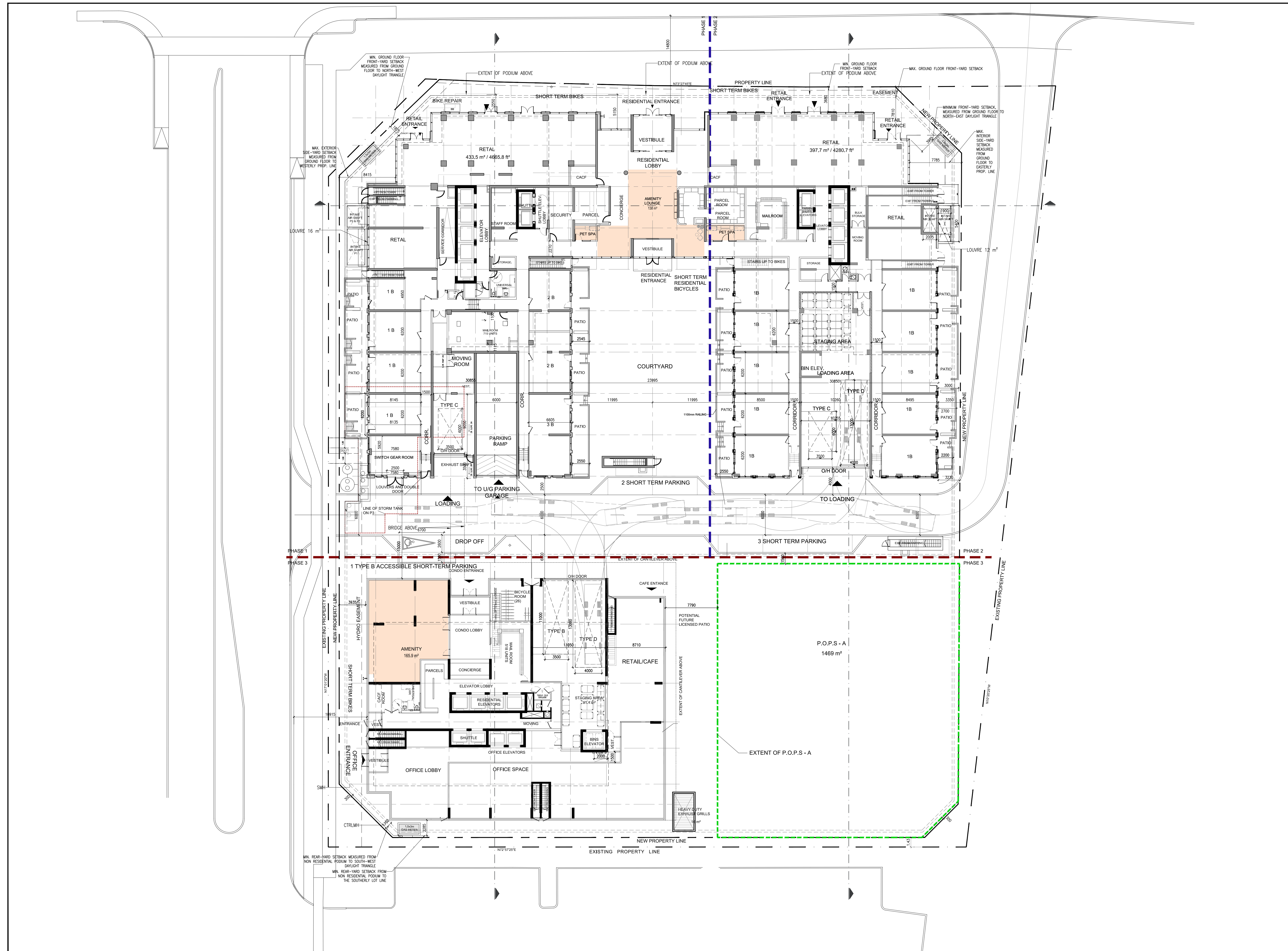
PRIME CONSULTANT
ARCADIS

PROJECT
**MIXED USE DEVELOPMENT AT
HIGHWAY 7 AND INTERCHANGE WAY
(VAUGHAN, ON)**

PROJECT NO:	135572
DRAWN BY:	CHECKED BY:
PROJECT MGR:	APPROVED BY:

SHEET TITLE P2 PARKING LEVEL	SCALE 1:250
	DATE MAY 17, 2024

SHEET NUMBER A.101.2	ISSUE
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4.	RE-ISSUED FOR SPA	28-11-2023
5.	RE-ISSUED FOR SPA	17-05-2024

CONSULTANTS

SEAL



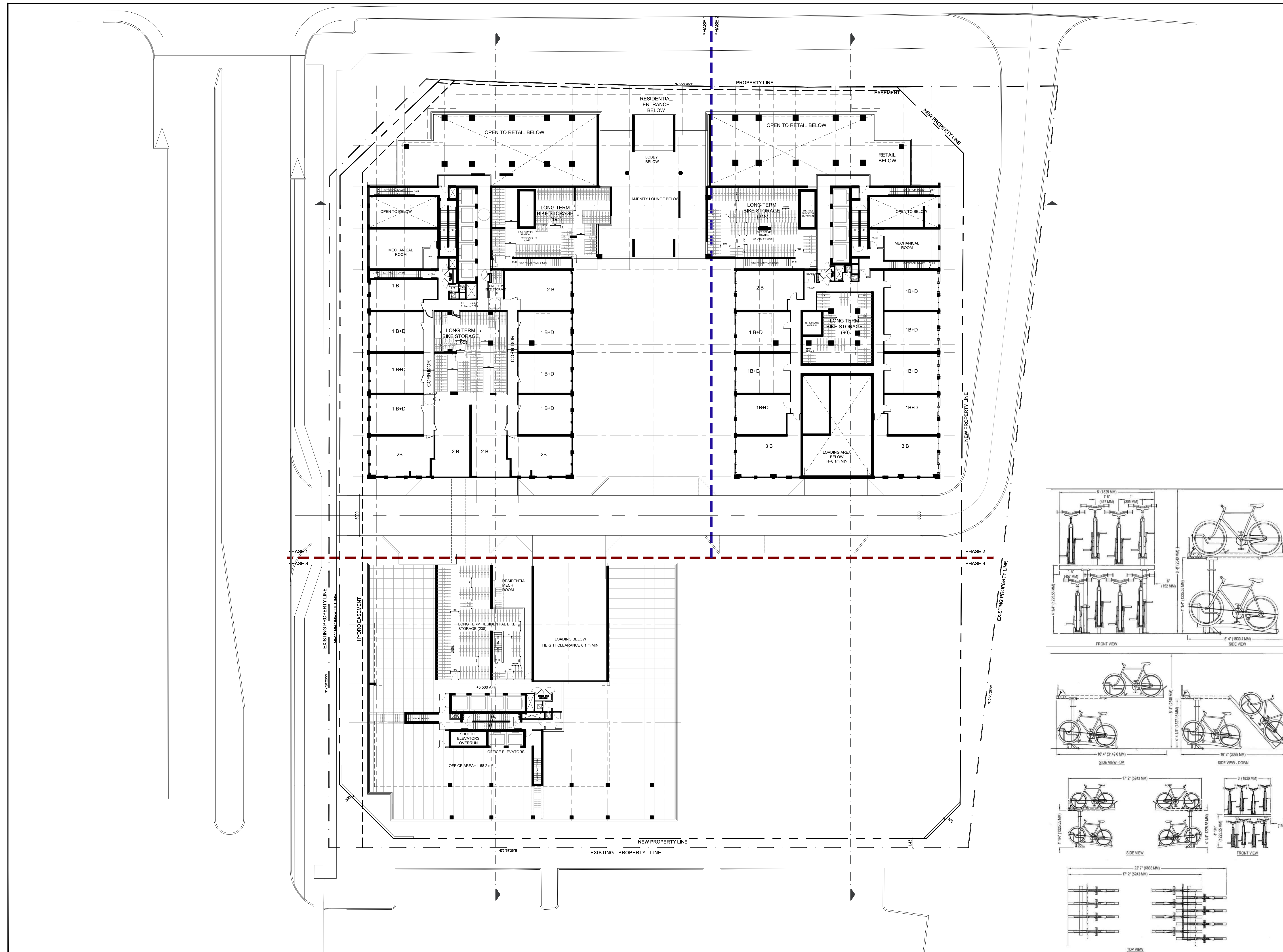
PRIME CONSULTANT
ARCADIS

PROJECT
MIXED USE DEVELOPMENT AT HIGHWAY 7 AND INTERCHANGE WAY (VAUGHAN, ON)

PROJECT NO:	135572
DRAWN BY:	CHECKED BY:
PROJECT MGR:	APPROVED BY:

SHEET TITLE	SCALE
GROUND FLOOR PLAN	1:250
	DATE MAY 17, 2024

SHEET NUMBER	ISSUE
A.102.1	



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5.	RE-ISSUED FOR SPA	17-05-2024

CONSULTANTS

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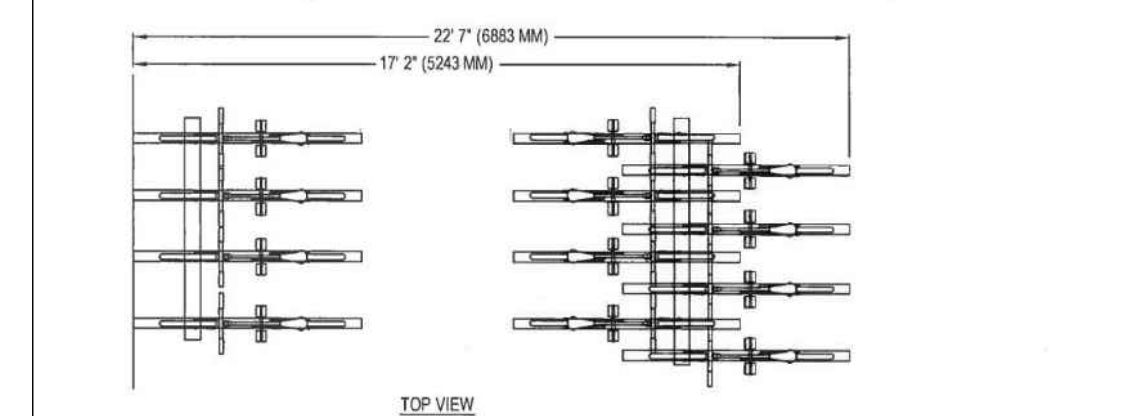
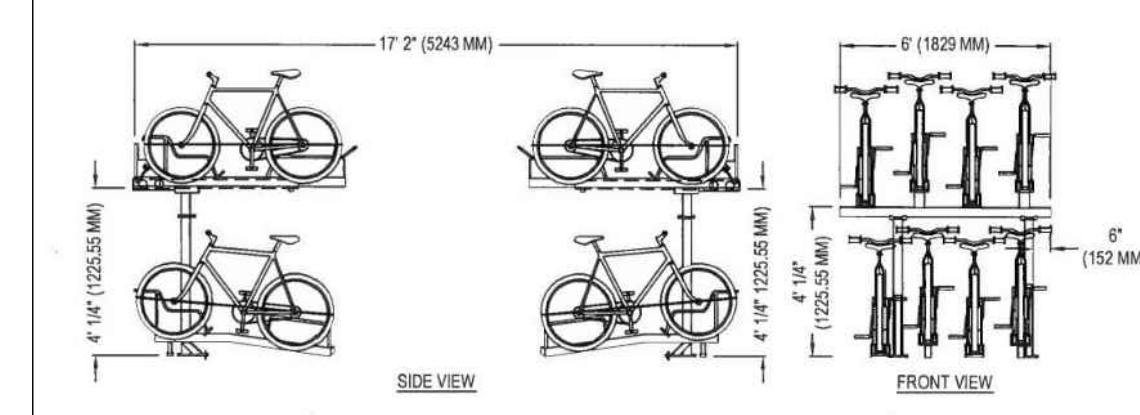
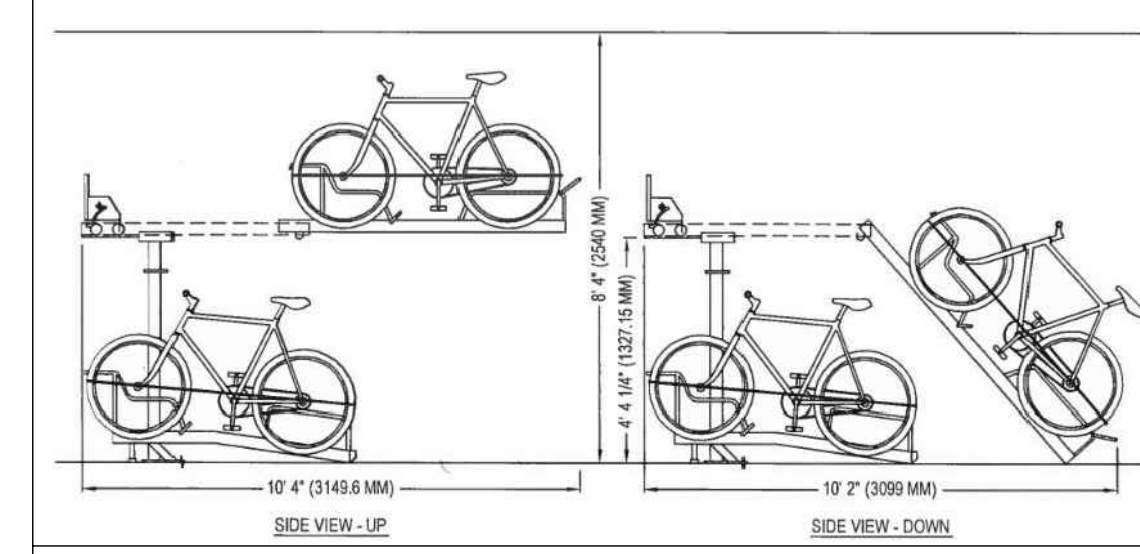
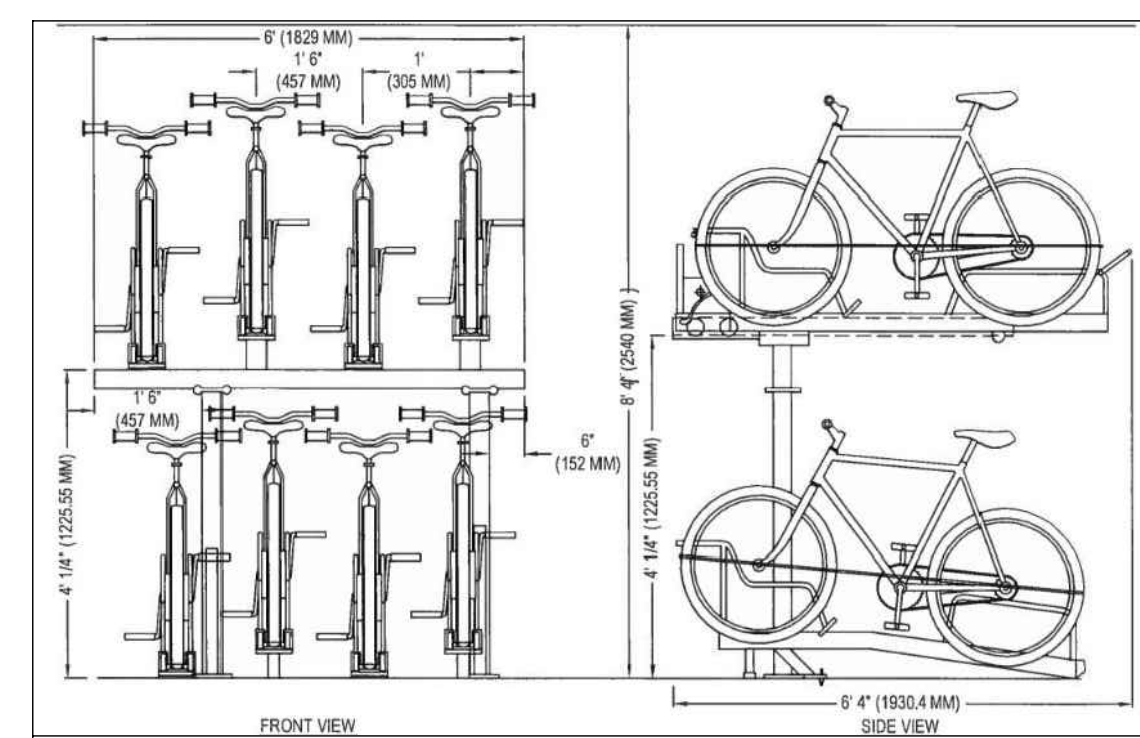


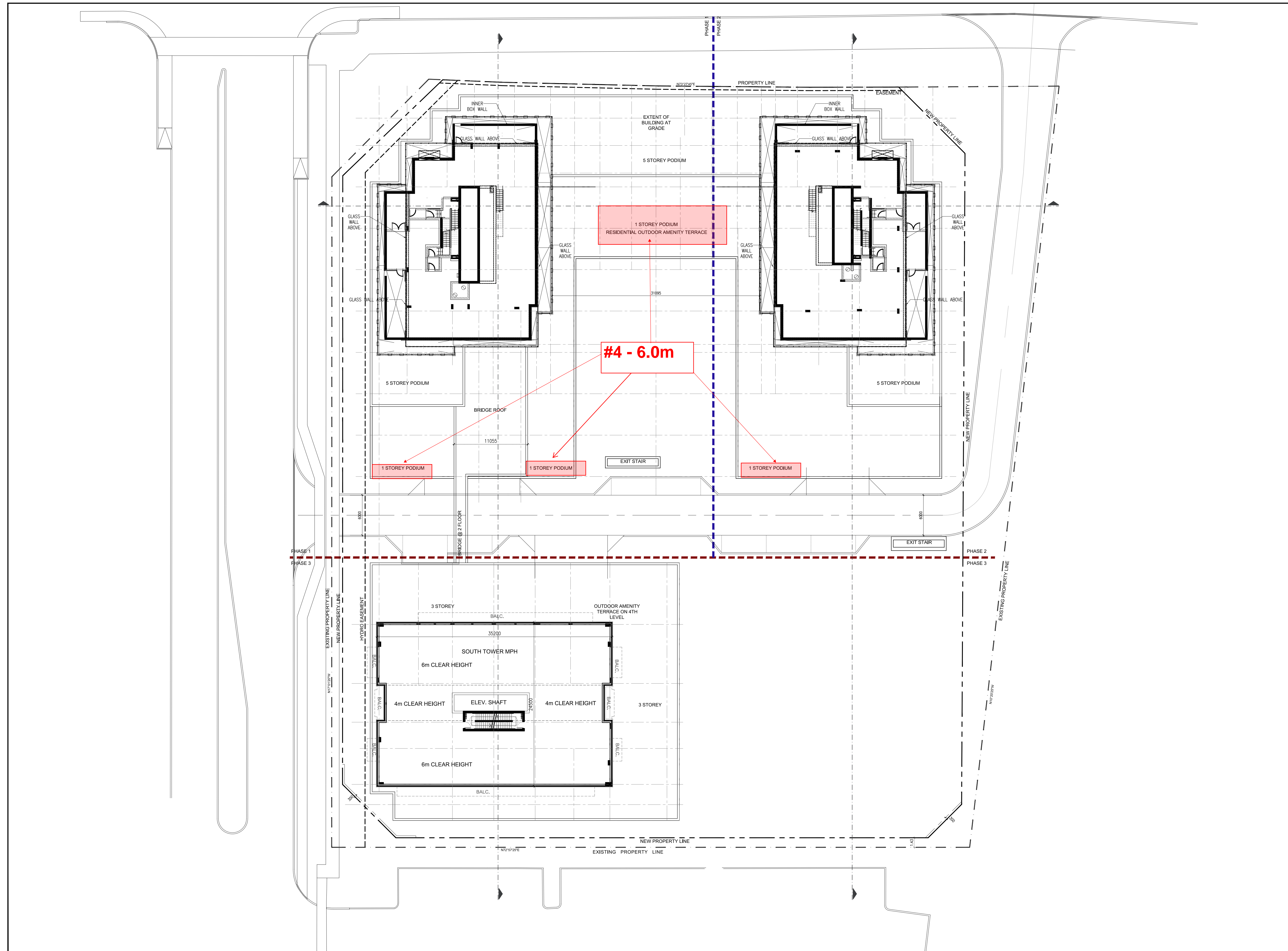
PRIME CONSULTANT
ARCADIS

PROJECT
MIXED USE DEVELOPMENT AT HIGHWAY 7 AND INTERCHANGE WAY (VAUGHAN, ON)

PROJECT NO:	135572
DRAWN BY:	CHECKED BY:
PROJECT MGR:	APPROVED BY:

SHEET TITLE	SCALE
MEZZANINE FLOOR PLAN	1:250
SHEET NUMBER	DATE
A.102.2	MAY 17, 2024
	ISSUE





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3.	RE-ISSUED FOR SPA	03-03-2023
4.	RE-ISSUED FOR SPA	28-11-2023
5.	RE-ISSUED FOR SPA	17-05-2024

CONSULTANTS

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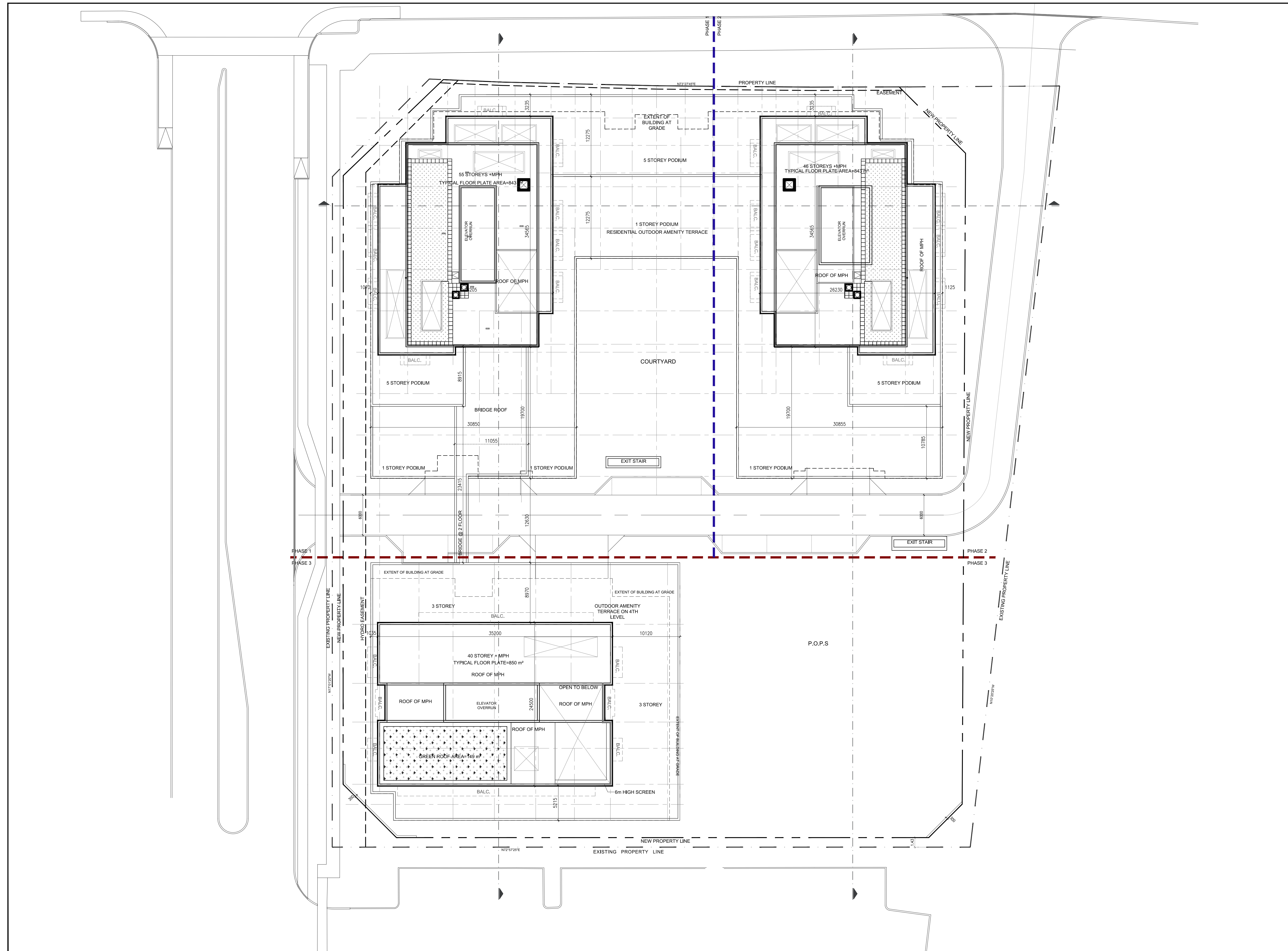
PRIME CONSULTANT
ARCADIS

PROJECT
MIXED USE DEVELOPMENT AT HIGHWAY 7 AND INTERCHANGE WAY (VAUGHAN, ON)

PROJECT NO:	135572
DRAWN BY:	CHECKED BY:
PROJECT MGR:	APPROVED BY:

SHEET TITLE MPH PLAN	SCALE 1:250
	DATE MAY 17, 2024

SHEET NUMBER A.110	ISSUE
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5.	RE-ISSUED FOR SPA	17-05-2024

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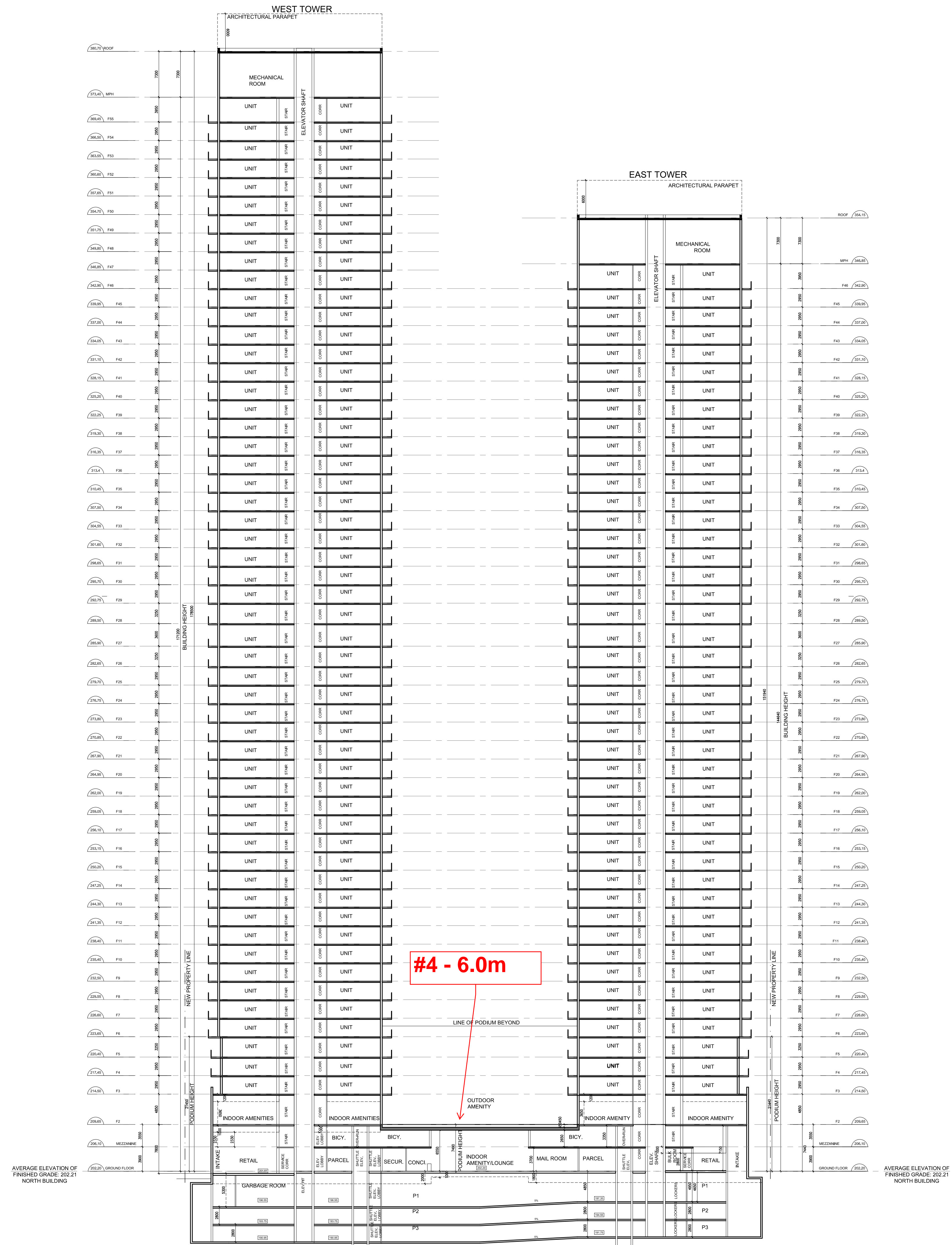
PRIME CONSULTANT
ARCADIS

PROJECT
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PROJECT NO:	135572
DRAWN BY:	CHECKED BY:
PROJECT MGR:	APPROVED BY:

SHEET TITLE ROOF PLAN	SCALE 1:250
	DATE MAY 17, 2024

SHEET NUMBER A.111	ISSUE
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5.	RE-ISSUED FOR SPA	17-05-2024

CONSULTANTS

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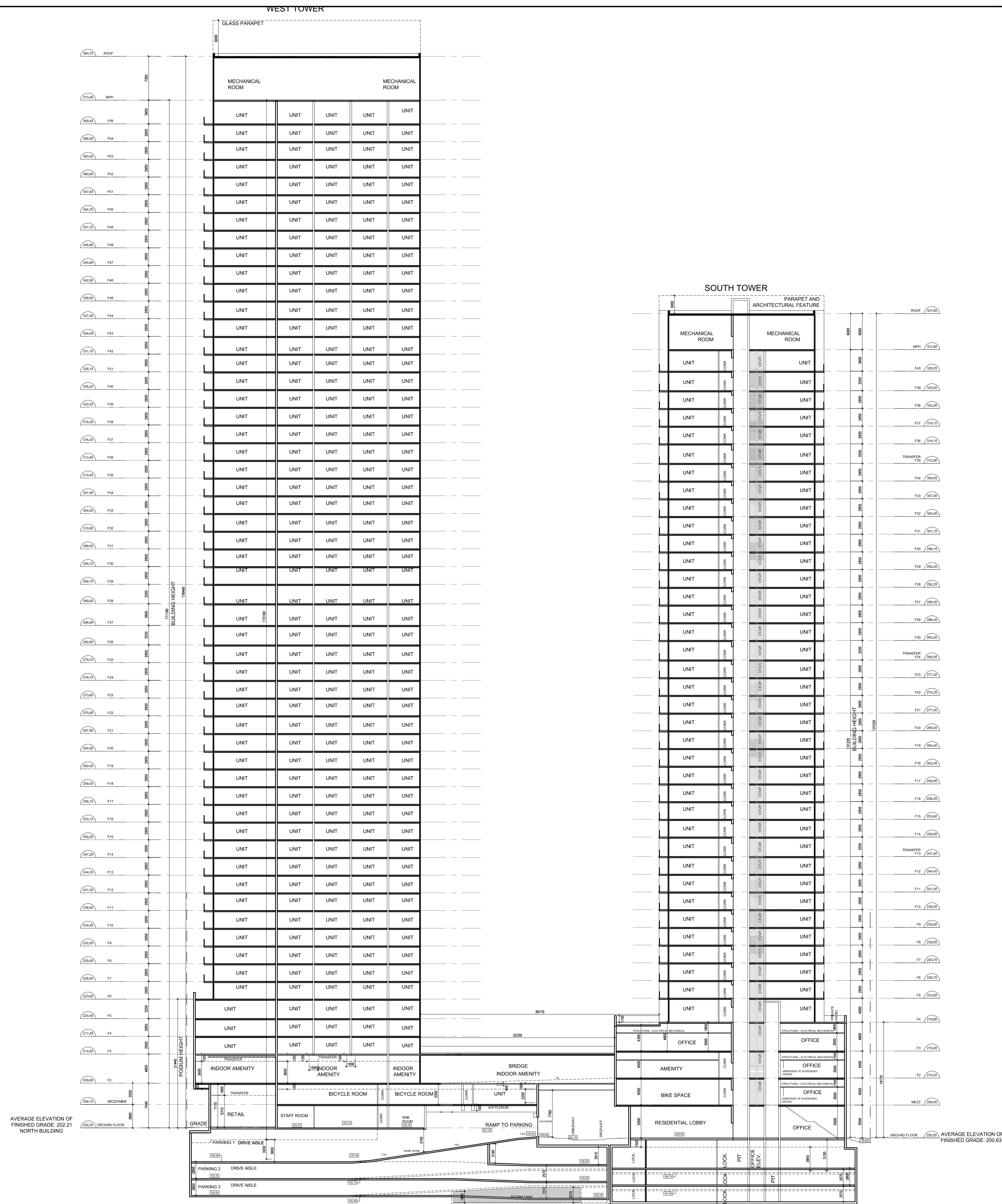
PRIME CONSULTANT
ARCADIS

PROJECT
MIXED USE DEVELOPMENT AT
HIGHWAY 7 AND INTERCHANGE WAY
(VAUGHAN, ON)

PROJECT NO:	135572
DRAWN BY:	CHECKED BY:
PROJECT MGR:	APPROVED BY:

SHEET TITLE E-W BUILDING SECTION LOOKING NORTH	SCALE 1:350
	DATE MAY 17, 2024

SHEET NUMBER A.300	ISSUE
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3.	RE-ISSUED FOR SPA	03-03-2023
4.	RE-ISSUED FOR SPA	28-11-2023
5.	RE-ISSUED FOR SPA	17-05-2024

CONSULTANTS

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PRIME CONSULTANT
ARCADIS

PROJECT
MIXED USE DEVELOPMENT AT HIGHWAY 7 AND INTERCHANGE WAY (VAUGHAN, ON)

PROJECT NO: **135572**
DRAWN BY: _____ CHECKED BY: _____
PROJECT MGR: _____ APPROVED BY: _____

SHEET TITLE: **N-S BUILDING SECTION LOOKING EAST** SCALE: **1:350**
DATE: **MAY 17, 2024**

SHEET NUMBER: **A.301** ISSUE

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No.	DESCRIPTION	DATE
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4.	RE-ISSUED FOR SPA	28-11-2023
5.	RE-ISSUED FOR SPA	17-05-2024

CONSULTANTS



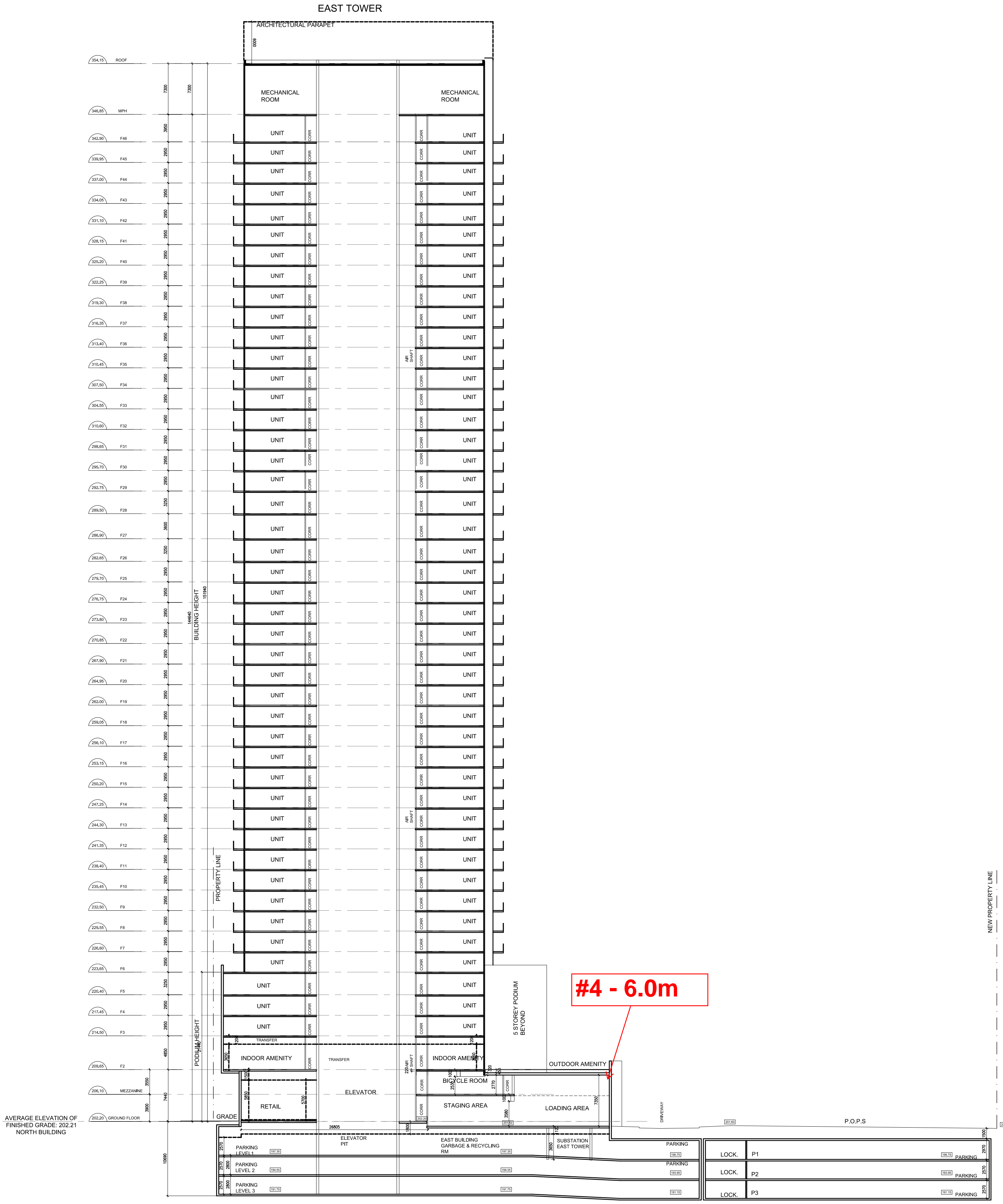
PRIME CONSULTANT
ARCADIS

PROJECT
MIXED USE DEVELOPMENT AT HIGHWAY 7 AND INTERCHANGE WAY (VAUGHAN, ON)

PROJECT NO:	135572
DRAWN BY:	CHECKED BY:
PROJECT MGR:	APPROVED BY:

SHEET TITLE	SCALE
N-S BUILDING SECTION LOOKING EAST	1:350
	DATE MAY 17, 2024

SHEET NUMBER	ISSUE
A.302	



**SCHEDULE B:
COMMENTS FROM AGENCIES, BUILDING STANDARDS &
DEVELOPMENT PLANNING**

Department / Agency <small>*Comments Received</small>	Conditions Required		Nature of Comments
Building Standards (Zoning) *See Schedule B	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>	General Comments
Development Planning	Yes <input type="checkbox"/>	No <input type="checkbox"/>	Application Under Review

External Agencies <small>*Comments Received</small>	Conditions Required		Nature of Comments <small>*See Schedule B for full comments</small>
Alectra	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>	General Comments
Region of York	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>	General Comments
TRCA	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>	General Comments
Metrolinx	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>	General Comments

Date: July 25th 2024

Attention: **Christine Vigneault**

RE:

File No.: **A209-23**

Related Files:

Applicant VMC Condos LP

Location 3201 Hwy 7



Discover the possibilities

COMMENTS:

- We have reviewed the proposed Variance Application and have no comments or objections to its approval.
- We have reviewed the proposed Variance Application and have no objections to its approval, subject to the following comments (attached below).
- We have reviewed the proposed Variance Application and have the following concerns (attached below).

Alectra Utilities (formerly PowerStream) has received and reviewed the proposed Variance Application. This review, however, does not imply any approval of the project or plan.

All proposed billboards, signs, and other structures associated with the project or plan must maintain minimum clearances to the existing overhead or underground electrical distribution system as specified by the applicable standards, codes and acts referenced.

In the event that construction commences, and the clearance between any component of the work/structure and the adjacent existing overhead and underground electrical distribution system violates the Occupational Health and Safety Act, the customer will be responsible for 100% of the costs associated with Alectra making the work area safe. All construction work will be required to stop until the safe limits of approach can be established.

In the event construction is completed, and the clearance between the constructed structure and the adjacent existing overhead and underground electrical distribution system violates the any of applicable standards, acts or codes referenced, the customer will be responsible for 100% of Alectra's cost for any relocation work.

References:

- Ontario Electrical Safety Code, latest edition (Clearance of Conductors from Buildings)
- Ontario Health and Safety Act, latest edition (Construction Protection)
- Ontario Building Code, latest edition (Clearance to Buildings)
- PowerStream (Construction Standard 03-1, 03-4), attached
- Canadian Standards Association, latest edition (Basic Clearances)

If more information is required, please contact either of the following:

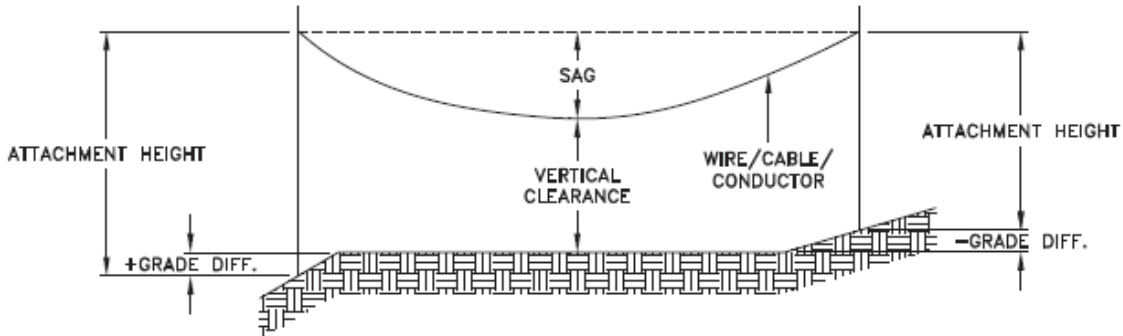
Mr. Stephen Cranley, C.E.T
Supervisor, Distribution Design, ICI & Layouts (North)
Phone: 1-877-963-6900 ext. 31297

E-mail: stephen.cranley@alectrautilities.com

Mitchell Penner
Supervisor, Distribution Design-Subdivisions
Phone: 416-302-6215

Email: Mitchell.Penner@alectrautilities.com

LOCATION OF WIRES, CABLES OR CONDUCTORS	SYSTEM VOLTAGE			
	SPAN GUYS AND COMMUNICATIONS WIRES	UP TO 600V AND NEUTRAL	4.16/2.4kV TO 27.6/16kV (SEE NOTE 1)	44kV
MINIMUM VERTICAL CLEARANCES (SEE NOTE 2)				
OVER OR ALONGSIDE ROADS, DRIVEWAYS OR LANDS ACCESSIBLE TO <u>VEHICLES</u>	442cm	442cm	480cm	520cm
OVER GROUND ACCESSIBLE TO <u>PEDESTRIANS AND BICYCLES ONLY</u>	250cm	310cm	340cm	370cm
ABOVE TOP OF RAIL AT <u>RAILWAY CROSSINGS</u>	730cm	730cm	760cm	810cm



MINIMUM ATTACHMENT HEIGHT = MAXIMUM SAG
 + MINIMUM VERTICAL CLEARANCE (FROM ABOVE TABLE)
 ± GRADE DIFFERENCE
 + 0.3m (VEHICLE OR RAILWAY LOCATION)
 + SNOW DEPTH (PEDESTRIAN LOCATION, SEE NOTE 3)

NOTES:

1. THE MULTIGROUNDED SYSTEM NEUTRAL HAS THE SAME CLEARANCE AS THE 600V SYSTEM.
2. THE VERTICAL CLEARANCES IN THE ABOVE TABLE ARE UNDER MAXIMUM SAG CONDITIONS.
3. REFER TO CSA STANDARD C22.3 No.1, ANNEX D FOR LOCAL SNOW DEPTH VALUES.
4. ALL CLEARANCES ARE IN ACCORDANCE TO CSA STANDARD C22.3.

CONVERSION TABLE

METRIC	IMPERIAL (APPROX)
810cm	27'-0"
760cm	25'-4"
730cm	24'-4"
520cm	17'-4"
480cm	16'-0"
442cm	15'-5"
370cm	12'-4"
340cm	11'-4"
310cm	10'-4"
250cm	8'-4"

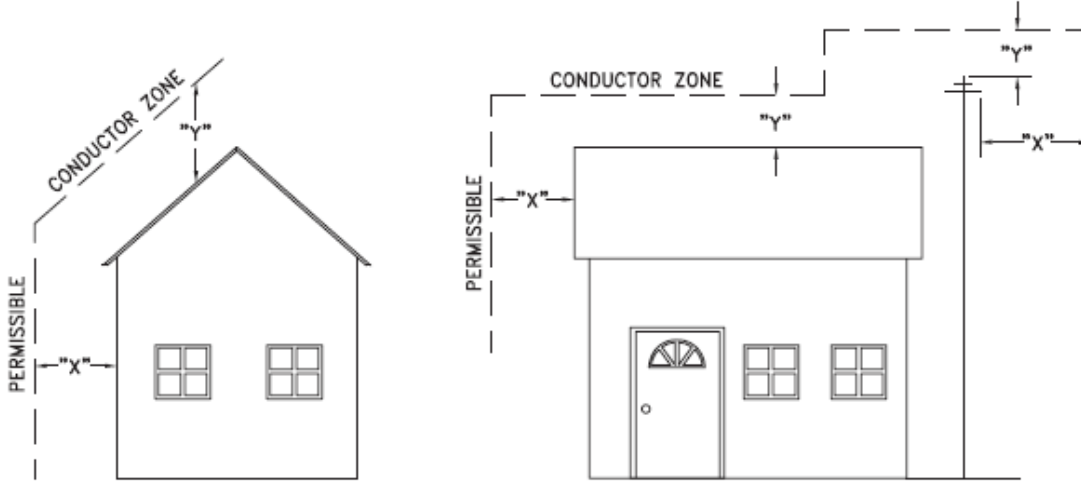
REFERENCES

SAGS AND TENSIONS | SECTION 02

MINIMUM VERTICAL CLEARANCES OF WIRES, CABLES AND CONDUCTORS ABOVE GROUND OR RAILS

ORIGINAL ISSUE DATE: 2010-DEC-24 REVISION NO: R1 REVISION DATE: 2012-JAN-09

Certificate of Approval	
This construction Standard meets the safety requirements of Section 4 of Regulation 22/04	
Joe Crozier, P.Eng.	2012-JAN-09
Name	Date
P.Eng. Approval By:	Joe Crozier



VOLTAGE	MINIMUM HORIZONTAL CLEARANCE UNDER MAXIMUM SWING CONDITIONS DIMENSION "X" (SEE NOTES 1, 3 & 4)	MINIMUM VERTICAL CLEARANCE UNDER MAXIMUM DESIGN SAG CONDITIONS DIMENSION "Y" (SEE NOTES 1, 2, 4 & 5)
0-600V AND NEUTRAL	100cm	250cm
4.16/2.4 TO 44kV	300cm	480cm

NOTES

1. UNDER NO CIRCUMSTANCES SHALL A CONDUCTOR BE PERMITTED TO PENETRATE THE ENVELOPE SHOWN BY THE DOTTED LINE.
2. THE VERTICAL CLEARANCES ARE UNDER CONDITIONS OF MAXIMUM DESIGN SAG.
3. THE HORIZONTAL CLEARANCES ARE UNDER CONDITIONS OF MAXIMUM SWING. WHERE THE CONDUCTOR SWING IS NOT KNOWN A HORIZONTAL CLEARANCE OF 480CM SHALL BE USED.
4. BUILDINGS THAT EXCEED 3 STOREYS OR 15M IN HEIGHT, THE MINIMUM HORIZONTAL CLEARANCE OF THE SECONDARY CONDUCTORS SHOULD BE INCREASED TO 300cm WHERE IT IS NECESSARY TO ALLOW FOR THE RAISING OF LADDERS BY LOCAL FIRE DEPARTMENTS.
5. IN SITUATIONS SUCH AS MULTI-LEVEL GARAGES, WHERE ROOFS ARE NORMALLY USED BY PERSONS AND VEHICLES, THE VERTICAL CLEARANCES OF POWERSTREAM STANDARD 03-1 SHALL APPLY.
6. DISTRIBUTION LINES CONSTRUCTED NEAR BUILDINGS SHALL BE BUILT TO AVOID OVERHANG WHEREVER POSSIBLE. WHERE LINES MUST BE CONSTRUCTED OVER OR ADJACENT TO BUILDINGS THE APPLICABLE HORIZONTAL AND VERTICAL CLEARANCES SHALL BE AT CONDITIONS OF MAXIMUM CONDUCTOR SWING AND MAXIMUM SAG. THE ABOVE CLEARANCES ARE DESIGNED TO PREVENT PERSONS ON OR IN BUILDINGS AS WELL AS EXTERNAL MACHINERY USED IN CONJUNCTION WITH A BUILDING TO COME IN CONTACT WITH CONDUCTORS. EFFORTS SHOULD BE MADE TO INCREASE THESE CLEARANCES WHERE POSSIBLE.
7. ALL CLEARANCES ARE IN ACCORDANCE TO CSA C22.3 NO.1-06 (TABLE-9).

METRIC	IMPERIAL (APPROX)
480cm	16'-0"
300cm	10'-0"
250cm	8'-4"
100cm	3'-4"

MINIMUM VERTICAL & HORIZONTAL CLEARANCES OF CONDUCTORS FROM BUILDINGS OR OTHER PERMANENT STRUCTURES (CONDUCTORS NOT ATTACHED TO BUILDINGS)

Certificate of Approval
This construction Standard meets the safety requirements of Section 4 of Regulation 22/04
Debbie Dadwani, P.Eng. 2010-MAY-05
Name Date
P. Eng. Approval By: *D. Dadwani*

ORIGINAL ISSUE DATE: 2010-MAY-05 REVISION NO: REVISION DATE:
PS:\System Planning and Standards\Standard Design\PowerStream Standards\PowerStream Standards working files\Section 3-1-02\WG 03-4 R0 May 5, 2010.dwg, 5/5/2010 10:22:02 AM, Adobe PDF

To: Committee of Adjustment

From: Gregory Seganfreddo, Building Standards Department

Date: July 31, 2024

Applicant: VMC Condos LP

Location: 3201 Hwy 7
CONC 5 Part of Lot 5
PLAN 65R20291 Part 11-12
PLAN 65R20291 Part 21-22

File No.(s): A209/23

Zoning Classification:

The subject lands are zoned C9 Corporate Centre and subject to the provisions of Exception 9(957) under Zoning By-law 1-88, as amended.

Zoning By-law 1-88		Variance requested
1	A minimum front yard setback of 3.0 metres is required for Residential Uses. [Schedule A2]	To permit a minimum front yard setback of 1.0 metre to the portion of the building containing residential units abutting Hwy 7 and a minimum front yard setback of 1.7 metres to the portion of the building containing residential uses at the north/west sight-triangle.
2	Canopies shall not project more than 0.5 metres into a required yard. [Section 3.14 a)]	To permit a maximum projection of 2.6 m into a required yard for a canopy.
3	Exterior stairways, porches and balconies which are uncovered, unexcavated and unenclosed may extend into a required front, exterior side or rear yard to a maximum of 1.8 metres. [Section 3.14, c)]	To permit exterior stairs and porches to extend up to a maximum of 2.75 metres into the exterior east and exterior west side yards.
4	A minimum building height of 16.5 metres is required. [By-law 144-2009]	To permit a minimum building height of 6.0 metres for the podium portions of the buildings.
5	A minimum build-to-zone of 0.0 - 3.0 metres is required for non-residential uses and a minimum build-to-zone of 3.0-6.0 metres for residential uses is required (Major Streets, Hwy 7) [Schedule A2, Notes 3 and 9]	To permit a minimum build-to-zone of 1.0 m to 8.3 m for both non-residential and residential uses abutting Hwy 7.
6	A minimum build-to-zone of 0.0 - 3.0 metres is required for non-residential uses and a minimum build-to-zone of 3.0-6.0 metres for residential uses is required (Major Streets, Interchange Way) [Schedule A2, Notes 3 and 9]	To permit a minimum build - to-zone of 1.0 m to 8.9 m for both non-residential and residential uses abutting Interchange Way.
7	A minimum build-to-zone of 0.0 - 3.0 metres is required for non-residential uses and a minimum build-to-zone of 3.0-6.0 metres for residential uses is required (Other Streets, proposed east/west road) [Schedule A2, Notes 3 and 9]	To permit a build-to-zone of 1.0 m to 7.8 m for both non-residential and residential uses abutting the proposed east/west road along the south lot line. A minimum of 50% of the street line shall have buildings located within the build-to-zone abutting the east/west road

8	A minimum build-to-zone of 0.0 - 3.0 metres is required for non-residential uses and a minimum build-to-zone of 3.0-6.0 metres for residential uses is required (Other Streets, north/south road) [Schedule A2, Notes 3 and 9]	To permit a build-to-zone of 1.0 m to 8.3 m for both non-residential and residential uses abutting the proposed north/south road along the east lot line. A minimum of 50% of the street line shall have buildings located within the build to zone along the north/south road.
9	A minimum landscape strip of 3.0 metres is required abutting a Street line. [Section 5.1.1 c) i)]	To permit residential patios, exhaust grills, exterior staircases, retaining walls, gas metres, manholes, air shafts, bicycle racks, and any other required infrastructure within a minimum 3.0 metre landscape strip abutting a street line.
10	Lot: Means a parcel of land fronting on a street separate from any abutting land to the extent that a consent contemplated by Section 50 of the Planning Act, R.S.O 1990, c. P.13. would not be required for its conveyance. For the purpose of this paragraph, land defined in an application for a building permit shall be deemed to be a parcel of land and a reserve shall not form part of the lot. [Section 2.0 Definitions]	For the purposes of zoning conformity, the Lands identified on the attached sketch shall be deemed to be one lot, regardless of the number of buildings constructed thereon, the creation of separate units, and or lots by way of Plan of Condominium, consents, conveyance or private or public roads, strata title arrangements, or other permissions, and easements or registrations that are granted.
11	A minimum of 921 long term bicycle parking spaces are required for 1841 residential units @ 0.5 bicycle parking spaces per unit. [Section 3.8.1 a)]	To permit a minimum of 920 long term bicycle parking spaces.

Staff Comments:

Stop Work Order(s) and Order(s) to Comply:

There are no outstanding Orders on file

Building Permit(s) Issued:

Building Permit No. 18-001745 for Hotel/Motel - Non-Residential Demolition, Issue Date: Jun 22, 2022

Building Permit No. 22-131938 for Hotel/Motel - Alteration, Issue Date: Mar 30, 2023

Other Comments:

Zoning By-law 1-88	
1	None.

General Comments	
1	The applicant shall be advised that additional variances may be required upon review of detailed drawing for building permit/site plan approval.
2	The attached sketch referenced in variance 10, shall be the Site Plan Ultimate A.100D as submitted in the minor variance application.

Conditions of Approval:

If the committee finds merit in the application, the following conditions of approval are recommended.

* Comments are based on the review of documentation supplied with this application.

From: [development.coordinator](#)
To: [Committee of Adjustment](#)
Subject: [External] RE: A209/23 (3201 Hwy 7) - REQUEST FOR COMMENTS, CITY OF VAUGHAN
Date: Friday, August 2, 2024 4:01:13 PM
Attachments: [image002.png](#)
[image003.png](#)

CAUTION! This is an external email. Verify the sender's email address and carefully examine any links or attachments before clicking. If you believe this may be a phishing email, please use the Phish Alert Button.

Good afternoon,

Please be advised that the subject lands (3201 Hwy 7) fall outside of the designated Metrolinx review zones. Metrolinx therefore has no comments and / or concerns on this minor variance application. For future reference, please consult the webpage and mapping portal provided below, in order to determine when Metrolinx should be circulated.

-

Development Projects near Metrolinx Rail Corridors (GO/LRT):

<https://www.metrolinx.com/en/about-us/doing-business-with-metrolinx/development-opportunities/adjacent-development-review>

-

Metrolinx Zone of Influence Mapping Portal:

https://maps.metrolinx.com/Third_Party_Coordination_Permitting/

Metrolinx may also be removed from future circulations of this site.

Thank you,

Farah Faroque (she/her)

Project Analyst, Third Party Projects Review

Real Estate & Development

Metrolinx

10 Bay Street | Toronto | Ontario | M5J 2N8

T: 437.900.2291

 **METROLINX**

From: [Cameron McDonald](#)
To: [Committee of Adjustment](#)
Subject: [External] RE: A209/23 (3201 Hwy 7) - REQUEST FOR COMMENTS, CITY OF VAUGHAN
Date: Friday, July 26, 2024 1:44:28 PM
Attachments: [image003.png](#)
[image005.png](#)

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Good afternoon,

Based on a review of our screening mapping, I can confirm that the subject property is not located within TRCA's Regulated Area. As such, any site alteration or development on the property would not require a permit from TRCA.

Based on the above, we have no comments/requirements.

Regards,

Cameron McDonald

Planner I

Development Planning and Permits | Development and Engineering Services

T: [\(437\) 880-1925](tel:(437)880-1925)

E: cameron.mcdonald@trca.ca

A: [101 Exchange Avenue, Vaughan, ON, L4K 5R6](#) | trca.ca



From: [Development Services](#)
To: [Christine Vigneault](#)
Cc: [Committee of Adjustment](#)
Subject: [External] RE: A209/23 (3201 Hwy 7) - REQUEST FOR COMMENTS, CITY OF VAUGHAN
Date: Wednesday, August 7, 2024 2:14:29 PM
Attachments: [image002.png](#)
[image004.png](#)
[image005.png](#)

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Hi Christine,

The Regional Municipality of York has completed its review of the minor variance application – A209/23 (3201 Hwy 7) and has no comment.

Please provide us with a digital copy of the notice of decision for our records.

Many thanks,

Our working hours may be different. Please do not feel obligated to reply outside of your scheduled working hours. Let's work together to help foster healthy work-life boundaries.

Niranjan Rajevan, M.Pl. | Associate Planner, Development Planning | Economic and Development Services Branch | Corporate Services Department

The Regional Municipality of York | 17250 Yonge Street | Newmarket, ON L3Y 6Z1
1-877-464-9675 ext. 71521 | niranjan.rajevan@york.ca | www.york.ca

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SCHEDULE C: PUBLIC & APPLICANT CORRESPONDENCE

Correspondence Type	Name	Address	Date Received (mm/dd/yyyy)	Summary
Applicant				Planning Justification Report

December 21, 2023

MGP File: 21-3056

Committee of Adjustment
City of Vaughan
2141 Major Mackenzie Drive
Vaughan, ON L6A 1T1

via City of Vaughan Committee of Adjustment Online Submission

Attention: Ms. Christine Vigneault
Secretary-Treasurer, Committee of Adjustment

Dear Members of Committee:

RE: Application for Minor Variance – Planning Opinion Letter
3201 Highway 7, City of Vaughan
VMC GP Inc.

Malone Given Parsons (“MGP”) is the planning consultant for VMC GP Inc. (“VMC GP”), the owner of the lands municipally known as 3201 Highway 7 West, in the City of Vaughan (the “Subject Lands”). The Subject Lands are located at the south-east corner of Highway 7 and Interchange Way. The Subject Lands are approximately 1.16 ha (2.86 acres) in size and located in the Vaughan Metropolitan Centre (“VMC”), the City’s downtown core. The Subject Lands are shown in **Figure 1** and legally described in **Table 1** below.

MGP has prepared this Planning Opinion Letter in support of an application for minor variance to the City of Vaughan Committee of Adjustment to seek relief to various urban design and building regulations for the Subject Lands (the “Application”). The Application will facilitate the redevelopment of the Subject Lands for a high-rise, mixed-use development consisting of residential, retail, office, and Privately-Owned Publicly-Accessible Space (“POPS”) uses. For the reasons set out in this letter, it is our opinion that the proposed variances meet the four tests of a minor variance, represent good planning and should be approved as they:

- Maintain the general intent and purpose of the Region’s Official Plan, the City’s Official Plan (“VOP”), and the Vaughan Metropolitan Centre Secondary Plan (“VMCSP”);
- Maintain the general intent and purpose of the City’s Zoning By-law 1-88;
- Are desirable for the appropriate development or use of the land; and
- Are minor.

Figure 1: Site Location



Table 1: Legal Description of the Subject Lands

Registered Owner	Legal Description	PIN
VMC CONDOS LIMITED PARTNERSHIP; VMC GP INC.	PT LT 5 CON 5, VAUGHAN, PTS 2, 4, 5, 11 & 12 PL 65R27858 EXCEPT PTS 1, 2 & 3 PL 65R28072 EXCEPT PTS 10 & 13 ON EXPRO PLN YR1694787; S/T EASE OVER PTS 5 & 12 PL 65R27858, AS IN LT1357479. T/W EASE OVER PT LT 4 CON 5 PTS 4,8 & 9 PL 65R23408, AS IN LT1601211.T/W EASE OVER PT LT 4 CON 5, PTS 5,6,7 & 10 PL 65R23408, AS IN LT1601211. T/W EASE OVER PT LT 4 CON 5, PTS 6,31,43 & 44 PL 65R24974 & PT LT 4 CON 5, PTS 6,7,8,40 & 44 PL 65R24974 & PT LT 4 CON 5, PTS 6,40 & 44 PL 65R24974 ,AS IN YR163400. T/W EASE OVER PT LTS 4 & 5 CON 5, PTS 37,38,40,41,44,45,46,48,49,50 & 51 PL 65R20291 UNTIL DESIGNATED AS A PUBLIC HIGHWAY, AS IN LT1357482. T/W EASE OVER PT LT 5 CON 5, PTS 3 & 10 PL 65R27858, AS IN YR631007. T/W EASE OVER PT LT 5 CON 5, PTS 9 & 10 PL 65R27858, AS IN YR631007 SUBJECT TO AN EASEMENT OVER PARTS 2, 4, 5, 11 & 12, 65R27858, EXCEPT PARTS 1, 2 & 3, 65R28072, EXCEPT PARTS 10, & 13, EXPRO PLAN YR1644787 AS IN YR2951849 CITY OF VAUGHAN	032280291
VMC CONDOS LIMITED PARTNERSHIP; VMC GP INC.	PT LT 5 CON 5, (VAUGHAN) PTS 10 & 13 ON EXPRO PLAN YR1694787; T/W EASE OVER PT LT 4 CON 5 PTS 4,8 & 9 PL 65R23408, AS IN LT1601211.T/W EASE OVER PT LT 4 CON 5, PTS 5,6,7 & 10 PL 65R23408, AS IN LT1601211. T/W EASE OVER PT LT 4 CON 5, PTS 6,31,43 & 44 PL 65R24974 & PT LT 4 CON 5, PTS	032280290

	6,7,8,40 & 44 PL 65R24974 & PT LT 4 CON 5, PTS 6,40 & 44 PL 65R24974 ,AS IN YR163400. T/W EASE OVER PT LTS 4 & 5 CON 5, PTS 37,38,40,41,44,45,46,48,49,50 & 51 PL 65R20291 UNTIL DESIGNATED AS A PUBLIC HIGHWAY, AS IN LT1357482. T/W EASE OVER PT LT 5 CON 5, PTS 3 & 10 PL 65R27858, AS IN YR631007. T/W EASE OVER PT LT 5 CON 5, PTS 9 & 10 PL 65R27858, AS IN YR631007 CITY OF VAUGHAN	
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1.0 Background and Site Context

The Subject Lands are presently occupied by the Hilton Garden Inn Toronto/Vaughan hotel and associated surface parking. Surrounding uses include existing office, commercial, and industrial uses to the south and east, as well as on the north side of Highway 7, the VMC substation to the east, and the Residence Inn by Marriott hotel immediately to the south. Residential and mixed-use towers under construction are located to the west and northeast.

The Subject Lands have undergone an extensive development review process with multiple submissions beginning in early 2017 under the prior owner. VMC GP acquired the Subject Lands in November 2021 and assumed carriage of the existing Site Development Application DA.17.015 (the “SPA”) to permit a high-rise mixed-use development consisting of 1,649 residential units in three towers (55, 55, and 46 storeys), a hotel, a convention centre, and 6 levels of underground parking accommodating 1796 parking spaces (the “Icona Development”), which was conditionally approved by Council in June 2018.

The SPA approval was subject to conditions, which included:

- 1) execution of a site plan agreement;
- 2) final approval of the site plan drawings;
- 3) approval of variances to Zoning By-law 1-88 to permit the Icona Development, including an increase in permitted building height, which approval shall be subject to a Section 45(9) agreement for community benefits; and
- 4) resolution of Appeal #164 of the 2010 Vaughan Official Plan for the Subject Lands.

The SPA conditions were further amended by Council on September 29, 2020 to authorize a cash payment of \$1.2 million towards the City’s Public Art Program in lieu of an on-site public art installation.

On July 19, 2018, the previous owner submitted an application to the Vaughan Committee of Adjustment for variances to Zoning By-law 1-88 to permit the development standards contemplated by the Icona Development, in order to satisfy Condition 3) above.

On June 27, 2019, the Committee of Adjustment approved Minor Variance Application A136/18, subject to certain conditions, to permit the Icona Development including an increase in building height for the southerly tower, revised setbacks, revised Build-to-Zone and landscape strip requirements, and revised parking, loading, and bicycle parking requirements. A Section 45(9) agreement was executed and registered on title in accordance with Minor Variance decision A136/18.

In May 2021, a further application to the Committee of Adjustment was submitted to reduce the required number of parking spaces for the Icona Development. On June 30, 2021, the Committee of Adjustment approved Minor Variance Application A124/21, permitting 660 parking spaces for the residential uses, calculated at a rate of 0.4 spaces per unit.

In order to satisfy Condition 4) above to the SPA approval, a site-specific policy (Policy 9.3.13, Area K) within the VMCSPP with specific built form standards for the Icona Development was approved by the Local Planning Appeal Tribunal (now the Ontario Land Tribunal) on May 13, 2021, which resolved Appeal #164 of the VOP for the Subject Lands.

Since its acquisition of the Subject Lands, VMC GP and its consultant team have met with the City to discuss revisions to certain aspects of the former Icona Development in order to align with VMC GP and the City's aspirations for the Subject Lands. VMC GP advanced a revised SPA, through a resubmission filed with the City on December 13, 2022 that includes the following components:

- Three residential towers at 55, 46, and 40 storeys atop a connected podium ranging from 1 to 5 storeys in height;
- A total floor space index ("FSI") of 11.28;
- 4,974.50 square metres of office gross floor area ("GFA") within the podium of the south tower;
- 827.10 square metres of retail GFA within the podium;
- 125,000.20 square metres of residential GFA and 1,831 residential units;
- 4,264.80 square metres of amenity area, including 1,529 square metres of outdoor amenity area;
- 1,469 square metres of POPS in the southeast corner;
- 3 levels of underground parking and 745 parking spaces, including 5 short-term surface parking spaces; and
- 1,062 bicycle parking spaces.

Furthermore, the Proposed Development is now intended to be constructed in three phases, with Phase 1 consisting of the West Tower, associated podium, and underground parking garage beneath the West Tower (northwest portion of the Subject Lands). Phase 2 will consist of the East Tower and the associated podium and underground parking garage beneath the East Tower (northeast portion of the Subject Lands). Phase 3 will consist of the south portion of the Subject Lands, being the South Tower, underground parking garage beneath the South Tower, and the POPS. This phasing will have impacts on the parking rates and variances, as discussed in further detail below.

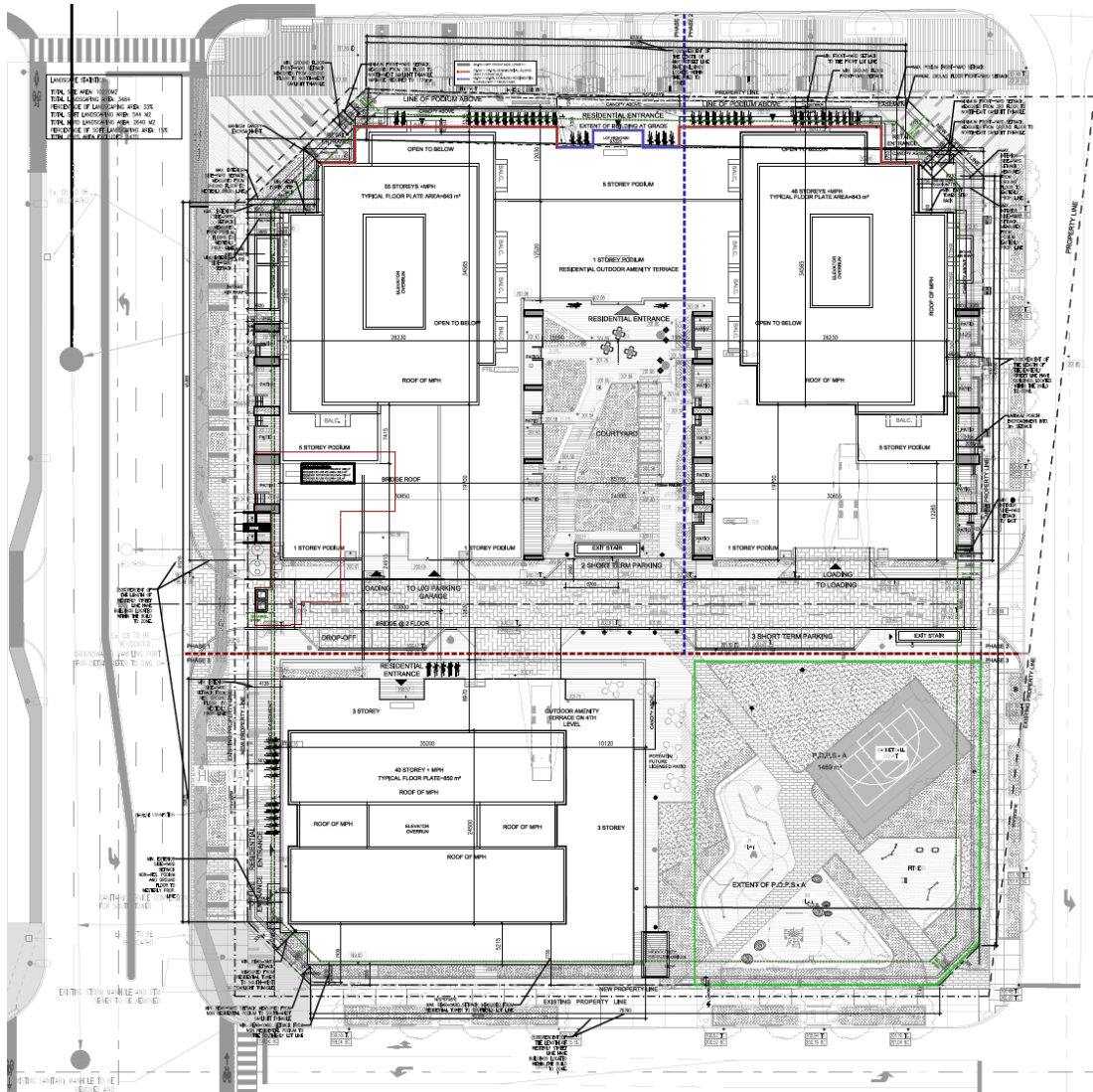
In October 2022, an application to the Committee of Adjustment was submitted to reduce the required number of parking spaces for the VMC GP revised site plan application. On December 8, 2022, the Committee of Adjustment approved Minor Variance Application A279/22, permitting the following variances:

- A residential parking ratio of 0.25 spaces per all types of units based on 1844 units to provide 461 parking spaces;
- A minimum of 286 Shared parking spaces for Mixed Use Development in the Vaughan Metropolitan Centre;

- A minimum of 461 residential parking spaces will be provided, and a of 286 shared parking spaces will be provided for a total of 747 parking spaces for the site.

The revised Site Plan for the current VMC GP proposal is shown in **Figure 2** below.

Figure 2: Site Plan



Source: Arcadis IBI (2023)

The SPA (DA.17.015) based on VMC GP's revised proposal was approved by Committee of the Whole on January 17, 2023, and ultimately approved with revised conditions by City Council on January 24, 2023. As part of the conditions to the SPA approval, the applicant is required to obtain approval of a minor variance application to permit site-specific standards to the existing zone related to the roof of the revised VMC GP proposal. This minor variance application seeks to satisfy this condition.

2.0 Proposed Minor Variances

The purpose of this minor variance application is to seek reductions and/or amendments to the lot and building requirements to permit the proposed mixed use development under the City's Zoning By-law 1-88. As the City's new comprehensive Zoning By-law 001-2021 remains under appeal as it applies to the Subject Lands, minor variances are only being sought to Zoning By-law 1-88.

Consistent with the plans submitted for SPA review and approved by Council, the following variances to Zoning By-law 1-88 are required:

- 1) To permit a minimum front yard setback of 1.0 metres to the portion of the building containing residential units abutting Hwy 7 and a minimum 1.7 metres to the portion of the building containing residential uses at the north-west sight-triangle;
- 2) To permit canopies to project up to a maximum of 2.6 m into a required yard;
- 3) To permit exterior stairs and porches to encroach up to a maximum of 2.8 m into the exterior east and west side yards;
- 4) To permit a minimum building height of 6.0 metres for the podium portions of the building;
- 5) To permit a build to zone of 1.0 m to 8.3 m for both residential and non-residential uses within the podium along Highway 7;
- 6) To permit a build to zone of 3.0 m to 8.3 m for both residential and non-residential uses along the proposed North-South road at the east lot line;
- 7) To permit a build to zone of 1.0 m to 8.9 m for both residential and non-residential uses along Interchange Way;
- 8) To permit a build to zone of 1.0 m to 7.8 m for residential and non-residential uses along the new east/west road abutting the south lot line. A minimum of 50% of the street line shall have buildings located within this build to zone;
- 9) To permit residential patios, a heavy duty exhaust grill, exterior staircases, retaining walls, gas meters, manholes, air shafts, and any other required infrastructure within a 3.0 m landscape strip abutting a street line;
- 10) To permit a minimum resident vehicle parking ratio of 0.16 spaces per unit for all types of residential units;
- 11) To permit a minimum office vehicle parking ratio of 0.50 parking spaces per 100 m² of GFA;
- 12) To permit a minimum retail vehicle parking ratio of 0.70 parking spaces per 100 m² of GFA; and,
- 13) To permit the sharing of non-residential parking spaces for Mixed Use developments in the Vaughan Metropolitan Centre based on the non-residential sharing provisions contained within Zoning By-law 001-2021.

A detailed table of the requested variances is provided in Attachment 1 to this letter.

The following portion of this letter assesses the requested variance in the context of the four minor variance tests under s.45(1) of the Planning Act. In my opinion, the proposed variance maintains the intent of the Official Plan and Zoning By-law, is minor in nature, desirable for the appropriate development of the land, and should be approved.

3.0 Minor Variance Tests

Section 45(1) of the Planning Act outlines four tests to which applications for minor variances must comply. A description of how the requested variance meets each of the four tests is outlined below.

3.1 The general intent and purpose of the City and Region’s Official Plan is maintained

The proposed variances conform to the policy directions outlined in the City of Vaughan and York Region’s Official Plans. The Subject Lands are located in the Vaughan Metropolitan Centre Urban Growth Centre ("UGC") and within a Major Transit Station Area ("MTSA"), as defined by A Place to Grow: Growth Plan for the Greater Golden Horseshoe, 2019 and the York Region Official Plan, 2022 ("YROP").

The Subject Lands are located within a Regional Centre under the YROP, which corresponds to the Urban Growth Centre for the City. Regional Centres are at the top of the intensification hierarchy under the YROP, with the highest planned densities and mix of uses in the Region. Further, the Subject Lands are located within an MTSA area and abut a Regional Corridor (Highway 7), both of which are second and fourth on the regional hierarchy of intensification, respectively.

Under the VMCSPP, the Subject Lands are located within the Station Precinct and identified as Area K on Schedule K. These areas are intended to be the focal area for intensification and to accommodate significant population and employment growth. The VMCSPP area has been assigned a minimum density target of 200 people and jobs per hectare established by the Growth Plan. According to the VMC Development Activity Update (March 2023), the VMC is currently expecting to achieve 1.6 times this density by the 2031 horizon. The YROP further projects the density of this MTSA area to be a minimum of 400 people and jobs per hectare by 2051.

The proposed development allows for a denser built form in the Station Precinct where a mix of uses and high-rise buildings are permitted, as per Section 8.2 and 8.7 of the VMCSPP. Policy 8.7.1(c) establishes general built form expectations for high-rise buildings within the VMC. Developments are expected to establish a street wall and mitigate shadow and wind impacts by taking a podium and tower form. The location, massing, and design of buildings are expected to contribute to human-scaled street walls, attractive streetscapes, a varied skyline, an active pedestrian realm and environmental sustainability by adhering to the urban design criteria set out in Policies 8.7.3 to 8.7.25 (Policy 8.7.2). These requirements have been incorporated into the design of the buildings which include a proposed human-scaled streetwall in the form of a podium, meant to contribute to attractive streetscapes and an active pedestrian realm. The Proposed Development generally meets the Built Form policies of Section 8.7 of the VMCSPP.

The Proposed Development conforms with the development standards established in the approved site-specific policy such as the maximum building height, density, floor plate size, and residential GFA and maintains the standards as set out in Schedule K (Area K) and Section 9.3.13 of the VMCSPP. In addition, the Proposed Development is compatible with the heights

and densities of surrounding developments and respects the scale, massing, and setbacks expected for high-rise developments in the VMC. The proposed development supports the development of an urban built form that is compact, mixed-use, and transit supportive by minimizing walking distance to the existing subway station and rapid transit along Hwy 7 in accordance with the intensification policies and goals of the above-noted official plans. Furthermore, it will assist the City and Region in achieving the minimum density requirement established for this MTSA and UGC area. The proposed variances also maintain the site-specific development standards in the VMCSPP.

In our opinion, the proposed variances maintain the general intent of the YROP, VOP, and the VMCSPP.

3.2 The general intent and purpose of the City’s Zoning By-law is maintained

On October 20, 2021, the City of Vaughan Council enacted a new comprehensive zoning bylaw for the City of Vaughan, being Zoning Bylaw 001-2021 (“New ZBL”). The New ZBL zones the Subject Lands Vaughan Metropolitan Centre Station Zone V1-S(5-30)-D (2.5-5)-635.

VMC GP has filed an appeal to the New ZBL. As such, the New ZBL is not in force and effect on the Subject Lands and the provisions of the former City of Vaughan Zoning By-law, being Zoning By-law 1-88, as amended, continue to apply.

The required front yard setback is 3.0 metres for residential uses. A variance is sought to reduce the minimum front yard setback to 1.0 m to the portion of the building containing residential units abutting Highway 7 and a minimum of 1.7 m to the portion of the building containing residential uses at the north-west sight triangle. The proposed variance to the required setback maintains the intent of the Zoning Bylaw as it facilitates the development of a high-rise mixed-use building with cantilevered upper levels of the podium to emphasize and create a sheltered pedestrian experience at grade. The reduction allows for a more efficient use of the Subject Lands and better design of the building with more residential units. The proposed variance maintains the intent of the zoning by-law as it does not impact any at-grade setbacks or landscaping requirements.

The requested encroachment variances to permit canopies to project up to a maximum of 2.6 m into the required yard and to permit exterior stairs and porches to project up to a maximum of 2.8 m is minor as it still maintains a substantial portion of the required yard for the required landscaping and streetscape elements. The proposed encroachment variances maintain the intent of the zoning by-law by continuing to provide adequate space between the private building features and canopies and the public realm and sidewalk.

A variance is being sought to reduce the minimum building height to 6.0 metres for the portions of the podium that are one-storey (located internal to the Proposed Development). The previously approved variance application A136/18 approved a minimum building height of 9.0 metres for the townhouses within the Icona Development. The current proposal does not have townhouse units; the residential units at grade are identical to the upper level units and have access from the common area and lobby. However, the overall built form of the Proposed Development at grade continues to maintain the intent of the zoning by-law by

providing a clearly defined podium and tower portion, with the overall height of the buildings not exceeding the zoning by-law requirements, as amended. The proposed minimum building height provides an adequate ceiling height for units at-grade without impacting the public realm along the street frontages.

A number of build to zone variances are being requested along all four frontages of the Subject Lands. We have discussed the intent and language of the requested variances with City staff in order to ensure that the variances fully capture the location of building facades in relation to the street line. The build to zone regulations under Zoning By-law 1-88 establish the amount of building façade that must be located within a certain setback range from the property line (e.g. 80% within 0 to 3.0 metres) with some differentiation for non-residential or residential uses. In order to simplify the requirements for the Proposed Development, the proposed variances identify the minimum and maximum setbacks of the entire building for 100% of the building face for both residential and non-residential uses (e.g. 100% within 1.0 m to 8.3 m) along each property line.

This approach maintains the general intent and purpose of the build to zone requirements as there is clarity on the minimum and maximum setbacks for each street frontage and that the buildings will be fully within this range, which provides a consistent street wall, an animated pedestrian realm at-grade, and allows for design flexibility amongst the podium and upper levels to step back as necessary. We note that the build to zone requirements are in addition to the yard setback requirements under the zoning by-law, which we do not propose to amend through this application (except for the front yard setback for the upper level podium under variance #1).

Variances are also sought to permit residential patios, a heavy duty exhaust grill, exterior staircases, retaining walls, and any other required infrastructure within a 3.0 m landscape strip abutting a street line. The design of the Proposed Development requires these minor changes to the minimum requirements in the zoning by-law to facilitate the development. Sufficient landscaping will be provided within the Proposed Development in addition to the POPS located within the southeast corner of the Subject Lands, which will provide outdoor amenity space for residents and visitors. The majority of the landscape strips will continue to be uninterrupted landscaping and will be planted and landscaped according to City requirements.

Lastly, variances to the residential and non-residential parking rates are being sought to implement a “phased” resident parking rate strategy which reduces the minimum residential parking rate to 0.16 spaces per unit to enable the construction of the first two phases of the Proposed Development (including a portion of the underground parking garage) while still complying with a resident parking rate that can be achieved during the phased construction sequencing. When the third and final phase of the Proposed Development is constructed, the balance of the underground parking garage would be constructed and with it, the balance of the proposed resident and non-residential parking supply. At that time, the Proposed Development will have met its previously approved residential parking rate of 0.25 parking spaces per residential unit (through Decision A279/22).

It is important to note, that the non-residential parking supply – which includes the parking for the retail commercial floor space, office floor space, and the residential visitor parking –

will meet the required parking during each phase of development, given the applicable rates outlined herein.

A Parking Assessment – Revised Update prepared by BA Group dated December 14, 2023 has been prepared and is submitted with this application to justify the proposed parking variances and strategy regarding the phasing of construction and parking provision. The other parking variances relating to non-residential parking spaces and sharing will bring the zoning on the Subject Lands to align with the City’s newer Zoning By-law 001-2021. A detailed analysis of the proposed parking variances is provided in this BA Group report.

In my opinion, the requested variances maintain the intent of the by-law and will provide the necessary relief from the zoning by-law to achieve a modern, compact built form that is transit-supportive.

3.3 The requested variance is desirable for the appropriate development or use of the land, building or structure

In my opinion, the requested variances are desirable and appropriate for the development and use of the Subject Lands. As noted above, the proposed variances are required to facilitate the high-rise mixed-use development within the City’s downtown and the focus of intensification for the City and Region. The redevelopment of the Subject Lands contributes to meeting the City’s goals and objectives for the VMC, including meeting its intensification targets, building a modern, urban downtown core, and creating transit-supportive communities. The requested variances are appropriate given the surrounding context and maintain the overall expectation for development within the VMC to contribute to attractive streetscapes and an active pedestrian realm through the implementation of human scaled streetwalls. The requested variances are appropriate and desirable.

3.4 The requested variances are minor

The proposed variances are nominally minor as they have little to no adverse impacts on neighbouring lands or on the public realm. On the north and west, the Subject Lands are bound by Highway 7 and Interchange Way. On the south and east, the Subject Lands are bound by two future 22 m wide local roads. There are no impacts from the proposed variances along the south east corner as 1,892 square metres of Privately Owned Publicly-Accessible Space is proposed and will provide a buffer and transition between the proposed buildings and the surrounding area.

Taken as a whole, the Proposed Development and the proposed variances continue to generally implement a high-rise, mixed-use development contemplated by the site-specific policy of the VM CSP with minor changes to the building design that have resulted in the proposed variances such as the shifting of building facades, the podium height reduction within the internal courtyard, and the patio and canopy encroachments into the yards. None of the proposed variances impact the overall objectives of the Proposed Development or the vision for this area of the VMC. The Subject Lands have been approved for high-rise development for many years and there are no adverse impacts on the existing area as a result of these variances.

4.0 Application Materials

In support of the minor variance application, please find enclosed (and submitted digitally through the Committee of Adjustment Online Submission Form):

- One (1) copy of the Chart – Confirm Variances Requested;
- One (1) copy of the Chart – Property Setbacks for all Existing and Proposed Structures;
- One (1) copy of the Chart – Size of all Existing and Proposed Structures
- One (1) Copy of the Tree Declaration Form;
- One (1) Copy of the Sworn Declaration Form, Authorization Form and Authorizing Statements;
- One (1) Copy of the Planning Justification Letter prepared by MGP, dated December 21, 2023;
- One (1) copy of the Plan of Survey prepared by KRCMAR dated July 29, 2022;
- One (1) copy of the Architectural Package prepared by Arcadis IBI, dated November 28, 2023.
- One (1) copy of the conceptual parking phasing plan indicating the preliminary intent of the location of parking spaces by phase and type.

The Minor Variance application fee of \$3,298.55 will be provided under separate cover as per the 2023 Fee Schedule under By-law 010-2023.

We trust the enclosed information is sufficient to support the application and request to be scheduled on the earliest Committee of Adjustment agenda. Should you have any questions, please contact the undersigned.

Yours very truly,
Malone Given Parsons Ltd.



Lauren Capilongo, MCIP, RPP

Principal

cc: Vanessa Bulfon, VMC GP inc.

SCHEDULE D: BACKGROUND

Application No. (City File)	Application Description <small>(i.e. Minor Variance Application; Approved by COA / OLT)</small>
A136/18	APPROVED; COA (June 27, 2019)
A124/21	APPROVED; COA (June 30, 2021)

NOTICE OF DECISION
Minor Variance Application A136/18
 Section 45 of the Planning Act, R.S.O, 1990, c.P.13

Date of Hearing: Thursday, June 27, 2019
Applicant: 1406284 Ontario Inc.
Agent: John Zipay – Weston Consulting Group Inc.
Property: **3201 Highway 7, Concord, ON**
Zoning: The subject lands are zoned C9 Corporate Centre and subject to the provisions of Exception No. 9(957) under By-law 1-88 as amended.
OP Designation: OPA #500 (Corporate Centre Plan) as amended by OPA #663 (Avenue 7 Plan): "Corporate Centre Node" and identified as a "Gateway Site" (in effect)
 VOP 2010: "Station Precinct" by the Vaughan Metropolitan Centre Secondary Plan (Section 11.12, Volume 2) (under appeal to the Local Planning Appeals Tribunal)
Related Files: Site Plan Application: DA.17.015
Purpose: Relief from the by-law is being requested to permit the construction of a proposed high rise mixed-use development consisting of three (3) residential towers, townhouse units as well as a hotel to facilitate Site Plan Application DA.17.015.

The following variances are being requested from By-Law 1-88, as amended, to accommodate the above proposal:

By-law Requirement	Proposal
1. Where a building is constructed fronting onto Regional Road No. 7 (formerly Highway No. 7), a minimum of 60% of the gross floor area at the ground floor level shall be composed of commercial uses which provide individual external at-grade pedestrian access to such use.	1. To permit a minimum of 19 % of the gross floor area at the ground floor level to be composed of commercial uses which provide individual external at-grade pedestrian access to such use.
2. A maximum building height of 25 metres is permitted for all other locations outside of a Landmark Location.	2. To permit a maximum building height of 152.2 metres and 159.5 metres to the top of the mechanical penthouse for the South Tower (for all other locations outside of a Landmark Location).
3. A minimum parking space dimension of 2.7 metres x 6.0 metres is required.	3. To permit a minimum parking space dimension of 2.6 metres x 5.7 metres.
4. A minimum of 1966 parking spaces are required.	4. Despite the provisions of By-law 1-88, vis-à-vis vehicular parking requirements, the required vehicular parking for the site will be 1788 vehicle parking spaces.
5. A minimum of 9 loading spaces are required (as per a parking study report previously provided).	5. To permit a total of 4 loading spaces.
6. A minimum setback of 1.8 metres is required.	6. To permit a minimum front yard setback (Regional Road 7) and exterior side yard setback (Interchange Way and future North - South Road) of 0.0 metres to below grade structures.
7. A minimum landscape strip width of 3.0 metres is required.	7. To permit a minimum landscape strip width of 2.4 metres along Regional Road 7, 1.9 metres along future North-South Road and 1.4 metres

By-law Requirement	Proposal
	abutting the future southerly road (for non-residential uses, Major Streets).
8. A private amenity area or private patio is not permitted to be located within the minimum required landscape strip.	8. To permit a private amenity area or private patio within the minimum required landscape strip.
9. A setback of 0 to 3 metres is required within the Build-to-Zone area.	9. To permit a front yard setback of 3.7 metres within the Build-to-Zone area for non-residential uses.
10. Build-To-Zone to other streets where 50% of the length of the street line shall have buildings within the build to zone:	10. Build-To-Zone to other streets where 50% of the length of the street line shall have buildings within the build to zone:
<ul style="list-style-type: none"> • 3 to 6 metre setback required • 3 to 6 metre setback required • 3 to 6 metre setback required • 0 to 3 metre setback required • 0 to 3 metre setback required 	<ul style="list-style-type: none"> • 1.9 metre east yard setback from the east townhouses to future north-south road (residential uses-Other Streets) • 2.2 metre east yard setback from the East tower to future north-south road • 0.5 metre to 1.9 metre east yard setback from the South townhouses to future north-south road (residential uses-Other Streets. • 3.7 metre west yard setback from the West Tower to Interchange Way (non-residential uses-Other Streets) • 5.4 metre west yard setback from the South Tower to Interchange Way (non-residential uses-Other Streets)
11. A minimum building height of 16.5 metres is required (By-law 144-2009).	11. To permit a minimum building height of 9.75 metres (West Townhouses) and 9.75 metres (East Townhouses) and 9.0 metres for the south townhouses.
12. An outdoor patio, as an accessory use to an Eating Establishment, shall be completely enclosed by a physical barrier.	12. To permit an Outdoor Patio, as an accessory use to the Eating Establishment in the South Tower Hotel and Condo, not to be completely enclosed by a physical barrier at the ramp (east) and the exterior stairway (west).
13. The surface of all loading spaces and related driveways and manoeuvring aisles shall be paved with hot mix asphalt or concrete.	13. To permit the surface of all loading spaces and related driveways and manoeuvring aisles not to be paved with hot mix asphalt or concrete.
14. Parking aisles or any area designated to accommodate vehicular traffic are not permitted within the Build -To Zone.	14. To permit parking aisles or any area designated to accommodate vehicular traffic to be permitted within the Build -To Zone.
15. A minimum of 165 short term residential bicycle parking spaces are required.	15. To permit a minimum of 116 short term residential bicycle parking spaces.

Sketch: A sketch illustrating the request has been attached to the decision.

Having regard to the requirements of Section 45 of the *Planning Act*, R.S.O. 1990, c. P. 13, as amended, including the written and oral submissions related to the application, it is the decision of the Committee:

THAT Application No. A136/18 on behalf of 1406284 Ontario Inc. be **APPROVED**, in accordance with the sketch submitted with the application (as required by Ontario Regulation 200/96) and subject to the following conditions:

	Department/Agency	Condition
1	Development Engineering Steve Lysecki 905-832-8585 x 8731 steve.lysecki@vaughan.ca	The Owner/applicant shall obtain approval for the related Site Development Application (DA.17.015) from the Development Engineering (DE) Department.
2	Development Planning Christopher Cosentino 905-832-8585 x 8215 christopher.cosentino@vaughan.ca	1. The City and the Owner shall execute and register a Section 45(9) Agreement to permit bonusing for increased building height of the South Tower, which provides for the payment and/or actual provision of community benefits calculated in accordance with the "City of Vaughan's Guidelines for the Implementation

Department/Agency	Condition
	<p>of Section 37 of the Planning Act” and section 37 of the Planning Act, which comprises of:</p> <p>a) An on-site public art contribution with a budget of \$1.2 million consistent with the principles of Site 10 – Private Development, as outlined in the City’s VMC Culture and Public Art Framework, to the satisfaction of the City;</p> <p>b) \$391,000 cash contribution towards an off-site community benefit regarding the first iconic pedestrian bridge in the Edgeley Pond and Park, to the satisfaction of the City; and</p> <p>c) The Section 45(9) Agreement shall contain clauses regarding the execution and registration of a Public Art Agreement that will include a requirement for the Owner to submit a Letter of Credit to the City, to address the details to commission and install a permanent piece of public art as a public contribution with a budget of \$1.2 million consistent with the principles of Site 10 – Private Development, as outlined in the City’s VMC Culture and Public Art Framework, to the satisfaction of the City.</p> <p>The Owner shall develop a public art program that follows the approved process outlined in the City-wide Public Art Program, to the satisfaction of the City. The Public Art Agreement shall also include a requirement that the Owner shall own and maintain the public art piece(s).</p> <p>2. The Owner shall provide payment of the foregoing contributions totaling \$1,591,000.00 to the City of Vaughan.</p>

For the following reasons:

1. The general intent and purpose of the by-law will be maintained.
2. The general intent and purpose of the official plan will be maintained.
3. The requested variance(s) is/are acceptable for the appropriate development of the subject lands.
4. The requested variance(s) is/are minor in nature.

Please Note:

Relief granted from the City’s Zoning By-law is determined to be the building envelope considered and approved by the Committee of Adjustment.


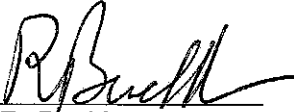

Development outside of the approved building envelope (subject to this application) must comply with the provisions of the City’s Zoning By-law or additional variances may be required.

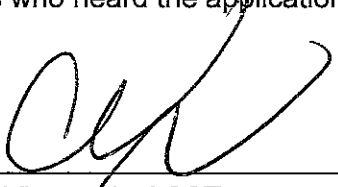
Elevation drawings are provided to reflect the style of roof to which building height has been applied (i.e. flat, mansard, gable etc.) as per By-law 1-88 and the Committee of Adjustment approval. Please note, that architectural design features (i.e. window placement), that do not impact the style of roof approved by the Committee, are not regulated by this decision.

Written & oral submissions considered in the making of this decision were received from the following:

Public Written Submissions * Public Correspondence received and considered by the Committee in making this decision	Public Oral Submissions *Please refer to the approved Minutes of the Thursday, January 10, 2019, January 24, 2019 and June 27, 2019 meetings for submission details.
Name: Stikeman Elliott – Michael Currie Address: 5300 - 199 Bay St, Toronto Nature of Correspondence – Letter of Objection & Withdrawal of Appeal letter Date(s) Received: (Jan. 24/19, Jan. 10/19 & May 6/19)	Name: Stikeman Elliott – Michael Currie Address: 5300 - 199 Bay St, Toronto Jan. 10/19
Name: Overland LLP – Daniel Artenosi Address: 1101 – 5255 Yonge St, Toronto Nature of Correspondence: In response to Stikeman Elliott Letter	Name: Overland LLP – Daniel Artenosi Address: 1101 – 5255 Yonge St, Toronto Jan. 10/19
Name: Robert Paniccia Address: 586 Napa Valley Avenue Nature of Correspondence: Letter of Objection	Name: Robert Paniccia Address: 586 Napa Valley Avenue Jan. 10/19 and Jan. 24/19
Name: LPAT Address: 655 Bay Street, Suite 1500 Toronto Nature of Correspondence: Acknowledgement of withdrawal letter	Name: Patricia DeBartolo Address: 40 McCan Crescent, Bradford Jan. 24/19
Name: Ron Kanter, MacDonald Sager Manis LLP Address: 150 York Street, Suite 820 Toronto M5H 3S5 Nature of Correspondence: Letter of Objection	Name: Melissa Jardin, Address: 82 Burnhaven Avenue Jan. 24/19
	Name: Mary Darmanin, Address: 152 Jackman Crescent Jan. 24/19
	Name: Ron Kanter, MacDonald Sager Manis LLP Address: 150 York Street, Suite 820 Toronto M5H 3S5 June 27/19

SIGNED BY ALL MEMBERS PRESENT WHO CONCUR IN THIS DECISION:

		
H. Zheng Member	R. Buckler Chair	A. Perrella Vice Chair
<hr style="width: 100px; margin: 0 auto;"/>		<hr style="width: 100px; margin: 0 auto;"/>
S. Kerwin Member		A. Antinucci Member

DATE OF HEARING:	Thursday, June 27, 2019
DATE OF NOTICE:	July 5, 2019
LAST DAY FOR *APPEAL: *Please note that appeals must be received by this office no later than 4:30 p.m. on the last day of appeal.	July 17, 2019 4:30 p.m.
CERTIFICATION: I hereby certify that this is a true copy of the decision of the City of Vaughan's Committee of Adjustment and this decision was concurred in by a majority of the members who heard the application.	
	
Christine Vigneault, ACST Manager Development Services & Secretary Treasurer to the Committee of Adjustment	

Appealing to The Local Planning Appeal Tribunal
The *Planning Act*, R.S.O. 1990, as amended, Section 45

The applicant, the Minister or any other person or public body who has an interest in the matter may within 20 days of the making of the decision appeal to the Local Planning Appeal Tribunal (LPAT) against the decision of the Committee by filing with the Secretary-Treasurer of the Committee a notice of appeal (A1 Appeal Form) setting out the objection to the decision and the reasons in support of the objection accompanied by payment to the Secretary-Treasurer of the fee prescribed by the Tribunal under the *Local Planning Appeal Tribunal Act*.

Note: A notice of appeal may not be filed by an unincorporated association or group. However, a notice of appeal may be filed in the name of an individual who is a member of the association or group on its behalf.

When **no appeal is lodged** within twenty days of the date of the making of the decision, the decision becomes final and binding and notice to that effect will be issued by the Secretary-Treasurer.

Appeal Fees & Forms

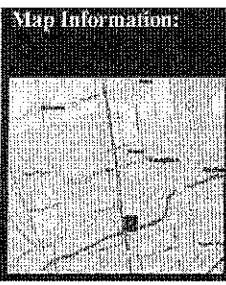
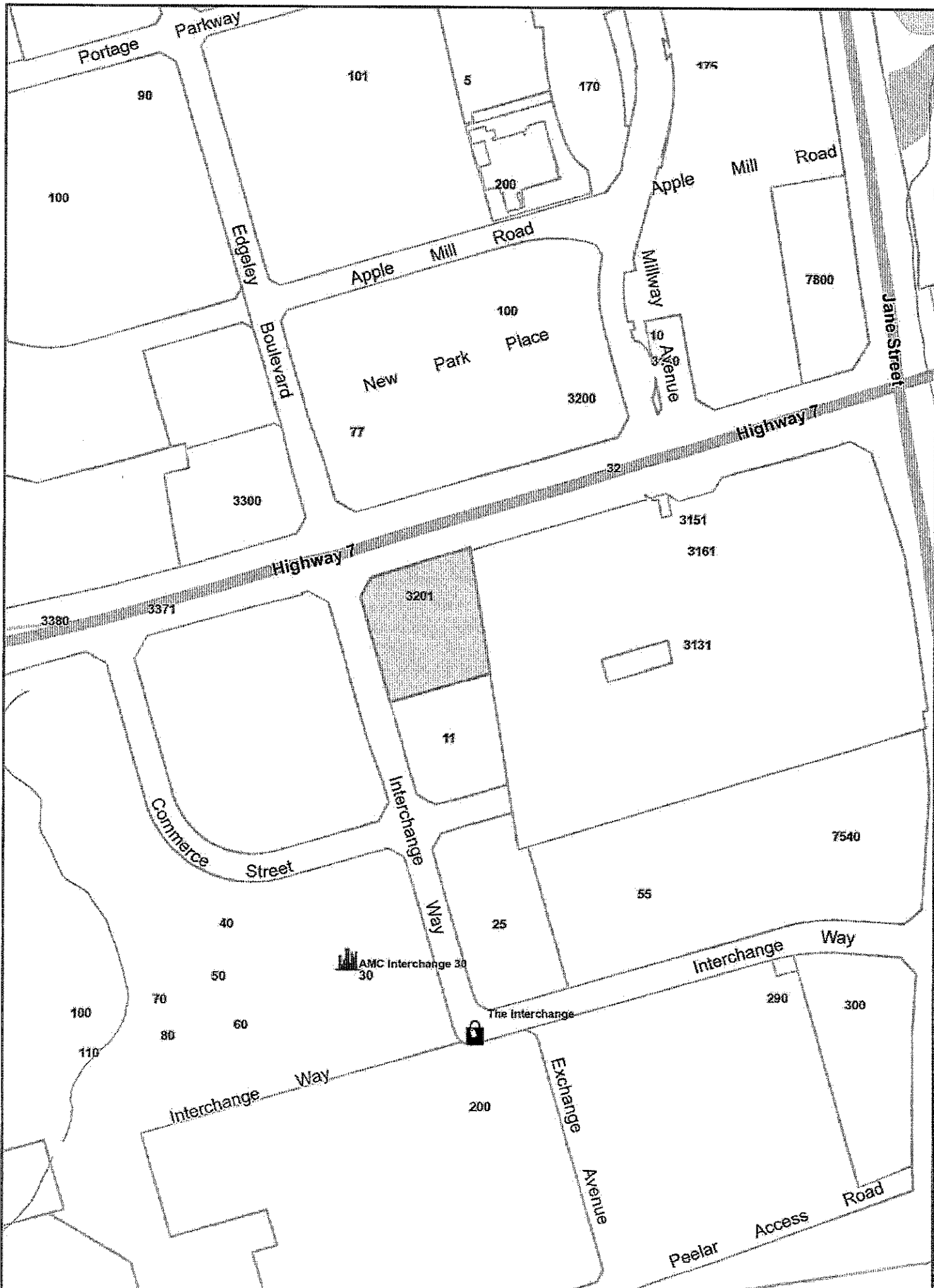
Local Planning Appeal Tribunal: The LPAT appeal fee is \$300 plus \$25 for each additional consent/variance appeal filed by the same appellant against connected applications. The LPAT Appeal Fee must be paid by certified cheque or money order payable to the "Minister of Finance". Notice of appeal forms (A1 Appeal Form – Minor Variance) can be obtained at www.elto.gov.on.ca or by visiting our office.

City of Vaughan LPAT Processing Fee: \$817.00 per application

*Please note that all fees are subject to change.

Conditions

It is the responsibility of the owner/applicant and/or authorized agent to obtain and provide a clearance letter from each respective department and/or agency. This letter must be provided to the Secretary-Treasurer to be finalized. All applicable conditions must be cleared prior to the issuance of a Building Permit.



Title:
3201 HIGHWAY #7, CONCORD

LOCATION MAP - A136/18

Disclaimer:
Every reasonable effort has been made to ensure that the information appearing on this map is accurate and current. We believe the information to be reliable, however the City of Vaughan assumes no responsibility or liability for errors or omissions. Please report any discrepancies to Infrastructure Programming.



Scale: 1:4,514
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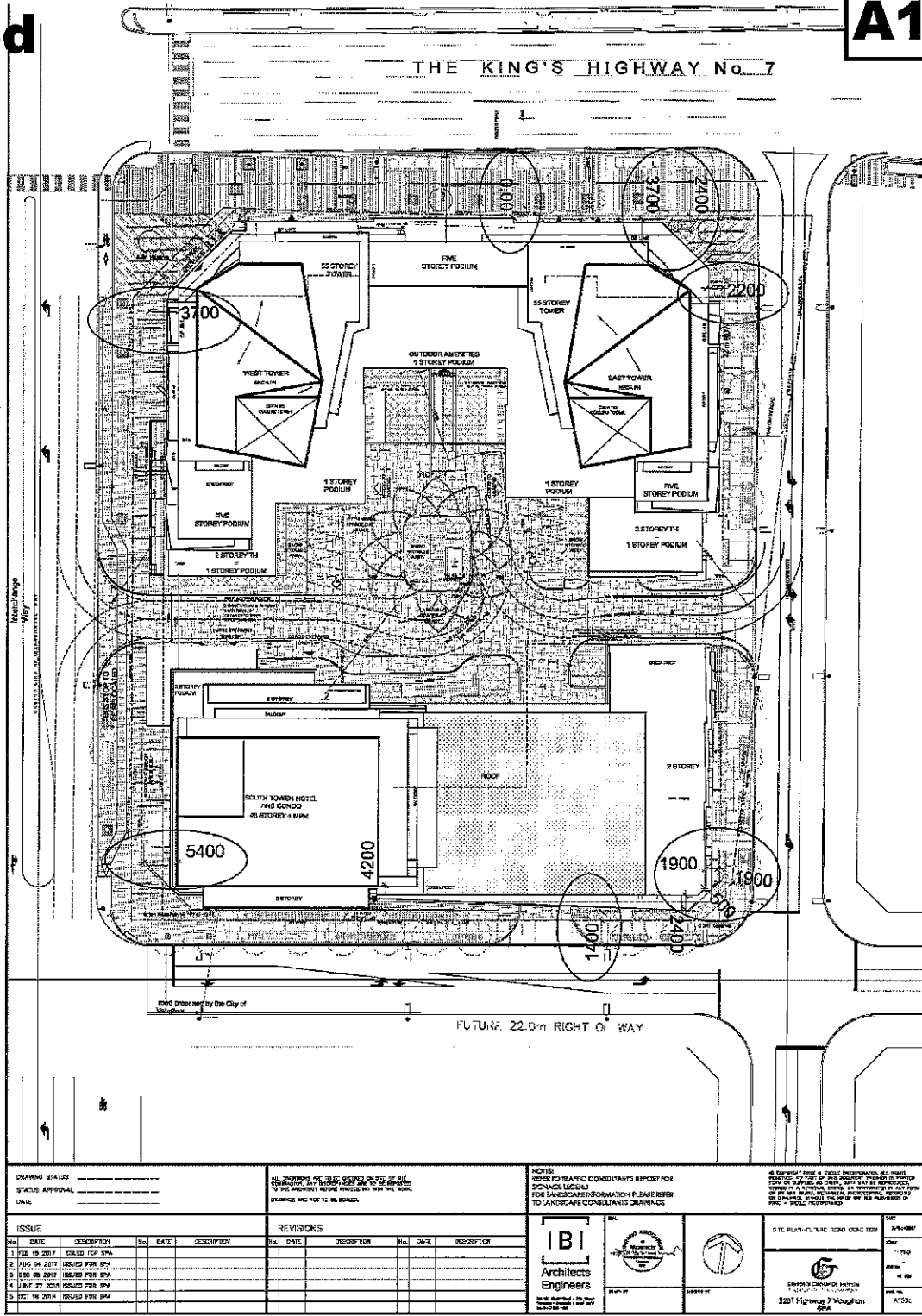
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 Infrastructure Delivery
 Department
 September 12, 2018 6:50 PM

Projection:
 NAD 83
 UTM Zone
 17N

Revised

Jan. 18/18
Dec. 13/18
Nov. 30/18

A136/18



DRAWING STATUS: _____ STATUS APPROVAL: _____ DATE: _____		ALL PROVISIONS ARE TO BE OBTAINED FROM THE CITY OF VICTORIA, AND ANY PROVISIONS ARE TO BE APPROVED BY THE CITY OF VICTORIA BEFORE PROCEEDING WITH THE WORK. CHANGES ARE NOT TO BE MADE.		NOTES: REFER TO TRAFFIC CONSULTANTS REPORT FOR SIGNAGE LEGEND. FOR LANDSCAPE INFORMATION PLEASE REFER TO LANDSCAPE CONSULTANTS DRAWINGS.		<small>© Copyright 2018 IBI Architects Engineers Inc. All rights reserved. No part of this document may be reproduced or transmitted in any form or by any means, electronic or mechanical, including photocopying, recording, or by any information storage and retrieval system, without the prior written permission of IBI Architects Engineers Inc. All rights reserved.</small>																																																																			
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- To permit a minimum of 19 % of the gross floor area at the ground floor level to be composed of commercial uses which provide individual external at-grade pedestrian access to such use.
- To permit a maximum building height of 152.2 metres and 159.5 metres to the top of the mechanical penthouse for the South Tower (for all other locations outside of a Landmark Location).
- To permit a minimum parking space dimension of 2.6m x 5.7m.
- Despite the provisions of By-law 1-88, vis-à-vis vehicular parking requirements, the required vehicular parking for the site will be 1788 vehicle parking spaces.
- To permit a total of 4 loading spaces.
- To permit a minimum front yard setback (Regional Road 7) and exterior side yard setback (Interchange Way and future North -South Road) of 0.0 metres to below grade structures (for non-residential uses, Major Streets).
- To permit a minimum landscape strip width of 2.4 metres along Regional Road 7, 1.9 metres along future North-South Road and 1.4 metres abutting the future southerly road (for non-residential uses, Major Streets).
- To permit a private amenity area or private patio within the minimum required landscape strip.
- To permit a front yard setback of 3.7 metres within the Build-to-Zone area.
- Build-To-Zone to other streets where 50% of the length of the street line shall have buildings within the build to zone:
 - 1.9 metre east yard setback from the east townhouses to future north-south road (residential uses-Other Streets)
 - 2.2 metre east yard setback from the East tower to future north-south road
 - 0.5 metre to 1.9 metre east yard setback from the South townhouses to future north-south road (including setback to the 0.3 m southeast reserve).
 - 3.7 metre west yard setback from the West Tower to Interchange Way (non residential uses-Other Streets)
 - 5.4 metre west yard setback from the South Tower to Interchange Way (non residential uses-Other Streets)
- To permit a minimum building height of 9.75 metres (West Townhouses) and 9.75 metres (East Townhouses) and 9.0 metres for the south townhouses.
- To permit an Outdoor Patio, as an accessory use to the Eating Establishment in the South Tower Hotel and Condo, not to be completely enclosed by a physical barrier at the ramp (east) and the exterior stairway (west).
- To permit the surface of all loading spaces and related driveways and manoeuvring aisles not to be paved with hot mix asphalt or concrete.
- To permit parking aisles or any area designated to accommodate vehicular traffic to be permitted within the Build -To Zone.
- To permit a minimum of 116 short term residential bicycle parking spaces.

NOTICE OF DECISION
Minor Variance Application A124/21
 Section 45 of the Planning Act, R.S.O., 1990, c.P.13

Date of Hearing: Wednesday, June 30, 2021
Applicant: 1966711 Ontario Inc.
Agent Overland LLP
Property: **3201 Hwy 7, Vaughan**
Zoning: The subject lands are zoned C9 - Corporate Centre Zone and subject to the provisions of Exception 9(957) under By-law 1-88 as amended
OP Designation: "Station Precinct", Volume 2, Section 11.8, Vaughan Metropolitan Centre ('VMC') Secondary Plan
Related Files: DA.17.015
Purpose: Relief from By-law 1-88, as amended, is being requested to permit a high-rise mixed-use development consisting of 1,649 residential units, a hotel and a convention centre all serviced by 5 levels of underground parking and to facilitate related Site Plan Application DA.17.015.

The following variances are being requested from By-Law 1-88, as amended, to accommodate the above proposal:

By-law Requirement	Proposal
The by-law requires that 1,346 parking spaces shall be provided for the residential uses (apartment dwellings) on the lot. [3.8.1 a) & c)]	660 parking spaces for the residential uses (apartment dwellings) are proposed. Parking space requirement calculated at a rate of 0.4 spaces per unit.

Sketch: A sketch illustrating the request has been attached to the decision.

Having regard to the requirements of Section 45 of the *Planning Act*, R.S.O. 1990, c. P. 13, as amended, including the written and oral submissions related to the application, it is the decision of the Committee:

THAT Application No. A124/21 on behalf of 1966711 Ontario Inc. be **APPROVED**, in accordance with the sketch submitted with the application (as required by Ontario Regulation 200/96) and subject to the following conditions: N/A

For the following reasons:

1. The general intent and purpose of the by-law will be maintained.
2. The general intent and purpose of the official plan will be maintained.
3. The requested variance(s) is/are acceptable for the appropriate development of the subject lands.
4. The requested variance(s) is/are minor in nature.

Please Note:

It is the responsibility of the owner/applicant and/or authorized agent to address any condition(s) of approval noted in this decision to the satisfaction of the commenting department or agency. Once conditions have been satisfied, the Secretary Treasurer will be in a position to issue a clearance letter which is required prior to the issuance of a Building Permit.

Relief granted from the City's Zoning By-law is determined to be the building envelope considered and approved by the Committee of Adjustment.

Development outside of the approved building envelope (subject to this application) must comply with the provisions of the City's Zoning By-law or additional variances may be required.

Elevation drawings are provided to reflect the style of roof to which building height has been applied (i.e. flat, mansard, gable etc.) as per By-law 1-88 and the Committee of Adjustment approval. Please note, that architectural design features (i.e. window placement), that do not impact the style of roof approved by the Committee, are not regulated by this decision.

Written & oral submissions considered in the making of this decision were received from the following:


Public Written Submissions	Public Oral Submissions
* Public Correspondence received and considered by the Committee in making this decision	*Please refer to the approved Minutes of the Wednesday, June 30, 2021 meeting for submission details.
None	None

Late Written Public Submissions: N/A

Public written submissions on an Application shall only be received by the Secretary Treasurer until **noon** on the last business day prior to the day of the scheduled Meeting.

MEMBERS PRESENT WHO CONCUR IN THIS DECISION:

<i>Hao Zheng</i>	<i>Assunta Perrella</i>	<i>Robert Buckler</i>
H. Zheng Member	A. Perrella Chair	R. Buckler Member
<i>Steve Kerwin</i>		<i>Adolfo Antinucci</i>
S. Kerwin Vice Chair		A. Antinucci Member

DATE OF HEARING:	June 30, 2021
DATE OF NOTICE:	June 8 2021
LAST DAY FOR *APPEAL: *Please note that appeals must be received by this office no later than 4:30 p.m. on the last day of appeal.	July 20, 2021 4:30 p.m.
CERTIFICATION: I hereby certify that this is a true copy of the decision of the City of Vaughan’s Committee of Adjustment and this decision was concurred in by a majority of the members who heard the application.  <hr/> Christine Vigneault, AMP, ACST Manager Development Services & Secretary Treasurer to the Committee of Adjustment	

*Electronic signatures have been used to process this decision as approved by the Committee of Adjustment at the May 28, 2020 hearing.

Appealing to The Local Planning Appeal Tribunal
The *Planning Act*, R.S.O. 1990, as amended, Section 45

The applicant, the Minister or any other person or public body who has an interest in the matter may within 20 days of the making of the decision appeal to the Local Planning Appeal Tribunal (LPAT) against the decision of the Committee by filing with the Secretary-Treasurer of the Committee a notice of appeal (A1 Appeal Form) setting out the objection to the decision and the reasons in support of the objection accompanied by payment to the Secretary-Treasurer of the fee prescribed by the Tribunal under the *Local Planning Appeal Tribunal Act*.

A notice of appeal may not be filed by an unincorporated association or group. However, a notice of appeal may be filed in the name of an individual who is a member of the association or group on its behalf.

When **no appeal is lodged** within twenty days of the date of the making of the decision, the decision becomes final and binding and notice to that effect will be issued by the Secretary-Treasurer.

PLEASE NOTE: As a result of COVID-19, Vaughan City Hall and all other City facilities are closed to the public at this time. Please mail or courier appeals and prescribed fees to:

Office of the City Clerk - Committee of Adjustment
2141 Major Mackenzie Drive
Vaughan Ontario, L6A 1T1

If you have questions regarding the appeal process, please email cofa@vaughan.ca

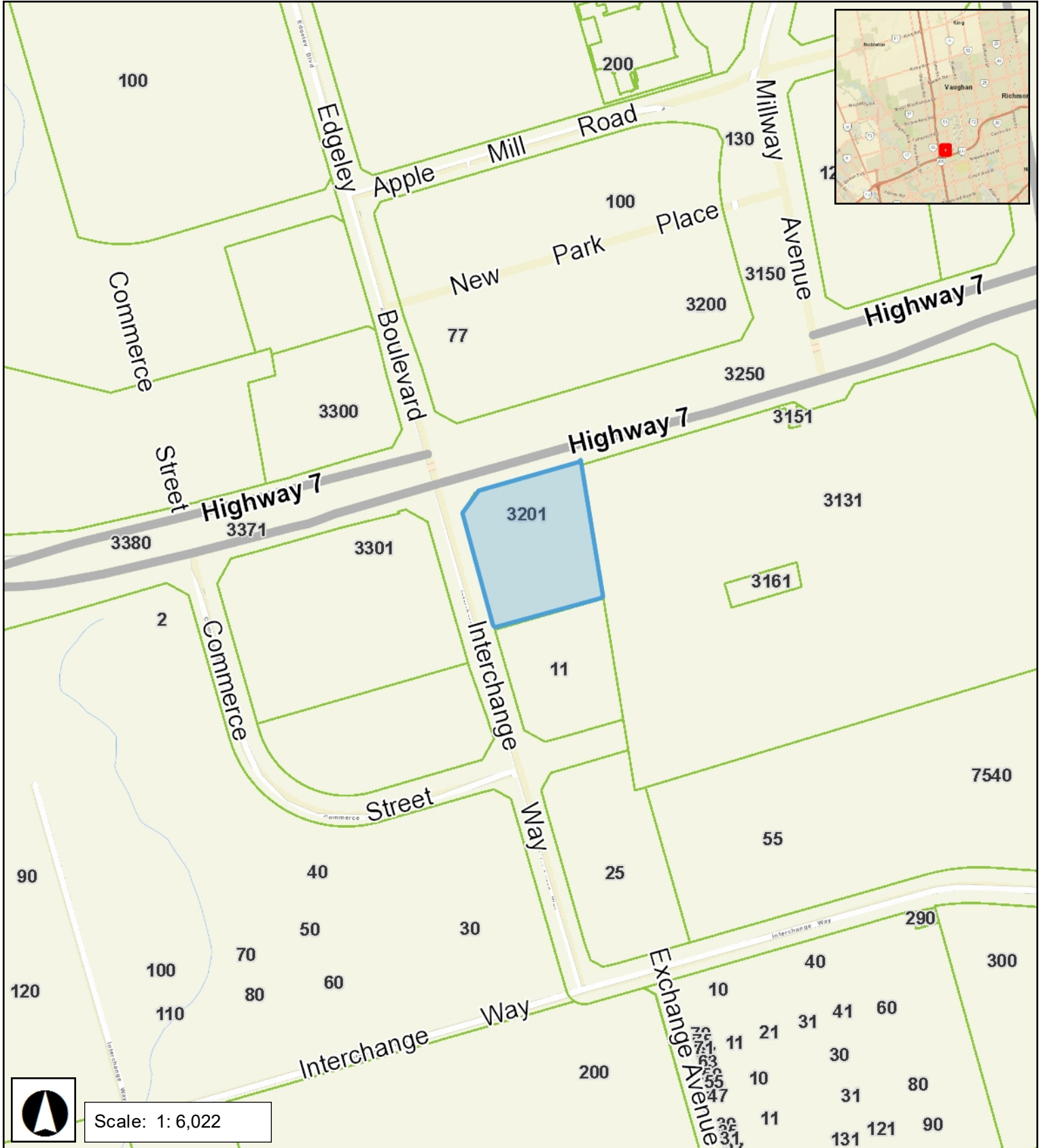
Appeal Fees & Forms

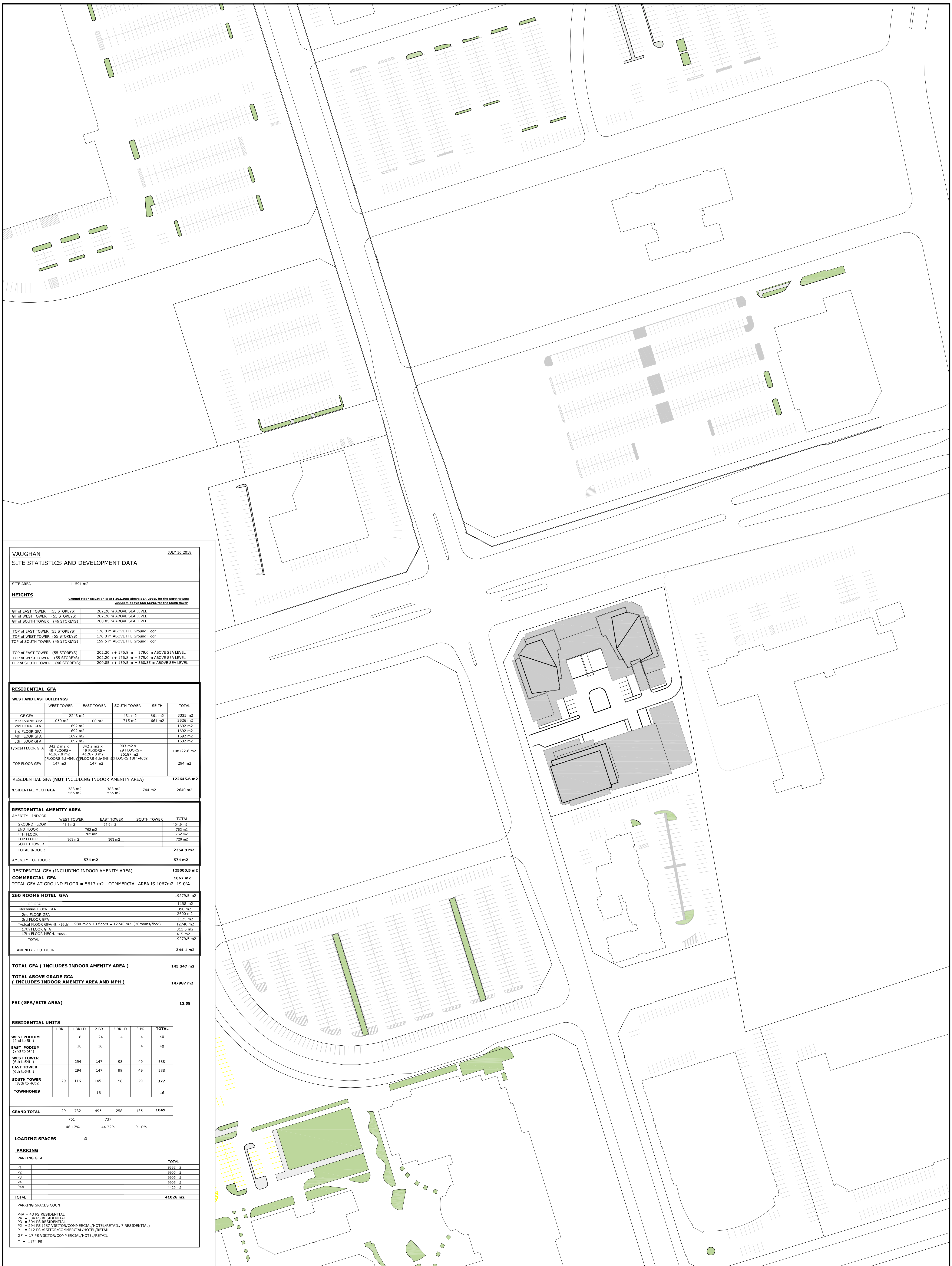
Local Planning Appeal Tribunal: The LPAT appeal fee is \$400 plus \$25 for each additional consent/variance appeal filed by the same appellant against connected applications. The LPAT Appeal Fee must be paid by certified cheque or money order payable to the “Minister of Finance”. Appeal forms (A1 Appeal Form – Minor Variance) can be obtained at www.eto.gov.on.ca or by contacting our office at 905-832-8585 Ext. 8332 or cofa@vaughan.ca

City of Vaughan LPAT Processing Fee: \$866.00 per application

*Please note that all fees are subject to change.

3201 Highway 7, Concord





VAUGHAN
SITE STATISTICS AND DEVELOPMENT DATA

JULY 16 2018

SITE AREA 11591 m²

HEIGHTS

Ground floor elevation is at 100.20m above SEA LEVEL for the North tower
100.85m above SEA LEVEL for the South tower

GF of EAST TOWER (55 STOREYS)	202.20 m ABOVE SEA LEVEL
GF of WEST TOWER (55 STOREYS)	202.20 m ABOVE SEA LEVEL
GF of SOUTH TOWER (46 STOREYS)	200.85 m ABOVE SEA LEVEL
TOP of EAST TOWER (55 STOREYS)	176.8 m ABOVE FFE Ground Floor
TOP of WEST TOWER (55 STOREYS)	176.8 m ABOVE FFE Ground Floor
TOP of SOUTH TOWER (46 STOREYS)	159.5 m ABOVE FFE Ground Floor
TOP of EAST TOWER (55 STOREYS)	202.20m + 176.8 m = 379.0 m ABOVE SEA LEVEL
TOP of WEST TOWER (55 STOREYS)	202.20m + 176.8 m = 379.0 m ABOVE SEA LEVEL
TOP of SOUTH TOWER (46 STOREYS)	200.85m + 159.5 m = 360.35 m ABOVE SEA LEVEL

RESIDENTIAL GFA

WEST AND EAST BUILDINGS

	WEST TOWER	EAST TOWER	SOUTH TOWER	SE THL	TOTAL
GF GFA	2243 m ²	1190 m ²	431 m ²	661 m ²	3335 m ²
MEZZANINE GFA	1050 m ²	1190 m ²	715 m ²	661 m ²	3526 m ²
2nd FLOOR GFA	1692 m ²				1692 m ²
3rd FLOOR GFA	1692 m ²				1692 m ²
4th FLOOR GFA	1692 m ²				1692 m ²
5th FLOOR GFA	1692 m ²				1692 m ²
Typical FLOOR GFA	842.2 m ² x 49 FLOORS = 41267.8 m ² (FLOORS 6th-54th)	842.2 m ² x 49 FLOORS = 41267.8 m ² (FLOORS 6th-54th)	933 m ² x 29 FLOORS = 26857 m ² (FLOORS 6th-46th)		108722.6 m ²
TOP FLOOR GFA	147 m ²	147 m ²			294 m ²

RESIDENTIAL GFA (NOT INCLUDING INDOOR AMENITY AREA) **122645.6 m²**

RESIDENTIAL MECH GCA	383 m ²	383 m ²	744 m ²	2640 m ²
	565 m ²	565 m ²		

RESIDENTIAL AMENITY AREA

AMENITY - INDOOR

	WEST TOWER	EAST TOWER	SOUTH TOWER	TOTAL
GROUND FLOOR	43.3 m ²	61.6 m ²		104.9 m ²
2ND FLOOR	782 m ²			782 m ²
4TH FLOOR	782 m ²			782 m ²
TOP FLOOR	363 m ²	363 m ²		726 m ²
SOUTH TOWER				
TOTAL INDOOR				2356.9 m²

AMENITY - OUTDOOR **574 m²**

RESIDENTIAL GFA (INCLUDING INDOOR AMENITY AREA) **125000.5 m²**

COMMERCIAL GFA **1067 m²**

TOTAL GFA AT GROUND FLOOR = 5617 m². COMMERCIAL AREA IS 1067 m², 19.0%

260 ROOMS HOTEL GFA

19279.5 m²

GF GFA	1198 m ²
MEZZANINE FLOOR GFA	390 m ²
2nd FLOOR GFA	2400 m ²
3rd FLOOR GFA	1125 m ²
Typical FLOOR GFA (4th-16th)	980 m ² x 13 floors = 12740 m ² (20rooms/floor)
17th FLOOR GFA	311.5 m ²
17th FLOOR MECH. mezz.	415 m ²
TOTAL	19279.5 m ²

AMENITY - OUTDOOR **344.1 m²**

TOTAL GFA (INCLUDES INDOOR AMENITY AREA) 145 347 m²

TOTAL ABOVE GRADE GCA (INCLUDES INDOOR AMENITY AREA AND MPH) 147987 m²

FSI (GFA/SITE AREA) 12.58

RESIDENTIAL UNITS

	1 BR	1 BR+D	2 BR	2 BR+D	3 BR	TOTAL
WEST PODIUM (2nd to 5th)	8	24	4	4	4	40
EAST PODIUM (2nd to 5th)	20	16				40
WEST TOWER (6th to 54th)	294	147	98	49		588
EAST TOWER (6th to 54th)	294	147	98	49		588
SOUTH TOWER (6th to 46th)	29	116	145	58	29	377
TOWNHOMES			16			16
GRAND TOTAL	29	732	495	258	135	1649

	761	737	
	46.17%	44.72%	9.10%

LOADING SPACES 4

PARKING

PARKING GCA	TOTAL
P1	9882 m ²
P2	9005 m ²
P3	9005 m ²
P4	9005 m ²
PAA	1429 m ²
TOTAL	41026 m²

PARKING SPACES COUNT

PAA = 43 PS RESIDENTIAL
P4 = 364 PS RESIDENTIAL
P3 = 364 PS RESIDENTIAL
P2 = 294 PS (287 VISITOR/COMMERCIAL/HOTEL/RETAIL, 7 RESIDENTIAL)
P1 = 212 PS VISITOR/COMMERCIAL/HOTEL/RETAIL
GF = 17 PS VISITOR/COMMERCIAL/HOTEL/RETAIL
T = 1174 PS

DRAWING STATUS _____
STATUS APPROVAL _____
DATE _____

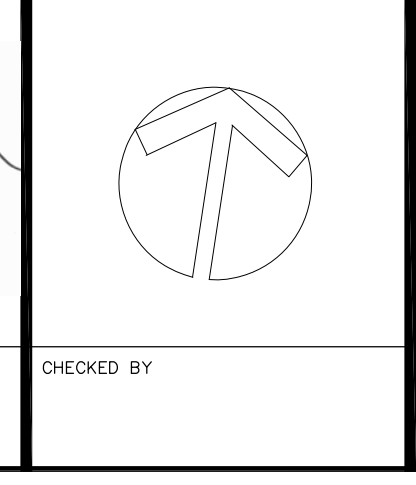
ALL DIMENSIONS ARE TO BE CHECKED ON SITE BY THE CONTRACTOR. ANY DISCREPANCIES ARE TO BE REPORTED TO THE ARCHITECT BEFORE PROCEEDING WITH THE WORK.
DRAWINGS ARE NOT TO BE SCALED.

NOTES:
REFER TO TRAFFIC CONSULTANT'S REPORT FOR SIGNAGE LEGEND
FOR LANDSCAPE INFORMATION PLEASE REFER TO LANDSCAPE CONSULTANT'S DRAWINGS

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No.	DATE	DESCRIPTION	No.	DATE	DESCRIPTION
1	FEB 15 2017	ISSUED FOR SPA	7	MAY 27, 2021	ISSUED FOR MINOR VARIANCE
2	AUG 04 2017	ISSUED FOR SPA			
3	DEC 08 2017	ISSUED FOR SPA			
4	JUNE 27 2018	ISSUED FOR SPA			
5	OCT 18 2018	ISSUED FOR SPA			
6	DEC. 4 2018	ISSUED FOR SPA			

No.	DATE	DESCRIPTION	No.	DATE	DESCRIPTION

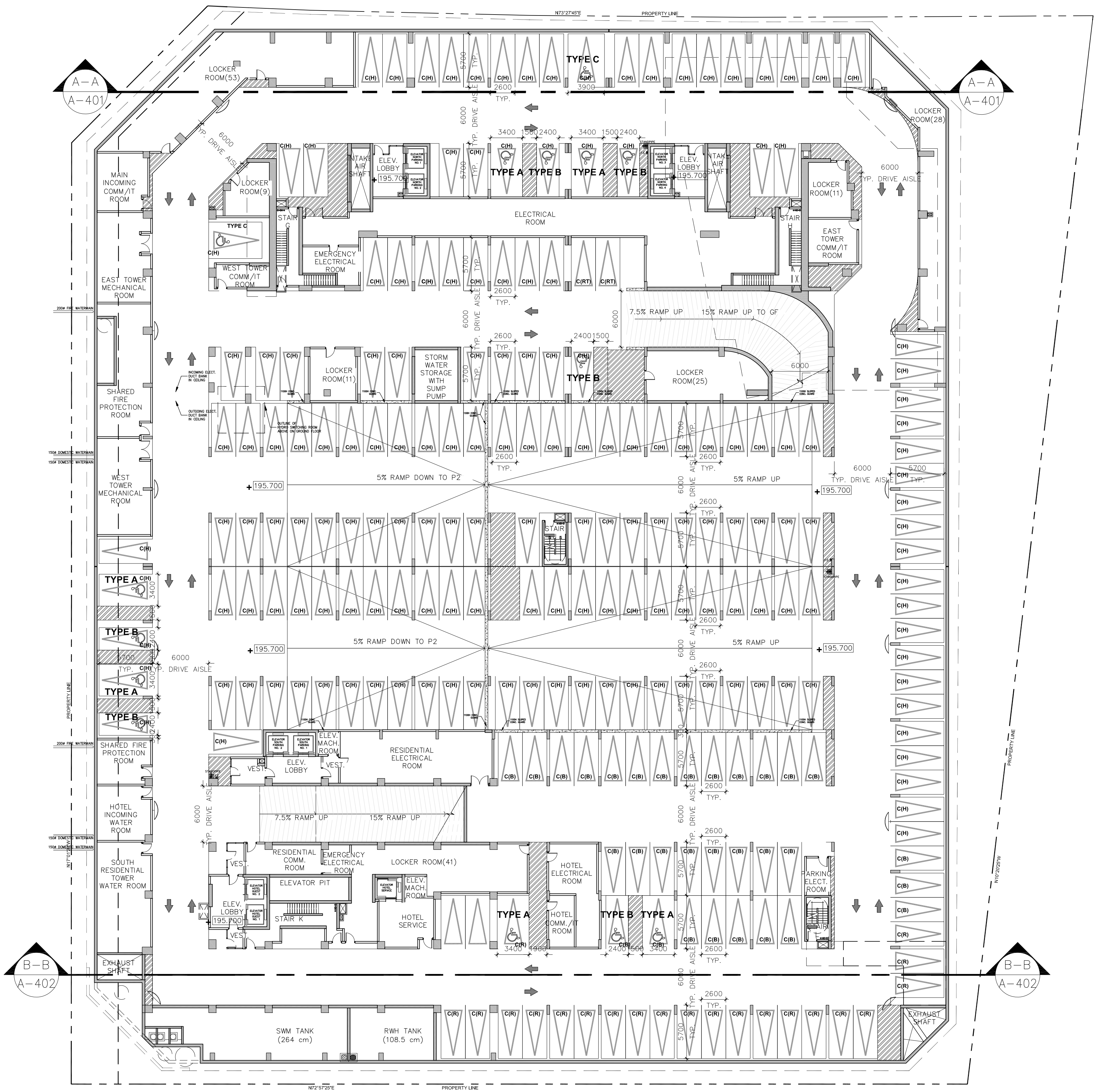


CONTEXT PLAN AND STATISTICS

EASTON'S GROUP OF HOTELS
A STEVE GUPTA COMPANY

3201 Highway 7 Vaughan

DATE: SEPT 16 2018
SCALE: 1:1000
JOB No.: 101286
DWG. No.: A-102



PARKING:
212 VISITOR/COMMERCIAL
HOTEL/RETAIL

DRAWING STATUS _____
 STATUS APPROVAL _____
 DATE _____

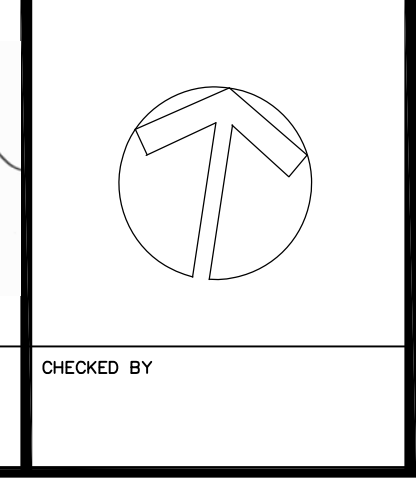
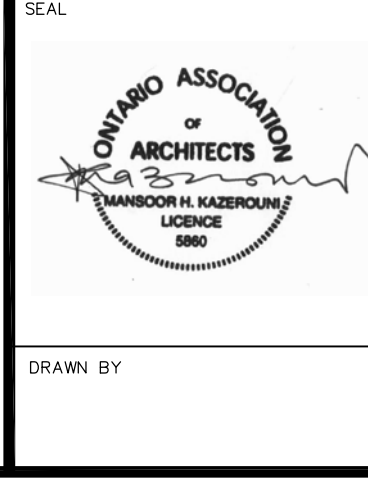
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ISSUE					
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4	JUNE 27 2018	ISSUED FOR SPA			
5	OCT 18 2018	ISSUED FOR SPA			
6	NOV 29 2018	ISSUED FOR SPA			

REVISIONS					
No.	DATE	DESCRIPTION	No.	DATE	DESCRIPTION



P1 PARKING LEVEL PLAN

SCALE: 1:250

JOB No. 101286

DATE: _____

IBI GROUP ARCHITECTS (CANADA) INC.
 7th Floor - 55 St. Clair Avenue West
 Toronto, ON M5V 2Y7 Canada
 Tel: 416 596 1930 Fax: 416 596 0644
 ibigroup.com

DRAWN BY: _____

CHECKED BY: _____

EASTON'S GROUP OF HOTELS
 A STEVE GUPTA COMPANY
 3201 Highway 7 Vaughan

DATE: _____

SCALE: 1:250

JOB No. 101286

DATE: _____

DWG. No. A-204