

ITEM: 6.4	REPORT SUMMARY MINOR VARIANCE APPLICATION A029/24
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Report Date: August 16, 2024

**THIS REPORT CONTAINS COMMENTS FROM THE FOLLOWING
DEPARTMENTS & AGENCIES (SEE SCHEDULE B):**

Additional comments from departments and agencies received after the publication of the report will be made available on the City's [website](#).

Internal Departments <small>*Comments Received</small>	Conditions Required		Nature of Comments
Building Standards (Zoning) *See Schedule B	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>	General Comments
Committee of Adjustment	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>	General Comments
Development Planning	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>	Recommend Approval/No Conditions
Development Engineering	Yes <input checked="" type="checkbox"/>	No <input type="checkbox"/>	General Comments w/Conditions
Development Finance	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>	General Comments

External Agencies <small>*Comments Received</small>	Conditions Required		Nature of Comments <small>*See Schedule B for full comments</small>
Alectra	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>	General Comments
Region of York	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>	General Comments
TRCA	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>	General Comments

PUBLIC & APPLICANT CORRESPONDENCE (SEE SCHEDULE C)				
<p>All personal information collected because of this public meeting (including both written and oral submissions) is collected under the authority of the Municipal Act, the Municipal Freedom of Information and Protection of Privacy Act (MFIPPA), the Planning Act and all other relevant legislation, and will be used to assist in deciding on this matter. All personal information (as defined by MFIPPA), including (but not limited to) names, addresses, opinions and comments collected will become property of the City of Vaughan, will be made available for public disclosure (including being posted on the internet) and will be used to assist the Committee of Adjustment and staff to process this application.</p>				
Correspondence Type	Name	Address	Date Received <small>(mm/dd/yyyy)</small>	Summary
Applicant			03/01/2024	Application Cover Letter
Public	Michele Urchioli	59 Logwood Drive	03/01/2024	Letter of Support
Public	Eric Lhores	66 Logwood Drive	03/01/2024	Letter of Support
Public	Lynn Younis	51 Logwood Drive	08/13/2024	Letter Questioning Accuracy of Information

BACKGROUND (SCHEDULE D, IF REQUIRED)	
<p>* Background Information contains historical development approvals considered to be related to this file. This information should not be considered comprehensive.</p>	
Application No. (City File)	Application Description <small>(i.e. Minor Variance Application; Approved by COA / OLT)</small>
N/A	N/A

ADJOURNMENT HISTORY	
<p>* Previous hearing dates where this application was adjourned by the Committee and public notice issued.</p>	
Hearing Date	Reason for Adjournment (to be obtained from NOD_ADJ)
N/A	N/A

SCHEDULES	
Schedule A	Drawings & Plans Submitted with the Application
Schedule B	Comments from Agencies, Building Standards & Development Planning
Schedule C (if required)	Public & Applicant Correspondence
Schedule D (if required)	Background



MINOR VARIANCE APPLICATION FILE NUMBER A029/24

CITY WARD #:	1
APPLICANT:	Ron and Anna Annabelle
AGENT:	None
PROPERTY:	55 Logwood Drive, Maple
ZONING DESIGNATION:	See below.
VAUGHAN OFFICIAL PLAN (2010) DESIGNATION:	Vaughan Official Plan 2010 ('VOP 2010'): "Low-Rise Residential"
RELATED DEVELOPMENT APPLICATIONS:	None
PROPOSAL:	Relief from the Zoning By-law is being requested to permit a proposed shed.

The following variances are being requested from the City's Zoning By-law to accommodate the above proposal:

The subject lands are zoned R2(EN) – Second Density Residential Zone (Established Neighbourhood) and subject to the provisions of Exception 14.676 under Zoning By-law 001-2021, as amended.

#	Zoning By-law 001-2021	Variance requested
1	In any Residential Zone, the maximum height of an accessory building and residential accessory structure shall be 3.0 m. [4.1.4 #1.]	To permit a maximum height of an accessory building 3.0733 m.
2	In any Residential Zone, a residential accessory structure with a height greater than 2.8 m shall not be located closer than 2.4 m to any lot line. [4.1.2 #1b.]	To permit a residential accessory structure with a height greater than 2.8 metres to be located a minimum 0.90 metres from the north side lot line.
3	In any Residential Zone, a residential accessory structure with a height greater than 2.8 m shall not be located closer than 2.4 m to any lot line. [4.1.2 #1b.]	To permit a residential accessory structure with a height greater than 2.8 metres to be located a minimum 0.39 metres from the rear (East) lot line.

HEARING INFORMATION

DATE OF MEETING: Thursday, August 22, 2024
TIME: 6:00 p.m.
MEETING LOCATION: Vaughan City Hall, Woodbridge Room (2nd Floor), 2141 Major Mackenzie Drive
LIVE STREAM LINK: Vaughan.ca/LiveCouncil

PUBLIC PARTICIPATION

If you would like to speak to the Committee of Adjustment at the meeting, either remotely or in person, please complete the [Request to Speak Form](#) and submit to cofa@vaughan.ca

If you would like to submit written comments, please quote file number above and submit by mail or email to:

Email: cofa@vaughan.ca

Mail: City of Vaughan, Office of the City Clerk, Committee of Adjustment, 2141 Major Mackenzie Drive, Vaughan, ON, L6A 1T1

To speak electronically, pre-registration is required by completing the [Request to Speak Form](#) on-line and submitting it to cofa@vaughan.ca no later than NOON on the last business day before the meeting.

HEARING INFORMATION

THE DEADLINE TO REGISTER TO SPEAK ELECTRONICALLY OR SUBMIT WRITTEN COMMENTS ON THE ABOVE NOTED FILE(S) IS NOON ON THE LAST BUSINESS DAY BEFORE THE MEETING.

INTRODUCTION

Staff and Agencies act as advisory bodies to the Committee of Adjustment. The comments contained in this report are presented as recommendations to the Committee.

Section 45(1) of the Planning Act sets the criteria for authorizing minor variances to the City of Vaughan's Zoning By-law. Accordingly, review of the application may consider the following:

That the general intent and purpose of the by-law will be maintained.

That the general intent and purpose of the official plan will be maintained.

That the requested variance(s) is/are acceptable for the appropriate development of the subject lands.

That the requested variance(s) is/are minor in nature.

Public written and oral submissions relating to this application are taken into consideration by the Committee of Adjustment as part of its deliberations and final decision on this matter.

COMMITTEE OF ADJUSTMENT

Date Public Notice Mailed:	August 8, 2024
Date Applicant Confirmed Posting of Sign:	August 6, 2024
Applicant Justification for Variances: <small>*As provided in Application Form</small>	Existing Location
Was a Zoning Review Waiver (ZRW) Form submitted by Applicant: <small>*ZRW Form may be used by applicant in instances where a revised submission is made, and zoning staff do not have an opportunity to review and confirm variances prior to the issuance of public notice.</small>	Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>
COMMENTS:	
None	
Committee of Adjustment Recommended Conditions of Approval:	None

BUILDING STANDARDS (ZONING)

**See Schedule B for Building Standards (Zoning) Comments

Building Standards Recommended Conditions of Approval:	None
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DEVELOPMENT PLANNING

**See Schedule B for Development Planning Comments.

Development Planning Recommended Conditions of Approval:	None
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DEVELOPMENT ENGINEERING

[Link to Grading Permit](#) [Link to Pool Permit](#) [Link to Curb Curt Permit](#) [Link Culvert Installation](#)

The proposed work by the Owner/Applicant is increasing the lot coverage on the subject property. The added hardscape may have impacts on the City's Storm Water management system. Development Engineering strongly encourages the Owner / Applicant introduce Low-Impact Development (LID) measures (e.g., bioswales, permeable pavers, rain gardens, rain barrels etc.) to reduce the impacts to the stormwater system. Should further information be required, please contact the Development Engineering COA reviewer. As the shed in the subject property is 10.1 m², the Owner/ Applicant needs to obtain a 'Lot Grading Permit' from the Development Inspection and Lot Grading Division of the City's Development Engineering Department. Please note any in-ground structure over 10 m² requires a 'Grading Permit'. Please contact the Development Engineering Reviewer after receiving the Grading Permit to clear the condition. (Condition attached)

Development Engineering Recommended Conditions of Approval:	The Owner/Applicant shall submit an application and obtain an approved Grading Permit before initiating any work on the property. The Final Lot Grading and/or Servicing Plan will be required for the Grading Permit
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DEVELOPMENT ENGINEERING

[Link to Grading Permit](#)
 [Link to Pool Permit](#)
 [Link to Curb Curt Permit](#)
 [Link Culvert Installation](#)

Application. Please visit the Permits page of the City of Vaughan's website: [Permits | City of Vaughan](#) to apply for a Grading Permit. For any inquiries regarding the Grading Permit, please email DEPermits@vaughan.ca

PARKS, FORESTRY & HORTICULTURE (PFH)

No comments received to date.

PFH Recommended Conditions of Approval:	None
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DEVELOPMENT FINANCE

No comment no concerns.

Development Finance Recommended Conditions of Approval:	None
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BY-LAW AND COMPLIANCE, LICENSING AND PERMIT SERVICES

No comments received to date.

BCLPS Recommended Conditions of Approval:	None
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BUILDING INSPECTION (SEPTIC)

No comments received to date.

Building Inspection Recommended Conditions of Approval:	None
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FIRE DEPARTMENT

No comments received to date.

Fire Department Recommended Conditions of Approval:	None
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RECOMMENDED CONDITIONS OF APPROVAL SUMMARY

Should the Committee find it appropriate to approve this application in accordance with request and the sketch submitted with the application, as required by Ontario Regulation 200/96, the following conditions have been recommended:

#	DEPARTMENT / AGENCY	CONDITION
1	Development Engineering jonal.hall@vaughan.ca	The Owner/Applicant shall submit an application and obtain an approved Grading Permit before initiating any work on the property. The Final Lot Grading and/or Servicing Plan will be required for the Grading Permit Application. Please visit the Permits page of the City of Vaughan's website: Permits City of Vaughan to apply for a Grading Permit. For any inquiries regarding the Grading Permit, please email DEPermits@vaughan.ca

All conditions of approval, unless otherwise stated, are considered to be incorporated into the approval "if required". If a condition is no longer required after an approval is final and binding, the condition may be waived by the respective department or agency requesting conditional approval. A condition cannot be waived without written consent from the respective department or agency.

IMPORTANT INFORMATION

CONDITIONS: It is the responsibility of the owner/applicant and/or authorized agent to obtain and provide a clearance letter from respective department and/or agency (**see condition chart above for contact**). This letter must be provided to the Secretary-Treasurer to be finalized. All conditions must be cleared prior to the issuance of a Building Permit.

IMPORTANT INFORMATION

APPROVALS: Making any changes to your proposal after a decision has been made may impact the validity of the Committee's decision.

An approval obtained from the Committee of Adjustment, where applicable, is tied to the building envelope shown on the plans and drawings submitted with the application and subject to the variance approval.

A building envelope is defined by the setbacks of the buildings and/or structures shown on the plans and drawings submitted with the application, as required by Ontario Regulation 200/96. Future development outside of an approved building envelope, where a minor variance was obtained, must comply with the provisions of the City's Zoning By-law.

Elevation drawings are provided to reflect the style of roof (i.e. flat, mansard, gable etc.) to which a building height variance has been applied. Where a height variance is approved, building height is applied to the style of roof (as defined in the City's Zoning By-law) shown on the elevation plans submitted with the application.

Architectural design features that are not regulated by the City's Zoning By-law are not to be considered part of an approval unless specified in the Committee's decision.

DEVELOPMENT CHARGES: That the payment of the Regional Development Charge, if required, is payable to the City of Vaughan before issuance of a building permit in accordance with the Development Charges Act and the Regional Development Charges By-law in effect at the time of payment.

That the payment of the City Development Charge, if required, is payable to the City of Vaughan before issuance of a building permit in accordance with the Development Charges Act and the City's Development Charges By-law in effect at the time of payment.

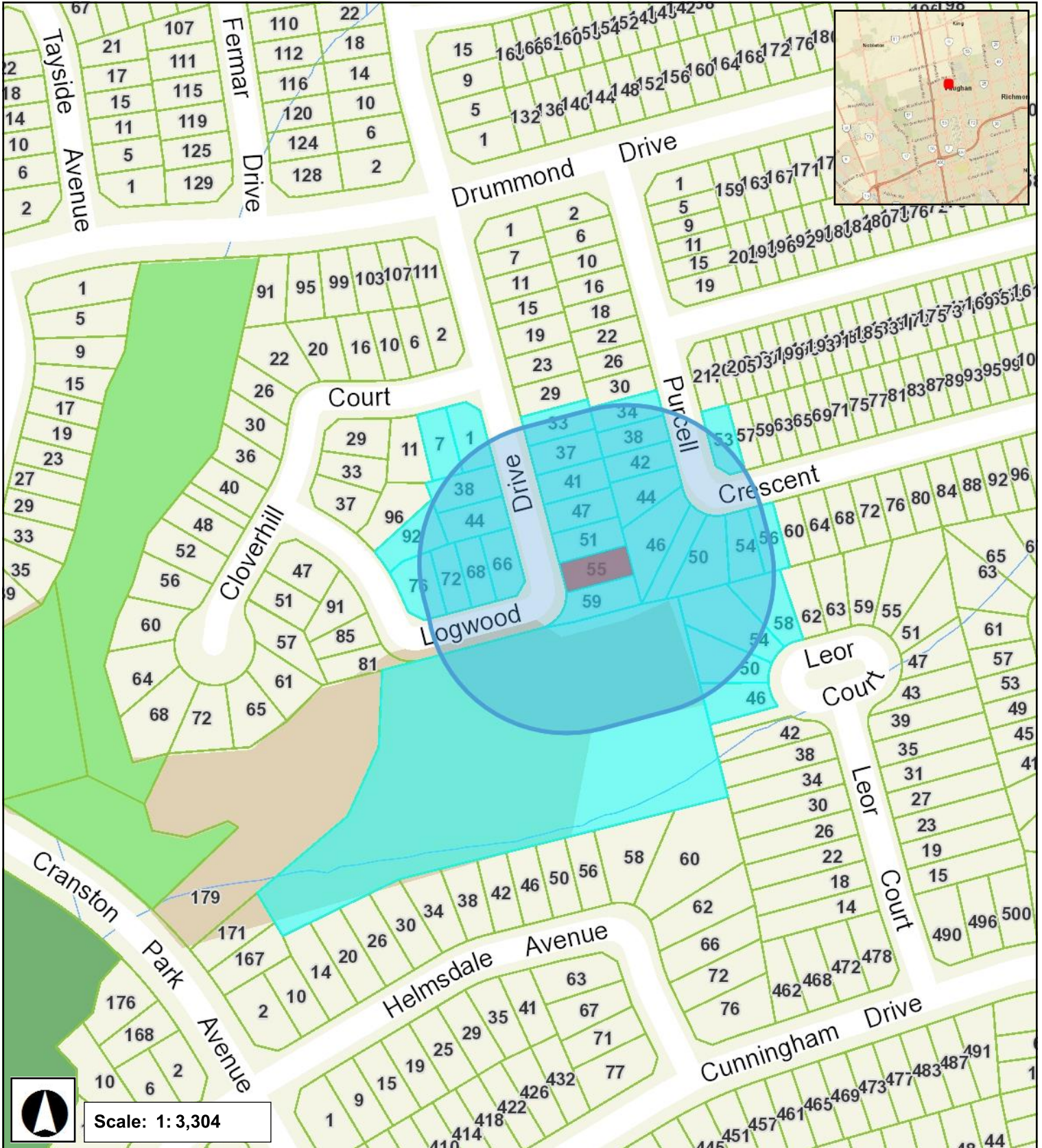
That the payment of the Education Development Charge if required, is payable to the City of Vaughan before issuance of a building permit in accordance with the Development Charges Act and the Boards of Education By-laws in effect at the time of payment

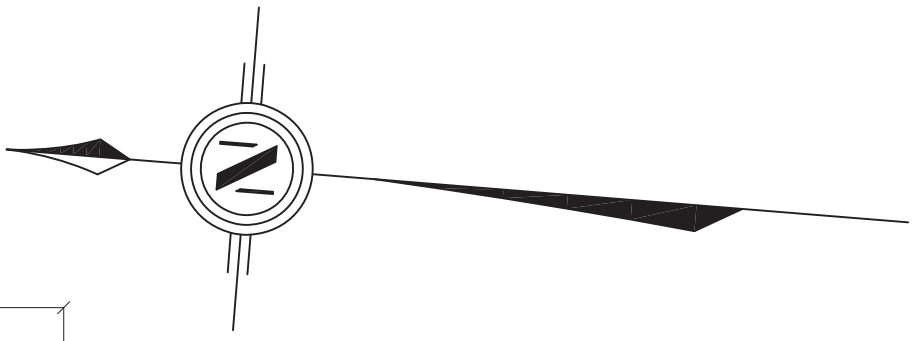
That the payment of Special Area Development charge, if required, is payable to the City of Vaughan before issuance of a building permit in accordance with the Development Charges Act and The City's Development Charge By-law in effect at the time of Building permit issuance to the satisfaction of the Reserves/Capital Department.

NOTICE OF DECISION: If you wish to be notified of the decision in respect to this application or a related Ontario Land Tribunal (OLT) hearing you must complete a Request for Decision form and submit to the Secretary Treasurer (ask staff for details). In the absence of a written request to be notified of the Committee's decision you will **not** receive notice.

SCHEDULE A: DRAWINGS & PLANS

55 LOGWOOD DRIVE, MAPLE





RECEIVED

By Christine Vigneault at 3:31 pm, Aug 13, 2024

ALL DRAWINGS, SPECIFICATIONS AND RELATED DOCUMENTS ARE THE COPYRIGHT PROPERTY OF THE ENGINEER AND MUST BE RETURNED UPON REQUEST. THE ENGINEER BEARS NO RESPONSIBILITY FOR INTERPRETATION OF THESE DRAWINGS OR FOR THE ACCURACY OF THE INFORMATION CONTAINED THEREIN. SPECIFICATIONS AND RELATED DOCUMENTS IN PART OR IN WHOLE IS FORBIDDEN WITHOUT THE ENGINEER'S CONSENT.

THE ENGINEER IS NOT RESPONSIBLE FOR THE ACCURACY OF SURVEY DATA.

REFER TO THE APPROPRIATE DOCUMENTS. ANY CONFLICT OR DISCREPANCY BETWEEN THE SPECIFICATIONS AND/OR EXISTING CONDITIONS SHOULD BE BROUGHT TO THE ATTENTION OF THE ENGINEER BEFORE PROCEEDING WITH THE WORK. CONTRACTOR TO VERIFY ALL EXISTING CONDITIONS, UPON WRITTEN APPLICATION, THE ENGINEER WILL PROVIDE WRITTEN CLARIFICATION OF THE INTENT OF THE CONTRACT DOCUMENTS.

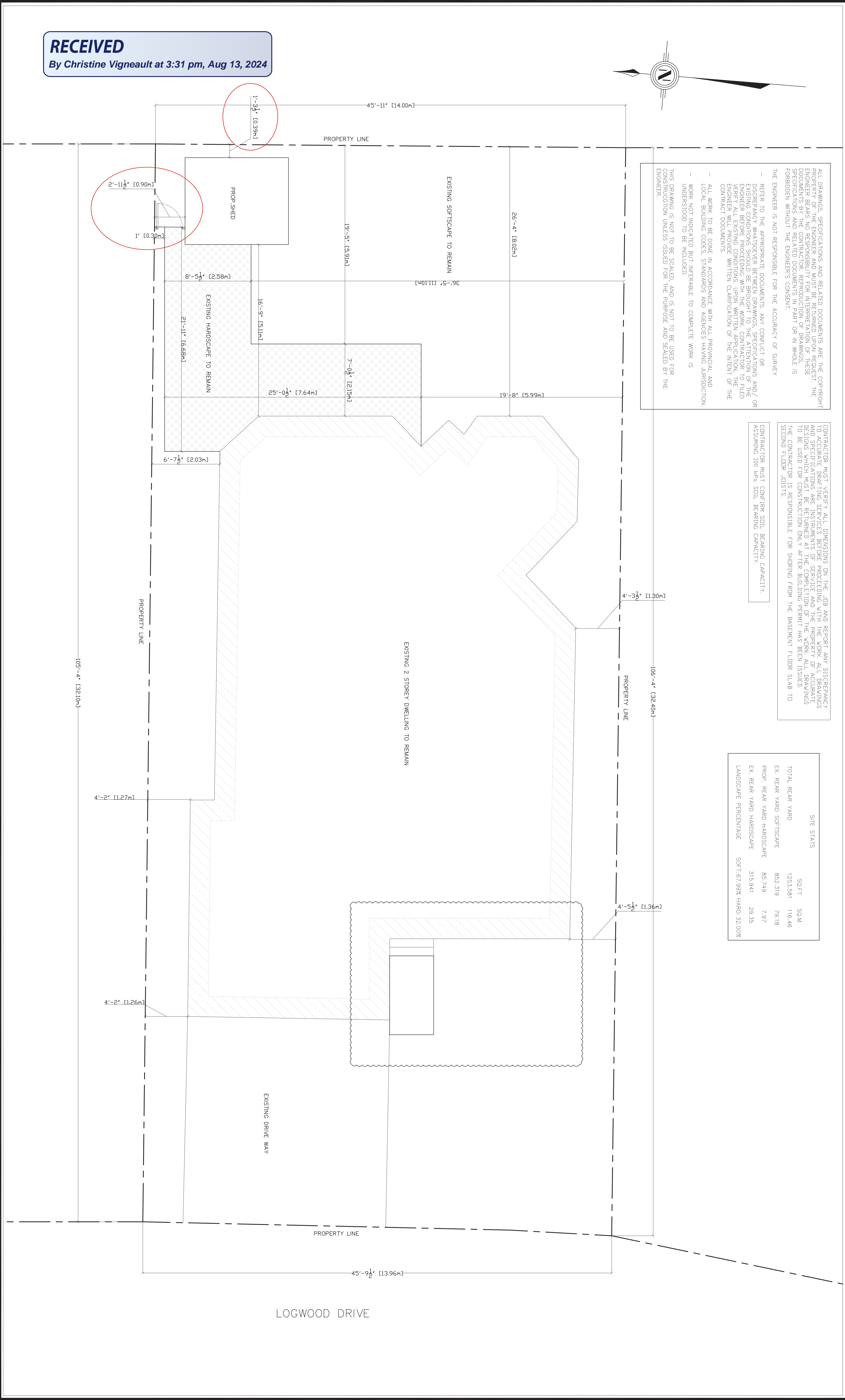
- ALL WORK TO BE DONE IN ACCORDANCE WITH ALL PROVINCIAL AND LOCAL BUILDING CODES, STANDARDS AND AGENCIES HAVING JURISDICTION.
- WORK NOT INDICATED BUT INFERRABLE TO COMPLETE WORK IS UNDERSTOOD TO BE INCLUDED.

THIS DRAWING IS NOT TO BE SCALED, AND IS NOT TO BE USED FOR CONSTRUCTION UNLESS ISSUED FOR THE PURPOSE AND SEALED BY THE ENGINEER.

CONTRACTOR MUST VERIFY ALL DIMENSIONS ON THE JOB AND REPORT ANY DISCREPANCY TO ACCURATE DRAFTING SERVICES BEFORE PROCEEDING WITH THE WORK. ALL DRAWINGS AND SPECIFICATIONS ARE INSTRUMENTS OF SERVICE AND THE PROPERTY OF ACCURATE DESIGN, WHICH MUST BE RETURNED AT THE COMPLETION OF THE WORK. ALL DRAWINGS TO BE USED FOR CONSTRUCTION ONLY AFTER BUILDING PERMIT HAS BEEN ISSUED. THE CONTRACTOR IS RESPONSIBLE FOR SHIELDING FROM THE BASEMENT FLOOR SLAB TO SECOND FLOOR JOISTS.

CONTRACTOR MUST DETERMINE SOIL BEARING CAPACITY, ASSUMING 100 KPa SOIL BEARING CAPACITY.

SITE STATS			
TOTAL REAR YARD	SQ.FT	SQ.M	
EX. REAR YARD SOFTSCAPE	1253,581	116,46	
PROP. REAR YARD HARDSCAPE	85,749	7,97	
EX. REAR YARD HARDSCAPE	315,941	29,35	
LANDSCAPE PERCENTAGE	SOFT: 67.99% HARD: 32.00%		

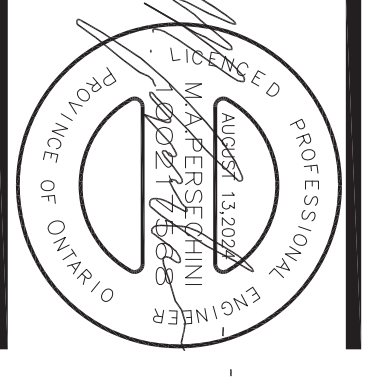


REF.	DATE	ISSUE FOR APPROVAL	REVISIONS	REF.	DATE	DESCRIPTION
4.	AUG 13-24	REVISED AS PER CITY COMMENTS				
3.	JUL 9-24	REVISED AS PER CITY COMMENTS				
2.	JUN 11-24	REVISED AS PER CITY COMMENTS				
1.	MAY 28-24	ISSUE FOR APPROVAL				

BLUE GROVE ENGINEERING GROUP INC.

1 SHEFFIELD STREET
Toronto, Ontario, M6M 3E5

Tel: (416) 540-0756
E-Mail: info@bluegroveeng.com
Web Site: www.bluegroveengineering.com



PROJECT TITLE: 55 LOGWOOD DRIVE
VAUGHAN, ON

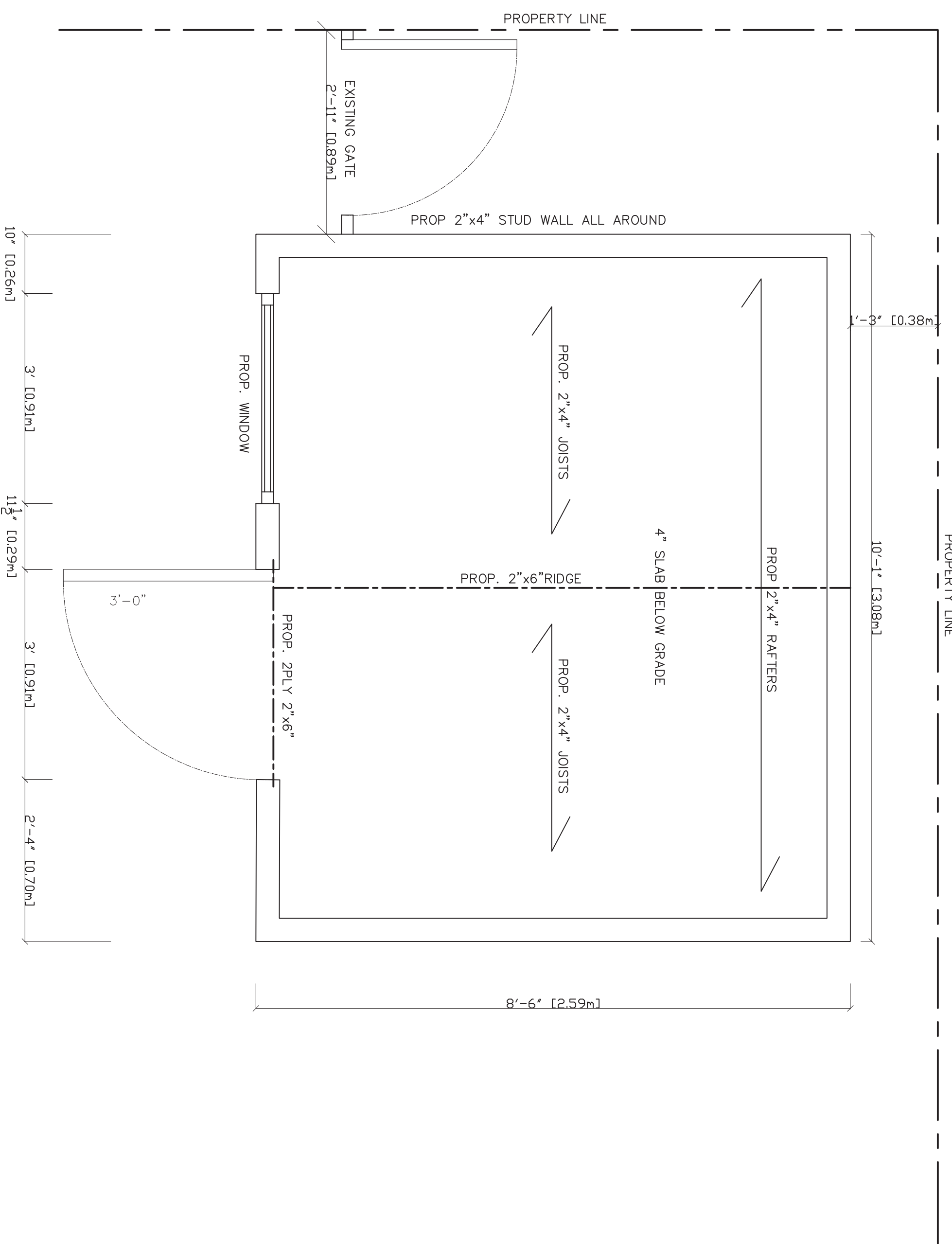
PREPARED FOR: ANNABELLE

SHEET TITLE: SITE PLAN

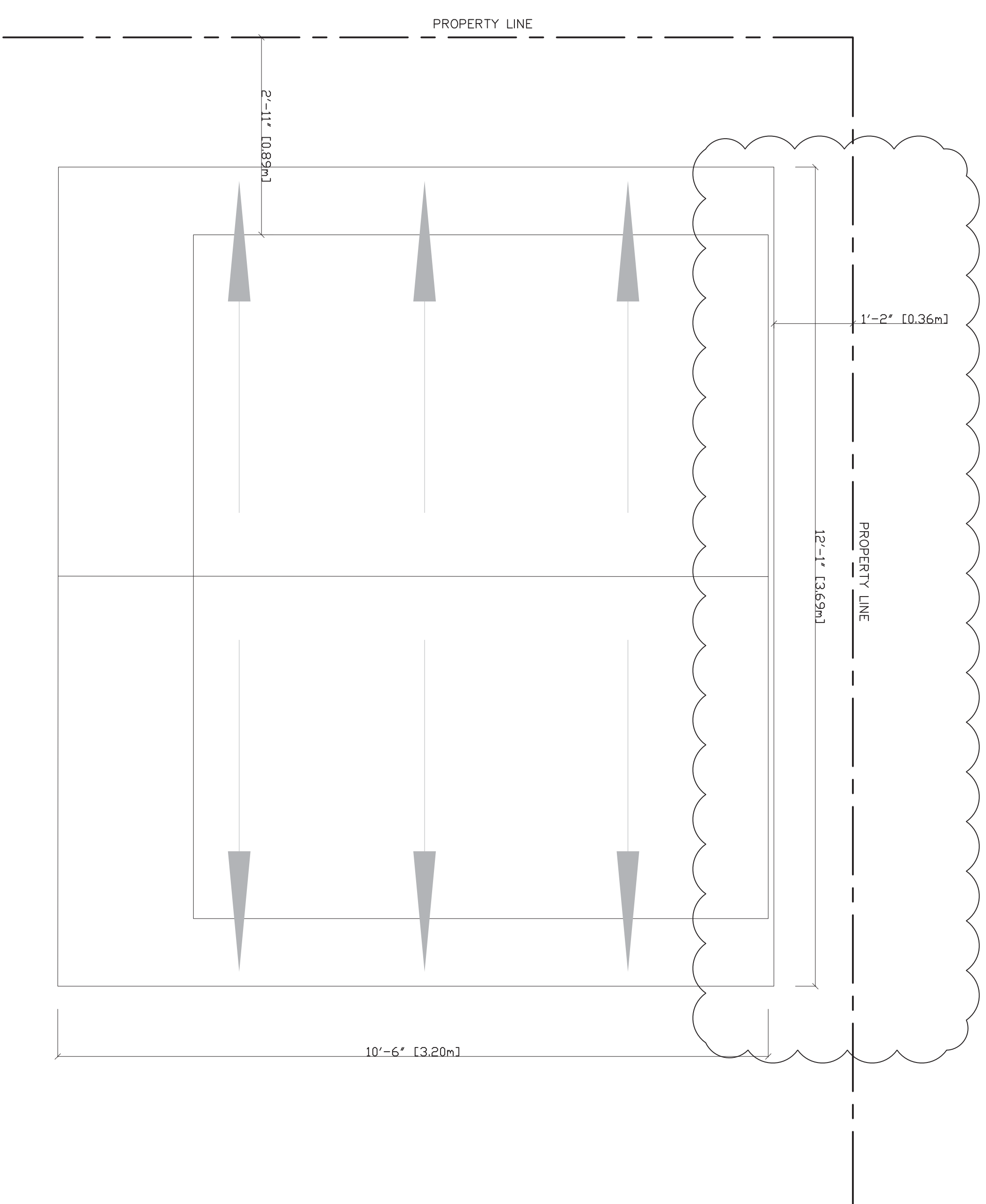
SCALE: 1/4" = 1'-0"

The Contractor shall check all dimensions and other data from the job and report any discrepancies to the Architect within 5 working days.

SHEET NO.: SP1
PROJECT NO.: 24-143



1 FRAMING PLAN
SCALE: 1/4" = 1'-0"



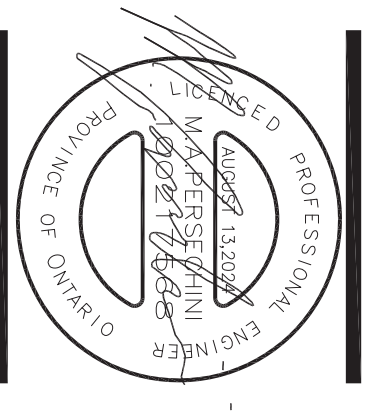
2 ROOF PLAN
SCALE: 1/4" = 1'-0"

REF.	DATE	DESCRIPTION
3.	AUG 13-24	REVISED AS PER CITY COMMENTS
2.	JUL 9-24	REVISED AS PER CITY COMMENTS
1.	JUN 11-24	ISSUE FOR APPROVAL
REF.	DATE	DESCRIPTION

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PROJECT TITLE: 55 LOGWOOD DRIVE
VAUGHAN, ON

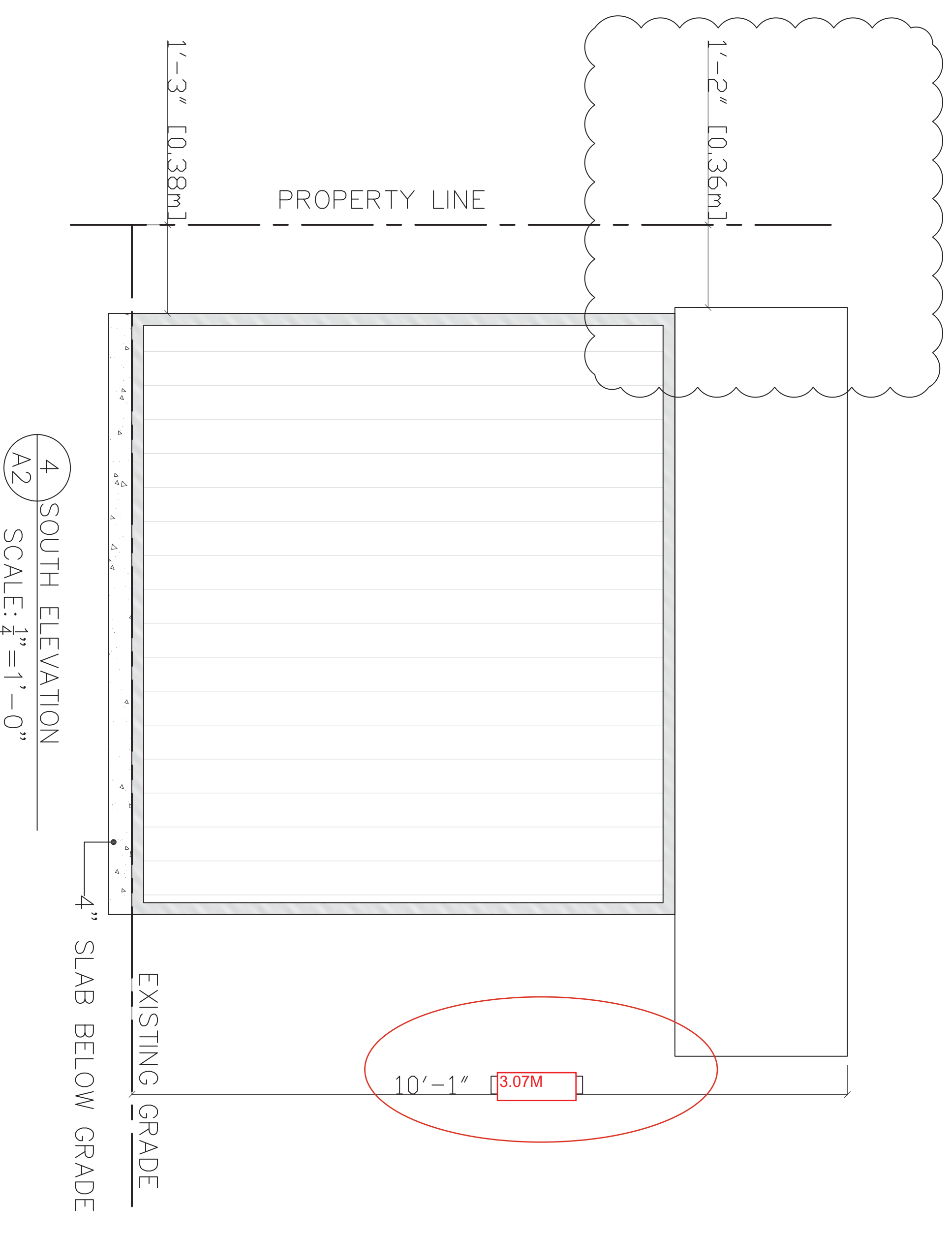
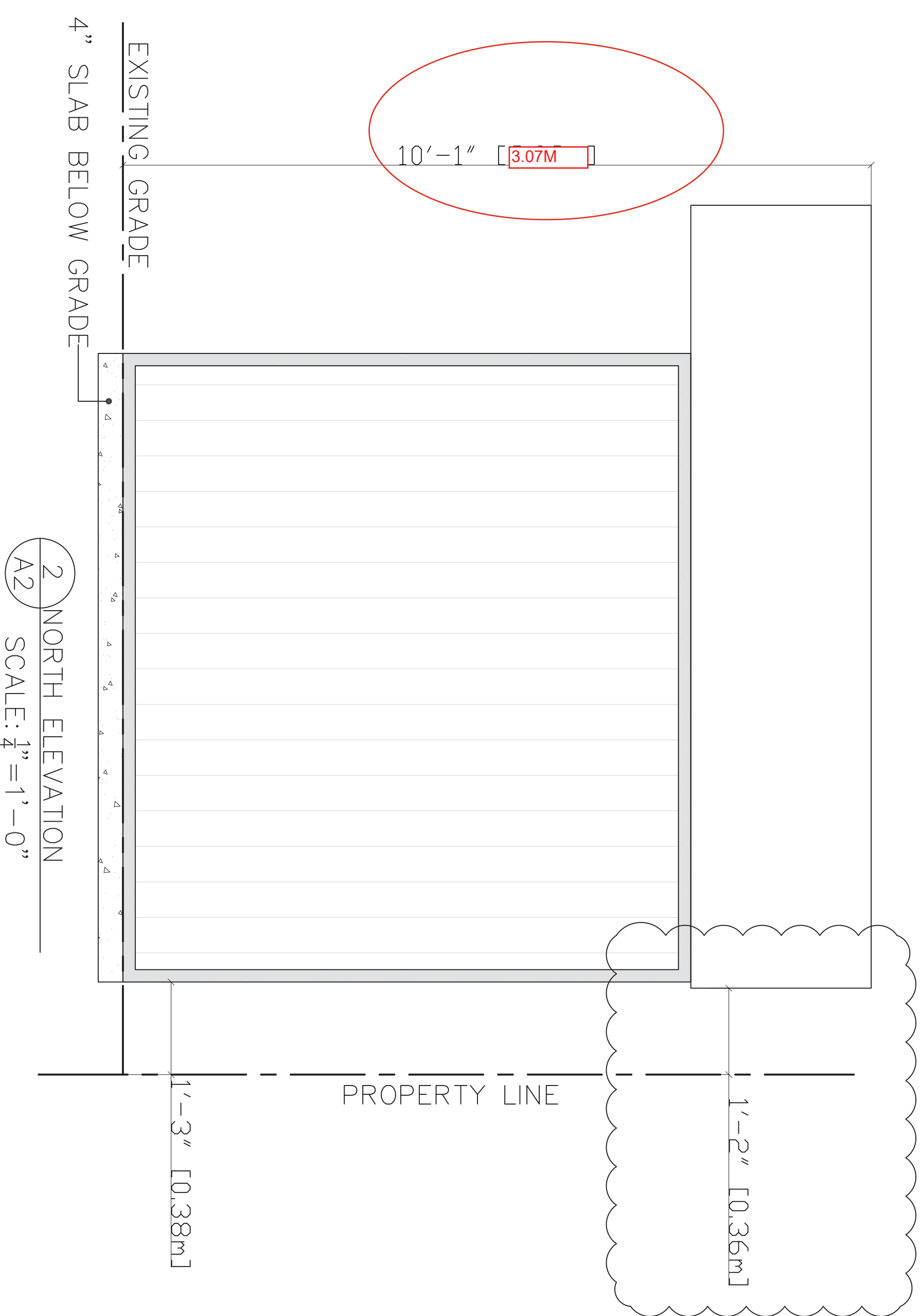
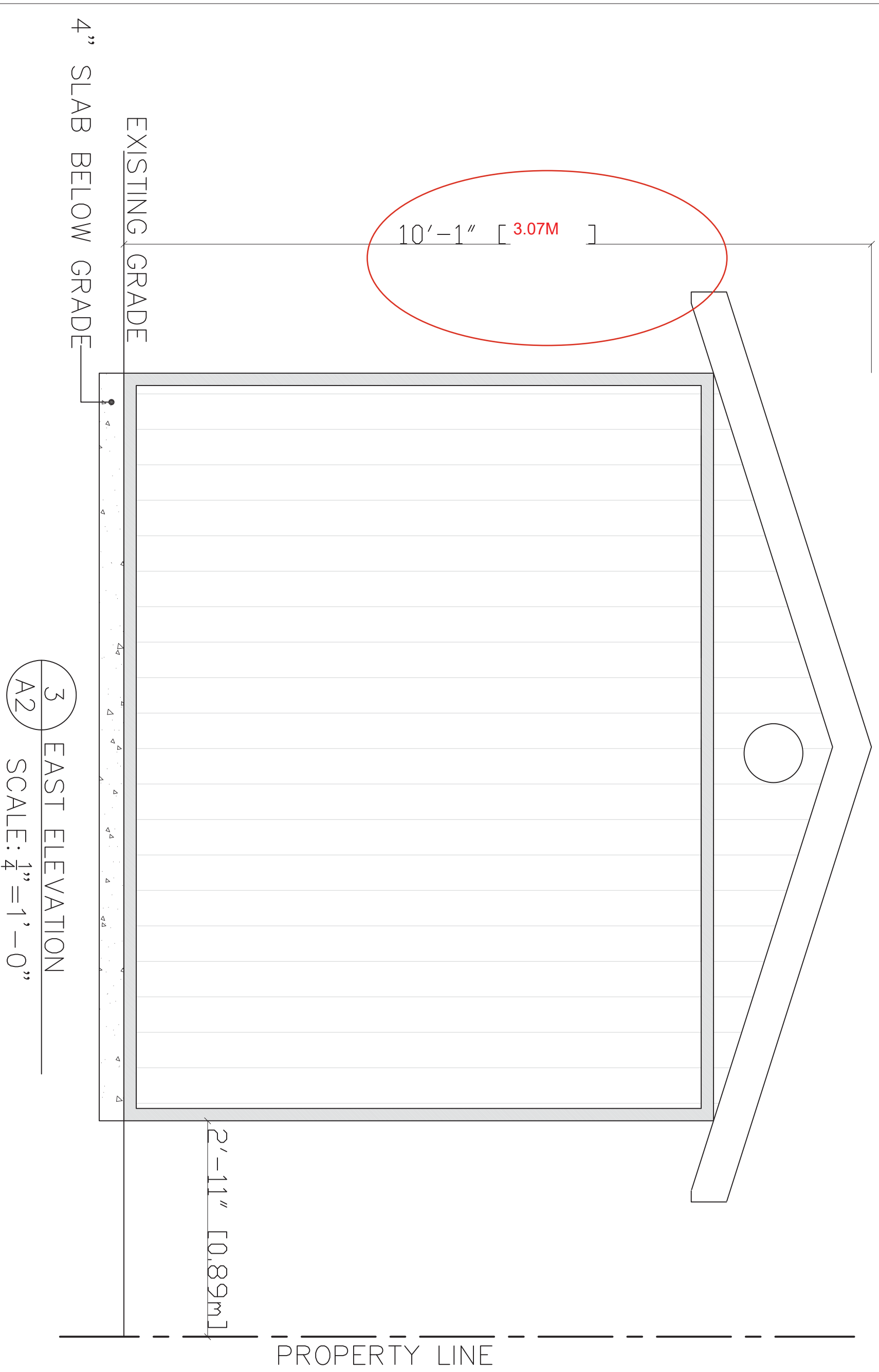
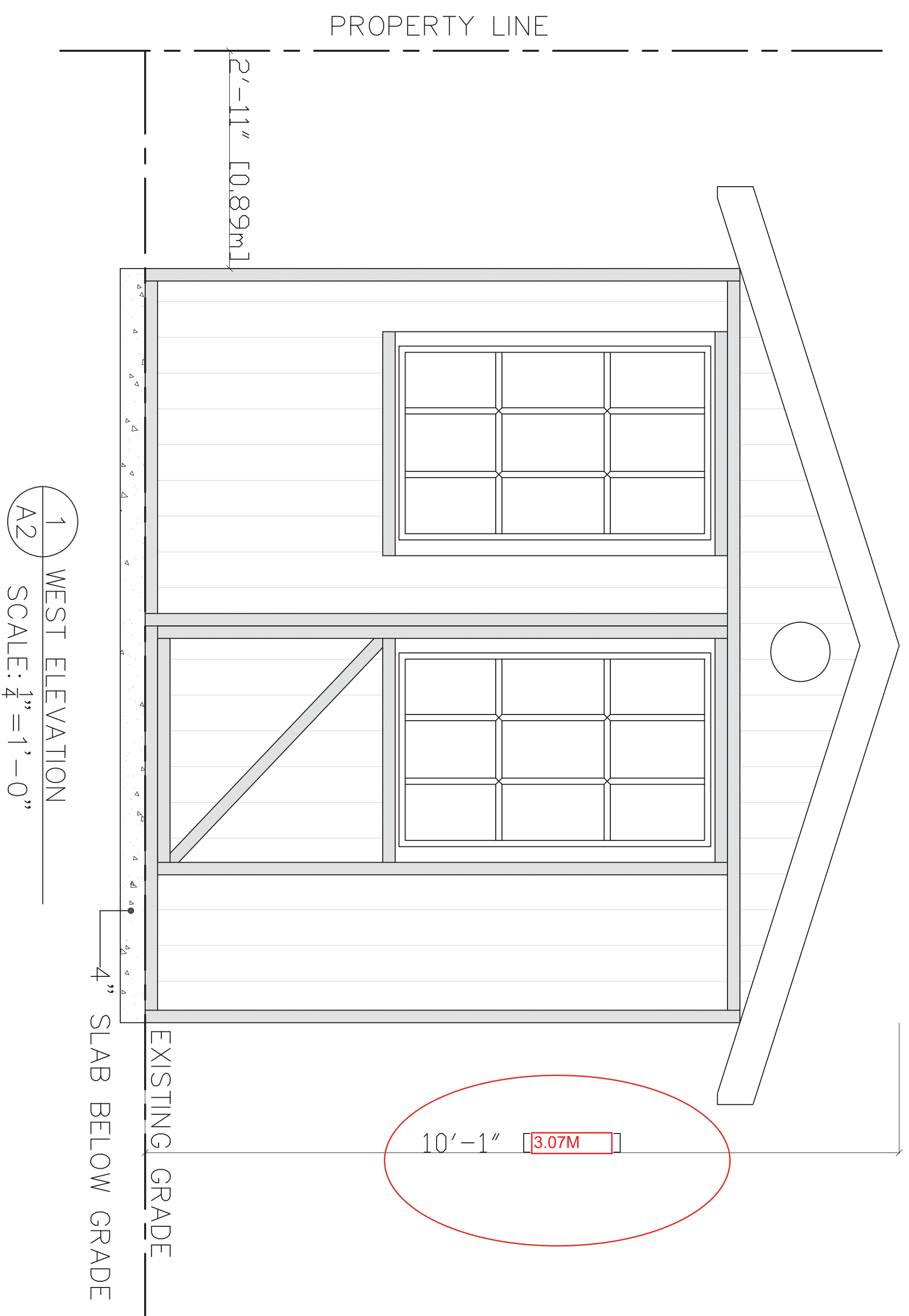
PREPARED FOR: ANNABELLE

SHEET TITLE: FLOOR PLAN & ROOF PLAN

SCALE: 1/4" = 1'-0"

The Contractor shall check all dimensions and other data from the job and report any discrepancies to the Architect within 5 working days.

SHEET NO.: A1
PROJECT NO.: 24-143



REF.	DATE	REVISIONS	REF.	DATE	DESCRIPTION
3.	AUG 13-24	REVISED AS PER CITY COMMENTS			
2.	JUL 9-24	REVISED AS PER CITY COMMENTS			
1.	JUN 11-24	ISSUE FOR APPROVAL			

BLUE GROVE ENGINEERING GROUP INC.

1 SHEFFIELD STREET
Toronto, Ontario, M6M 3E5

Tel: (416) 540-0756
E-Mail: info@bluegroveeng.com
Web Site: www.bluegroveengineering.com



PROJECT TITLE: 55 LOGWOOD DRIVE VAUGHAN, ON

PREPARED FOR: ANNABELLE

SHEET TITLE: PROPOSED ELEVATIONS

SCALE: 1/4" = 1'-0"

SHEET NO.: A2

PROJECT NO.: 24-143

The Contractor shall check all dimensions and other data from the job and report any discrepancies to the Architect within 5 business days.

**SCHEDULE B:
COMMENTS FROM AGENCIES, BUILDING STANDARDS &
DEVELOPMENT PLANNING**

Department / Agency <small>*Comments Received</small>	Conditions Required		Nature of Comments
Building Standards (Zoning) *See Schedule B	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>	General Comments
Development Planning	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>	Recommend Approval/No Conditions

External Agencies <small>*Comments Received</small>	Conditions Required		Nature of Comments <small>*See Schedule B for full comments</small>
Alectra	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>	General Comments
Region of York	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>	General Comments
TRCA	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>	General Comments

Date: July 18th 2024

Attention: **Christine Vigneault**

RE:

File No.: **A029-24**

Related Files:

Applicant Ron and Anna Annabelle

Location 55 Logwood Drive



Discover the possibilities

COMMENTS:

- We have reviewed the proposed Variance Application and have no comments or objections to its approval.
- We have reviewed the proposed Variance Application and have no objections to its approval, subject to the following comments (attached below).
- We have reviewed the proposed Variance Application and have the following concerns (attached below).

Alectra Utilities (formerly PowerStream) has received and reviewed the proposed Variance Application. This review, however, does not imply any approval of the project or plan.

All proposed billboards, signs, and other structures associated with the project or plan must maintain minimum clearances to the existing overhead or underground electrical distribution system as specified by the applicable standards, codes and acts referenced.

In the event that construction commences, and the clearance between any component of the work/structure and the adjacent existing overhead and underground electrical distribution system violates the Occupational Health and Safety Act, the customer will be responsible for 100% of the costs associated with Alectra making the work area safe. All construction work will be required to stop until the safe limits of approach can be established.

In the event construction is completed, and the clearance between the constructed structure and the adjacent existing overhead and underground electrical distribution system violates the any of applicable standards, acts or codes referenced, the customer will be responsible for 100% of Alectra's cost for any relocation work.

References:

- Ontario Electrical Safety Code, latest edition (Clearance of Conductors from Buildings)
- Ontario Health and Safety Act, latest edition (Construction Protection)
- Ontario Building Code, latest edition (Clearance to Buildings)
- PowerStream (Construction Standard 03-1, 03-4), attached
- Canadian Standards Association, latest edition (Basic Clearances)

If more information is required, please contact either of the following:

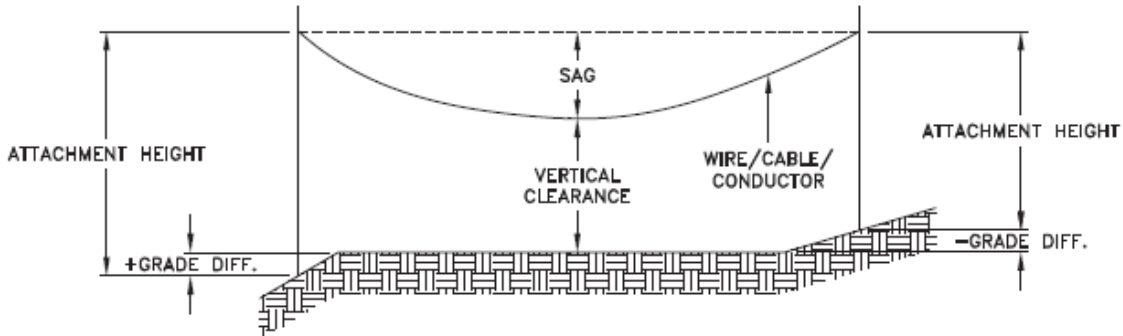
Mr. Stephen Cranley, C.E.T
Supervisor, Distribution Design, ICI & Layouts (North)
Phone: 1-877-963-6900 ext. 31297

E-mail: stephen.cranley@alectrautilities.com

Mitchell Penner
Supervisor, Distribution Design-Subdivisions
Phone: 416-302-6215

Email: Mitchell.Penner@alectrautilities.com

LOCATION OF WIRES, CABLES OR CONDUCTORS	SYSTEM VOLTAGE			
	SPAN GUYS AND COMMUNICATIONS WIRES	UP TO 600V AND NEUTRAL	4.16/2.4kV TO 27.6/16kV (SEE NOTE 1)	44kV
MINIMUM VERTICAL CLEARANCES (SEE NOTE 2)				
OVER OR ALONGSIDE ROADS, DRIVEWAYS OR LANDS ACCESSIBLE TO <u>VEHICLES</u>	442cm	442cm	480cm	520cm
OVER GROUND ACCESSIBLE TO <u>PEDESTRIANS AND BICYCLES ONLY</u>	250cm	310cm	340cm	370cm
ABOVE TOP OF RAIL AT <u>RAILWAY CROSSINGS</u>	730cm	730cm	760cm	810cm



MINIMUM ATTACHMENT HEIGHT = MAXIMUM SAG
 + MINIMUM VERTICAL CLEARANCE (FROM ABOVE TABLE)
 ± GRADE DIFFERENCE
 + 0.3m (VEHICLE OR RAILWAY LOCATION)
 + SNOW DEPTH (PEDESTRIAN LOCATION, SEE NOTE 3)

NOTES:

1. THE MULTIGROUNDED SYSTEM NEUTRAL HAS THE SAME CLEARANCE AS THE 600V SYSTEM.
2. THE VERTICAL CLEARANCES IN THE ABOVE TABLE ARE UNDER MAXIMUM SAG CONDITIONS.
3. REFER TO CSA STANDARD C22.3 No.1, ANNEX D FOR LOCAL SNOW DEPTH VALUES.
4. ALL CLEARANCES ARE IN ACCORDANCE TO CSA STANDARD C22.3.

CONVERSION TABLE

METRIC	IMPERIAL (APPROX)
810cm	27'-0"
760cm	25'-4"
730cm	24'-4"
520cm	17'-4"
480cm	16'-0"
442cm	15'-5"
370cm	12'-4"
340cm	11'-4"
310cm	10'-4"
250cm	8'-4"

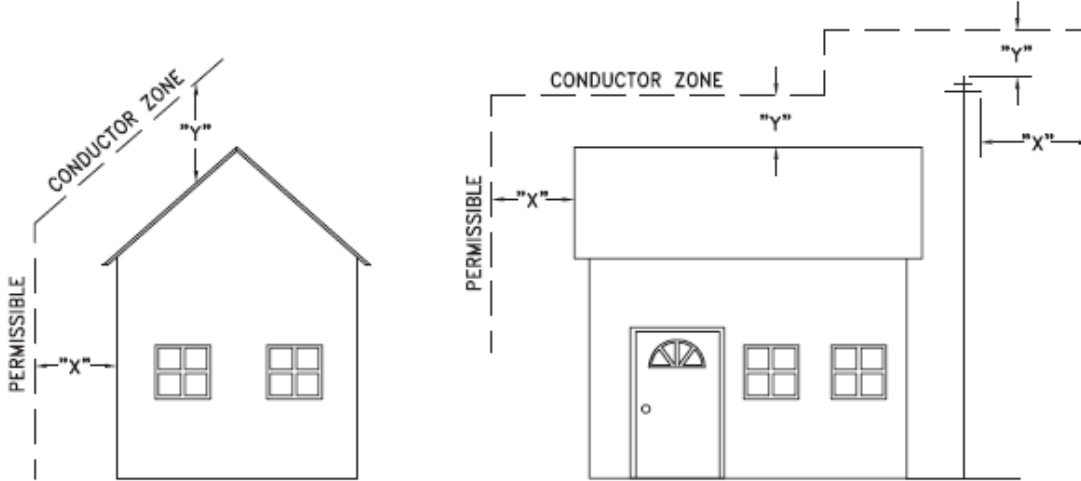
REFERENCES

SAGS AND TENSIONS | SECTION 02

MINIMUM VERTICAL CLEARANCES OF WIRES, CABLES AND CONDUCTORS ABOVE GROUND OR RAILS

ORIGINAL ISSUE DATE: 2010-DEC-24 REVISION NO: R1 REVISION DATE: 2012-JAN-09

Certificate of Approval	
This construction Standard meets the safety requirements of Section 4 of Regulation 22/04	
Joe Crozier, P.Eng.	2012-JAN-09
Name	Date
P.Eng. Approval By:	Joe Crozier



VOLTAGE	MINIMUM HORIZONTAL CLEARANCE UNDER MAXIMUM SWING CONDITIONS DIMENSION "X" (SEE NOTES 1, 3 & 4)	MINIMUM VERTICAL CLEARANCE UNDER MAXIMUM DESIGN SAG CONDITIONS DIMENSION "Y" (SEE NOTES 1, 2, 4 & 5)
0-600V AND NEUTRAL	100cm	250cm
4.16/2.4 TO 44kV	300cm	480cm

NOTES

1. UNDER NO CIRCUMSTANCES SHALL A CONDUCTOR BE PERMITTED TO PENETRATE THE ENVELOPE SHOWN BY THE DOTTED LINE.
2. THE VERTICAL CLEARANCES ARE UNDER CONDITIONS OF MAXIMUM DESIGN SAG.
3. THE HORIZONTAL CLEARANCES ARE UNDER CONDITIONS OF MAXIMUM SWING. WHERE THE CONDUCTOR SWING IS NOT KNOWN A HORIZONTAL CLEARANCE OF 480CM SHALL BE USED.
4. BUILDINGS THAT EXCEED 3 STOREYS OR 15M IN HEIGHT, THE MINIMUM HORIZONTAL CLEARANCE OF THE SECONDARY CONDUCTORS SHOULD BE INCREASED TO 300cm WHERE IT IS NECESSARY TO ALLOW FOR THE RAISING OF LADDERS BY LOCAL FIRE DEPARTMENTS.
5. IN SITUATIONS SUCH AS MULTI-LEVEL GARAGES, WHERE ROOFS ARE NORMALLY USED BY PERSONS AND VEHICLES, THE VERTICAL CLEARANCES OF POWERSTREAM STANDARD 03-1 SHALL APPLY.
6. DISTRIBUTION LINES CONSTRUCTED NEAR BUILDINGS SHALL BE BUILT TO AVOID OVERHANG WHEREVER POSSIBLE. WHERE LINES MUST BE CONSTRUCTED OVER OR ADJACENT TO BUILDINGS THE APPLICABLE HORIZONTAL AND VERTICAL CLEARANCES SHALL BE AT CONDITIONS OF MAXIMUM CONDUCTOR SWING AND MAXIMUM SAG. THE ABOVE CLEARANCES ARE DESIGNED TO PREVENT PERSONS ON OR IN BUILDINGS AS WELL AS EXTERNAL MACHINERY USED IN CONJUNCTION WITH A BUILDING TO COME IN CONTACT WITH CONDUCTORS. EFFORTS SHOULD BE MADE TO INCREASE THESE CLEARANCES WHERE POSSIBLE.
7. ALL CLEARANCES ARE IN ACCORDANCE TO CSA C22.3 NO.1-06 (TABLE-9).

METRIC	IMPERIAL (APPROX)
480cm	16'-0"
300cm	10'-0"
250cm	8'-4"
100cm	3'-4"

MINIMUM VERTICAL & HORIZONTAL CLEARANCES OF CONDUCTORS FROM BUILDINGS OR OTHER PERMANENT STRUCTURES (CONDUCTORS NOT ATTACHED TO BUILDINGS)

Certificate of Approval
This construction Standard meets the safety requirements of Section 4 of Regulation 22/04
Debbie Dadwani, P.Eng. 2010-MAY-05
Name Date
P. Eng. Approval By: *D. Dadwani*

ORIGINAL ISSUE DATE: 2010-MAY-05 REVISION NO: REVISION DATE:
PS:\System Planning and Standards\Standard Design\PowerStream Standards\PowerStream Standards working files\Section 3-1-02\WG 03-4 R0 May 5, 2010.dwg, 5/5/2010 10:22:02 AM, Adobe PDF

To: Committee of Adjustment
From: Sean Fitzpatrick, Building Standards Department
Date: July 18, 2024
Applicant: Ron and Anna Annabelle
Location: 55 Logwood Drive
 PLAN 65M3338 Lot 379
File No.(s): A029/24

Zoning Classification:

The subject lands are zoned R2(EN) – Second Density Residential Zone (Established Neighbourhood) and subject to the provisions of Exception 14.676 under Zoning By-law 001-2021, as amended.

#	Zoning By-law 001-2021	Variance requested
1	In any Residential Zone, the maximum height of an accessory building and residential accessory structure shall be 3.0 m. [4.1.4 #1.]	To permit a maximum height of an accessory building 3.0733 m.
2	In any Residential Zone, a residential accessory structure with a height greater than 2.8 m shall not be located closer than 2.4 m to any lot line. [4.1.2 #1b.]	To permit a residential accessory structure with a height greater than 2.8 metres to be located a minimum 0.90 metres from the north side lot line.
3	In any Residential Zone, a residential accessory structure with a height greater than 2.8 m shall not be located closer than 2.4 m to any lot line. [4.1.2 #1b.]	To permit a residential accessory structure with a height greater than 2.8 metres to be located a minimum 0.39 metres from the rear (East) lot line.

Staff Comments:

Stop Work Order(s) and Order(s) to Comply:

There are no outstanding Orders on file

Building Permit(s) Issued:

Building Permit No. 22-112220 for Single Detached Dwelling - Alteration, Issue Date:
(Not Yet Issued)

Other Comments:

General Comments	
1	The applicant shall be advised that additional variances may be required upon review of detailed drawing for building permit/site plan approval.

Conditions of Approval:

If the committee finds merit in the application, the following conditions of approval are recommended.

* Comments are based on the review of documentation supplied with this application.

To: Christine Vigneault, Committee of Adjustment Secretary Treasurer
From: Nancy Tuckett, Director of Development Planning
Date: August 9, 2024
Name of Owner: Anna Maria and Ronald Annabelle
Location: 55 Logwood Drive
File No.(s): A029/24

Proposed Variance(s) (By-law 001-2021):

1. To permit a maximum height of 3.0733 m for an accessory building.
2. To permit a residential accessory structure with a height greater than 2.8 m to be located a minimum 0.90 m from the north side lot line.
3. To permit a residential accessory structure with a height greater than 2.8 m to be located a minimum 0.39 m from the rear (east) lot line.

By-Law Requirement(s) (By-law 001-2021):

1. In any Residential Zone, the maximum height of an accessory building and residential accessory structure shall be 3.0 m.
2. In any Residential Zone, a residential accessory structure with a height greater than 2.8 m shall not be located closer than 2.4 m to any lot line.
3. In any Residential Zone, a residential accessory structure with a height greater than 2.8 m shall not be located closer than 2.4 m to any lot line.

Official Plan:

City of Vaughan Official Plan 2010 ('VOP 2010'): Low-Rise Residential

Comments:

The Owners are seeking to permit an existing shed in the rear yard of a residential property containing a single detached dwelling, with the above noted variances.

The Development Planning Department has no objection to Variance 1. The shed's roof is of a gable design, with the peak being the highest point of the structure. The height of the shed (3.0733 m) is measured from the grade to the peak of the roof. The design and height of the shed is modest and is not anticipated to have any adverse massing impacts on the surrounding properties. The shed is only 0.0733 m over the permitted height, which is minimal in nature and not perceptible.

The Development Planning Department has no objection to Variances 2 and 3. The shed is set back 0.90 m from the north side lot line. There is a wood privacy fence within the rear yard along the north, south, and east lot lines. There is a gravel pathway and self-latching wooden door between the shed and north fence. There is sufficient space between the shed and fence for maintenance access and drainage. The 0.39 m setback from the rear (east) lot line provides a limited amount of spatial separation for access, if required. There is no eave on this side and the wall facing the rear lot line is modest in relation to the overall length of the rear lot line.

Accordingly, Development Planning Department staff can support the requested variances and is of the opinion that the proposal is minor in nature, maintains the general intent and purpose of the Official Plan and Zoning By-law, and is desirable for the appropriate development of the land.

Recommendation:

The Development Planning Department recommends approval of the application, subject to the following conditions:

Conditions of Approval:

If the Committee finds merit in the application, the following conditions of approval are recommended:

None.

Comments Prepared by:

Alyssa Pangilinan, Planner 1
David Harding, Senior Planner

Lenore Providence

Subject: FW: [External] RE: A029/24 (55 Logwood Drive) - REQUEST FOR COMMENTS, CITY OF VAUGHAN

From: Cameron McDonald <Cameron.McDonald@trca.ca>
Sent: Friday, July 19, 2024 3:32 PM
To: Committee of Adjustment <CofA@vaughan.ca>
Subject: [External] RE: A029/24 (55 Logwood Drive) - REQUEST FOR COMMENTS, CITY OF VAUGHAN

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Good afternoon,

Based on a review of our screening mapping, I can confirm that the subject property is not located within TRCA's Regulated Area. As such, any site alteration or development on the property would not require a permit from TRCA.

Based on the above, we have no comments/requirements.

Regards,

Cameron McDonald
Planner I
Development Planning and Permits | Development and Engineering Services

T: [\(437\) 880-1925](tel:437-880-1925)
E: cameron.mcdonald@trca.ca
A: [101 Exchange Avenue, Vaughan, ON, L4K 5R6](https://www.trca.ca) | [trca.ca](https://www.trca.ca)



From: [Development Services](#)
To: [Christine Vigneault](#)
Cc: [Committee of Adjustment](#)
Subject: [External] RE: A029/24 (55 Logwood Drive) - REQUEST FOR COMMENTS, CITY OF VAUGHAN
Date: Tuesday, August 6, 2024 12:01:01 PM
Attachments: [image001.png](#)
[image003.png](#)

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Hi Christine,

The Regional Municipality of York has completed its review of the minor variance application – A029/24 (55 Logwood Drive) and has no comment.

Please provide us with a digital copy of the notice of decision for our records.

Many thanks,

Our working hours may be different. Please do not feel obligated to reply outside of your scheduled working hours. Let's work together to help foster healthy work-life boundaries.

Niranjan Rajevan, M.Pl. | Associate Planner, Development Planning | Economic and Development Services Branch | Corporate Services Department

The Regional Municipality of York | 17250 Yonge Street | Newmarket, ON L3Y 6Z1
1-877-464-9675 ext. 71521 | niranjan.rajevan@york.ca | www.york.ca

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SCHEDULE C: PUBLIC & APPLICANT CORRESPONDENCE

Correspondence Type	Name	Address	Date Received (mm/dd/yyyy)	Summary
Applicant			03/01/2024	Application Cover Letter
Public	Michele Urchioli	59 Logwood Drive	03/01/2024	Letter of Support
Public	Eric Lhores	66 Logwood Drive	03/01/2024	Letter of Support
Public	Lynn Younis	51 Logwood Drive	08/13/2024	Letter Questioning Accuracy of Information

Mr. Ron Annabelle and Mrs. Anna Annabelle
55 Logwood Drive
Maple Ontario L6A 3C8
Ron1970mc@gmail.com
416 573-2738

February 16, 2024

Committee of Adjustment
City of Vaughan

Committee of Adjustment Members,

RE: Minor Variance request under file #8394

We are writing to address the recent complaint regarding the placement of the shed on our property, as well as to provide context to the situation.

We kindly request that our shed be permitted to remain in its current position and structure. Relocating and reconstructing the shed would not only impose a significant financial burden on us but also result in practical challenges related to storage for essential gardening equipment and patio furnishings, such as lawnmowers, snow blowers, bicycles, and more.

It is crucial to note that the shed has been in its current location for over 20 years without any prior objections from neighbors. We strongly believe that its presence does not adversely impact the neighborhood, and the recent complaint appears to be motivated by a retaliatory response to a complaint we filed against our neighbors, Mr. Joumah Younis and his son Mr. Jonathan Younis, residents of 51 Logwood Drive.

During the Covid-19 lockdowns, the Younis family initiated a home-based canoe business, leading to increased vehicular traffic on our secluded "no exit" street. This not only inconvenienced us with blocked driveway access and damaged lawns but also raised concerns about the safety and security of our home due to the constant flow of strangers into the backyards. Our attempts to address the issue with the Younis family were met with hostility, prompting us to seek legal assistance through the City of Vaughan Bylaw office.

It is important to highlight that the initial complaint focused solely on the shed's height, with no mention of concerns about its position. The sudden change in the nature of the complaint suggests a potential ulterior motive and a lack of genuine concern for the shed's impact on the neighborhood.

Considering the above circumstances, we kindly request a fair and unbiased evaluation of our shed's placement. We believe that maintaining the status quo is essential for our financial stability and the well-being of our family.

Thank you for your understanding and prompt attention to this matter. We look forward to a resolution that respects the rights and considerations of all parties involved.

Sincerely,



Ron Annabelle and Anna Annabelle

From: [Christine Vigneault](#)
Cc: [Committee of Adjustment](#)
Subject: RE: [External] Re: Information Request: A029/24 (55 Logwood Drive)
Date: Tuesday, August 13, 2024 9:59:57 AM

From: L. Younis [REDACTED] >
Sent: Tuesday, August 13, 2024 9:23 AM
To: Christine Vigneault <Christine.Vigneault@vaughan.ca>
Cc: Committee of Adjustment <CofA@vaughan.ca>
Subject: [External] Re: Information Request: A029/24 (55 Logwood Drive)

CAUTION! This is an external email. Verify the sender's email address and carefully examine any links or attachments before clicking. If you believe this may be a phishing email, please use the Phish Alert Button.

Good morning

I have reviewed the Survey and it does not accurately represent the height of the shed. The survey outlines that the shed is built on a 4" slab which is below grade. This is not correct as the concrete was poured on the existing surface and is not below grade. The existing shed, is therefore 4 inches or .1016 meters higher than identified in the application. The Minor Variance Application item #1 must be amended "To permit a maximum height of an accessory building to 3.175 m."

Please find attached photos which clearly show the concrete slab is above grade

As the surveyor has misrepresented the height of the shed, please request a further measurement. I would also request the the Engineer, M. A. Persechini, sign a conflict of interest form stating that in no way they are receiving any financial or other benefit due to this misrepresentation.

Lynn Younis
51 Logwood Drive







I, the undersigned, support the retention of the shed located at 55 Logwood Drive, Maple, owned by Ron and Anna Maria Annabelle. I believe the shed is an unobtrusive asset to the neighbourhood and have no objection to it remaining in its current position.



FEB 25 2024

Signature: M. Urcioli Date: Feb 25 2024

Name: MICHELE URCIOLI
(please print)

Address: 59 LOGWOOD DR. VAUGHAN ONT

I, the undersigned, support the retention of the shed located at 55 Logwood Drive, Maple, owned by Ron and Anna Maria Annabelle. I believe the shed is an unobtrusive asset to the neighbourhood and have no objection to it remaining in its current position.

Signature:  _____ Date: February 28, 2024

Name: ERIC HORNE
(please print)

Address: 66 LOGWOOD DRIVE
MAPLE, ONTARIO
L6A 3C8

SCHEDULE D: BACKGROUND

None