

|                  |  |
|------------------|--|
| <b>ITEM: 6.1</b> | <b>REPORT SUMMARY<br/>MINOR VARIANCE APPLICATION<br/>FILE NUMBER A010/24</b> |
|------------------|--|

Report Date: August 16, 2024

**THIS REPORT CONTAINS COMMENTS FROM THE FOLLOWING  
DEPARTMENTS & AGENCIES (SEE SCHEDULE B):**

Additional comments from departments and agencies received after the publication of the report will be made available on the City's [website](#).

| Internal Departments<br><small>*Comments Received</small> | Conditions Required          |  | Nature of Comments               |
|---|------------------------------|--|----------------------------------|
| Building Standards (Zoning) *See Schedule B               | Yes <input type="checkbox"/> | No <input checked="" type="checkbox"/> | General Comments                 |
| Committee of Adjustment                                   | Yes <input type="checkbox"/> | No <input checked="" type="checkbox"/> | General Comments                 |
| Development Planning                                      | Yes <input type="checkbox"/> | No <input checked="" type="checkbox"/> | Recommend Approval/No Conditions |
| Development Engineering                                   | Yes <input type="checkbox"/> | No <input checked="" type="checkbox"/> | Recommend Approval/No Conditions |
| Development Finance                                       | Yes <input type="checkbox"/> | No <input checked="" type="checkbox"/> | General Comments                 |

| External Agencies<br><small>*Comments Received</small> | Conditions Required          |  | Nature of Comments<br><small>*See Schedule B for full comments</small> |
|--|------------------------------|--|--|
| Alectra  | Yes <input type="checkbox"/> | No <input checked="" type="checkbox"/> | General Comments   |
| TRCA   | Yes <input type="checkbox"/> | No <input checked="" type="checkbox"/> | General Comments   |
| Region of York   | Yes <input type="checkbox"/> | No <input checked="" type="checkbox"/> | General Comments   |

| <b>PUBLIC &amp; APPLICANT CORRESPONDENCE (SEE SCHEDULE C)</b>   |      |         |  |                          |
|---|------|---------|--|--------------------------|
| <p>All personal information collected because of this public meeting (including both written and oral submissions) is collected under the authority of the Municipal Act, the Municipal Freedom of Information and Protection of Privacy Act (MFIPPA), the Planning Act and all other relevant legislation, and will be used to assist in deciding on this matter. All personal information (as defined by MFIPPA), including (but not limited to) names, addresses, opinions and comments collected will become property of the City of Vaughan, will be made available for public disclosure (including being posted on the internet) and will be used to assist the Committee of Adjustment and staff to process this application.</p> |      |         |  |                          |
| Correspondence Type   | Name | Address | Date Received<br><small>(mm/dd/yyyy)</small> | Summary                  |
| Applicant   |      |         | 02/28/2024                                   | Application Cover Letter |

| <b>BACKGROUND (SCHEDULE D, IF REQUIRED)</b>   |  |
|---|--|
| <p>* Background Information contains historical development approvals considered to be related to this file. This information should not be considered comprehensive.</p> |  |
| Application No. (City File)   | Application Description<br><small>(i.e. Minor Variance Application; Approved by COA / OLT)</small> |
| N/A   | N/A  |

| <b>ADJOURNMENT HISTORY</b>  |   |
|---|---|
| <p>* Previous hearing dates where this application was adjourned by the Committee and public notice issued.</p> |   |
| Hearing Date  | Reason for Adjournment <small>(to be obtained from NOD_ADJ)</small> |
| N/A   | N/A   |

| <b>SCHEDULES</b>                |   |
|---------------------------------|---|
| <b>Schedule A</b>               | Drawings & Plans Submitted with the Application                   |
| <b>Schedule B</b>               | Comments from Agencies, Building Standards & Development Planning |
| <b>Schedule C</b> (if required) | Public & Applicant Correspondence                                 |
| <b>Schedule D</b> (if required) | Background  |



## MINOR VARIANCE APPLICATION FILE NUMBER A010/24

|  |   |
|--|---|
| <b>CITY WARD #:</b>                              | 4   |
| <b>APPLICANT:</b>                                | Maple Baptist Church  |
| <b>AGENT:</b>                                    | Jimmy Queddeng  |
| <b>PROPERTY:</b>                                 | 3300 Steeles Avenue, Unit #2, Vaughan   |
| <b>ZONING DESIGNATION:</b>                       | See below.  |
| <b>VAUGHAN OFFICIAL PLAN (2010) DESIGNATION:</b> | Vaughan Official Plan 2010 ('VOP 2010'): "Employment Commercial Mixed-Use".   |
| <b>RELATED DEVELOPMENT APPLICATIONS:</b>         | None  |
| <b>PROPOSAL:</b>                                 | Relief from the Zoning By-law is being requested to permit a Place of Worship in a part of a building (multi-unit building). The Place of Worship is to be located in Unit 2. |

The following variances are being requested from the City's Zoning By-law to accommodate the above proposal:

**The subject lands are zoned EMU, Employment Commercial Mixed-Use and subject to the provisions of Zoning By-law 001-2021, as amended.**

| # | Zoning By-law 001-2021   | Variance requested   |
|---|--|--|
| 1 | Place of Worship: Means a building used for the gathering of a religious or faith-based organization for spiritual purposes. [Section 3.0 Definitions] | To permit a Place of Worship in a part of a building (multi-unit building) |

### HEARING INFORMATION

**DATE OF MEETING:** Thursday, August 22, 2024  
**TIME:** 6:00 p.m.  
**MEETING LOCATION:** Vaughan City Hall, Woodbridge Room (2<sup>nd</sup> Floor), 2141 Major Mackenzie Drive  
**LIVE STREAM LINK:** [Vaughan.ca/LiveCouncil](http://Vaughan.ca/LiveCouncil)

#### PUBLIC PARTICIPATION

If you would like to speak to the Committee of Adjustment at the meeting, either remotely or in person, please complete the [Request to Speak Form](#) and submit to [cofa@vaughan.ca](mailto:cofa@vaughan.ca)

If you would like to submit written comments, please quote file number above and submit by mail or email to:

**Email:** [cofa@vaughan.ca](mailto:cofa@vaughan.ca)

**Mail:** City of Vaughan, Office of the City Clerk, Committee of Adjustment, 2141 Major Mackenzie Drive, Vaughan, ON, L6A 1T1

To speak electronically, pre-registration is required by completing the [Request to Speak Form](#) on-line and submitting it to [cofa@vaughan.ca](mailto:cofa@vaughan.ca) no later than NOON on the last business day before the meeting.

**THE DEADLINE TO REGISTER TO SPEAK ELECTRONICALLY OR SUBMIT WRITTEN COMMENTS ON THE ABOVE NOTED FILE(S) IS NOON ON THE LAST BUSINESS DAY BEFORE THE MEETING.**

### INTRODUCTION

Staff and Agencies act as advisory bodies to the Committee of Adjustment. The comments contained in this report are presented as recommendations to the Committee.

Section 45(1) of the Planning Act sets the criteria for authorizing minor variances to the City of Vaughan's Zoning By-law. Accordingly, review of the application may consider the following:

## INTRODUCTION

That the general intent and purpose of the by-law will be maintained.  
 That the general intent and purpose of the official plan will be maintained.  
 That the requested variance(s) is/are acceptable for the appropriate development of the subject lands.  
 That the requested variance(s) is/are minor in nature.

Public written and oral submissions relating to this application are taken into consideration by the Committee of Adjustment as part of its deliberations and final decision on this matter.

## COMMITTEE OF ADJUSTMENT

|  |   |
|--|---|
| <b>Date Public Notice Mailed:</b>  | August 8, 2024  |
| <b>Date Applicant Confirmed Posting of Sign:</b>   | July 25, 2024   |
| <b>Applicant Justification for Variances:</b><br><small>*As provided in Application Form</small>   | We are applying for minor variance because we were told by Zoning Staff that the unit that we bought last year at 3300 Steeles Avenue West unit 2 is not covered under the new by-law to use for house of worship |
| <b>Was a Zoning Review Waiver (ZRW) Form submitted by Applicant:</b><br><small>*ZRW Form may be used by applicant in instances where a revised submission is made, and zoning staff do not have an opportunity to review and confirm variances prior to the issuance of public notice.</small> | Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>   |
| <b>COMMENTS:</b>   |   |
| None   |   |
| <b>Committee of Adjustment Recommended Conditions of Approval:</b>   | None  |

## BUILDING STANDARDS (ZONING)

|  |      |
|--|------|
| <b>**See Schedule B for Building Standards (Zoning) Comments</b> |      |
| <b>Building Standards Recommended Conditions of Approval:</b>    | None |

## DEVELOPMENT PLANNING

|   |      |
|---|------|
| <b>**See Schedule B for Development Planning Comments.</b>      |      |
| <b>Development Planning Recommended Conditions of Approval:</b> | None |

## DEVELOPMENT ENGINEERING

|   |      |
|---|------|
| <a href="#">Link to Grading Permit</a> <a href="#">Link to Pool Permit</a> <a href="#">Link to Curb Curt Permit</a> <a href="#">Link Culvert Installation</a> |      |
| Development Engineering does not object to Minor Variance A010/24   |      |
| <b>Development Engineering Recommended Conditions of Approval:</b>  | None |

## PARKS, FORESTRY & HORTICULTURE (PFH)

|  |      |
|--|------|
| No comments received to date.                  |      |
| <b>PFH Recommended Conditions of Approval:</b> | None |

## DEVELOPMENT FINANCE

|  |      |
|--|------|
| No comment no concerns.  |      |
| <b>Development Finance Recommended Conditions of Approval:</b> | None |

## BY-LAW AND COMPLIANCE, LICENSING AND PERMIT SERVICES

|  |      |
|--|------|
| No comments received to date.                    |      |
| <b>BCLPS Recommended Conditions of Approval:</b> | None |

### BUILDING INSPECTION (SEPTIC)

No comments received to date.

**Building Inspection Recommended Conditions of Approval:**

None

### FIRE DEPARTMENT

No comments received to date.

**Fire Department Recommended Conditions of Approval:**

None

### RECOMMENDED CONDITIONS OF APPROVAL SUMMARY

Should the Committee find it appropriate to approve this application in accordance with request and the sketch submitted with the application, as required by Ontario Regulation 200/96, the following conditions have been recommended:

| # | DEPARTMENT / AGENCY | CONDITION |
|---|---------------------|-----------|
|   | None                |           |

*All conditions of approval, unless otherwise stated, are considered to be incorporated into the approval "if required". If a condition is no longer required after an approval is final and binding, the condition may be waived by the respective department or agency requesting conditional approval. A condition cannot be waived without written consent from the respective department or agency.*

### IMPORTANT INFORMATION

**CONDITIONS:** It is the responsibility of the owner/applicant and/or authorized agent to obtain and provide a clearance letter from respective department and/or agency (**see condition chart above for contact**). This letter must be provided to the Secretary-Treasurer to be finalized. All conditions must be cleared prior to the issuance of a Building Permit.

**APPROVALS:** Making any changes to your proposal after a decision has been made may impact the validity of the Committee's decision.

An approval obtained from the Committee of Adjustment, where applicable, is tied to the building envelope shown on the plans and drawings submitted with the application and subject to the variance approval.

A building envelope is defined by the setbacks of the buildings and/or structures shown on the plans and drawings submitted with the application, as required by Ontario Regulation 200/96. Future development outside of an approved building envelope, where a minor variance was obtained, must comply with the provisions of the City's Zoning By-law.

Elevation drawings are provided to reflect the style of roof (i.e. flat, mansard, gable etc.) to which a building height variance has been applied. Where a height variance is approved, building height is applied to the style of roof (as defined in the City's Zoning By-law) shown on the elevation plans submitted with the application.

Architectural design features that are not regulated by the City's Zoning By-law are not to be considered part of an approval unless specified in the Committee's decision.

**DEVELOPMENT CHARGES:** That the payment of the Regional Development Charge, if required, is payable to the City of Vaughan before issuance of a building permit in accordance with the Development Charges Act and the Regional Development Charges By-law in effect at the time of payment.

That the payment of the City Development Charge, if required, is payable to the City of Vaughan before issuance of a building permit in accordance with the Development Charges Act and the City's Development Charges By-law in effect at the time of payment.

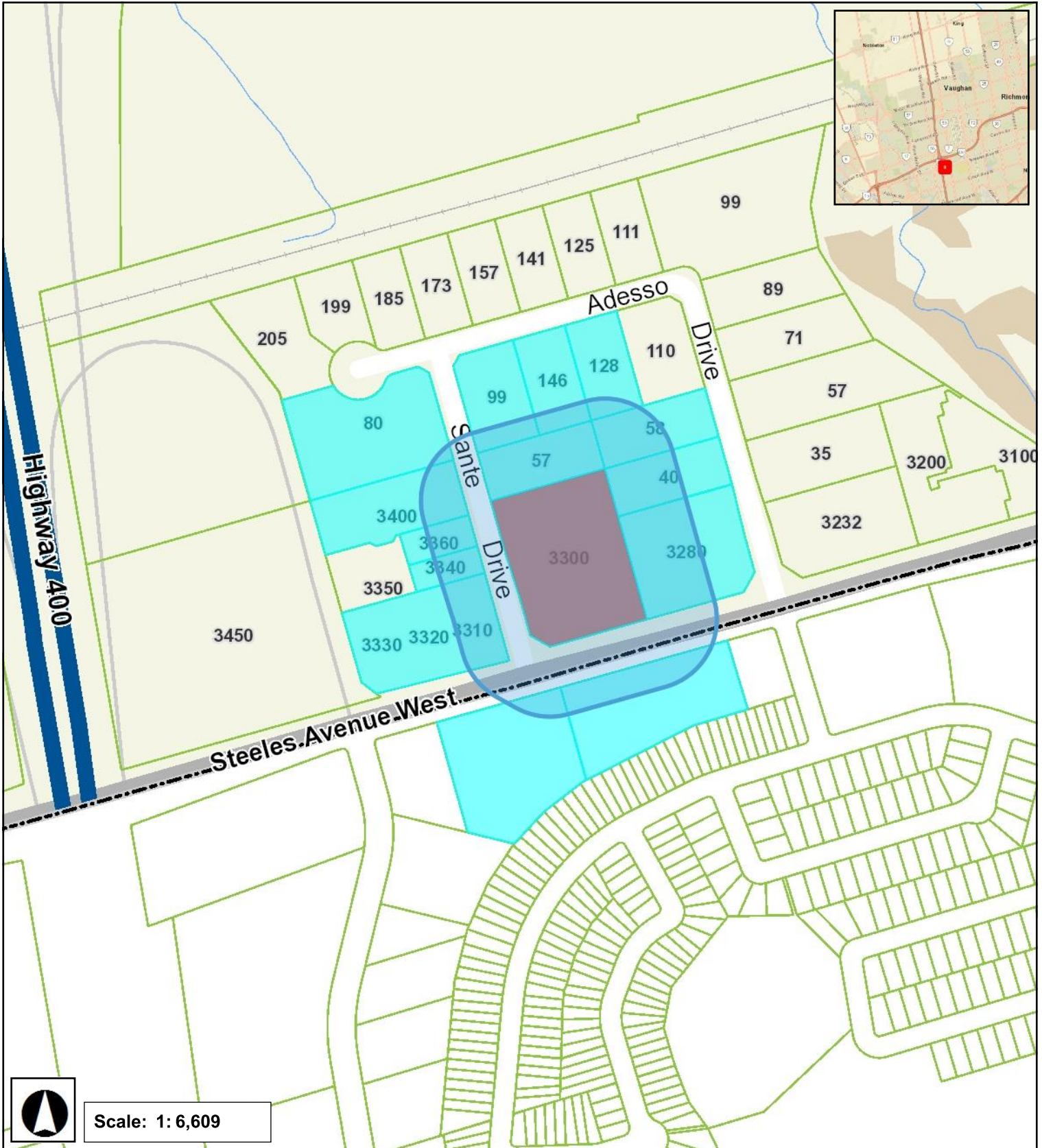
That the payment of the Education Development Charge if required, is payable to the City of Vaughan before issuance of a building permit in accordance with the Development Charges Act and the Boards of Education By-laws in effect at the time of payment

That the payment of Special Area Development charge, if required, is payable to the City of Vaughan before issuance of a building permit in accordance with the Development Charges Act and The City's Development Charge By-law in effect at the time of Building permit issuance to the satisfaction of the Reserves/Capital Department.

**NOTICE OF DECISION:** If you wish to be notified of the decision in respect to this application or a related Ontario Land Tribunal (OLT) hearing you must complete a Request for Decision form and submit to the Secretary Treasurer (ask staff for details). In the absence of a written request to be notified of the Committee's decision you will **not** receive notice.

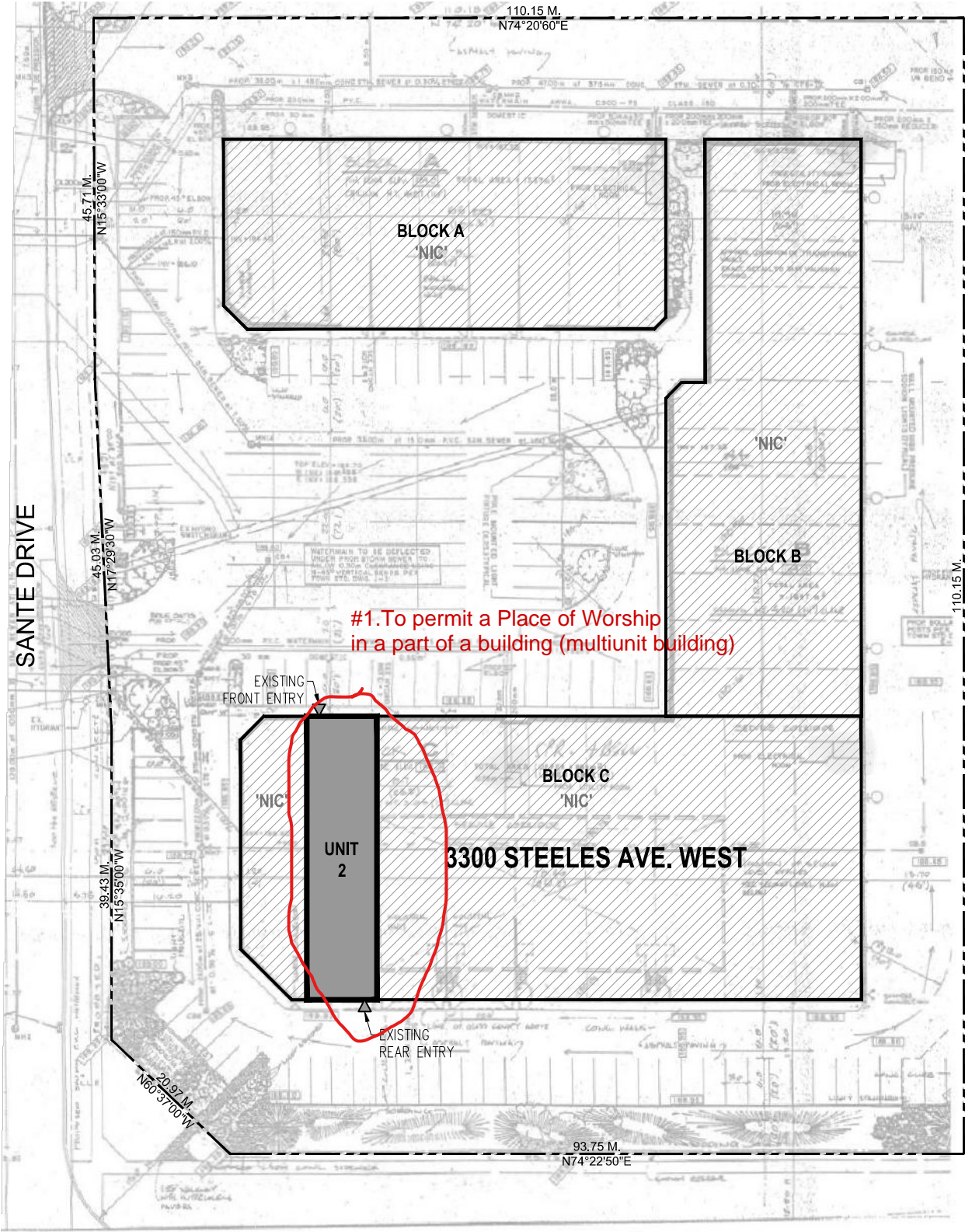
**SCHEDULE A: DRAWINGS & PLANS**

3300 STEELES AVENUE WEST, UNIT 2



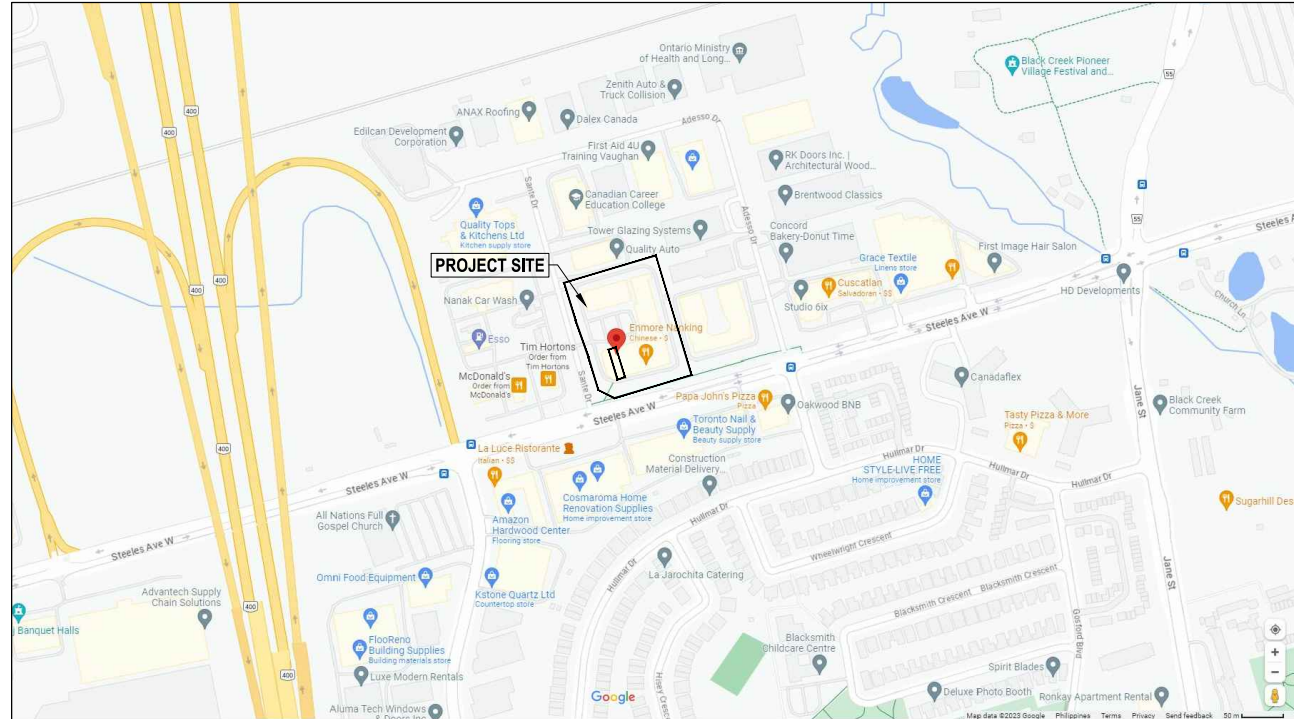
# PROPOSED TOILET RENOVATION

MAPLE BAPTIST CHURCH  
UNIT 2, 3300 STEELES AVE. WEST, CONCORD, ON, CANADA



SEE SURVEY BY OLS FOR VERIFICATION  
SURVEY INFORMATION TAKEN FROM PLAN OF SURVEY  
OF ALL OF LOTS 25 AND 26  
REGISTERED PLAN 65M-2172  
TOWNSHIP OF VAUGHAN, MUNICIPALITY OF YORK  
PREPARED BY: R.I. BURTON - ONTARIO LAND SURVEYOR  
DATED: JUNE 25, 1986

**RECEIVED**  
By Prabhdeep Kaur at 1:04 pm, Apr 25, 2024



VICINITY MAP

Reset Print

**VAUGHAN** Building Standards The City of Vaughan 2143 Major Mackenzie Drive Vaughan, Ontario, Canada L6A 3T1 Tel: (905) 832-2281

Permit No. [ ]

**Plumbing Data Form - Industrial/Commercial/Apartment Buildings**  
(must be completed by the permit applicant and must accompany a building application form)

**Project Location**  
Street No. 3300 Street STEELES AVENUE WEST Unit No. 2

| FIXTURES: Specify No. of Fixtures per floor                                      | No. of fixtures/Floor |     |     |     | BUILDING DRAINS/SEWERS |  |     |     |     |     |       |
|--|-----------------------|-----|-----|-----|------------------------|--|-----|-----|-----|-----|-------|
|  | Bst.                  | 1st | 2nd | 3rd | PH                     | Specify diameter in (mm) (Layer 300mm) |     |     |     |     |       |
|  |                       |     |     |     |                        | 100                                    | 150 | 200 | 250 | 300 | >300* |
| For multi-story buildings with repetitive floors, specify which floor is typical |                       |     |     |     |                        |  |     |     |     |     |       |
| Drawing No.  |                       |     |     |     |                        |  |     |     |     |     |       |
| Bar Sinks  |                       |     |     |     |                        |  |     |     |     |     |       |
| Bathrooms  |                       |     |     |     |                        |  |     |     |     |     |       |
| Showers  |                       |     |     |     |                        |  |     |     |     |     |       |
| Bidets   |                       |     |     |     |                        |  |     |     |     |     |       |
| Wash Basins  | 3                     |     |     |     |                        |  |     |     |     |     |       |
| Kitchen Sinks  | 1                     |     |     |     |                        |  |     |     |     |     |       |
| Laundry Tubs   |                       |     |     |     |                        |  |     |     |     |     |       |
| W.C. (Toilets)   | 4                     |     |     |     |                        |  |     |     |     |     |       |
| Floor Drains   | 3                     |     |     |     |                        |  |     |     |     |     |       |
| Backflow Preventors  |                       |     |     |     |                        |  |     |     |     |     |       |
| Drinking Fountains   |                       |     |     |     |                        |  |     |     |     |     |       |
| Service Sinks  |                       |     |     |     |                        |  |     |     |     |     |       |
| Urinals  | 1                     |     |     |     |                        |  |     |     |     |     |       |
| Indirect Wastes  |                       |     |     |     |                        |  |     |     |     |     |       |
| Roof Drains  |                       |     |     |     |                        |  |     |     |     |     |       |
| Grease Oil Interceptor   |                       |     |     |     |                        |  |     |     |     |     |       |
| No. of Hydrants  |                       |     |     |     |                        |  |     |     |     |     |       |
| No. of Slamese Connections   |                       |     |     |     |                        |  |     |     |     |     |       |
| Other 1**  |                       |     |     |     |                        |  |     |     |     |     |       |
| Other 2**  |                       |     |     |     |                        |  |     |     |     |     |       |
| Other 3**  |                       |     |     |     |                        |  |     |     |     |     |       |

Applicant Name [ ] Applicant Signature [ ] Date [ ]

PLUMBING DATA FORM

THE ONTARIO BUILDING CODE | PLUMBING FIXTURES FOR ASSEMBLY OCCUPANCIES

3.7.4.3. Plumbing Fixtures for Assembly Occupancies  
(1) Except as provided by Sentences (2) to (16) and Sentence 3.7.4.2.(9), the number of water closets required for assembly occupancies shall conform to Table 3.7.4.3.A.

Table 3.7.4.3.A.  
water Closets for Assembly Occupancies  
Forming Part of Sentence 3.7.4.3.(1)

| Item | Column 1<br>Number of Persons of Each Sex | Column 2<br>Minimum Number of water Closets for Males | Column 3<br>Minimum Number of water Closets for Females |
|------|---|---|---|
| 1.   | 1 - 25                                    | 1   | 1   |
| 2.   | 26 - 50                                   | 1   | 2   |
| 3.   | 51 - 75                                   | 2   | 3   |
| 4.   | 76 - 100                                  | 2   | 4   |
| 5.   | 101 - 125                                 | 3   | 5   |
| 6.   | 126 - 150                                 | 3   | 6   |
| 7.   | 151 - 175                                 | 4   | 7   |
| 8.   | 176 - 200                                 | 4   | 8   |

THE GENERAL CONTRACTOR SHALL CHECK, VERIFY DIMENSIONS ON SITE AND REPORT ERRORS AND OMISSIONS. DRAWINGS MUST NOT BE SCALED. DRAWINGS ARE DIAGRAMMATIC CONCEPTS OF THE DESIGN. CONTRACTOR TO SUBMIT SHOP DRAWINGS FOR CONSISTENCY WITH THE INTENT OF THE DRAWINGS AND SPECIFICATIONS.

| NO | DATE       | ISSUE                      |
|----|------------|----------------------------|
| 1  | 2023.05.03 | ISSUED FOR BUILDING PERMIT |

DESIGNER:  
**LCMA ENGINEERING**  
LCMA Engineering  
138 Homestead Rd., Unit 11, Toronto, ON M1E 3S2  
T: (647) 885 4480 E: lcma\_eng@yahoo.com  
LCMA ENGINEERING SHALL NOT BE RESPONSIBLE FOR ANY ACT OF OMISSION BY THE CONTRACTOR, SUB-CONTRACTOR, OR ANY OTHER PERSON PERFORMING THE STRUCTURAL WORKS OR FOR THE FAILURE OF ANY OF THEM TO CARRY OUT THE WORKS IN ACCORDANCE WITH THE CONTRACT DOCUMENTS, MATERIALS INSTALLATION GUIDELINES, AND SPECIFICATIONS.  
ALL DRAWINGS AND RELATED DOCUMENTS SHALL NOT BE REPRODUCED IN WHOLE OR IN A PART WITHOUT WRITTEN PERMISSION FROM THE ENGINEER.  
ALL DISCREPANCIES AND INTERFERENCES TO BE REPORTED TO THE ENGINEER.  
ALL WORK SHALL BE PERFORMED IN ACCORDANCE WITH THE LATEST EDITION OF THE ONTARIO BUILDING CODE, NATIONAL BUILDING CODE, AND REGULATORY PROVISIONS OF THE TOWNSHIP WHERE THE BUILDING IS LOCATED.  
DO NOT SCALE DRAWINGS.

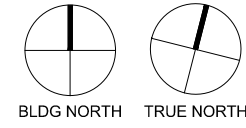


PROJECT TITLE:  
PROPOSED TOILET RENOVATION OF MAPLE BAPTIST CHURCH

UNIT2, 3300 STEELES AVENUE WEST, CONCORD, ON, CANADA


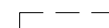

DRAWING TITLE :  
SITE PLAN VICINITY MAP

DRAWN BY: DA / AD DRAWING NO. A1.0  
CHECKED BY: AD  
SCALE: As shown  
DATE: 2023 APRIL  
PROJECT NO. 00000



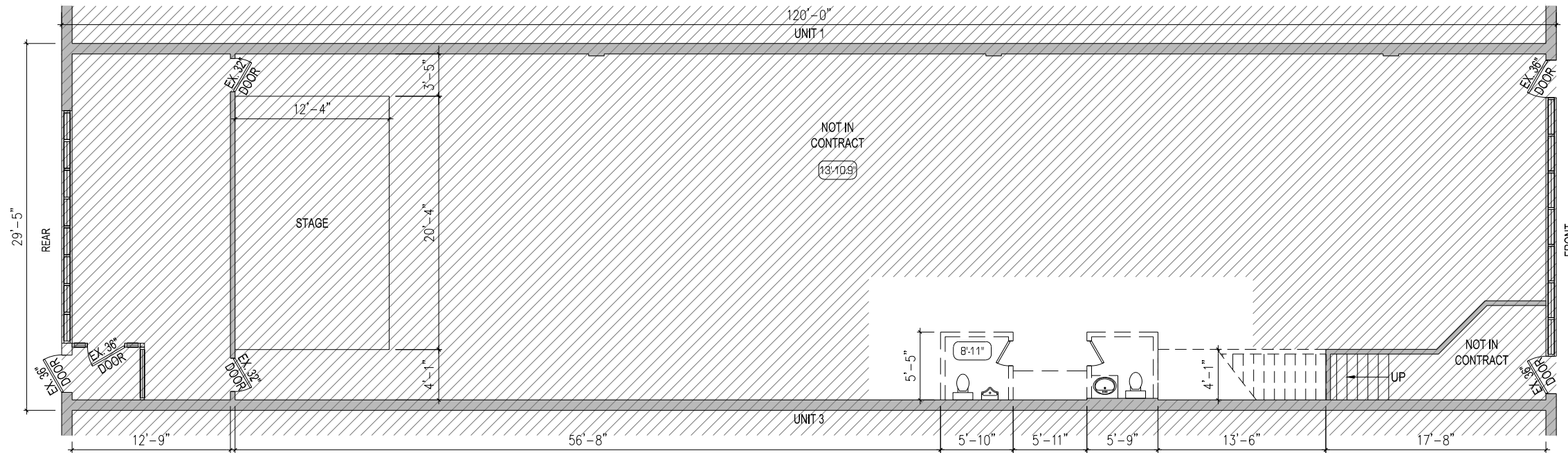
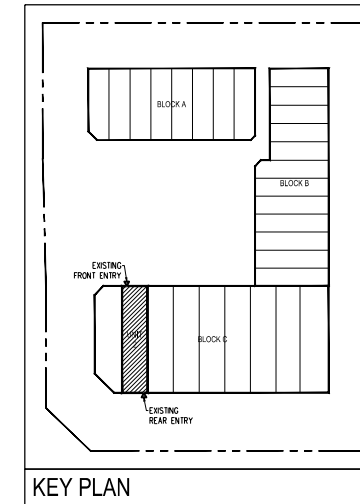
All drawings/specifications related documents and design are the copyright property of Domus Opus Studio (DOS). Reproduction of this property in whole or in part is strictly prohibited without DOS's written permission. DOS assumes no responsibility or liability for this property unless it bears the appropriate license number/s and signature.

**BUILDING LEGEND :**

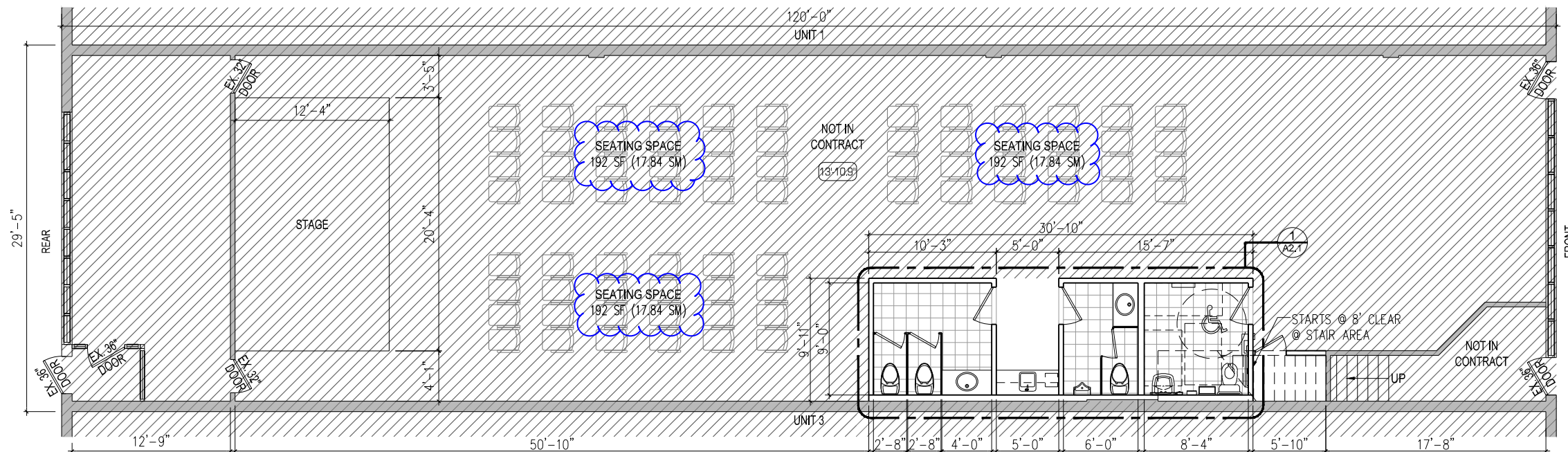
-  EXISTING WALL / ELEMENTS TO REMAIN
-  WALL / ELEMENTS TO BE REMOVE
-  NEW WALL / ELEMENTS

**DEMOLITION NOTES**

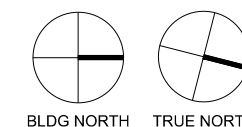
1. SEE ALL ARCHITECTURAL DRAWINGS FOR OTHER APPLICABLE NOTES AND SPECIFICATIONS.
2. DEMOLITION SHALL BE DONE IN NEAT WORKMANLIKE MANNER WITHIN THE LIMITS INDICATED IN THE DRAWINGS AND IN ALL CASES TO THE EXTENT NEEDED TO PRODUCE THE INTENDED WORK.
3. DEBRIS REMOVAL: THE CONTRACTOR IS RESPONSIBLE FOR DEMOLITION AND REMOVAL OF ALL DEBRIS AND DISCARDED MATERIALS AND/OR EQUIPMENT AS INDICATED WITHIN THE SPACE.
  - (A) THE CONTRACTOR IS RESPONSIBLE FOR REMOVAL OF MATERIALS FROM THE BUILDING PREMISES ON A DAILY BASIS. DO NOT MIX DEMOLITION DEBRIS WITH THAT OF BUILDING OCCUPANTS.
  - (B) THE CONTRACTOR IS TO IMMEDIATELY CLEAN AND REMOVE ALL DEBRIS FROM ANY PUBLIC WAY AFTER DEMOLITION OPERATION AND BEFORE COMMENCEMENT OF THE NORMAL WORK DAY. (C) REMOVAL TO BE DONE ON OVERTIME. REFER TO BUILDING DEPARTMENT RULES AND REGULATIONS.
4. PROTECTION:
  - (A) THE CONTRACTOR IS TO CONFIRM BEFORE THE START OF DEMOLITION WHICH ITEMS ARE TO BE SAVED FROM DEMOLITION. THE CLIENT TO DIRECT CONTRACTOR TO EITHER PROTECT THESE ITEMS OR REMOVE TO STORAGE.
  - (B) THE CONTRACTOR IS TO CONFIRM WITH THE CLIENT BEFORE THE START OF DEMOLITION WHICH ITEMS INDICATED ON THE DRAWINGS ARE DEEMED TO BE NOT REQUIRED BY THE CLIENT AND ARE TO BE REMOVED FROM THE SITE.
  - (C) THE CONTRACTOR IS RESPONSIBLE TO PROTECT ALL EXISTING ITEMS TO REMAIN (I.E. PLUMBING LINES/FIXTURES, WINDOWS, ETC.) THROUGHOUT THE COURSE OF DEMOLITION AND CONSTRUCTION.
  - (D) THE CONTRACTOR MUST PROVIDE ALL REQUIRED PROTECTION TO ALL SURROUNDING AREAS THROUGHOUT THE COURSE OF DEMOLITION AND CONSTRUCTION. THERE IS TO BE MINIMAL DUST INFILTRATION FROM THE CONSTRUCTION AREAS AND THE PUBLIC WAY.
5. REPAIR/DAMAGES: THE CONTRACTOR IS RESPONSIBLE TO REPAIR AND/OR REPLACE ANY DAMAGES IN THE SURROUNDING AREAS AND IN THE AREA OF WORK CAUSED BY DEMOLITION AND CONSTRUCTION PERFORMED IN THE AREA OF WORK.



**1** EXISTING AND DEMOLITION GROUND FLOOR PLAN  
SCALE 3/32" = 1'-0"



**2** PROPOSED GROUND FLOOR PLAN  
SCALE 3/32" = 1'-0"



THE GENERAL CONTRACTOR SHALL CHECK, VERIFY DIMENSIONS ON SITE AND REPORT ERRORS AND OMISSIONS. DRAWINGS MUST NOT BE SCALED. DRAWINGS ARE DIAGRAMMATIC CONCEPTS OF THE DESIGN. CONTRACTOR TO SUBMIT SHOP DRAWINGS FOR CONSISTENCY WITH THE INTENT OF THE DRAWINGS AND SPECIFICATIONS.

| NO | DATE       | ISSUE                      |
|----|------------|----------------------------|
| 1  | 2023.05.03 | ISSUED FOR BUILDING PERMIT |

DESIGNER:



**LCMA Engineering**  
138 Homestead Rd., Unit 11, Toronto, ON M1E 3S2  
T: (647) 885 4480 E: lcma\_engg@yahoo.com  
LCMA ENGINEERING SHALL NOT BE RESPONSIBLE FOR ANY ACT OF OMISSION BY THE CONTRACTOR, SUB-CONTRACTOR, OR ANY OTHER PERSON PERFORMING THE STRUCTURAL WORKS OR FOR THE FAILURE OF ANY OF THEM TO CARRY OUT THE WORKS IN ACCORDANCE WITH THE CONTRACT DOCUMENTS, MATERIALS INSTALLATION GUIDELINES, AND SPECIFICATIONS.  
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ALL DISCREPANCIES AND INTERFERENCES TO BE REPORTED TO THE ENGINEER.  
ALL WORK SHALL BE PERFORMED IN ACCORDANCE WITH THE LATEST EDITION OF THE ONTARIO BUILDING CODE, NATIONAL BUILDING CODE, AND REGULATORY PROVISIONS OF THE TOWNSHIP WHERE THE BUILDING IS LOCATED.  
DO NOT SCALE DRAWINGS.



PROJECT TITLE:  
**PROPOSED TOILET RENOVATION OF MAPLE BAPTIST CHURCH**

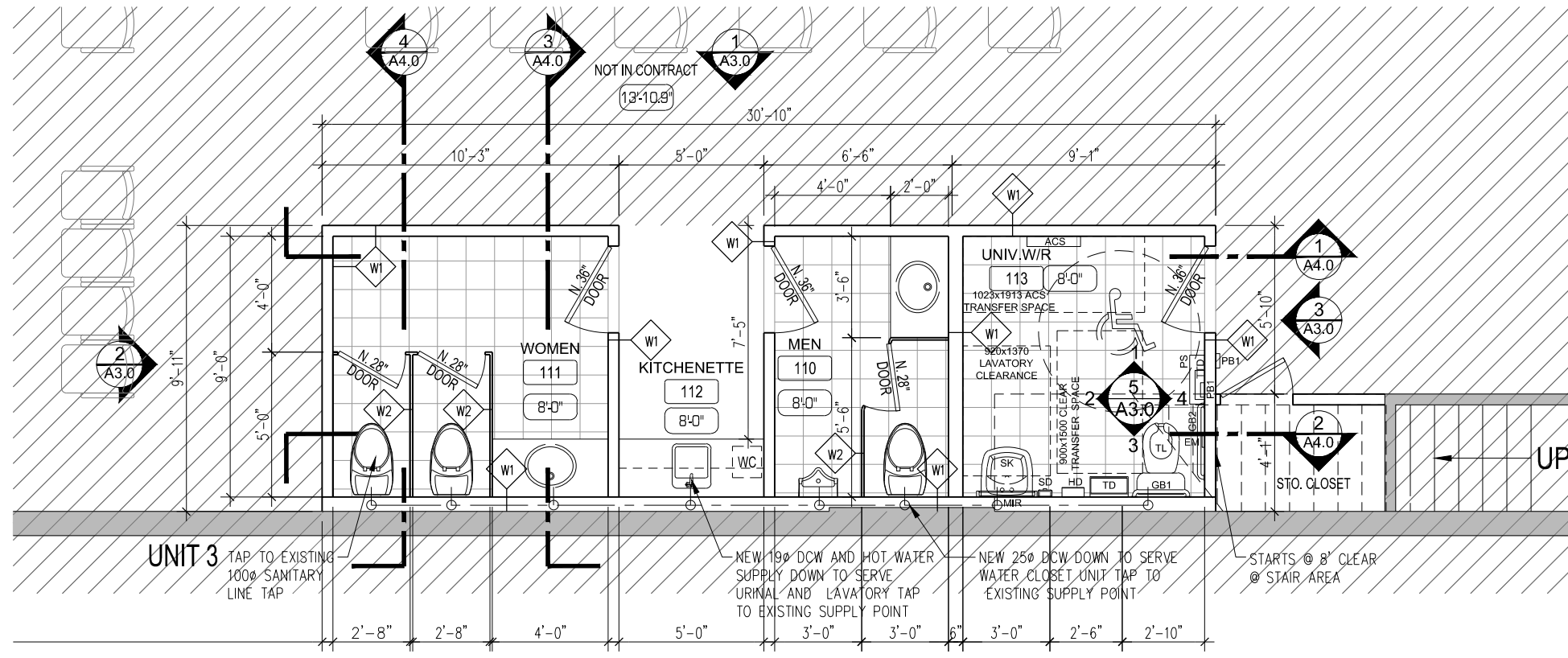
UNIT2, 3300 STEELES AVENUE WEST, CONCORD, ON, CANADA

DRAWING TITLE :  
**EXISTING AND DEMOLITION GROUND FLOOR PLAN  
PROPOSED GROUND FLOOR PLAN**

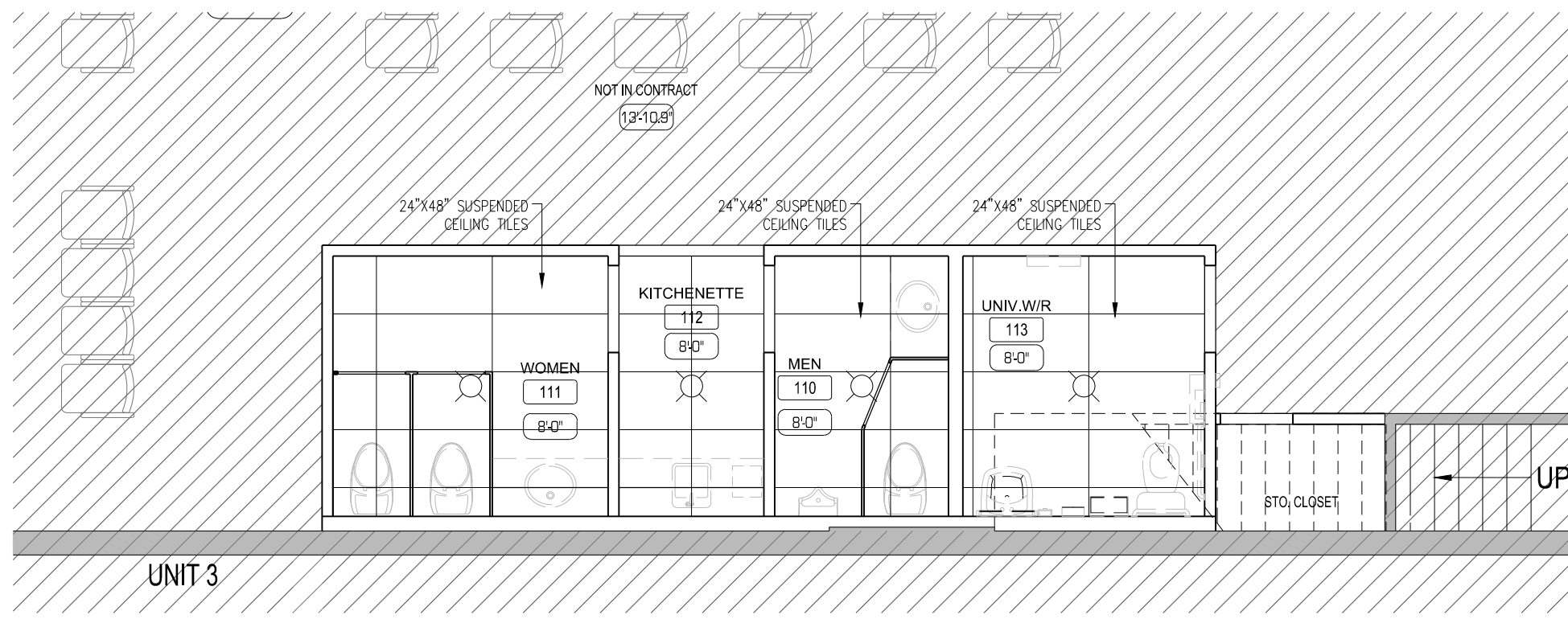
|                      |             |
|----------------------|-------------|
| DRAWN BY:<br>DA / AD | DRAWING NO. |
| CHECKED BY:<br>AD    | <b>A2.0</b> |
| SCALE:<br>As shown   | REV. NO. :  |
| DATE:<br>2023 APRIL  |             |
| PROJECT NO. 00000    |             |

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**1** PROPOSED ENLARGED TOILET FLOOR PLAN  
SCALE 3/16" = 1'-0"



**2** PROPOSED ENLARGED TOILET REFLECTED CEILING PLAN  
SCALE 3/16" = 1'-0"

**W1** 4 1/2" **GYPSON BOARD PARTITION**  
13mm GYPSUM BOARD  
92mm METAL STUDS @ 400mm O.C.  
SEMI-RIGID SOUND ATTENUATION BLANKET  
13mm GYPSUM BOARD  
(WATER RESISTIVE GYP. BOARD ON W/R SIDE)

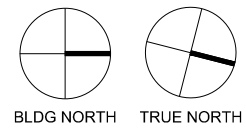
**W2** **TOILET STALLS PARTITION**  
1" DEMOUNTABLE PARTITION SYSTEM

- WASHROOM ACCESSORIES**
- BCS WALL HUNG VERTICAL DESIGN BABY CHANGING STATION BY KOALA CORPORATION. GENERAL CONTRACTOR TO PROVIDE PLYWOOD BACKUP WITH BLOCKING IN AREA BEHIND UNIT.
  - ACS CT 4100 ADULT-SIZE CHANGE TABLE BY PRESSALIT. ELECTRICALLY FOLDABLE & HEIGHT ADJUSTABLE. GENERAL CONTRACTOR TO PROVIDE PLYWOOD BACKUP WITH BLOCKING IN AREA BEHIND UNIT.
  - CH COAT HOOK: BOBRICK #B-983
  - GB1 GRAB BAR: 600mm x 32mm PEENED STAINLESS STEEL GRAB BAR CONCEALED MOUNT.
  - GB2 GRAB BAR: SEE TABLE BELOW FOR GRAB BAR DIMENSIONS. PEENED STAINLESS STEEL GRAB BAR CONCEALED MOUNT.
  - MIR TILT MIRROR W/ STAINLESS STEEL FRAME: BOBRICK #B-293 2436
  - SD AUTOMATIC DOOR PUSH BUTTON: MOUNTED AT 1100 AFF, SEE A2 FOR INFO
  - SB SOAP DISPENSER: FROST #707 FASTEN W/ ADHESIVE PADS - 3M #4920
  - TD RECESSED TOWEL DISPENSER AND WASTE RECEPTACLE: FROST #422-A
  - TTD SURFACE MOUNTED TOILET TISSUE DISPENSER: FROST #168
  - EM EMERGENCY CALL SYSTEM: AUDIBLE AND VISUAL SIGNAL DEVICES INSIDE AND OUTSIDE OF THE WASHROOM THAT ARE ACTIVATED BY A CONTROL DEVICE INSIDE THE WASHROOM. REFER TO ELECTRICAL ENGINEER'S DRAWINGS FOR MORE INFO (ONTARIO ONLY)
  - HD HAND DRYER: DYSON AIR BLADE V AB12, WALL MOUNTED, FINISH: SPRAYED NICKEL
  - TL TOILET: AMERICAN STANDARD, MADERA FLOWISE #2467.016
  - SK LAVATORY: WALL MOUNTED LAVATORY, .AMERICAN STANDARD, MURRO #0954.004EC.020, COLOUR: WHITE

- NOTE:**
- PROVIDE ADEQUATE BRACING AND BLOCKING AS REQUIRED FOR ACCESSORIES (BABY CHANGE TABLE, ADULT-SIZE CHANGE TABLE, ETC) AND PLUMBING FIXTURES.
  - FOR TILE LAYOUT AND LEGEND, REFER TO THIS PAGE.

- GENERAL ELECTRICAL NOTES:**
- CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTAINING/REINSTATING EXISTING INTEGRITY FOR ALL PENETRATIONS THROUGH EXTERIOR/DEMISING WALLS (IE. FIRE-RATING, FIRE-STOPPING, INSULATION, SMOKE SEALS, ETC.)
  - ALL WORK MUST CONFORM TO THE ONTARIO BUILDING CODE AND TO THE SATISFACTION OF LOCAL INSPECTION AUTHORITY.
  - CONTRACTOR TO SUBMIT ESA REPORT TO ENGINEER FOR REVIEW.

| LEGEND |                             |
|--------|-----------------------------|
|        | LED POT LIGHT @ 8'0" HEIGHT |



THE GENERAL CONTRACTOR SHALL CHECK, VERIFY DIMENSIONS ON SITE AND REPORT ERRORS AND OMISSIONS. DRAWINGS MUST NOT BE SCALED. DRAWINGS ARE DIAGRAMMATIC CONCEPTS OF THE DESIGN. CONTRACTOR TO SUBMIT SHOP DRAWINGS FOR CONSISTENCY WITH THE INTENT OF THE DRAWINGS AND SPECIFICATIONS.

| NO | DATE       | ISSUE                      |
|----|------------|----------------------------|
| 1  | 2023.05.03 | ISSUED FOR BUILDING PERMIT |

DESIGNER:  
  
**LCMA Engineering**  
138 Homestead Rd., Unit 11, Toronto, ON M1E 3S2  
T: (647) 885 4480 E: lcma\_engg@yahoo.com  
LCMA ENGINEERING SHALL NOT BE RESPONSIBLE FOR ANY ACT OF OMISSION BY THE CONTRACTOR, SUB-CONTRACTOR, OR ANY OTHER PERSON PERFORMING THE STRUCTURAL WORKS OR FOR THE FAILURE OF ANY OF THEM TO CARRY OUT THE WORKS IN ACCORDANCE WITH THE CONTRACT DOCUMENTS, MATERIALS INSTALLATION GUIDELINES, AND SPECIFICATIONS.  
ALL DRAWINGS AND RELATED DOCUMENTS SHALL NOT BE REPRODUCED IN WHOLE OR IN A PART WITHOUT WRITTEN PERMISSION FROM THE ENGINEER.  
ALL DISCREPANCIES AND INTERFERENCES TO BE REPORTED TO THE ENGINEER.  
ALL WORK SHALL BE PERFORMED IN ACCORDANCE WITH THE LATEST EDITION OF THE ONTARIO BUILDING CODE, NATIONAL BUILDING CODE, AND REGULATORY PROVISIONS OF THE TOWNSHIP WHERE THE BUILDING IS LOCATED.  
DO NOT SCALE DRAWINGS.



PROJECT TITLE:  
**PROPOSED TOILET RENOVATION OF MAPLE BAPTIST CHURCH**

UNIT2, 3300 STEELES AVENUE WEST, CONCORD, ON, CANADA

DRAWING TITLE:  
**PROPOSED ENLARGED TOILET FLOOR PLAN AND REFLECTED CEILING PLAN**







|                      |             |
|----------------------|-------------|
| DRAWN BY:<br>DA / AD | DRAWING NO. |
| CHECKED BY:<br>AD    | <b>A2.1</b> |
| SCALE:<br>As shown   |             |
| DATE:<br>2023 APRIL  | REV. NO. :  |
| PROJECT NO. 00000    |             |

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# 3300 Steeles Avenue West

Map showing the Parking Spaces and Current Businesses in the Plaza

## Legend

-  3300 Steeles Avenue West
-  Unit Number of Business on Ground Floor
-  Location of Maple Baptist Church
-  Unit Number of Business on Second Floor
-  Approximate location of Demising Walls / Property Line
-  Available Parking Spaces in the Plaza



| Unit Number | Name of Company   | Nature of Business             |
|-------------|---|--------------------------------|
| 1           | Bombae Socialhouse  | Restaurant / Bar               |
| 2           | Maple Baptist Church                                      | Charitable Organization        |
| 3 & 5       | Grudeff, Berg Barristers & Solicitors                     | Law Office                     |
| 7           | Primerica   | Insurance & Financial Services |
| 9           | Skyhomes Corporation                                      | General Contractor             |
| 11B         | Vacant  | N/A                            |
| 4           | Corazza Palummo Chartered Accountants                     | Accounting Firm                |
| 6           | Dentin Family Dentistry                                   | Dental Clinic                  |
| 8           | Manilo Kitchen & Bath Supply                              | Bathroom Supply Store          |
| 10          | Enmore Nanking Restaurant                                 | Restaurant                     |
| 11          | Bradfordstar African Foods                                | African Goods Store            |
| 12          | Polo Travel Ltd.  | Travel Agency                  |
| 13          | Tabangj Electronics                                       | Electronics Store              |
| 14          | Vacant  | N/A                            |
| 15          | Vacant  | N/A                            |
| 16          | Southern Atlantic Service Center                          | Appliance Repair Services      |
| 17          | Sherway Auto Center                                       | Used Car Dealer                |
| 18          | T&S Décor Drapery Inc                                     | Window Covering Specialist     |
| 19          | Europtics Inc   | Optician / Eyewear store       |
| 20          | EBM Glass & Mirror  | Glass & Mirror Shop            |
| 21          | Raul Liria Property Maintenance, Gardening & Snow Removal | Landscaping Company            |
| 22          | AI Car Auto Sales Inc.                                    | Used Car Dealer                |
| 23          | Alanna Photography  | Photographer                   |
| 24          | Vacant  | N/A                            |
| 25          | City Auto Service   | Auto Repair Shop               |
| 26          | Vacant  | N/A                            |
| 27, 28 & 29 | PSC Pressure Systems Company Inc                          | Pump Supplier                  |
| 30          | Vacant  | N/A                            |
| 31          | Trentino Club of Toronto                                  | Club / Non-Profit Organization |
| 32          | Conscious Counselling & Wellness                          | Registered Psychotherapist     |
| 33          | Taxi Media Solutions                                      | Advertising Services           |

Google Earth

Image Landsat / Copernicus







50 m



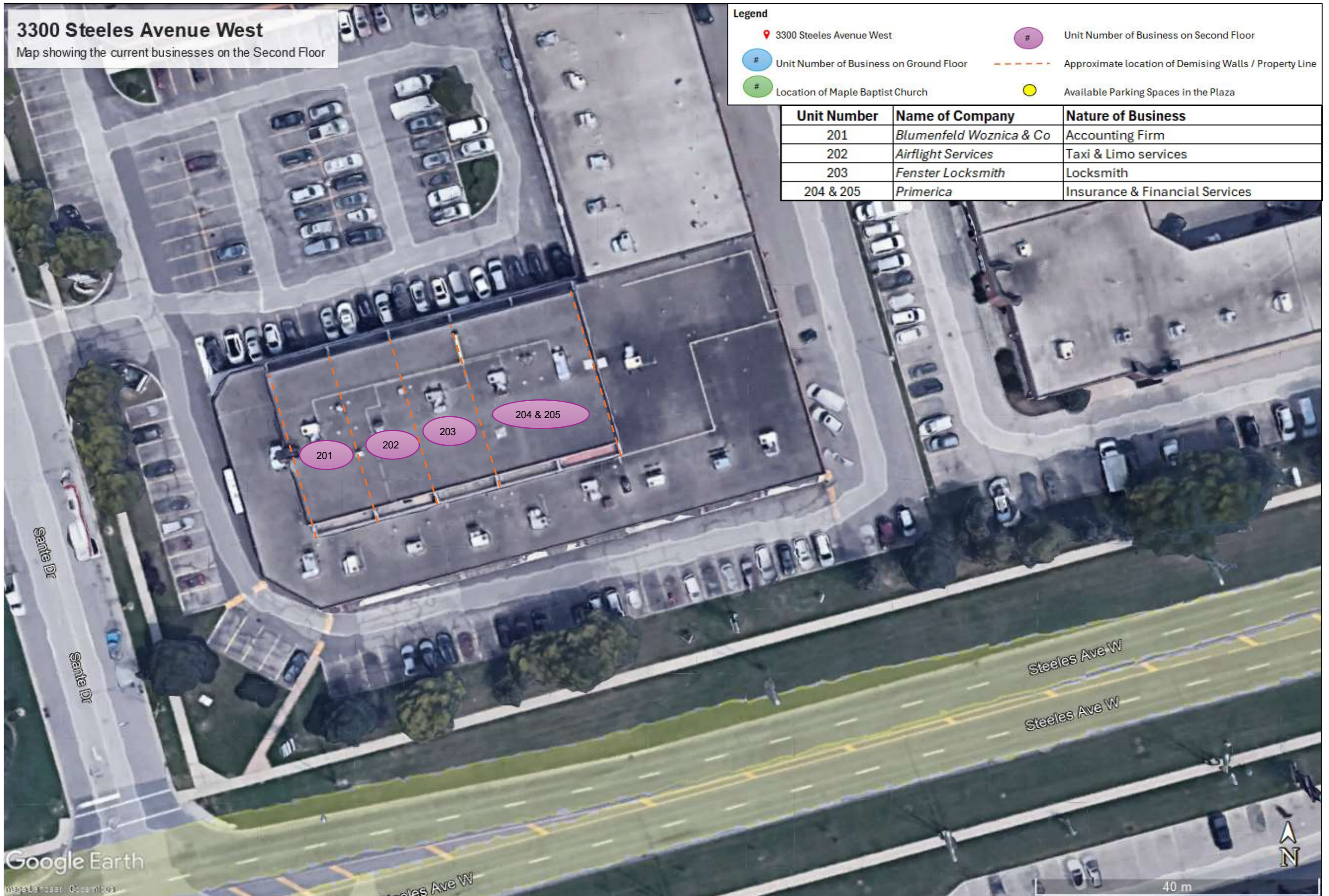
# 3300 Steeles Avenue West

Map showing the current businesses on the Second Floor

## Legend

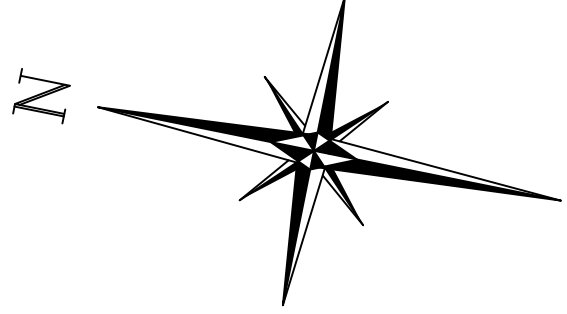
-  3300 Steeles Avenue West
-  Unit Number of Business on Ground Floor
-  Location of Maple Baptist Church
-  Unit Number of Business on Second Floor
-  Approximate location of Demising Walls / Property Line
-  Available Parking Spaces in the Plaza

| Unit Number | Name of Company         | Nature of Business             |
|-------------|-------------------------|--------------------------------|
| 201         | Blumenfeld Woznica & Co | Accounting Firm                |
| 202         | Airflight Services      | Taxi & Limo services           |
| 203         | Fenster Locksmith       | Locksmith                      |
| 204 & 205   | Primerica               | Insurance & Financial Services |



**SURVEYOR'S REAL PROPERTY REPORT**  
**PART OF LOT**  
**REGISTERED PLAN**  
**CITY OF VAUGHAN**

SCALE 1 : 300



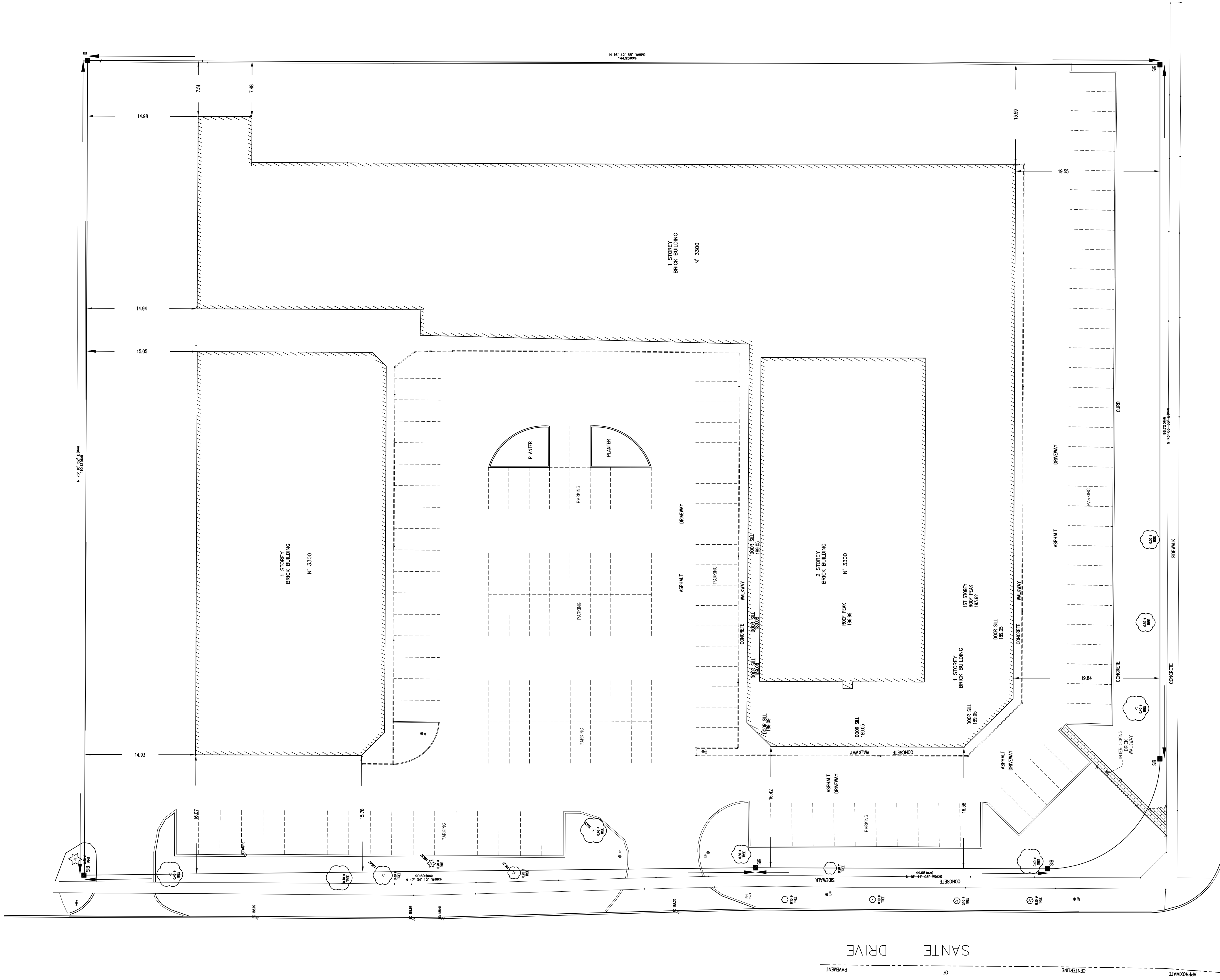
© COPYRIGHT 2022.  
 THE REPRODUCTION, ALTERATION, OR USE OF THIS REPORT,  
 IN WHOLE OR IN PART, WITHOUT THE EXPRESS PERMISSION  
 OF MAPLE BAPTIST CHURCH IS STRICTLY PROHIBITED.

**METRIC NOTE**  
 DIMENSIONS SHOWN ON THIS PLAN ARE IN METRES AND CAN BE  
 CONVERTED TO FEET BY DIVIDING BY 0.3048.

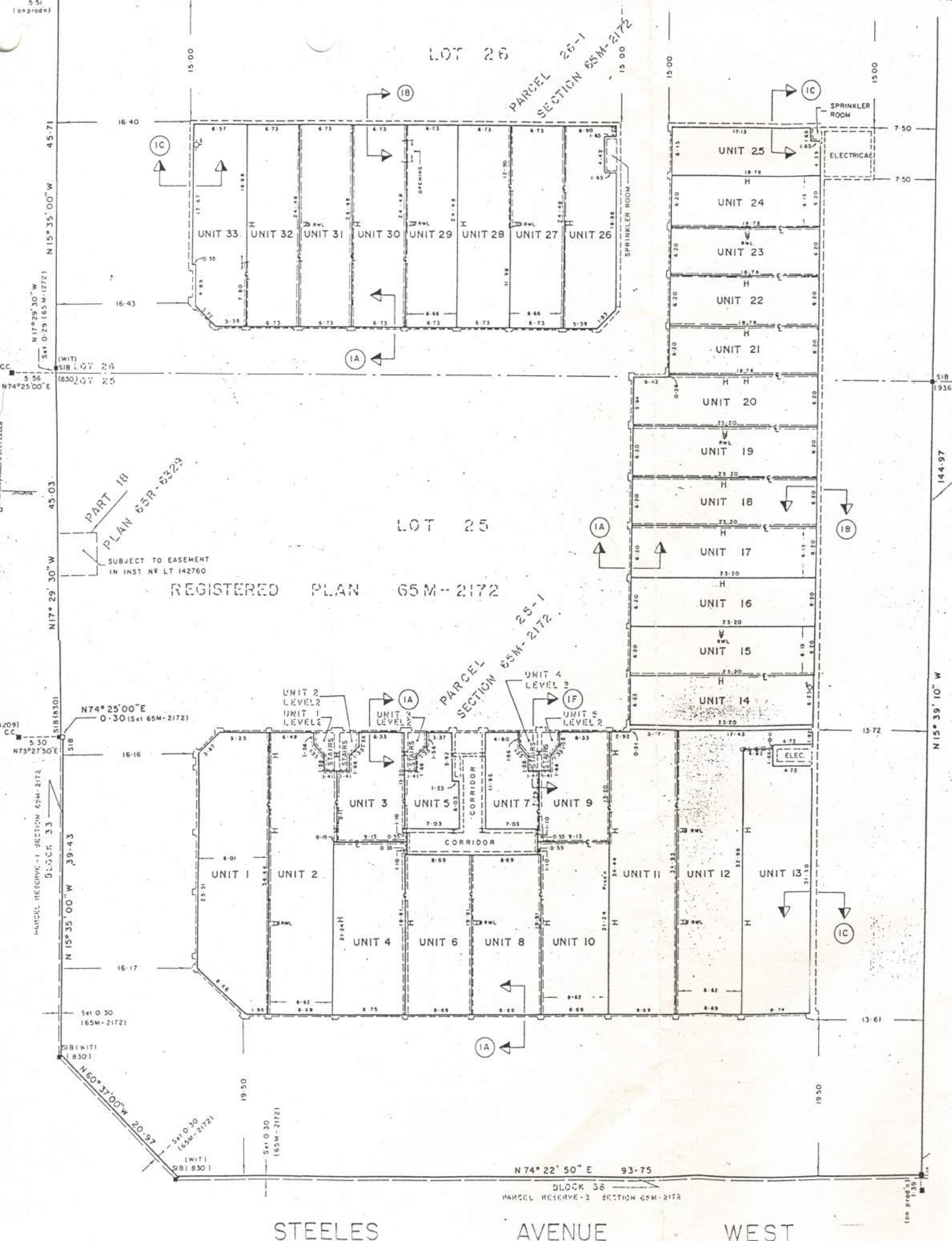
**NOTE** PLAN MUST BE READ IN CONJUNCTION WITH SURVEY  
 REPORT DATED JULY 24TH 2022  
 1. THIS PLAN AND REPORT WERE PREPARED FOR MAPLE  
 BAPTIST CHURCH AND THE UNDERSIGNED ACCEPTS  
 NO RESPONSIBILITY FOR USE BY OTHER PARTIES.

**BEARING NOTE**  
 BEARINGS ARE ASTROMOMIC AND ARE REFERRED TO THE  
 COMPASS POINT OF STEELES STREET HAVING A BEARING  
 OF N 1° 17' 00" W AS SHOWN

**LEGEND**  
 ■ MONUMENT FOUND  
 IB IRON BAR  
 SIB STANDARD IRON BAR



APPROXIMATE OF STEELES AVENUE OR PARKWAY



STEELES AVENUE WEST

GLOCK 38  
PARCEL RESERVE - 2 SECTION 65M-2172

(on prod'n)

**SCHEDULE B:  
COMMENTS FROM AGENCIES, BUILDING STANDARDS &  
DEVELOPMENT PLANNING**

| Department / Agency<br><small>*Comments Received</small> | Conditions Required          |  | Nature of Comments               |
|--|------------------------------|--|----------------------------------|
| Building Standards (Zoning) *See Schedule B              | Yes <input type="checkbox"/> | No <input checked="" type="checkbox"/> | General Comments                 |
| Development Planning                                     | Yes <input type="checkbox"/> | No <input checked="" type="checkbox"/> | Recommend Approval/No Conditions |

| External Agencies<br><small>*Comments Received</small> | Conditions Required          |  | Nature of Comments<br><small>*See Schedule B for full comments</small> |
|--|------------------------------|--|--|
| Alectra  | Yes <input type="checkbox"/> | No <input checked="" type="checkbox"/> | General Comments   |
| TRCA   | Yes <input type="checkbox"/> | No <input checked="" type="checkbox"/> | General Comments   |
| Region of York   | Yes <input type="checkbox"/> | No <input checked="" type="checkbox"/> | General Comments   |

**Date:** July 9<sup>th</sup> 2024

**Attention:** **Christine Vigneault**

**RE:**

**File No.:** **A010-24**

**Related Files:**

**Applicant** 3300 Steeles Avenue, YCC 576 (Null)

**Location** 110 Pine Valley Crescent



Discover the possibilities

### COMMENTS:

- We have reviewed the proposed Variance Application and have no comments or objections to its approval.
- We have reviewed the proposed Variance Application and have no objections to its approval, subject to the following comments (attached below).
- We have reviewed the proposed Variance Application and have the following concerns (attached below).

Alectra Utilities (formerly PowerStream) has received and reviewed the proposed Variance Application. This review, however, does not imply any approval of the project or plan.

All proposed billboards, signs, and other structures associated with the project or plan must maintain minimum clearances to the existing overhead or underground electrical distribution system as specified by the applicable standards, codes and acts referenced.

In the event that construction commences, and the clearance between any component of the work/structure and the adjacent existing overhead and underground electrical distribution system violates the Occupational Health and Safety Act, the customer will be responsible for 100% of the costs associated with Alectra making the work area safe. All construction work will be required to stop until the safe limits of approach can be established.

In the event construction is completed, and the clearance between the constructed structure and the adjacent existing overhead and underground electrical distribution system violates the any of applicable standards, acts or codes referenced, the customer will be responsible for 100% of Alectra's cost for any relocation work.

### References:

- Ontario Electrical Safety Code, latest edition (Clearance of Conductors from Buildings)
- Ontario Health and Safety Act, latest edition (Construction Protection)
- Ontario Building Code, latest edition (Clearance to Buildings)
- PowerStream (Construction Standard 03-1, 03-4), attached
- Canadian Standards Association, latest edition (Basic Clearances)

If more information is required, please contact either of the following:

Mr. Stephen Cranley, C.E.T  
Supervisor, Distribution Design, ICI & Layouts (North)  
**Phone:** 1-877-963-6900 ext. 31297

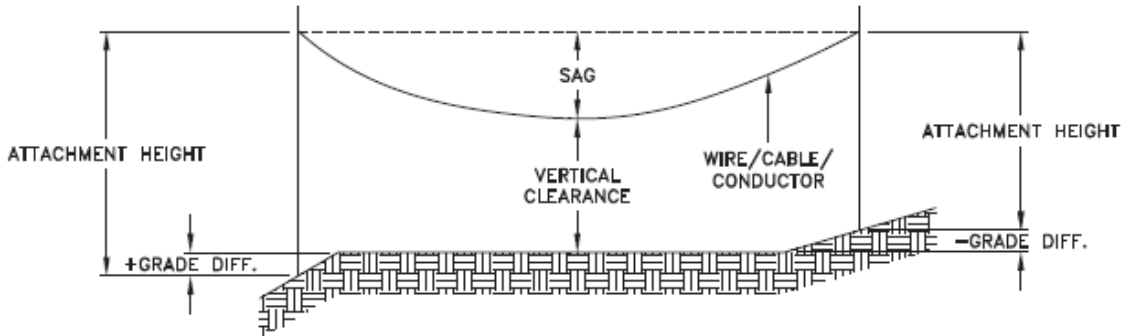
**E-mail:** [stephen.cranley@alectrautilities.com](mailto:stephen.cranley@alectrautilities.com)

Mitchell Penner  
Supervisor, Distribution Design-Subdivisions  
**Phone:** 416-302-6215

**Email:** [Mitchell.Penner@alectrautilities.com](mailto:Mitchell.Penner@alectrautilities.com)



| LOCATION OF WIRES, CABLES OR CONDUCTORS                                   | SYSTEM VOLTAGE                     |                        |                                      |       |
|---|------------------------------------|------------------------|--------------------------------------|-------|
|   | SPAN GUYS AND COMMUNICATIONS WIRES | UP TO 600V AND NEUTRAL | 4.16/2.4kV TO 27.6/16kV (SEE NOTE 1) | 44kV  |
| MINIMUM VERTICAL CLEARANCES (SEE NOTE 2)                                  |                                    |                        |                                      |       |
| OVER OR ALONGSIDE ROADS, DRIVEWAYS OR LANDS ACCESSIBLE TO <u>VEHICLES</u> | 442cm                              | 442cm                  | 480cm                                | 520cm |
| OVER GROUND ACCESSIBLE TO <u>PEDESTRIANS AND BICYCLES ONLY</u>            | 250cm                              | 310cm                  | 340cm                                | 370cm |
| ABOVE TOP OF RAIL AT <u>RAILWAY CROSSINGS</u>                             | 730cm                              | 730cm                  | 760cm                                | 810cm |



MINIMUM ATTACHMENT HEIGHT = MAXIMUM SAG  
 + MINIMUM VERTICAL CLEARANCE (FROM ABOVE TABLE)  
 ± GRADE DIFFERENCE  
 + 0.3m (VEHICLE OR RAILWAY LOCATION)  
 + SNOW DEPTH (PEDESTRIAN LOCATION, SEE NOTE 3)

**NOTES:**

1. THE MULTIGROUNDED SYSTEM NEUTRAL HAS THE SAME CLEARANCE AS THE 600V SYSTEM.
2. THE VERTICAL CLEARANCES IN THE ABOVE TABLE ARE UNDER MAXIMUM SAG CONDITIONS.
3. REFER TO CSA STANDARD C22.3 No.1, ANNEX D FOR LOCAL SNOW DEPTH VALUES.
4. ALL CLEARANCES ARE IN ACCORDANCE TO CSA STANDARD C22.3.

**CONVERSION TABLE**

| METRIC | IMPERIAL (APPROX) |
|--------|-------------------|
| 810cm  | 27'-0"            |
| 760cm  | 25'-4"            |
| 730cm  | 24'-4"            |
| 520cm  | 17'-4"            |
| 480cm  | 16'-0"            |
| 442cm  | 15'-5"            |
| 370cm  | 12'-4"            |
| 340cm  | 11'-4"            |
| 310cm  | 10'-4"            |
| 250cm  | 8'-4"             |

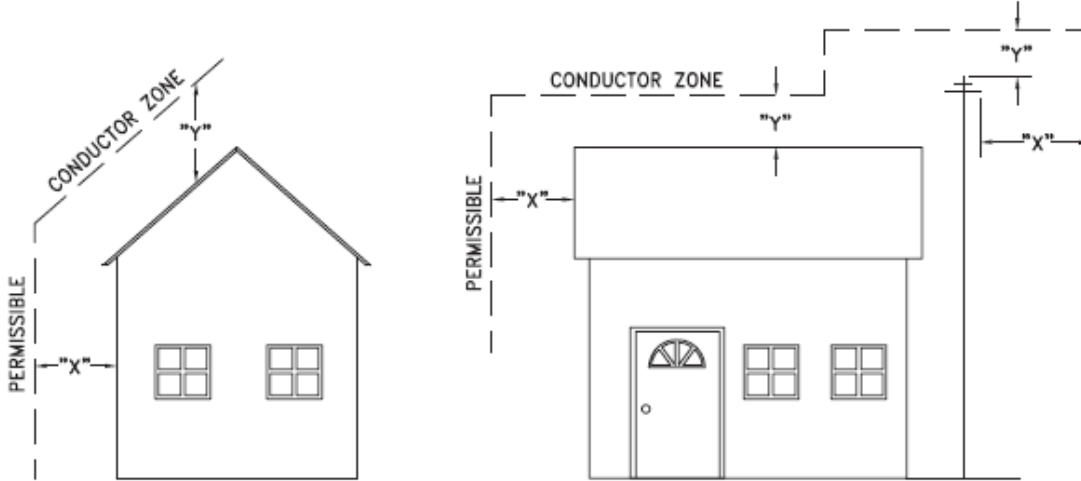
**REFERENCES**

SAGS AND TENSIONS | SECTION 02

**MINIMUM VERTICAL CLEARANCES OF WIRES, CABLES AND CONDUCTORS ABOVE GROUND OR RAILS**

ORIGINAL ISSUE DATE: 2010-DEC-24 REVISION NO: R1 REVISION DATE: 2012-JAN-09

| Certificate of Approval   |             |
|---|-------------|
| This construction Standard meets the safety requirements of Section 4 of Regulation 22/04 |             |
| Joe Crozier, P.Eng.   | 2012-JAN-09 |
| Name  | Date        |
| P.Eng. Approval By:   | Joe Crozier |



| VOLTAGE            | MINIMUM HORIZONTAL CLEARANCE UNDER MAXIMUM SWING CONDITIONS DIMENSION "X" (SEE NOTES 1, 3 & 4) | MINIMUM VERTICAL CLEARANCE UNDER MAXIMUM DESIGN SAG CONDITIONS DIMENSION "Y" (SEE NOTES 1, 2, 4 & 5) |
|--------------------|--|--|
| 0-600V AND NEUTRAL | 100cm  | 250cm  |
| 4.16/2.4 TO 44kV   | 300cm  | 480cm  |

**NOTES**

1. UNDER NO CIRCUMSTANCES SHALL A CONDUCTOR BE PERMITTED TO PENETRATE THE ENVELOPE SHOWN BY THE DOTTED LINE.
2. THE VERTICAL CLEARANCES ARE UNDER CONDITIONS OF MAXIMUM DESIGN SAG.
3. THE HORIZONTAL CLEARANCES ARE UNDER CONDITIONS OF MAXIMUM SWING. WHERE THE CONDUCTOR SWING IS NOT KNOWN A HORIZONTAL CLEARANCE OF 480CM SHALL BE USED.
4. BUILDINGS THAT EXCEED 3 STOREYS OR 15M IN HEIGHT, THE MINIMUM HORIZONTAL CLEARANCE OF THE SECONDARY CONDUCTORS SHOULD BE INCREASED TO 300cm WHERE IT IS NECESSARY TO ALLOW FOR THE RAISING OF LADDERS BY LOCAL FIRE DEPARTMENTS.
5. IN SITUATIONS SUCH AS MULTI-LEVEL GARAGES, WHERE ROOFS ARE NORMALLY USED BY PERSONS AND VEHICLES, THE VERTICAL CLEARANCES OF POWERSTREAM STANDARD 03-1 SHALL APPLY.
6. DISTRIBUTION LINES CONSTRUCTED NEAR BUILDINGS SHALL BE BUILT TO AVOID OVERHANG WHEREVER POSSIBLE. WHERE LINES MUST BE CONSTRUCTED OVER OR ADJACENT TO BUILDINGS THE APPLICABLE HORIZONTAL AND VERTICAL CLEARANCES SHALL BE AT CONDITIONS OF MAXIMUM CONDUCTOR SWING AND MAXIMUM SAG. THE ABOVE CLEARANCES ARE DESIGNED TO PREVENT PERSONS ON OR IN BUILDINGS AS WELL AS EXTERNAL MACHINERY USED IN CONJUNCTION WITH A BUILDING TO COME IN CONTACT WITH CONDUCTORS. EFFORTS SHOULD BE MADE TO INCREASE THESE CLEARANCES WHERE POSSIBLE.
7. ALL CLEARANCES ARE IN ACCORDANCE TO CSA C22.3 NO.1-06 (TABLE-9).

| METRIC | IMPERIAL (APPROX) |
|--------|-------------------|
| 480cm  | 16'-0"            |
| 300cm  | 10'-0"            |
| 250cm  | 8'-4"             |
| 100cm  | 3'-4"             |

**MINIMUM VERTICAL & HORIZONTAL CLEARANCES OF CONDUCTORS FROM BUILDINGS OR OTHER PERMANENT STRUCTURES (CONDUCTORS NOT ATTACHED TO BUILDINGS)**

**Certificate of Approval**  
This construction Standard meets the safety requirements of Section 4 of Regulation 22/04  
Debbie Dadwani, P.Eng. 2010-MAY-05  
Name Date  
P. Eng. Approval By: *D. Dadwani*

ORIGINAL ISSUE DATE: 2010-MAY-05 REVISION NO: REVISION DATE:  
PS:\System Planning and Standards\Standard Design\PowerStream Standards\PowerStream Standards working files\Section 3-1-02\WG 03-4 R0 May 5, 2010.dwg, 5/5/2010 10:22:02 AM, Adobe PDF

**To:** Committee of Adjustment  
**From:** Gregory Seganfredo, Building Standards Department  
**Date:** July 05, 2024  
**Applicant:** Maple Baptist Church  
**Location:** 3300 Steeles Avenue  
 YCC 576 (Null)  
 PLAN 65M2172 Lot 25 and Lot 26  
**File No.(s):** A010/24

**Zoning Classification:**

The subject lands are zoned EMU, Employment Commercial Mixed-Use and subject to the provisions of Zoning By-law 001-2021, as amended.

| # | Zoning By-law 001-2021  | Variance requested   |
|---|---|--|
| 1 | Place of Worship: Means a building used for the gathering of a religious or faith-based organization for spiritual purposes.<br>[Section 3.0 Definitions] | To permit a Place of Worship in a part of a building (multi-unit building) |

**Staff Comments:**

**Stop Work Order(s) and Order(s) to Comply:**

There are no outstanding Orders on file.

**Building Permit(s) Issued:**

Building Permit No. 23-120819 for Church/Temple/Mosque - Alteration, Issue Date: (Not Yet Issued)

**Other Comments:**

| Zoning By-law 001-2021 |       |
|------------------------|-------|
| 1                      | None. |

| General Comments |  |
|------------------|--|
| 2                | The applicant shall be advised that additional variances may be required upon review of detailed drawing for building permit/site plan approval. |

**Conditions of Approval:**

If the committee finds merit in the application, the following conditions of approval are recommended.

\* Comments are based on the review of documentation supplied with this application.

**To:** Christine Vigneault, Committee of Adjustment Secretary Treasurer  
**From:** Nancy Tuckett, Director of Development Planning  
**Date:** August 9, 2024  
**Name of Owner:** Maple Baptist Church c/o Jimmy Queddeng  
**Location:** 3300 Steeles Avenue  
**File No.(s):** A010/24

---

**Proposed Variance(s) (By-law 001-2021):**

1. To permit a Place of Worship in a part of a building (multi-unit building).

**By-Law Requirement(s) (By-law 001-2021):**

1. Place of Worship: Means a building used for the gathering of a religious or faith-based organization for spiritual purposes.

**Official Plan:**

City of Vaughan Official Plan 2010 ('VOP 2010'): Employment Commercial Mixed-Use

**Comments:**

The Owner is seeking to permit a Place of Worship use for a unit within a multi-unit building. The Subject Lands are comprised of 2 employment commercial buildings arranged into 3 blocks. The proposed Place of Worship will be in Unit #2 of Block C.

The Development Planning Department has no objection to Variance 1, as the Zoning By-law 001-2021 permits Place of Worship within the EMU – Employment Mixed Use Zone. However, in the Zoning By-law, a "Place of Worship" is defined as a use within a free-standing building, not a use within a multi-unit building. Section 7.2.1 of the Vaughan Official Plan (VOP), 2010, states that community services and facilities should be integrated into existing and New Community Areas and located within Intensification Areas and other central locations in order to facilitate access and use. As per Schedule 1 of the VOP, the subject lands are located within the Primary Intensification Corridor Employment Area along Steeles Avenue. The proposed place of worship use is not anticipated to cause any parking deficiencies or negatively impact the operations of the employment commercial plaza. Therefore, the Subject Lands are an appropriate location for the proposed Place of Worship.

Accordingly, the Development Planning Department can support the requested variance and is of the opinion that the proposal is minor in nature, maintains the general intent and purpose of the Official Plan and Zoning By-law, and is desirable for the appropriate development of the land.

**Recommendation:**

The Development Planning Department recommends approval of the application.

**Conditions of Approval:**

If the Committee finds merit in the application, the following conditions of approval are recommended:

None.

**Comments Prepared by:**

Alyssa Pangilinan, Planner 1  
David Harding, Senior Planner

**From:** [Cameron McDonald](#)  
**To:** [Committee of Adjustment](#)  
**Subject:** [External] RE: A010/24 - REQUEST FOR COMMENTS, CITY OF VAUGHAN  
**Date:** Wednesday, July 10, 2024 4:24:21 PM  
**Attachments:** [image002.png](#)

---

**CAUTION!** This is an external email. Verify the sender's email address and carefully examine any links or attachments before clicking. If you believe this may be a phishing email, please use the Phish Alert Button.

Good morning,

Based on a review of our screening mapping, I can confirm that the subject property is not located within TRCA's Regulated Area. As such, any site alteration or development on the property would not require a permit from TRCA.

Based on the above, we have no comments/requirements.

Regards,

**Cameron McDonald**

Planner I

Development Planning and Permits | Development and Engineering Services

T: [\(437\) 880-1925](tel:4378801925)

E: [cameron.mcdonald@trca.ca](mailto:cameron.mcdonald@trca.ca)

A: [101 Exchange Avenue, Vaughan, ON, L4K 5R6](https://www.trca.ca) | [trca.ca](https://www.trca.ca)



## Lenore Providence

---

**Subject:** FW: [External] RE: A010/24 - REQUEST FOR COMMENTS, CITY OF VAUGHAN

---

**From:** Development Services <developmentsservices@york.ca>  
**Sent:** Tuesday, July 16, 2024 3:13 PM  
**To:** Prabhdeep Kaur <Prabhdeep.Kaur@vaughan.ca>  
**Cc:** Committee of Adjustment <CofA@vaughan.ca>  
**Subject:** [External] RE: A010/24 - REQUEST FOR COMMENTS, CITY OF VAUGHAN

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Hi Prabhdeep,

The Regional Municipality of York has completed its review of the minor variance application – A010/24 (3300 Steeles Avenue East) and has no comment.

Please provide us with a digital copy of the notice of decision for our records.

Many thanks,

*Our working hours may be different. Please do not feel obligated to reply outside of your scheduled working hours. Let's work together to help foster healthy work-life boundaries.*

**Niranjan Rajevan, M.Pl.** | Associate Planner, Development Planning | Economic and Development Services Branch  
| Corporate Services Department

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The Regional Municipality of York | 17250 Yonge Street | Newmarket, ON L3Y 6Z1  
1-877-464-9675 ext. 71521 | [niranjan.rajevan@york.ca](mailto:niranjan.rajevan@york.ca) | [www.york.ca](http://www.york.ca)  
*Our Values: Integrity, Commitment, Accountability, Respect, Excellence*



Our Mission: **Working together to serve our thriving communities – today and tomorrow**

Please consider the environment before printing this email.

## SCHEDULE C: PUBLIC & APPLICANT CORRESPONDENCE

| Correspondence Type | Name | Address | Date Received<br>(mm/dd/yyyy) | Summary                  |
|---------------------|------|---------|-------------------------------|--------------------------|
| Applicant           |      |         | 02/28/2024                    | Application Cover Letter |



# Maple Baptist Church

Where Grace Abounds 2 Timothy 1:8-9

Charity No.: 81058 0969 RR0001

70 Salamander Court, Maple, Ontario, L6A 0B9  
550 Finch Avenue West, North York, ON M2R 1N6  
647-947-7679 @ admin@maplebaptist.org  
web: maplebaptist.org

Re: Zoning for house of worship

To Whom It May Concern!

Greetings in the name of our Lord Jesus Christ!

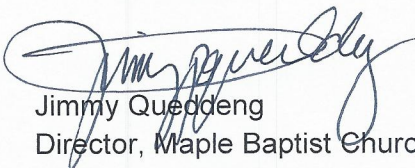
We are writing this letter for the zoning variance application for our new property located at unit 2 3300 Steeles Avenue West. We bought this unit for the intention to use as house of worship, however, it is brought to our attention that this unit is by default not permitted for such use. Hence, we are here applying for zoning variance under Major Development #3 so that we can use the unit officially for house of worship.

This letter is not for major renovation permit request, but we are just asking your permission to allow us to use this unit for house of worship. We have a separate permit application for adding washrooms to accommodate our needs, but the permit department told us that we must apply first for zoning variance before they can approve our permit application for washroom.

Looking forward to your favorable approval for this request.

Thank you!

Sincerely yours,



Jimmy Queedeng  
Director, Maple Baptist Church



## SCHEDULE D: BACKGROUND

None