ITEM: 6.4

# REPORT SUMMARY MINOR VARIANCE APPLICATION A029/24

Report Date: August 16, 2024

# THIS REPORT CONTAINS COMMENTS FROM THE FOLLOWING DEPARTMENTS & AGENCIES (SEE SCHEDULE B):

Additional comments from departments and agencies received after the publication of the report will be made available on the City's <u>website</u>.

Internal Departments *Comments Received	Conditions Required		Nature of Comments
Building Standards (Zoning) *See Schedule B	Yes □	No ⊠	General Comments
Committee of Adjustment	Yes □	No ⊠	General Comments
Development Planning	Yes □	No ⊠	Recommend Approval/No Conditions
Development Engineering	Yes ⊠	No □	General Comments w/Conditions
Development Finance	Yes □	No ⊠	General Comments

External Agencies *Comments Received	Conditions Required		Nature of Comments *See Schedule B for full comments
Alectra	Yes □	No ⊠	General Comments
Region of York	Yes □	No ⊠	General Comments
TRCA	Yes □	No ⊠	General Comments

#### PUBLIC & APPLICANT CORRESPONDENCE (SEE SCHEDULE C)

All personal information collected because of this public meeting (including both written and oral submissions) is collected under the authority of the Municipal Act, the Municipal Freedom of Information and Protection of Privacy Act (MFIPPA), the Planning Act and all other relevant legislation, and will be used to assist in deciding on this matter. All personal information (as defined by MFIPPA), including (but not limited to) names, addresses, opinions and comments collected will become property of the City of Vaughan, will be made available for public disclosure (including being posted on the internet) and will be used to assist the Committee of Adjustment and staff to process this application.

Correspondence Type	Name	Address	Date Received (mm/dd/yyyy)	Summary
Applicant			03/01/2024	Application Cover Letter
Public	Michele Urchioli	59 Logwood Drive	03/01/2024	Letter of Support
Public	Eric Lhores	66 Logwood Drive	03/01/2024	Letter of Support
Public	Lynn Younis	51 Logwood Drive		Letter Questioning Accuracy of Information

BACKGROUND (SCHEDULE D, IF REQUIRED)  * Background Information contains historical development approvals considered to be related to this file.	
This information should not be considered comprehensive.	
Application No. (City File) Application Description	
(i.e. Minor Variance Application; Approved by COA / OLT)	
N/A N/A	

ADJOURNMENT HISTORY		
* Previous hearing dates where this application was adjourned by the Committee and public notice issued.		
Hearing Date Reason for Adjournment (to be obtained from NOD_ADJ)		
N/A N/A		

SCHEDULES		
Schedule A Drawings & Plans Submitted with the Application		
Schedule B Comments from Agencies, Building Standards & Development Planning		
Schedule C (if required) Public & Applicant Correspondence		
Schedule D (if required)	Background	



#### MINOR VARIANCE APPLICATION FILE NUMBER A029/24

CITY WARD #:	1
APPLICANT:	Ron and Anna Annabelle
AGENT:	None
PROPERTY:	55 Logwood Drive, Maple
ZONING DESIGNATION:	See below.
VAUGHAN OFFICIAL PLAN (2010) DESIGNATION:	Vaughan Official Plan 2010 ('VOP 2010'): "Low-Rise Residential"
RELATED DEVELOPMENT APPLICATIONS:	None
PROPOSAL:	Relief from the Zoning By-law is being requested to permit a proposed shed.

The following variances are being requested from the City's Zoning By-law to accommodate the above proposal:

The subject lands are zoned R2(EN) – Second Density Residential Zone (Established Neighbourhood) and subject to the provisions of Exception 14.676 under Zoning By-law 001-2021, as amended.

#	Zoning By-law 001-2021	Variance requested
1	In any Residential Zone, the maximum height of an accessory building and residential accessory structure shall be 3.0 m. [4.1.4 #1.]	To permit a maximum height of an accessory building 3.0733 m.
2	In any Residential Zone, a residential accessory structure with a height greater than 2.8 m shall not be located closer than 2.4 m to any lot line. [4.1.2 #1b.]	To permit a residential accessory structure with a height greater than 2.8 metres to be located a minimum 0.90 metres from the north side lot line.
3	In any Residential Zone, a residential accessory structure with a height greater than 2.8 m shall not be located closer than 2.4 m to any lot line. [4.1.2 #1b.]	To permit a residential accessory structure with a height greater than 2.8 metres to be located a minimum 0.39 metres from the rear (East) lot line.

#### **HEARING INFORMATION**

**DATE OF MEETING:** Thursday, August 22, 2024

**TIME:** 6:00 p.m.

**MEETING LOCATION:** Vaughan City Hall, Woodbridge Room (2<sup>nd</sup> Floor), 2141 Major Mackenzie Drive

LIVE STREAM LINK: <u>Vaughan.ca/LiveCouncil</u>

#### **PUBLIC PARTICIPATION**

If you would like to speak to the Committee of Adjustment at the meeting, either remotely or in person, please complete the Request to Speak Form and submit to cofa@vaughan.ca

If you would like to submit written comments, please quote file number above and submit by mail or email to:

Email: cofa@vaughan.ca

**Mail:** City of Vaughan, Office of the City Clerk, Committee of Adjustment, 2141 Major Mackenzie Drive, Vaughan, ON, L6A 1T1

To speak electronically, pre-registration is required by completing the Request to Speak Form on-line and submitting it to cofa@vaughan.ca no later than NOON on the last business day before the meeting.

#### **HEARING INFORMATION**

THE DEADLINE TO REGISTER TO SPEAK ELECTRONICALLY OR SUBMIT WRITTEN COMMENTS ON THE ABOVE NOTED FILE(S) IS <u>NOON</u> ON THE LAST BUSINESS DAY BEFORE THE MEETING.

#### **INTRODUCTION**

Staff and Agencies act as advisory bodies to the Committee of Adjustment. The comments contained in this report are presented as recommendations to the Committee.

Section 45(1) of the Planning Act sets the criteria for authorizing minor variances to the City of Vaughan's Zoning By-law. Accordingly, review of the application may consider the following:

That the general intent and purpose of the by-law will be maintained.

That the general intent and purpose of the official plan will be maintained.

That the requested variance(s) is/are acceptable for the appropriate development of the subject lands. That the requested variance(s) is/are minor in nature.

Public written and oral submissions relating to this application are taken into consideration by the Committee of Adjustment as part of its deliberations and final decision on this matter.

COMMITTEE OF ADJUSTMENT		
Date Public Notice Mailed:	August 8, 2024	
Date Applicant Confirmed Posting of Sign:	August 6, 2024	
Applicant Justification for Variances: *As provided in Application Form	Existing Location	
Was a Zoning Review Waiver (ZRW) Form submitted by Applicant:  *ZRW Form may be used by applicant in instances where a revised submission is made, and zoning staff do not have an opportunity to review and confirm variances prior to the issuance of public notice.  COMMENTS:	Yes □ No ⊠	
None		
Committee of Adjustment Recommended Conditions of Approval:	None	
BUILDING STANDARDS (ZONING)		
**See Schedule B for Building Standards (Zoning) Comments		
Building Standards Recommended Conditions of Approval:	None	
DEVELOPMENT PLANNING		
**See Schedule B for Development Planning Comments.		
Development Planning Recommended Conditions of Approval:	None	
DEVELOPMENT ENGINEERING		

Link to Grading Permit Link to Pool Permit Link to Curb Curt Permit Link Culvert Installation

The proposed work by the Owner/Applicant is increasing the lot coverage on the subject property. The added hardscape may have impacts on the City's Storm Water management system. Development Engineering strongly encourages the Owner / Applicant introduce Low-Impact Development (LID) measures (e.g., bioswales, permeable pavers, rain gardens, rain barrels etc.) to reduce the impacts to the stormwater system. Should further information be required, please contact the Development Engineering COA reviewer. As the shed in the subject property is 10.1 m2, the Owner/ Applicant needs to obtain a 'Lot Grading Permit' from the Development Inspection and Lot Grading Division of the City's Development Engineering Department. Please note any in-ground structure over 10 m2 requires a 'Grading Permit'. Please contact the Development Engineering Reviewer after receiving the Grading Permit to clear the condition. (Condition attached)

Development Engineering	The Owner/Applicant shall submit an application and
Recommended Conditions of	obtain an approved Grading Permit before initiating any
Approval:	work on the property. The Final Lot Grading and/or
	Servicing Plan will be required for the Grading Permit

#### **DEVELOPMENT ENGINEERING**

<u>Link to Grading Permit</u> <u>Link to Pool Permit</u> <u>Link to Curb Curt Permit</u> <u>Link Culvert Installation</u>

Application. Please visit the Permits page of the City of Vaughan's website: Permits | City of Vaughan to apply for a Grading Permit. For any inquiries regarding the Grading Permit, please email DEPermits@vaughan.ca

PARKS, FORESTRY & HORTICULTURE (PFH)	
No comments received to date.	
PFH Recommended Conditions of Approval:	None

DEVELOPMENT FINANCE	
No comment no concerns.	
Development Finance Recommended Conditions of Approval:	

BY-LAW AND COMPLIANCE, LICENSING AND PERMIT SERVICES		
No comments received to date.		
BCLPS Recommended Conditions of Approval:  None		

BUILDING INSPECTION (SEPTIC)		
No comments received to date.		
Building Inspection Recommended Conditions of Approval:  None		

FIRE DEPARTMENT		
No comments received to date.		
Fire Department Recommended Conditions of Approval:	None	

#### RECOMMENDED CONDITIONS OF APPROVAL SUMMARY

Should the Committee find it appropriate to approve this application in accordance with request and the sketch submitted with the application, as required by Ontario Regulation 200/96, the following conditions have been recommended:

#	DEPARTMENT / AGENCY	CONDITION		
1	Development Engineering	The Owner/Applicant shall submit an		
	jonal.hall@vaughan.ca	application and obtain an approved Grading		
		Permit before initiating any work on the		
		property. The Final Lot Grading and/or		
		Servicing Plan will be required for the Grading		
		Permit Application. Please visit the Permits		
		page of the City of Vaughan's website: Permits		
		City of Vaughan to apply for a Grading		
		Permit. For any inquiries regarding the Grading		
		Permit, please email DEPermits@vaughan.ca		

All conditions of approval, unless otherwise stated, are considered to be incorporated into the approval "if required". If a condition is no longer required after an approval is final and binding, the condition may be waived by the respective department or agency requesting conditional approval. A condition cannot be waived without written consent from the respective department or agency.

#### **IMPORTANT INFORMATION**

**CONDITIONS:** It is the responsibility of the owner/applicant and/or authorized agent to obtain and provide a clearance letter from respective department and/or agency (see condition chart above for contact). This letter must be provided to the Secretary-Treasurer to be finalized. All conditions must be cleared prior to the issuance of a Building Permit.

#### IMPORTANT INFORMATION

**APPROVALS:** Making any changes to your proposal after a decision has been made may impact the validity of the Committee's decision.

An approval obtained from the Committee of Adjustment, where applicable, is tied to the building envelope shown on the plans and drawings submitted with the application and subject to the variance approval.

A building envelope is defined by the setbacks of the buildings and/or structures shown on the plans and drawings submitted with the application, as required by Ontario Regulation 200/96. Future development outside of an approved building envelope, where a minor variance was obtained, must comply with the provisions of the City's Zoning By-law.

Elevation drawings are provided to reflect the style of roof (i.e. flat, mansard, gable etc.) to which a building height variance has been applied. Where a height variance is approved, building height is applied to the style of roof (as defined in the City's Zoning By-law) shown on the elevation plans submitted with the application.

Architectural design features that are not regulated by the City's Zoning By-law are not to be considered part of an approval unless specified in the Committee's decision.

**DEVELOPMENT CHARGES:** That the payment of the Regional Development Charge, if required, is payable to the City of Vaughan before issuance of a building permit in accordance with the Development Charges Act and the Regional Development Charges By-law in effect at the time of payment.

That the payment of the City Development Charge, if required, is payable to the City of Vaughan before issuance of a building permit in accordance with the Development Charges Act and the City's Development Charges By-law in effect at the time of payment.

That the payment of the Education Development Charge if required, is payable to the City of Vaughan before issuance of a building permit in accordance with the Development Charges Act and the Boards of Education By-laws in effect at the time of payment

That the payment of Special Area Development charge, if required, is payable to the City of Vaughan before issuance of a building permit in accordance with the Development Charges Act and The City's Development Charge By-law in effect at the time of Building permit issuance to the satisfaction of the Reserves/Capital Department.

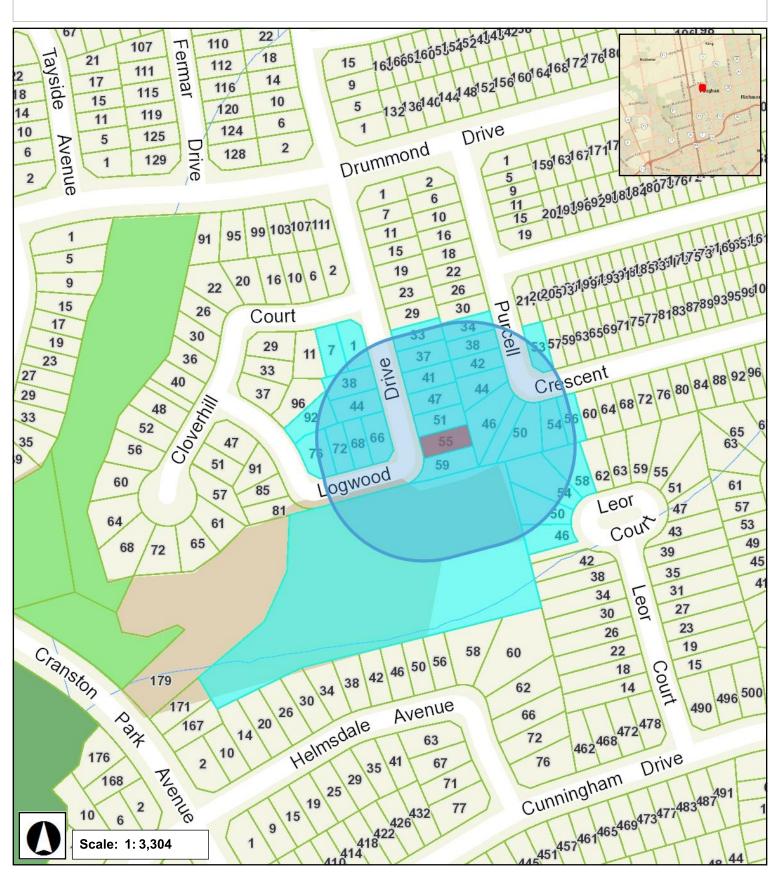
**NOTICE OF DECISION:** If you wish to be notified of the decision in respect to this application or a related Ontario Land Tribunal (OLT) hearing you must complete a Request for Decision form and submit to the Secretary Treasurer (ask staff for details). In the absence of a written request to be notified of the Committee's decision you will **not** receive notice.

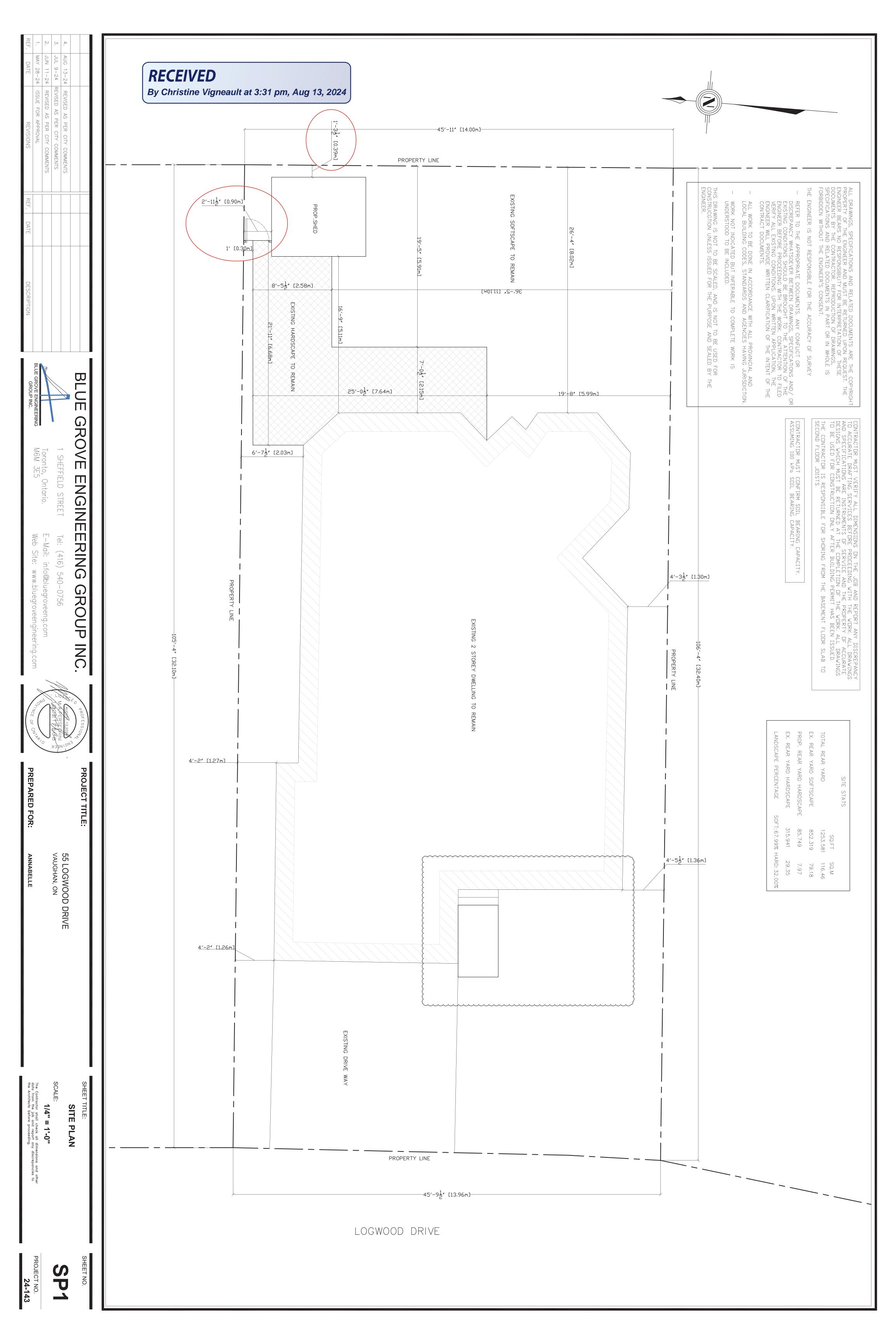
## **SCHEDULE A: DRAWINGS & PLANS**

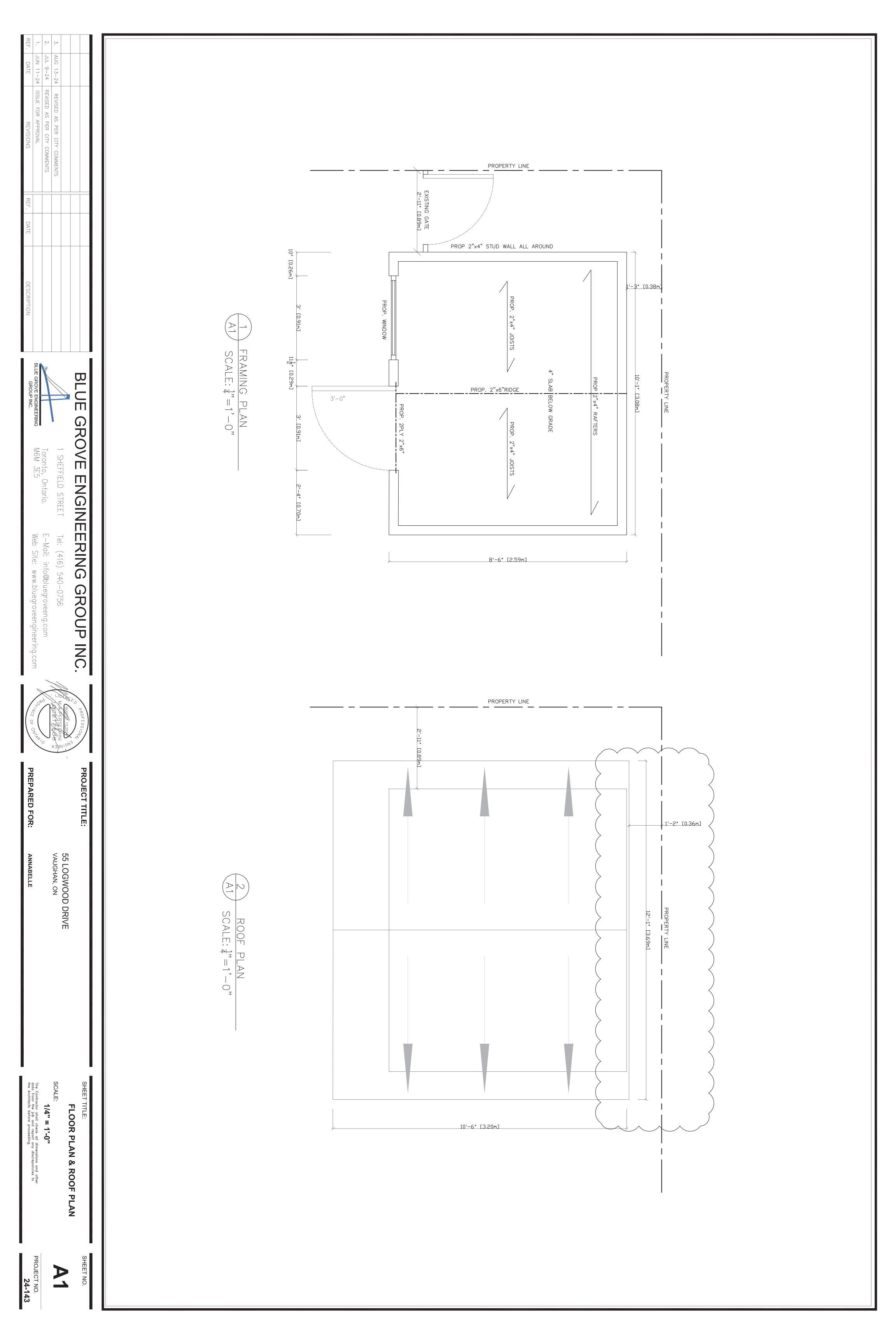


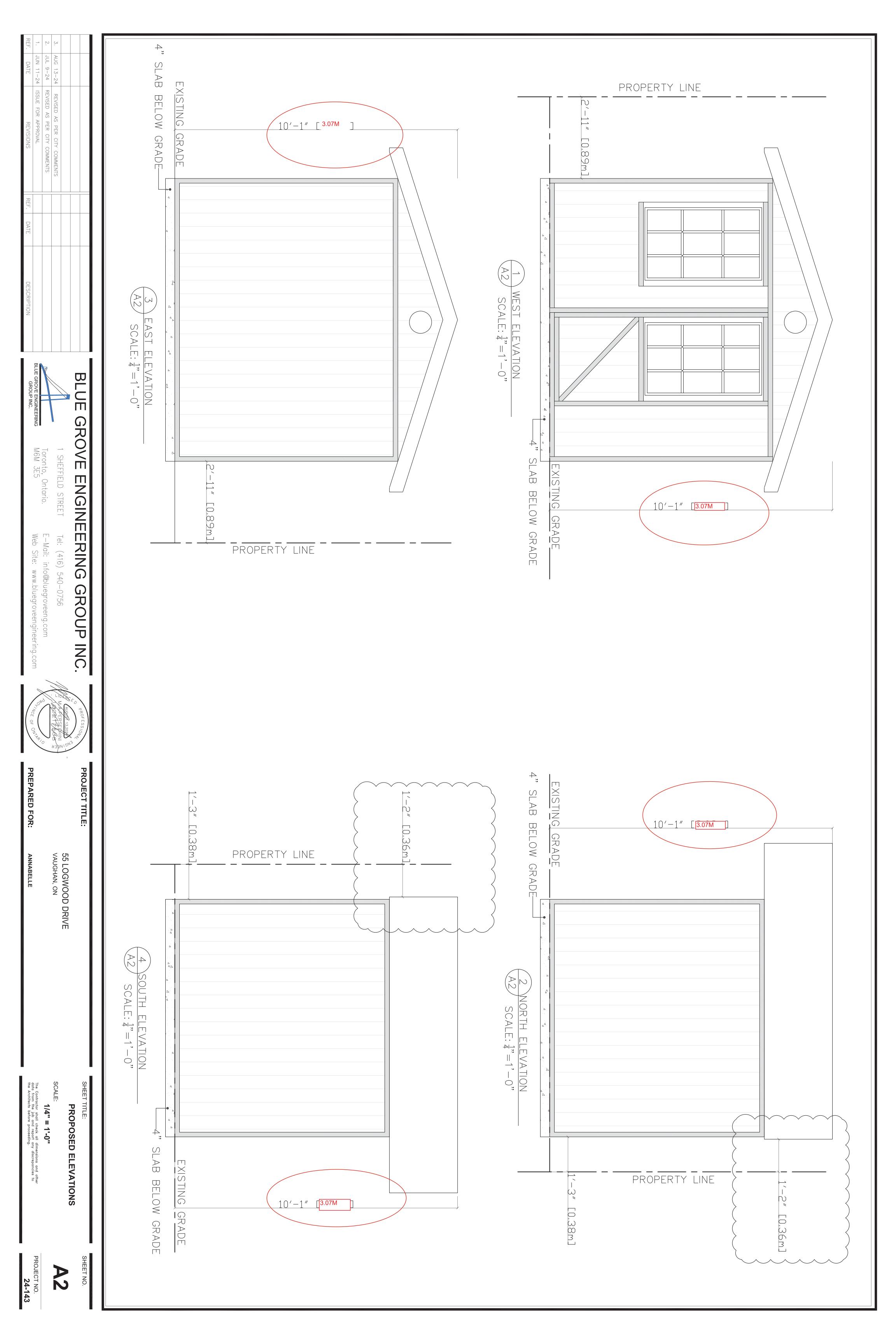
# VAUGHAN LOCATION MAP - A029/24

#### 55 LOGWOOD DRIVE, MAPLE









# CONSTRUCTION NOTE S

ALL CONSTRUCTION PRACTICES TO COMPLY WITH THE 2012 ONTARIO BUILDING CODE AND ALL AUTHORITIES HAVE JURISDICTION.

13

- ယ N STEPPED FOOTINGS
  HORIZONTAL STEP (RUN) TO BE 24" (600mm)
  VERTICAL STEP (RISE) TO BE 24" (600mm) STRIP FOOTINGS

  20" X 8" CONCRETE FOOTING W/ CONTINUOUS KEY. MIN. CONCRETE AFTER 28 DAYS SHALL REST ON UNDISTURBED COMPACTED GRANULAR FILL W/ MIN. 21.76psi (150kpa). CONTINUOUS AND TO EXTEND 4'-0" (1200mm) BELOW FINISHED GR
- 4 WEEPING TILE

  MATERIALS SHALL CONFORM TO OBC 9.14.3. 4" (100mm) DIA. WEEPING TILE LAID ON UNDISTURBED OR WELL COMPACTED SOIL. TOP OF TILE OR PIPE TO BE BELOW BOTTOM OF FLOOR SLAB AND TO BE COVERED W/ 6" (150mm) OF CRUSHED STONE OR OTHER COURSE GRANULAR MATERIAL. TILE SHALL DRAIN TO A SEWER, DRAINAGE DITCH, OR DRY WELL
- SILL PLATE
  2"X4" (38mm x 89mm) SILL PLATE W/ 1/2" DIA. ANCHOR BOLTS 12" LONG MIN. 4" IN
  CONCRETE @ 7'-10" O.C. SILL PLATE TO BE CAULKED OR PLACED ON A FOAM
  GASKET 1" (25mm) BEFORE COMPRESSION JUNDATION WALL (25mpa) POURED CONCRETE FOUNDATION. APPLY PROTECTION (YER ON CONTINUOUS BITUMINOUS DAMP PROOFING, FINISHED BASEMENT SHALL AVE INTERIOR DAMP PROOFING EXTENDING FROM SLAB TO GRADE LEVEL AND HALL CONFORM TO OBC 9.13.3 (3). WHERE HYDROSTATIC PRESSURE OCCURS, DUNDATION WALL SHALL BE WATER PROOFED AS PER OBC 9.13.3.3. INSULATE W/ 20 (R3.52) FULL HEIGHT ALONG INSIDE OF WALL AND BACKFILL W/ NON-FROST JSCEPTIBLE SOIL. WALL SHALL EXTEND A MIN. 6" (150mm) ABOVE FIN. GRADE

5

BASEMENT SLAB

3" (75mm) MIN. 3600psi (25mpa) CONCRETE SLAB W/ 6 MIL. POLYETHYLENE ON 5"
CRUSHED STONE. SLAB TO BE REINFORCED WITH 6"x6" MESH LOCATED NEAR MID
DEPTH OF SLAB. PERIMETER OF SLAB AND ANY PENETRATIONS OF THE SLAB TO BE
SEALED AGAINST SOIL GAS LEAKAGE W/ FLEXIBLE SEALANT CONFORMING TO OBC
9.10.13.7. WHERE SLAB IS REQUIRED TO BE WATERPROOFED, IT SHALL BE
CONFORM TO OBC. 9.13.7

6

7

- PORCH SLAB ABOVE COLD CELLAR

  TO CONFORM WITH OBC 9.14.1.3. 6" (150mm) 4650psi (32mpa) CONCRETE SLAB W/
  5-8% AIR ENTERTAINMENT REINFORCED W/ 15M REBAR 12" O.C. W/ 15M DOWELS
  SPACED AT NOT MORE THAN 24" (600mm). EXPOSED SLABS SHALL BE SLOPED TO
  EFFECTIVELY SHED WATER AWAY FROM THE EXTERIOR WALL PORCH SLAB

  4" (100mm) 4650psi (32mpa) CONCRETE SLAB W/ 5-8% AIR ENTERTAINMENT. 6"x6" (W2.9 X 2.9) WIRE MESH LOCATED NEAR MID DEPTH OF SLAB. ANY FILL PLACED UNDER SLAB, OTHER THAN COURSE CLEAN GRANULAR MATERIAL SHALL BE COMPACTED 19
- 20 CEILING R60 (RSI 10.56) INSULATION W/ 6 MIL POLY AIR / VAPOUR BARRIER OR 1/2" (12.7mm) GYPSUM WALL BOARD
- 22 21 VAULTED OR CATHEDRAL CEILING
  APPROVED SCISSOR TRUSSES OR WOOD RAFTERS @ 16"
  INSULATION, 6 MIL POLY AIR / VAPOUR BARRIER AND 1/2" (12.7m ACCESS HATCH COVERED W/ WEATHER
- EXHAUST FAN
  EXHAUST FAN TO BE MECHANICALLY
  CHANGES PER HOUR . SEAL W/ ALUMII **CAPPED VENT EXTERIOR** CAPPED DRYER VENT TO EXTERIOR \_EAST 2 AIR 35
- 25 <sup>26</sup>

[12]

1

EXTERIOR SIDING WALL

SIDING (HORIZONTAL, VERTICAL, HARDIE BOARD, SHAKE, BOARD & BATTEN OR SCALLOP) AS PER ELEVATION. MIN. 6" (150mm) ABOVE GRADE. 6" (150mm) BASE FLASHING UP BEHIND WALL SHEATHING. CONT. AIR BARRIER ON 1/2" EXTERIOR PLYWOOD OR EQUIVALENT, 2"x6" (38mm × 140mm) WOOD STUDS @ 16" O.C. W/ MIN. R24 (4.23RSI) INSULATION, 6 MIL VAPOUR BARRIER, 1/2" (12.7mm) GYPSUM WALL BOARD

24

 $\begin{bmatrix} 23 \end{bmatrix}$ 

[1]

EXTERIOR GARAGE WALL AS PER NOTE 11, 12 OR 13 EXCEPT W/O THERMAL INSULATION, AIR / VAPOUR BARRIER AT EXTERIOR WALLS AND W/ MOISTURE RESISTANT GYPSUM WALL BOARD THROUGHOUT

9

STEEL PIPE COLUMNS

TO CONFORM WITH OBC 9.17.3. 3 1/2" (89mn STEEL COLUMN W/ 6"x6"x 3/8" (150mm x 151/2"x10"x1/2" (120mm x 250mm x 12.5mm) ST BASE PLATES

 $\infty$ 

**GARAGE SLAB** 4" (100mm) 4650psi (32mpa) CONCRETE SLAB ON 4" (100mm) COURSE GRANULAR FILL W/ 5-8% AIR ENTERTAINMENT. 6"x6" (W2.9 X 2.9) WIRE MESH LOCATED NEAR MID DEPTH OF SLAB

- INTERIOR STUD PARTITION
  2"x4" (38mm x 89mm) OR 2"x6" (38mm x 140mm) @ 16" O.C. DOUBLE TOP PLATE BOTTOM PLATE W/ 1/2" GYPSUM WALL BOARD ON EACH SIDE INTERIOR LOAD BEARING STUD PARTITION

  2"X4" (38mm x 89mm) OR 2"x6" (38mm x 140mm) @ 16" O.C. DOUBLE TOP PLATE & SINGLE BOTTOM PLATE ON DAMP PROOFING MATERIAL W/ 1/2" ANCHOR BOLTS, 8" LONG, EMBEDDED 4" (89mm) @ 8'-0" (2400mm) O.C. PROVIDE MID-BLOCKING IF UNFINISHED. FOOTINGS AS PER CONSTRUCTION NOTE 1 "STRIP FOOTINGS" W/ 4" CONCRETE CURB

15

14

INTERIOR GARAGE WALL

1/2" (12.7mm) GYPSUM BOARD ON BOTH SIDES OF WALL & U/S OF CEILING BETWEEN HOUSE AND GARAGE. ALL JOINTS TO BE TAPED AND SEALED AND MADE GAS PROOF. 2"x6" (38mm x 140mm) WOOD STUDS @ 16" O.C. W/R22 (RSI 3.87) BATT INSULATION, 6 MIL CONTINUOUS VAPOUR BARRIER IN CONFORMANCE W/ OBC 9.25.3 AND 9.24.4 FOR FLOOR ABOVE

30

 $\left[ \frac{3}{3} \right]$ 

16

TYPICAL FLOOR ASSEMBLY
FLOOR FINISH ON 5/8" TONGUE AND GROOVE PLYWOOD SHEATHING SUB FLOOR, GLUED AND SCREWED W/ SANDED JOINTS. FLOOR JOISTS OR ENGINEERING JOISTS AS PER MANUFACTURERS SPECIFICATIONS, 1/2" GYPSUM WALL BOARD (FOR CEILING TYPE) EXCEPT OVER UNFINISHED BASEMENT GARAGE CEILING
R31 (RSI 5.46) BATT INSULATION OR SPRAY FOAM INSULATION , IN GARAGE CEILING
W/ FLOOR ABOVE. AND W/ 1/2" (12.7mm) GYPSUM WALL BOARD. ENTIRE ASSEMBLY
MUST BE SEALED, TAPED AND GAS TIGHT PROOFED

17

18

- ROSS BRIDGING AND STRAPPING
  ROSS BRIDGING: 1"x3" (19mm x 64mm) CROSS BRIDGING @ MAX 6'-11" (2100mm) O.C.
  TRAPPING: 1"x3" (19mm x 64mm) NAILED TO U/S OF JOISTS MAX 6'-11" (2100mn)
  C.FASTED TO SILL OR HEADER ENDS
- TYPICAL ROOF CONSTRUCTION

  FOR ROOFS MORE THAN 4 IN 12 SLOPE. NO. 210 SELF SEALED ASPHALT SHING FOR ROOFS MORE THAN 4 IN 12 SLOPE. NO. 210 SELF SEALED ASPHALT SHING (PROVIDE REVERSE SHINGLES AS STARTING TIP). NO. 15 ASPHALT BUILDING PAPE PERIMETER 6" UP FROM EDGE (OVERLAP LAYERS TO SHED WATER) ON 1/2" (12: PLYWOOD SHEATHING WITH "H' CLIPS ON WOOD RAFTERS @ 16" O.C. OR APPROWOOD TRUSSES @ 24". TRUSS BRACING AS PER TRUSS MANUFACTURER. APPROEAVES PROTECTION STARTING AT FASCIA AND TO EXTEND MIN. 36" BEYOND IN FACE OF EXTERIOR WALL. R60 LOOSE FILL INSULATION W/ 6 MIL VAPOUR BAR AND 1/2" (12.7mm) GYPSUM WALL BOARD (FOR CEILING TYPE). METAL EAVESTROON ALUMINUM FASCIA AND VENTED SOFFIT ATTIC VENTILATION 1:300 OF INSULATED CEILING AREA W/ 50% AT EAVES 32
- CONVENTIONAL ROOF FRAMING
  2"x4" (38mm x 89mm) OR 2"x6" (38mm x 140mm) RAFTERS @ 16" (40 89mm) COLLAR TIES AT MID SPANS. CEILING JOISTS TO BE 2"x4", (38mm x 140mm) @ 16" (400mm) O.C. HIP & VALLEY RAFTERS LARGER THAN COMMON RAFTERS AND MIN. 1 1/2" (38mm) THICK 00mm) O.C. 2"x4" (38mm x " (38mm x 89mm) OR 2"x6" S TO BE MIN. 2" (50mm) 33
- 34
- (36) 2 STOREY - DOUBLE VOLUME
  FOR A MAXIMUM OF 18'-0" (5490mm) HEIGHT, PROVIDE 2-2"x6" (2-38mm x 140mm)
  CONTINUOUS STUDS @ 12" (300mm) O.C. FOR MASONRY, 16" (400mm) O.C. FOR SIDING.
  PROVIDE SOLID WOOD BLOCKING BETWEEN STUDS @ 4'-0" (1220mm) O.C. R20 (RSI 3.52) INSULATION BLANKET OR BATTS WITH 2"x4" STUD WALL, 6 mil POLYETHYLENE VAPOUR BARRIER TO 2"-0" (610) BELOW FINISHED GRADE. DAMPPROOF WITH BUILDING PAPER BETWEEN THE FOUNDATION WALL AND INSULATION UP TO GRADE LEVEL. WALL ASSEMBLY R20 (RSI 3.52) NOTE: FULL HEIGHT INSULATION ... AFTER DECEMBER 31, 2008, INSULATION MUST EXTEND TO NOT MORE THAN 1'-3" (380 mm) ABOVE FIN. BASEMENT FLOOR. (12.3.2.4)

- 27 27 SMOKE ALARM (SA)

  TO CONFORM WITH 9.10.19. PROVIDE 1 PER FLOOR NEAR THE STAIRS FROM CONNECTING FLOOR LEVELS AND 1 IN EACH BEDROOM. ALARMS TO BE CONNECTED IN CIRCUIT AND INTERCONNECTED SO ALL ARMS SOUND WHEN ONE SOUNDS SMOKE ALARM (SA)

  TO CONFORM WITH 9.10.19. PROVIDE 1 PER FLOOR NEAR THE STAIRS FROM CONNECTING FLOOR LEVELS AND 1 IN EACH BEDROOM. ALARMS TO BE CONNECTED IN CIRCUIT AND INTERCONNECTED SO ALL ARMS SOUND WHEN ONE SOUNDS
- 28 29 CARBON MONOXIDE ALARM (CMA)
  TO CONFORM WITH 9.33.4. WHERE THERE IS FUEL BURNING APPLIANCE, A CMA SHALL BE PROVIDED ADJACENT TO EACH SLEEPING AREA. CMA TO BE WIRED SO WHEN ACTIVATED, THE SMOKE ALARM WILL SOUND
- GARAGE MAN DOOR

  TO BE GAS PROOFED W/ SELF CLOSER, WEATHER STRIPPING, DEADBOLT
- PRECAST CONC. STEP OR WOOD STEP
  2 RISERS MAX PERMITTED TO BE LAID ON GROUND. WOOD WEATHER.
  MAX RISER: 7 7/8" (200mm), MIN.TREAD: 9 1/4" (235mm) 38 **39**
- STAIRS (EXTERIOR & INTERIOR)
  AS PER OBC 9.8:
  MAX RISER:
  MIN. RUN:
  MIN. TREAD:
  MAX NOSING:
  MIN. HEADROOM:
  MIN. HEADROOM: CURVED STAIRS: MIN. RUN: MIN AVG. RUN: 7" (180mm) 10" (255mm) 11" (285mm) 11" (25mm) 6'-5" (1950mm) 2'-10" (860mm) 5 7/8" (150mm) 7 7/8" (200mm)
- FOUNDATION WALL F (1220mm) EXTERIOR CONC. STEPS: RISE: RUN: 10" (250mm) 8" (200mm)
- AS PER OBC 9.8.7 & 9.8.8:

  MAX SPACING B/W WOOD PICKETS:
  INTERIOR LANDING:
  INTERIOR STAIR: 4" (100mm) 2'-11" (900mm) 2'-7" (800mm)
- 2'-11" (1070mm) 3'-6" (1070mm) (GREATER
- EXTERIOR LANDING: ABOVE GRADE BEAM POCKETS
  4" (100mm) RECESSED INTO FOUNDATION WALL. WIDTH TO (12.7mm) SPACE AROUND WOOD BEAMS BEAM POCKETS PILASTERS
  PILASTERS
  8"x8" (200mm x 200mm) POURED CONCRETE PIER EXTERIOR STAIR: WOOD STRAPPING (STEEL BEAM) 1"x4" (19mm x 38mm) WOOD STRAPPING ON BOTH
- LAMINATED VENEER LUMBER (LVL) BEAMS

  LVL2 2.0E 1-1 3/4" x 9 1/2" (1-45x240)

  LVL4 2.0E 2-1 3/4" x 9 1/2" (2-45x240)

  LVL5 2.0E 3-1 3/4" x 9 1/2" (3-45x240)

  LVL8 2.0E 4-1 3/4" x 9 1/2" (4-45x240)

  LVL8 2.0E 1-1 3/4" x 11 7/8" (1-45x300)

  LVL3 2.0E 1-1 3/4" x 11 7/8" (2-45x300)

  LVL6 2.0E 2-1 3/4" x 11 7/8" (3-45x300)

  LVL7 2.0E 3-1 3/4" x 11 7/8" (3-45x300)

  LVL9 2.0E 4-1 3/4" x 11 7/8" (4-45x365)

  LVL10 2.0E 1-1 3/4" x 14" (2-45x355)

  LVL11 2.0E 3-1 3/4" x 14" (2-45x355)

  LVL12 2.0E 3-1 3/4" x 14" (3-45x355)

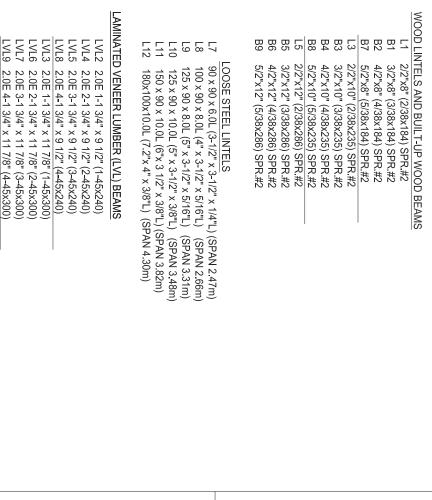
  LVL13 2.0E 4-1 3/4" x 14" (4-45x355)

- **37** - FOR WIND LOADS <= 0.5 kPa (q50): FOR A MAXIMUM 18'-4" (5600) HEIGHT. PROVIDE 2-2"X6" (2-38x140) SPR.#2 CONTINUOUS STUDS @ 12" (300) O.C. FOR BRICK AND 16" (400) O.C. FOR SIDING C/W 3/8" (9.5) THICK EXTERIOR PLYWOOD SHEATHING. PROVIDE SOLID WOOD BLOCKING BETWEEN WOOD STUDS @ 4-0" (1200) O.C. VERTICALLY. (O.B.C. 9.23.10.1)

  - FOR WIND LOADS > 0.5 kPa (q50): FOR A MAXIMUM 18'-4" (5600) HEIGHT. PROVIDE 2-2"X6" (2-38x140) SPR.#2 CONTINUOUS STUDS @ 8" (200) O.C. FOR BRICK AND 12" (300) O.C. FOR SIDING C/W 3/8" (9.5) THICK EXTERIOR PLYWOOD SHEATHING. PROVIDE SOLID WOOD BLOCKING BETWEEN WOOD STUDS @ 4-0" (1200) O.C. VERTICALLY.
  - FOR HORIZONTAL DISTANCES LESS THAN 9'-6" (2900) PROVIDE CONTINUOUS 2"X6" (38x140) STUDS @ 16" (400) O.C. WITH CONTINUOUS 2-2"x6" (2-38x140) TOP PLATE + 1-2"x6" (1-38x140) BOTTOM PLATE & MINIMUM OF 3-2"x8" (3-38x184) CONT. HEADER AT GROUND FLOOR CEILING LEVEL TOE-NAILED & GLUED AT TOP, BOTTOM PLATES & HEADERS.
- STUCCO WALL CONSTRUCTION (2"x6")
- STUCCO WALL CONSTRUCTION (2"x4") STUCCO CLADDING CONFORMING TO O.B.C. REQUIREMENTS AND APPLIED PER MANUFACTURERS SPECIFICATIONS OVER 1" (25) MINIMUM EXTRUDED OR EXPANDED RIGID POLYSTYRENE ON APPROVED SHEATHING PAPER ON 1/2" (12.7) EXT. TYPE SHEATHING ON 2"x6" (38x140) SPRUCE STUDS @ 16" (400) O.C., R24 (RSI 4.23) BATT INSUL., APPROVED 6 MIL. POLYETHYLENE VAPOUR BARRIER, 1/2" (12.7) GYPSUM WALLBOARD INTERIOR FINISH. WALL ASSEMBLY R22 (RSI 3.8) O.B.C 12.3.2.1 & 12.3.3.3

40

STUCCO CLADDING CONFORMING TO OBC REQUIREMENTS AND APPLIED PER MANUFACTURERS SPECIFICATIONS ON R5 (RSI 0.9) 1" (25) MIN. EXTRUDED OR EXPANDED RIGID POLYSTYRENE ON APPROVED SHEATHING PAPER ON 1/2" (12.7) EXTERIOR TYPE SHEATHING ON 2"X4" (38X89) SPRUCE STUDS @ 16" (400) O.C., R14 (RSI 3.25) BATT INSULATION, APPROVED 6 MIL. POLYETHYLENE VAPOUR BARRIER, 1/2" (12.7) GYPSUM WALLBOARD INTERIOR FINISH. WALL ASSEMBLY R22 (RSI 3.80) O.B.C. 12.3.2.1 &



(300) SOLID	DE 0" (400) SOLID	
TO HAVE AT LEAST ONE OUTSIDE WINDOW W/ MIN. 0.35m2 UNOBSTRUCTED OPEN PORTION W/ NO DIMENSION LESS THAN 1:-3" (380), CAPABLE OF MAINTAINING THE OPENING WITHOUT THE NEED FOR ADDITIONAL SUPPORT, AND MUST CONFORM TO	WINDOWS:  1) MINIMUM BEDROOM WINDOW  EXCEPT WHERE A DOOR ON THE SAME FLOOR LEVEL AS THE BEDROOM PROVIDES DIRECT ACCESS TO THE EXTERIOR, EVERY FLOOR LEVEL CONTAINING A BEDROOM IS	
1A. DOOR 2'-10" x 6'-8" x 1-3/4" (865 x 2030 x 45) INSULATED MIN R4 (RS)	DOOR SCHEDULE:  1. EXTERIOR 2'-8" x 6'-8" x 1-3/4" (815 x 2030 x 45) INSULATED MIN R4 (RS	

LEGEND:  LEGEND:  HOSE BIB  DU  DOUBLE JOIST  TJ  TRIPLE JOIST  TJ  TRIPLE JOIST  LVL  LAMINATED VENEER LUMBER  ABOVE  P.T.  POINT LOAD FROM ABOVE  P.T.  GIRDER TRUSS BY ROOF  TRUSS MANUF.  F.A.  HAT ARCH  M.C.  MEDICINE CABINET  CONCRETE BLOCK WALL  SEE NOTE ON PLANS	1) MINIMUM BEDROOM WINDOW  EXCEPT WHERE A DOOR ON THE SAME FLOOR LEVEL AS THE BEDROOM PROVIDES DIRECT ACCESS TO THE EXTERIOR, EVERY FLOOR LEVEL CONTAINING A BEDROOM IS TO HAVE AT LEAST ONE CUITSIDE WINDOW WIN A .035m2 UNDOSTRUCTED OPEN PORTION WIN DDIMENSION LESS THAN 1"2" (380), CAPABLE OF MAINTAINING THE PORTION WIN DDIMENSION LESS THAN 1"2" (380), CAPABLE OF MAINTAINING THE PORENING WITHOUT THE WEED FOR ADDITIONAL SUPPORT, AND MUST CONFORM TO 9.7.1.3 (& 9.7.1.4 FOR BASEMENT WINDOWS). LLIS LOCATED LESS THAN 1".7" (480) ABOVE FIN. FLOOR AND THE DISTANCE FROM THE FIN. FLOOR TO THE ADJACENT GRADE IS GREATER THAN 9-11 (1800).  3) WINDOW IS LEXIT STAIRWAYS.  3) WINDOWN IS LEXIT STAIRWAYS.  3) WINDOWN SURT STAIRWAYS THAT EXTEND TO LESS THAN 9-6" (1070) SHALL BE PROTECTED BY GLARDS IN ACCORDANCE WITH NOTE #2 (ABOVE). OR THE WINDOW SHALL BE WONDOWN SHALL BE NOWNO-PERABLE AND DESIGNED TO WITHSTAND THE SPECIFIED LOADS FOR BALCONY CUARDS AS PROVIDED IN PART 4 OF THE ONTARIO BUILDING CODE.  MECHANICAL DRAWINGS.  1) WINDOWN IS REQUIRED TO PROVIDE 1 AIR CHANGES PER HOUR IF NOT AIR CONDITIONED AS PROVIDED IN PART 4 OF THE ONTARIO BUILDING CODE.  MECHANICAL DRAWINGS.  1) ALL LUMBER STAIL BE SPRUCE NO. 2 GRADE OR BETTER, UNLESS NOTED OTHERWISE.  3) LUMBER STROND TO SHEET LUMBER (LVL) BEAMS, GIRDER TRUSSES, AND METAL HANGER ON THE DAY OF LVL WITH 3-12" (89) LONG COMONN WIRE MALS 80 (72" (300) OC. STAGGERED IN 3 ROWS FOR GREATER DEPTHS, THE THE WOOD MEMBERS AND DESIGNATIONS. SUPPORTING ROOF FRAMING TO BE DESIGNED & CERTIFIED BY TRUSS MANUFACTURED. IN THE STAGGERED IN 3 ROWS FOR GREATER DEPTHS, FOR A PLY MEMBERS AND 12" (12.7) Ø STAGGERED IN 3 ROWS FOR GREATER DEPTHS, THE STAIL APPENDENCY OF THE TWO REQUIREMENTS.  6) PROVIDE TOP MOUNT BEAM HANGERS, TYPE "5CL' MANUFACTURED BY YIGO. STAGGERED IN 3 ROWS FOR GREATER DEPTHS. FOR A PLY MEMBERS AND 12" (12.7) Ø STAGGERED IN THE MISSES NOTED OTHERWISE.  5) LUMBER SPECIFICATIONS. USE THE MOST STRINGENT OF THE TWO REQUIREMENTS.  6) PROVIDE TOP MOUNT BEAM HANGERS, TYPE "5CL' MANUFACTURED B
CLASS 'B' VENT  CLASS 'CLASS 'CLA	EVEL AS THE BEDROOM PROVIDES R LEVEL CONTAINING A BEDROOM IS N. 0.35m2 UNOBSTRUCTED OPEN N. CAPABLE OF MAINTAINING THE UPPORT, AND MUST CONFORM TO  RICTED OPENING WIDTH OF 4" (100) IS LIS LOCATED LESS THAN 1:7" (480) E FIN. FLOOR TO THE ADJACENT  E 1 AIR CHANGES PER HOUR IF UNITARIO BUILDING CODE.  RETTER, UNLESS NOTED OTHERWISE. S NOTED OTHERWISE. CREATER VALLS @ 12" (300) O.C. (184, 240, 300) DEPTHS AND FOR 4 PLY MEMBERS ADD 1/2" (12.7) Ø 3'0" (915) O.C. OR INSTALL AS PER IGENT OF THE TWO REQUIREMENTS. EQUAL FOR ALL LVL BEAM TO WISE.  NOTED MEMBERS. RESERVATIVE, IN CONTACT WITH ONC. BY AT LEAST 2 mil POLYETHYLENE MPPROOFING MATERIAL, EXCEPT ) ABOVE THE GROUND.
SOLID WOOD BEARING  SMOKE ALARM -O.B.C. 9.10.19 PROVIDE ONE PER FLOOR, NEAR THE STAIRS CONNECTING THE FLOOR LEVEL. ALARMS TO BE CONNECTING THE FLOOR LEVEL. ALARMS TO BE CONNECTED TO AN ELECTRICAL CIRCUIT AND INTERCONNECTED TO ACTIVATE ALL ALARMS IF ONE SOUNDS.  CARBON MONOXIDE DETECTOR -O.B.C. 9.33.4-  ** CHECK LOCAL BY-LAWS FOR REQUIREMENTS ** CARBON MONOXIDE DETECTOR(S) CONFORMING TO CAN/CGA-6.19 SHALL BE INSTALLED ON OR NEAR THE CEILING IN EACH DWELLING UNIT ADJACENT TO EACH SLEEPING AREA. CARBON MONOXIDE DETECTOR(S) SHALL BE PERMANENTLY WIRED WITH NO DISCONNECT SWITCH, WITH AN ALARM THAT IS AUDIBLE WITHIN BEDROOMS WHEN THE INTERVENING DOORS ARE CLOSED.  EXPOSED BUILDING FACE -O.B.C. 9.10.14.4. & 9.10.15.4- REFER TO CONSTRUCTION NOTE 35. & DETAILS FOR TYPE AND SPECIFICATIONS.  DESIGN SNOW LOAD: XXX kPa MIND LOAD (AEO). YXY LPa	EXTERIOR 2-8" x 6:8" x 1-3/4"  (1. DOOR (815 x 2030 x 45)

# 四 **(**) FFIELD Ш NGIN П RING **GROUP**

Ontario. STREET Site: info@bluegroveeng.com 540-0756

Toron M6M

(O,





PREPARED FOR:

VAUGHAN, ON

55 LOGWOOD DRIVE

PROJECT

TITLE:

The Contractor shall condata from the job and the Architects before p

**GENERAL NOTES** 

# SCHEDULE B: COMMENTS FROM AGENCIES, BUILDING STANDARDS & DEVELOPMENT PLANNING

Department / Agency	Conditions Required		Nature of Comments
*Comments Received			
Building Standards (Zoning) *See	Yes □	No ⊠	General Comments
Schedule B			
Development Planning	Yes □	No ⊠	Recommend Approval/No Conditions

External Agencies *Comments Received	Conditions Required		Nature of Comments *See Schedule B for full comments
Alectra	Yes □	No ⊠	General Comments
Region of York	Yes □	No ⊠	General Comments
TRCA	Yes □	No ⊠	General Comments



**Date:** July 18<sup>th</sup> 2024

Attention: Christine Vigneault

RE:

File No.: A029-24

**Related Files:** 

Applicant Ron and Anna Annabelle

**Location** 55 Logwood Drive



#### **COMMENTS:**

	We have reviewed the proposed Variance Application and have no comments or objections to its approval.
X	We have reviewed the proposed Variance Application and have no objections to its approval, subject to the following comments (attached below).
	We have reviewed the proposed Variance Application and have the following concerns (attached below).

Alectra Utilities (formerly PowerStream) has received and reviewed the proposed Variance Application. This review, however, does not imply any approval of the project or plan.

All proposed billboards, signs, and other structures associated with the project or plan must maintain minimum clearances to the existing overhead or underground electrical distribution system as specified by the applicable standards, codes and acts referenced.

In the event that construction commences, and the clearance between any component of the work/structure and the adjacent existing overhead and underground electrical distribution system violates the Occupational Health and Safety Act, the customer will be responsible for 100% of the costs associated with Alectra making the work area safe. All construction work will be required to stop until the safe limits of approach can be established.

In the event construction is completed, and the clearance between the constructed structure and the adjacent existing overhead and underground electrical distribution system violates the any of applicable standards, acts or codes referenced, the customer will be responsible for 100% of Alectra's cost for any relocation work.

#### References:

- Ontario Electrical Safety Code, latest edition (Clearance of Conductors from Buildings)
- Ontario Health and Safety Act, latest edition (Construction Protection)
- Ontario Building Code, latest edition (Clearance to Buildings)
- PowerStream (Construction Standard 03-1, 03-4), attached
- Canadian Standards Association, latest edition (Basic Clearances)

If more information is required, please contact either of the following:

Mr. Stephen Cranley, C.E.T

Supervisor, Distribution Design, ICI & Layouts (North)

**Phone**: 1-877-963-6900 ext. 31297

**E-mail**: stephen.cranley@alectrautilities.com

Mitchell Penner

Supervisor, Distribution Design-Subdivisions

**Phone**: 416-302-6215

**Email:** Mitchell.Penner@alectrautilities.com



Power Stream 1

#### Construction Standard

03-1

	SYSTEM VOLTAGE			
LOCATION OF WIRES, CABLES OR CONDUCTORS	SPAN GUYS AND COMMUNICATIONS WIRES		4.16/2.4kV TO 27.6/16kV (SEE NOTE 1)	44kV
	MINIMUM	VERTICAL CLEA	ARANCES (SEE	NOTE 2)
OVER OR ALONGSIDE ROADS, DRIVEWAYS OR LANDS ACCESSIBLE TO <u>VEHICLES</u>	442cm	442cm	480cm	520cm
OVER GROUND ACCESSIBLE TO PEDESTRIANS AND BICYCLES ONLY	250cm	310cm	340cm	370cm
ABOVE TOP OF RAIL AT RAILWAY CROSSINGS	730cm	730cm	760cm	810cm



MINIMUM ATTACHMENT HEIGHT = MAXIMUM SAG

- + MINIMUM VERTICAL CLEARANCE (FROM ABOVE TABLE)
  ± GRADE DIFFERENCE

- + 0.3m (VEHICLE OR RAILWAY LOCATION) + SNOW DEPTH (PEDESTRIAN LOCATION, SEE NOTE 3)

#### NOTES:

- THE MULTIGROUNDED SYSTEM NEUTRAL HAS THE SAME CLEARANCE AS THE 600V SYSTEM.
- 2. THE VERTICAL CLEARANCES IN THE ABOVE TABLE ARE UNDER  $\underline{\text{MAXIMUM SAG}}$  CONDITIONS.
- 3. REFER TO CSA STANDARD C22.3 No.1, ANNEX D FOR LOCAL SNOW DEPTH
- 4. ALL CLEARANCES ARE IN ACCORDANCE TO CSA STANDARD C22.3.

<u>\G</u>	340cm	11'-4"		
	310cm	10'-4"		
VALUES.	250cm	8'-4"		
VALUES.				
REFERENCES				
SAGS AND T	FNSIONS 1	SECTION 02		

METRIC

810cm

760cm 730cm

520cm 480cm

442cm 370cm

CONVERSION TABLE

IMPERIAL (APPROX)

27'-0" 25'-4"

24'-4" 17'-4"

15'-5" 12'-4"

### MINIMUM VERTICAL CLEARANCES OF WIRES, CABLES AND CONDUCTORS ABOVE GROUND OR RAILS

ORIGINAL ISSUE DATE: 2010-DEC-24 REVISION NO: R1 REVISION DATE: 2012-JAN-09

Certificate of Approval This construction Standard meets the safety requirements of Section 4 of Regulation 22/04		
Joe Crozier, P.Eng. 2012-JAN-09 Name Date		
P Fng. Approval By:	Ine Crozier	



#### Construction Standard

03 - 4





VOLTAGE	MINIMUM HORIZONTAL CLEARNACE UNDER MAXIMUM SWING CONDITIONS DIMENSION "X" (SEE NOTES 1, 3 & 4)	MINIMUM VERTICAL CLEARANCE UNDER MAXIMUM DESIGN SAG CONDITIONS DIMENSION "Y" (SEE NOTES 1, 2, 4 & 5)
0-600V AND NEUTRAL	100cm	250cm
4.16/2.4 TO 44kV	300cm	480cm

#### NOTES

- UNDER NO CIRCUMSTANCES SHALL A CONDUCTOR BE PERMITTED TO PENETRATE THE ENVELOPE SHOWN BY THE DOTTED LINE.
- 2. THE VERTICAL CLEARANCES ARE UNDER CONDITIONS OF MAXIMUM DESIGN SAG.
- THE HORIZONTAL CLEARANCES ARE UNDER CONDITIONS OF MAXIMUM SWING. WHERE THE CONDUCTOR SWING IS NOT KNOWN A HORIZONTAL CLEARANCE OF 480CM SHALL BE USED.
- 4. BUILDINGS THAT EXCEED 3 STOREYS OR 15M IN HEIGHT, THE MINIMUM HORIZONTAL CLEARANCE OF THE SECONDARY CONDUCTORS SHOULD BE INCREASED TO 300cm WHERE IT IS NECESSARY TO ALLOW FOR THE RAISING OF LADDERS BY LOCAL FIRE DEPARTMENTS.
- IN SITUATIONS SUCH AS MULTI-LEVEL GARAGES, WHERE ROOFS ARE NORMALLY USED BY PERSONS AND VEHICLES, THE VERTICAL CLEARANCES OF POWERSTREAM STANDARD 03-1 SHALL APPLY.
- 6. DISTRIBUTION LINES CONSTRUCTED NEAR BUILDINGS SHALL BE BUILT TO AVOID OVERHANG WHEREVER POSSIBLE. WHERE LINES MUST BE CONSTRUCTED OVER OR ADJACENT TO BUILDINGS THE APPLICABLE HORIZONTAL AND VERTICAL CLEARANCES SHALL BE AT CONDITIONS OF MAXIMUM CONDUCTOR SWING AND MAXIMUM SAG. THE ABOVE CLEARANCES ARE DESIGNED TO PREVENT PERSONS ON OR IN BUILDINGS AS WELL AS EXTERNAL MACHINERY USED IN CONJUCTION WITH A BUILDING TO COME IN CONTACT WITH CONDUCTORS. EFFORTS SHOULD BE MADE TO INCREASE THESE CLEARANCES WHERE POSSIBLE.
- 7. ALL CLEARANCES ARE IN ACCORDANCE TO CSA C22.3 NO.1-06 (TABLE-9).

CONVERSION TABLE		
IMPERIAL		
(APPROX)		
16'-0"		
10'-0"		
8'-4"		
3'-4"		

#### MINIMUM VERTICAL & HORIZONTAL CLEARANCES OF CONDUCTORS FROM BUILDINGS OR OTHER PERMANENT STRUCTURES (CONDUCTORS NOT ATTACHED TO BUILDINGS)

ORIGINAL ISSUE DATE: 2010—MAY—05 REVISION NO: REVISION DATE:
PEgystem Planning and Standards/Standard Design/PowerStream Standards/working (abbr/Scellan 3/3-4/c/wg d3-4 Ro May 5, 2010, dwg, %/3/2010 8/2/202 AM, Adobe POF



To: Committee of Adjustment

From: Sean Fitzpatrick, Building Standards Department

**Date:** July 18, 2024

Applicant: Ron and Anna Annabelle

**Location:** 55 Logwood Drive

PLAN 65M3338 Lot 379

File No.(s): A029/24

#### **Zoning Classification:**

The subject lands are zoned R2(EN) – Second Density Residential Zone (Established Neighbourhood) and subject to the provisions of Exception 14.676 under Zoning By-law 001-2021, as amended.

#	Zoning By-law 001-2021	Variance requested
1	In any Residential Zone, the maximum height of an accessory building and residential accessory structure shall be 3.0 m. [4.1.4 #1.]	To permit a maximum height of an accessory building 3.0733 m.
2	In any Residential Zone, a residential accessory structure with a height greater than 2.8 m shall not be located closer than 2.4 m to any lot line. [4.1.2 #1b.]	To permit a residential accessory structure with a height greater than 2.8 metres to be located a minimum 0.90 metres from the north side lot line.
3	In any Residential Zone, a residential accessory structure with a height greater than 2.8 m shall not be located closer than 2.4 m to any lot line. [4.1.2 #1b.]	To permit a residential accessory structure with a height greater than 2.8 metres to be located a minimum 0.39 metres from the rear (East) lot line.

#### **Staff Comments:**

#### Stop Work Order(s) and Order(s) to Comply:

There are no outstanding Orders on file

#### **Building Permit(s) Issued:**

Building Permit No. 22-112220 for Single Detached Dwelling - Alteration, Issue Date: (Not Yet Issued)

#### **Other Comments:**

#### **General Comments**

The applicant shall be advised that additional variances may be required upon review of detailed drawing for building permit/site plan approval.

#### **Conditions of Approval:**

If the committee finds merit in the application, the following conditions of approval are recommended.

\* Comments are based on the review of documentation supplied with this application.





**To:** Christine Vigneault, Committee of Adjustment Secretary Treasurer

From: Nancy Tuckett, Director of Development Planning

Date: August 9, 2024

Name of Owner: Anna Maria and Ronald Annabelle

**Location:** 55 Logwood Drive

File No.(s): A029/24

#### Proposed Variance(s) (By-law 001-2021):

1. To permit a maximum height of 3.0733 m for an accessory building.

- 2. To permit a residential accessory structure with a height greater than 2.8 m to be located a minimum 0.90 m from the north side lot line.
- 3. To permit a residential accessory structure with a height greater than 2.8 m to be located a minimum 0.39 m from the rear (east) lot line.

#### By-Law Requirement(s) (By-law 001-2021):

- 1. In any Residential Zone, the maximum height of an accessory building and residential accessory structure shall be 3.0 m.
- 2. In any Residential Zone, a residential accessory structure with a height greater than 2.8 m shall not be located closer than 2.4 m to any lot line.
- 3. In any Residential Zone, a residential accessory structure with a height greater than 2.8 m shall not be located closer than 2.4 m to any lot line.

#### Official Plan:

City of Vaughan Official Plan 2010 ('VOP 2010'): Low-Rise Residential

#### Comments:

The Owners are seeking to permit an existing shed in the rear yard of a residential property containing a single detached dwelling, with the above noted variances.

The Development Planning Department has no objection to Variance 1. The shed's roof is of a gable design, with the peak being the highest point of the structure. The height of the shed (3.0733 m) is measured from the grade to the peak of the roof. The design and height of the shed is modest and is not anticipated to have any adverse massing impacts on the surrounding properties. The shed is only 0.0733 m over the permitted height, which is minimal in nature and not perceptible.

The Development Planning Department has no objection to Variances 2 and 3. The shed is set back 0.90 m from the north side lot line. There is a wood privacy fence within the rear yard along the north, south, and east lot lines. There is a gravel pathway and self-latching wooden door between the shed and north fence. There is sufficient space between the shed and fence for maintenance access and drainage. The 0.39 m setback from the rear (east) lot line provides a limited amount of spatial separation for access, if required. There is no eave on this side and the wall facing the rear lot line is modest in relation to the overall length of the rear lot line.

Accordingly, Development Planning Department staff can support the requested variances and is of the opinion that the proposal is minor in nature, maintains the general intent and purpose of the Official Plan and Zoning By-law, and is desirable for the appropriate development of the land.

#### **Recommendation:**

The Development Planning Department recommends approval of the application, subject to the following conditions:

#### **Conditions of Approval:**

If the Committee finds merit in the application, the following conditions of approval are recommended:

## memorandum



None.

#### **Comments Prepared by:**

Alyssa Pangilinan, Planner 1 David Harding, Senior Planner

#### **Lenore Providence**

Subject: FW: [External] RE: A029/24 (55 Logwood Drive) - REQUEST FOR COMMENTS, CITY OF

VAUGHAN

From: Cameron McDonald < Cameron. McDonald@trca.ca>

Sent: Friday, July 19, 2024 3:32 PM

To: Committee of Adjustment < CofA@vaughan.ca>

Subject: [External] RE: A029/24 (55 Logwood Drive) - REQUEST FOR COMMENTS, CITY OF VAUGHAN

**CAUTION!** This is an external email. Verify the sender's email address and carefully examine any links or attachments before clicking. If you believe this may be a phishing email, please use the Phish Alert Button.

#### Good afternoon,

Based on a review of our screening mapping, I can confirm that the subject property is not located within TRCA's Regulated Area. As such, any site alteration or development on the property would not require a permit from TRCA.

Based on the above, we have no comments/requirements.

Regards,

#### **Cameron McDonald**

Planner I

Development Planning and Permits | Development and Engineering Services

T: (437) 880-1925

E: cameron.mcdonald@trca.ca

A: 101 Exchange Avenue, Vaughan, ON, L4K 5R6 | trca.ca



From: Development Services
To: Christine Vigneault
Cc: Committee of Adjustment

Subject: [External] RE: A029/24 (55 Logwood Drive) - REQUEST FOR COMMENTS, CITY OF VAUGHAN

**Date:** Tuesday, August 6, 2024 12:01:01 PM

Attachments: <u>image001.png</u>

image003.png

**CAUTION!** This is an external email. Verify the sender's email address and carefully examine any links or attachments before clicking. If you believe this may be a phishing email, please use the Phish Alert Button.

Hi Christine,

The Regional Municipality of York has completed its review of the minor variance application – A029/24 (55 Logwood Drive) and has no comment.

Please provide us with a digital copy of the notice of decision for our records.

Many thanks,

Our working hours may be different. Please do not feel obligated to reply outside of your scheduled working hours. Let's work together to help foster healthy work-life boundaries.

**Niranjan Rajevan, M.PI.** | Associate Planner, Development Planning | Economic and Development Services Branch | Corporate Services Department

The Regional Municipality of York | 17250 Yonge Street | Newmarket, ON L3Y 6Z1 1-877-464-9675 ext. 71521 | niranjan.rajevan@york.ca | www.york.ca

Our Values: Integrity, Commitment, Accountability, Respect, Excellence



Our Mission: Working together to serve our thriving communities - today and tomorrow

Please consider the environment before printing this email.

SCHEDULE C: PUBLIC & APPLICANT CORRESPONDENCE					
Correspondence Type	Name	Address	Date Received (mm/dd/yyyy)	Summary	
Applicant			03/01/2024	Application Cover Letter	
Public	Michele Urchioli	59 Logwood Drive	03/01/2024	Letter of Support	
Public	Eric Lhores	66 Logwood Drive	03/01/2024	Letter of Support	
Public	Lynn Younis	51 Logwood Drive	08/13/2024	Letter Questioning Accuracy of Information	

Mr. Ron Annabelle and Mrs. Anna Annabelle 55 Logwood Drive Maple Ontario L6A 3C8 Ron1970mc@gmail.com 416 573-2738

February 16, 2024

Committee of Adjustment City of Vaughan

Committee of Adjustment Members,

#### RE: Minor Variance request under file #8394

We are writing to address the recent complaint regarding the placement of the shed on our property, as well as to provide context to the situation.

We kindly request that our shed be permitted to remain in its current position and structure. Relocating and reconstructing the shed would not only impose a significant financial burden on us but also result in practical challenges related to storage for essential gardening equipment and patio furnishings, such as lawnmowers, snow blowers, bicycles, and more.

It is crucial to note that the shed has been in its current location for over 20 years without any prior objections from neighbors. We strongly believe that its presence does not adversely impact the neighborhood, and the recent complaint appears to be motivated by a retaliatory response to a complaint we filed against our neighbors, Mr. Joumah Younis and his son Mr. Jonathan Younis, residents of 51 Logwood Drive.

During the Covid-19 lockdowns, the Younis family initiated a home-based canoe business, leading to increased vehicular traffic on our secluded "no exit" street. This not only inconvenienced us with blocked driveway access and damaged lawns but also raised concerns about the safety and security of our home due to the constant flow of strangers into the backyards. Our attempts to address the issue with the Younis family were met with hostility, prompting us to seek legal assistance through the City of Vaughan Bylaw office.

It is important to highlight that the initial complaint focused solely on the shed's height, with no mention of concerns about its position. The sudden change in the nature of the complaint suggests a potential ulterior motive and a lack of genuine concern for the shed's impact on the neighborhood.

Considering the above circumstances, we kindly request a fair and unbiased evaluation of our shed's placement. We believe that maintaining the status quo is essential for our financial stability and the well-being of our family.

Thank you for your understanding and prompt attention to this matter. We look forward to a resolution that respects the rights and considerations of all parties involved.

Sincerely,

Ron Annabelle and Anna Annabelle

From: <u>Christine Vigneault</u>
Cc: <u>Committee of Adjustment</u>

Subject: RE: [External] Re: Information Request: A029/24 (55 Logwood Drive)

**Date:** Tuesday, August 13, 2024 9:59:57 AM

From: L. Younis
Sent: Tuesday, August 13, 2024 9:23 AM

To: Christine Vigneault < Christine. Vigneault@vaughan.ca>

Cc: Committee of Adjustment < CofA@vaughan.ca>

**Subject:** [External] Re: Information Request: A029/24 (55 Logwood Drive)

**CAUTION!** This is an external email. Verify the sender's email address and carefully examine any links or attachments before clicking. If you believe this may be a phishing email, please use the Phish Alert Button.

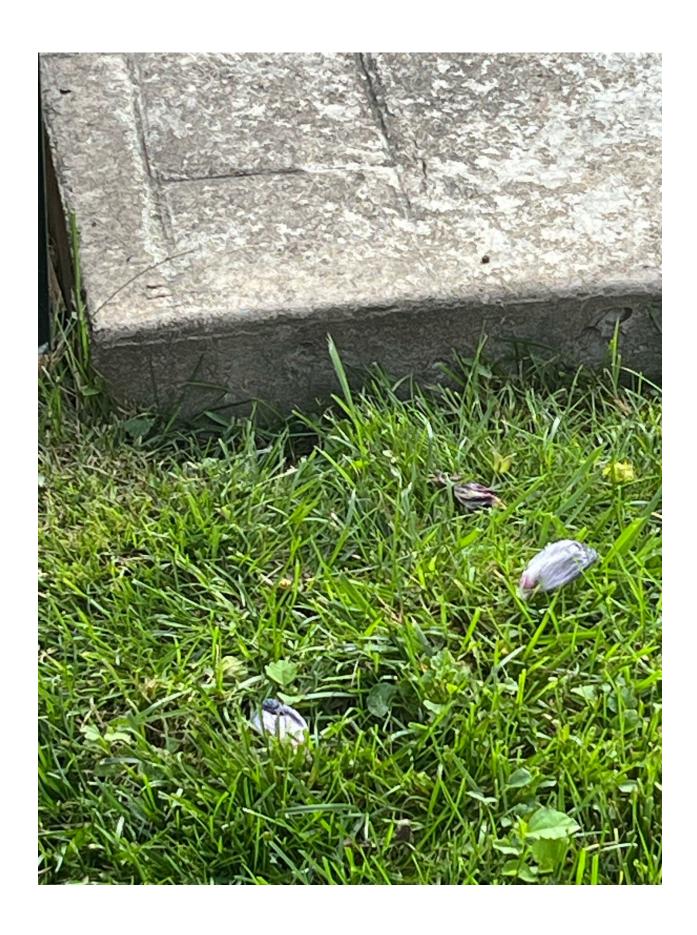
#### **Good morning**

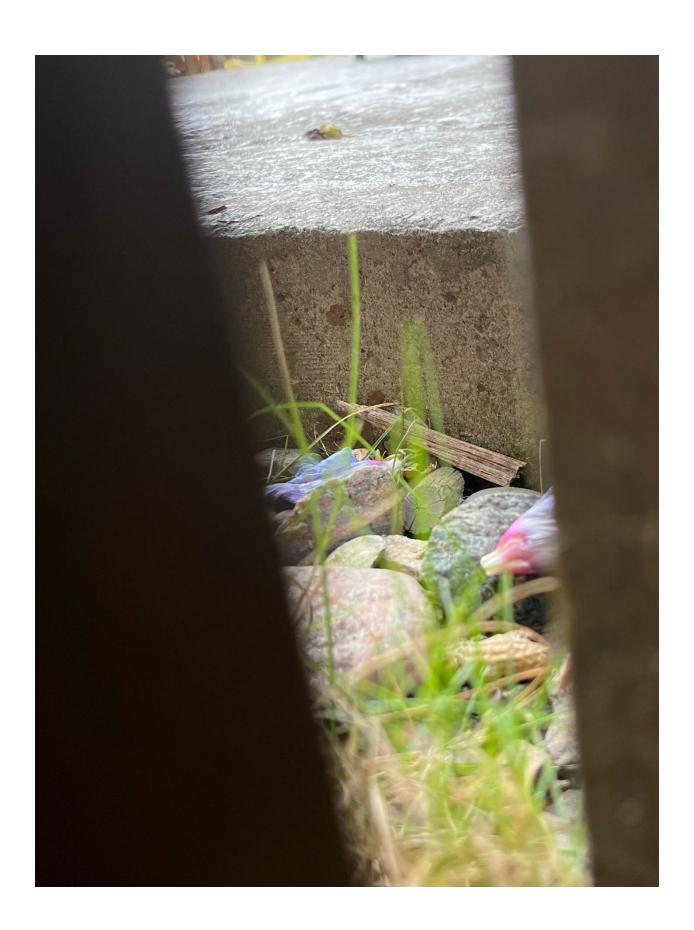
I have reviewed the Survey and it does not accurately represent the height of the shed. The survey outlines that the shed is built on a 4" slab which is below grade. This is not correct as the concrete was poured on the existing surface and is not below grade. The existing shed, is therefore 4 inches or .1016 meters higher than identified in the application. The Minor Variance Application item #1 must be amended "To permit a maximum height of an accessory building to 3.175 m."

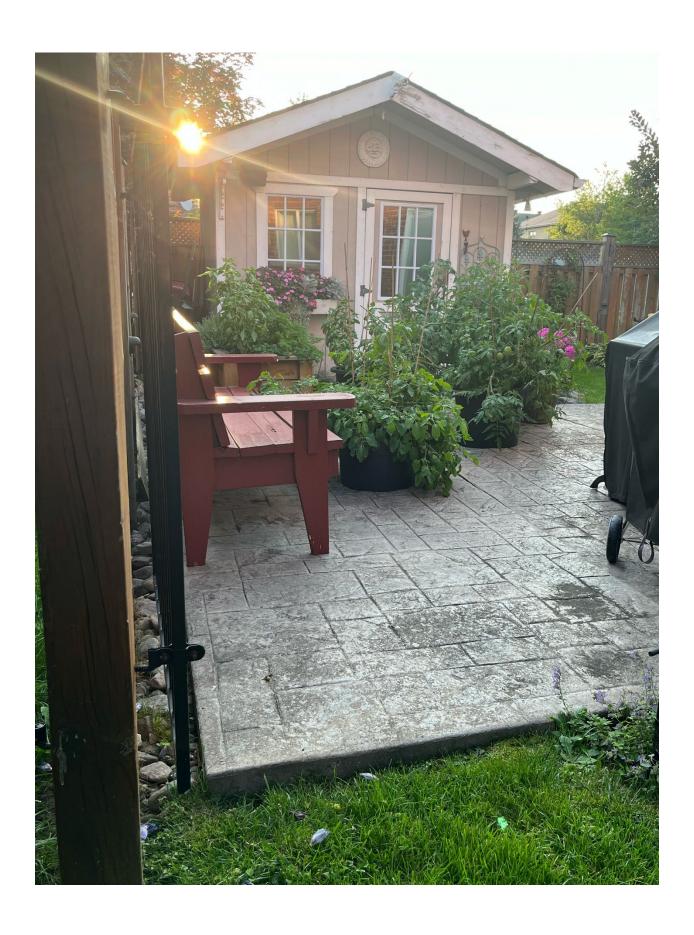
Please find attached photos which clearly show the concrete slab is above grade

As the surveyor has misrepresented the height of the shed, please request a further measurement. I would also request the the Engineer, M. A. Persechini, sign a conflict of interest form stating that in no way they are receiving any financial or other benefit due to this misrepresentation.

Lynn Younis 51 Logwood Drive







I, the undersigned, support the retention of the shed located at 55 Logwood Drive,
Maple, owned by Ron and Anna Maria Annabelle. I believe the shed is an
unobtrusive asset to the neighbourhood and have no objection to it remaining in its
current position.
current position.  Clean  FEB 25 124
Signature: Date: Zeh 25 2024
Name: MICHELE URCIUDAI  (please print)
Address: 59 LOGWOOD DR. VAUGHAN ONT

I, the undersigned, support the retention of the shed located at 55 Logwood Drive, Maple, owned by Ron and Anna Maria Annabelle. I believe the shed is an unobtrusive asset to the neighbourhood and have no objection to it remaining in its current position.

Signature:	Date: Febry 28, 2024
Name: ERic Lんのんたら (please print)	
Address: Cele LOGUIDA DANG MAPLE, ONTANO	
1 10 A 3C X	

## **SCHEDULE D: BACKGROUND**

None