

ITEM: 6.12	REPORT SUMMARY MINOR VARIANCE APPLICATION FILE NUMBER A123/24
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Report Date: August 16, 2024

**THIS REPORT CONTAINS COMMENTS FROM THE FOLLOWING
DEPARTMENTS & AGENCIES (SEE SCHEDULE B):**

Additional comments from departments and agencies received after the publication of the report will be made available on the City's [website](#).

Internal Departments <small>*Comments Received</small>	Conditions Required		Nature of Comments
Building Standards (Zoning) *See Schedule B	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>	General Comments
Committee of Adjustment	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>	General Comments
Development Planning	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>	Recommend Approval/No Conditions
Development Engineering	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>	Recommend Approval/No Conditions
Development Finance	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>	General Comments

External Agencies <small>*Comments Received</small>	Conditions Required		Nature of Comments <small>*See Schedule B for full comments</small>
Alectra	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>	General Comments
Region of York	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>	General Comments
TRCA	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>	General Comments

PUBLIC & APPLICANT CORRESPONDENCE (SEE SCHEDULE C)				
<p>All personal information collected because of this public meeting (including both written and oral submissions) is collected under the authority of the Municipal Act, the Municipal Freedom of Information and Protection of Privacy Act (MFIPPA), the Planning Act and all other relevant legislation, and will be used to assist in deciding on this matter. All personal information (as defined by MFIPPA), including (but not limited to) names, addresses, opinions and comments collected will become property of the City of Vaughan, will be made available for public disclosure (including being posted on the internet) and will be used to assist the Committee of Adjustment and staff to process this application.</p>				
Correspondence Type	Name	Address	Date Received <small>(mm/dd/yyyy)</small>	Summary
None				

BACKGROUND (SCHEDULE D, IF REQUIRED)	
<p style="text-align: center;"><small>* Background Information contains historical development approvals considered to be related to this file. This information should not be considered comprehensive.</small></p>	
Application No. (City File)	Application Description <small>(i.e. Minor Variance Application; Approved by COA / OLT)</small>
N/A	N/A

ADJOURNMENT HISTORY	
<p style="text-align: center;"><small>* Previous hearing dates where this application was adjourned by the Committee and public notice issued.</small></p>	
Hearing Date	Reason for Adjournment (to be obtained from NOD_ADJ)
N/A	N/A

SCHEDULES	
Schedule A	Drawings & Plans Submitted with the Application
Schedule B	Comments from Agencies, Building Standards & Development Planning
Schedule C (if required)	Public & Applicant Correspondence
Schedule D (if required)	Background



MINOR VARIANCE APPLICATION FILE NUMBER A123/24

CITY WARD #:	4
APPLICANT:	Maruba Investments Inc.
AGENT:	Thomas Wauchope
PROPERTY:	2601 Rutherford Road, Vaughan
ZONING DESIGNATION:	See below.
VAUGHAN OFFICIAL PLAN (2010) DESIGNATION:	Vaughan Official Plan 2010 ('VOP 2010'): "Prestige Employment"
RELATED DEVELOPMENT APPLICATIONS:	None
PROPOSAL:	Relief from the Zoning By-law is being requested to permit an accessory arcade to a freestanding eating establishment in Building A as shown on the attached Site Plan.

The following variances are being requested from the City's Zoning By-law to accommodate the above proposal:

The subject lands are zoned EM1 Prestige Employment Zone and subject to the provisions of Exception 9(822B) under Zoning By-law 1-88, as amended.

	Zoning By-law 1-88	Variance requested
1	An accessory arcade to a freestanding eating establishment, shall not exceed a maximum of 10% of the building Gross Floor Area. Exception 9(822B) sub ci)	To permit an accessory arcade to a freestanding eating establishment to have a maximum floor area of 40% of the building Gross Floor Area.

HEARING INFORMATION

DATE OF MEETING: Thursday, August 22, 2024
TIME: 6:00 p.m.
MEETING LOCATION: Vaughan City Hall, Woodbridge Room (2nd Floor), 2141 Major Mackenzie Drive
LIVE STREAM LINK: Vaughan.ca/LiveCouncil

PUBLIC PARTICIPATION

If you would like to speak to the Committee of Adjustment at the meeting, either remotely or in person, please complete the [Request to Speak Form](#) and submit to cofa@vaughan.ca

If you would like to submit written comments, please quote file number above and submit by mail or email to:

Email: cofa@vaughan.ca

Mail: City of Vaughan, Office of the City Clerk, Committee of Adjustment, 2141 Major Mackenzie Drive, Vaughan, ON, L6A 1T1

To speak electronically, pre-registration is required by completing the [Request to Speak Form](#) on-line and submitting it to cofa@vaughan.ca no later than NOON on the last business day before the meeting.

THE DEADLINE TO REGISTER TO SPEAK ELECTRONICALLY OR SUBMIT WRITTEN COMMENTS ON THE ABOVE NOTED FILE(S) IS NOON ON THE LAST BUSINESS DAY BEFORE THE MEETING.

INTRODUCTION

Staff and Agencies act as advisory bodies to the Committee of Adjustment. The comments contained in this report are presented as recommendations to the Committee.

INTRODUCTION

Section 45(1) of the Planning Act sets the criteria for authorizing minor variances to the City of Vaughan's Zoning By-law. Accordingly, review of the application may consider the following:

That the general intent and purpose of the by-law will be maintained.
That the general intent and purpose of the official plan will be maintained.
That the requested variance(s) is/are acceptable for the appropriate development of the subject lands.
That the requested variance(s) is/are minor in nature.

Public written and oral submissions relating to this application are taken into consideration by the Committee of Adjustment as part of its deliberations and final decision on this matter.

COMMITTEE OF ADJUSTMENT

Date Public Notice Mailed:	August 8, 2024
Date Applicant Confirmed Posting of Sign:	August 6, 2024
Applicant Justification for Variances: <small>*As provided in Application Form</small>	We believe we are in compliance with the use case. We need to adjust the permitted percentage allowed as it is specifically outlined in previous exemption 822B.
Was a Zoning Review Waiver (ZRW) Form submitted by Applicant: <small>*ZRW Form may be used by applicant in instances where a revised submission is made, and zoning staff do not have an opportunity to review and confirm variances prior to the issuance of public notice.</small>	Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>
COMMENTS:	
None	
Committee of Adjustment Recommended Conditions of Approval:	None

BUILDING STANDARDS (ZONING)

**See Schedule B for Building Standards (Zoning) Comments	
Building Standards Recommended Conditions of Approval:	None

DEVELOPMENT PLANNING

**See Schedule B for Development Planning Comments.	
Development Planning Recommended Conditions of Approval:	None

DEVELOPMENT ENGINEERING

Link to Grading Permit Link to Pool Permit Link to Curb Curt Permit Link Culvert Installation	
Development Engineering does not oppose to Minor Variance Application A123/24.	
Development Engineering Recommended Conditions of Approval:	None

PARKS, FORESTRY & HORTICULTURE (PFH)

No comments received to date.	
PFH Recommended Conditions of Approval:	None

DEVELOPMENT FINANCE

No comment no concerns.	
Development Finance Recommended Conditions of Approval:	None

BY-LAW AND COMPLIANCE, LICENSING AND PERMIT SERVICES

No comments received to date.	
BCLPS Recommended Conditions of Approval:	None

BUILDING INSPECTION (SEPTIC)

No comments received to date.

Building Inspection Recommended Conditions of Approval:	None
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FIRE DEPARTMENT

No comments received to date.

Fire Department Recommended Conditions of Approval:	None
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RECOMMENDED CONDITIONS OF APPROVAL SUMMARY

Should the Committee find it appropriate to approve this application in accordance with request and the sketch submitted with the application, as required by Ontario Regulation 200/96, the following conditions have been recommended:

#	DEPARTMENT / AGENCY	CONDITION
	None	

All conditions of approval, unless otherwise stated, are considered to be incorporated into the approval "if required". If a condition is no longer required after an approval is final and binding, the condition may be waived by the respective department or agency requesting conditional approval. A condition cannot be waived without written consent from the respective department or agency.

IMPORTANT INFORMATION

CONDITIONS: It is the responsibility of the owner/applicant and/or authorized agent to obtain and provide a clearance letter from respective department and/or agency (**see condition chart above for contact**). This letter must be provided to the Secretary-Treasurer to be finalized. All conditions must be cleared prior to the issuance of a Building Permit.

APPROVALS: Making any changes to your proposal after a decision has been made may impact the validity of the Committee's decision.

An approval obtained from the Committee of Adjustment, where applicable, is tied to the building envelope shown on the plans and drawings submitted with the application and subject to the variance approval.

A building envelope is defined by the setbacks of the buildings and/or structures shown on the plans and drawings submitted with the application, as required by Ontario Regulation 200/96. Future development outside of an approved building envelope, where a minor variance was obtained, must comply with the provisions of the City's Zoning By-law.

Elevation drawings are provided to reflect the style of roof (i.e. flat, mansard, gable etc.) to which a building height variance has been applied. Where a height variance is approved, building height is applied to the style of roof (as defined in the City's Zoning By-law) shown on the elevation plans submitted with the application.

Architectural design features that are not regulated by the City's Zoning By-law are not to be considered part of an approval unless specified in the Committee's decision.

DEVELOPMENT CHARGES: That the payment of the Regional Development Charge, if required, is payable to the City of Vaughan before issuance of a building permit in accordance with the Development Charges Act and the Regional Development Charges By-law in effect at the time of payment.

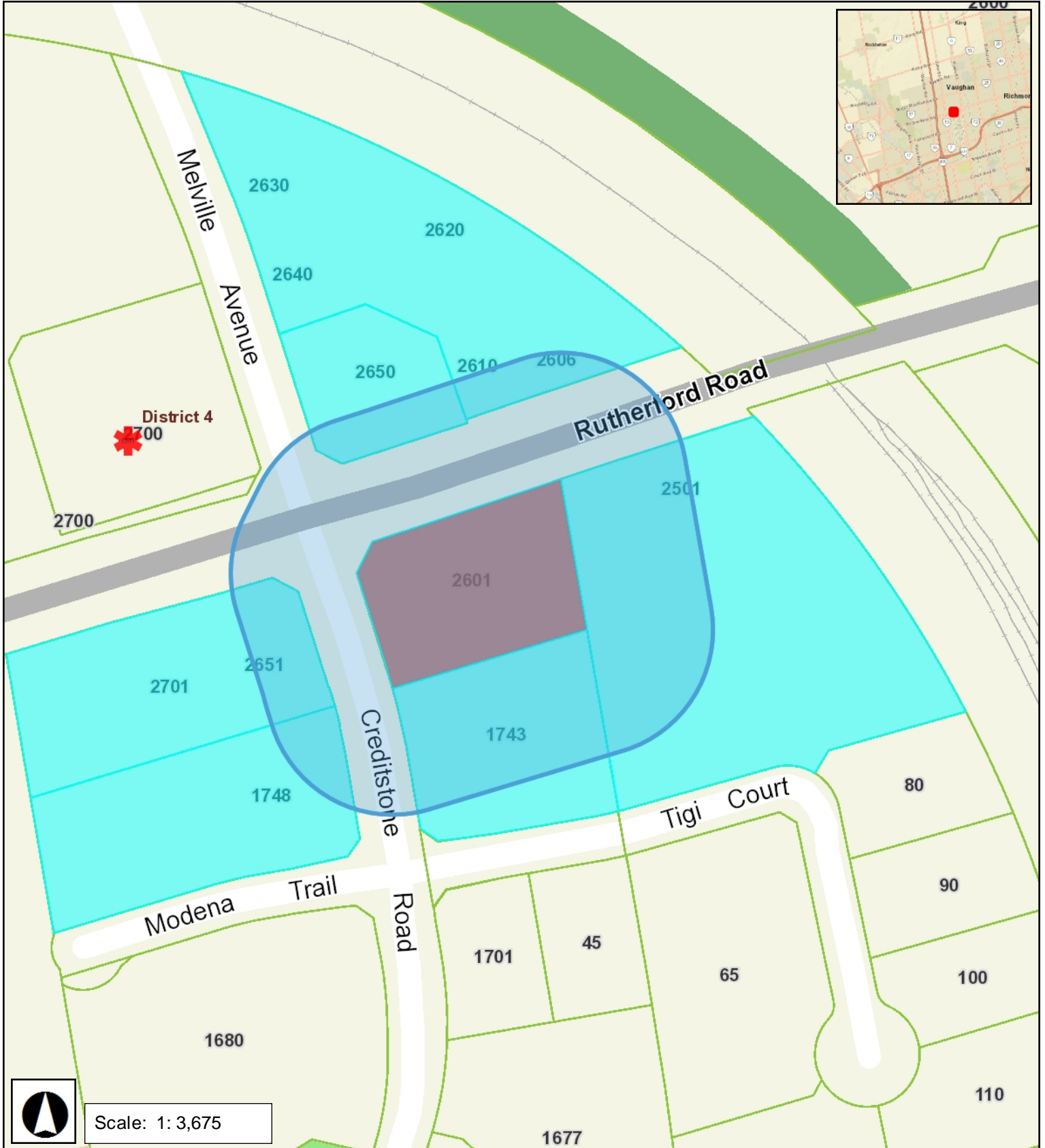
That the payment of the City Development Charge, if required, is payable to the City of Vaughan before issuance of a building permit in accordance with the Development Charges Act and the City's Development Charges By-law in effect at the time of payment.

That the payment of the Education Development Charge if required, is payable to the City of Vaughan before issuance of a building permit in accordance with the Development Charges Act and the Boards of Education By-laws in effect at the time of payment

That the payment of Special Area Development charge, if required, is payable to the City of Vaughan before issuance of a building permit in accordance with the Development Charges Act and The City's Development Charge By-law in effect at the time of Building permit issuance to the satisfaction of the Reserves/Capital Department.

NOTICE OF DECISION: If you wish to be notified of the decision in respect to this application or a related Ontario Land Tribunal (OLT) hearing you must complete a Request for Decision form and submit to the Secretary Treasurer (ask staff for details). In the absence of a written request to be notified of the Committee's decision you will **not** receive notice.

SCHEDULE A: DRAWINGS & PLANS



Date: July 30th 2024

Attention: **Christine Vigneault**

RE:

File No.: **A123-24**

Related Files:

Applicant GameTime Eatery and Entertainment (Brantford) Inc

Location 2601 Rutherford Road



Discover the possibilities

COMMENTS:

- We have reviewed the proposed Variance Application and have no comments or objections to its approval.
- We have reviewed the proposed Variance Application and have no objections to its approval, subject to the following comments (attached below).
- We have reviewed the proposed Variance Application and have the following concerns (attached below).

Alectra Utilities (formerly PowerStream) has received and reviewed the proposed Variance Application. This review, however, does not imply any approval of the project or plan.

All proposed billboards, signs, and other structures associated with the project or plan must maintain minimum clearances to the existing overhead or underground electrical distribution system as specified by the applicable standards, codes and acts referenced.

In the event that construction commences, and the clearance between any component of the work/structure and the adjacent existing overhead and underground electrical distribution system violates the Occupational Health and Safety Act, the customer will be responsible for 100% of the costs associated with Alectra making the work area safe. All construction work will be required to stop until the safe limits of approach can be established.

In the event construction is completed, and the clearance between the constructed structure and the adjacent existing overhead and underground electrical distribution system violates the any of applicable standards, acts or codes referenced, the customer will be responsible for 100% of Alectra's cost for any relocation work.

References:

- Ontario Electrical Safety Code, latest edition (Clearance of Conductors from Buildings)
- Ontario Health and Safety Act, latest edition (Construction Protection)
- Ontario Building Code, latest edition (Clearance to Buildings)
- PowerStream (Construction Standard 03-1, 03-4), attached
- Canadian Standards Association, latest edition (Basic Clearances)

If more information is required, please contact either of the following:

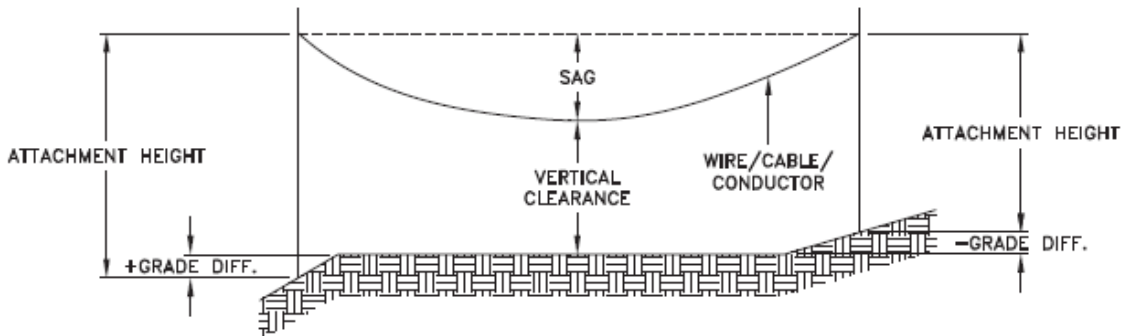
Mr. Stephen Cranley, C.E.T
Supervisor, Distribution Design, ICI & Layouts (North)
Phone: 1-877-963-6900 ext. 31297

E-mail: stephen.cranley@alectrautilities.com

Mitchell Penner
Supervisor, Distribution Design-Subdivisions
Phone: 416-302-6215

Email: Mitchell.Penner@alectrautilities.com

LOCATION OF WIRES, CABLES OR CONDUCTORS	SYSTEM VOLTAGE			
	SPAN GUYS AND COMMUNICATIONS WIRES	UP TO 600V AND NEUTRAL	4.16/2.4kV TO 27.6/16kV (SEE NOTE 1)	44kV
MINIMUM VERTICAL CLEARANCES (SEE NOTE 2)				
OVER OR ALONGSIDE ROADS, DRIVEWAYS OR LANDS ACCESSIBLE TO <u>VEHICLES</u>	442cm	442cm	480cm	520cm
OVER GROUND ACCESSIBLE TO <u>PEDESTRIANS AND BICYCLES ONLY</u>	250cm	310cm	340cm	370cm
ABOVE TOP OF RAIL AT <u>RAILWAY CROSSINGS</u>	730cm	730cm	760cm	810cm



MINIMUM ATTACHMENT HEIGHT = MAXIMUM SAG
 + MINIMUM VERTICAL CLEARANCE (FROM ABOVE TABLE)
 ± GRADE DIFFERENCE
 + 0.3m (VEHICLE OR RAILWAY LOCATION)
 + SNOW DEPTH (PEDESTRIAN LOCATION, SEE NOTE 3)

NOTES:

1. THE MULTIGROUNDED SYSTEM NEUTRAL HAS THE SAME CLEARANCE AS THE 600V SYSTEM.
2. THE VERTICAL CLEARANCES IN THE ABOVE TABLE ARE UNDER MAXIMUM SAG CONDITIONS.
3. REFER TO CSA STANDARD C22.3 No.1, ANNEX D FOR LOCAL SNOW DEPTH VALUES.
4. ALL CLEARANCES ARE IN ACCORDANCE TO CSA STANDARD C22.3.

CONVERSION TABLE

METRIC	IMPERIAL (APPROX)
810cm	27'-0"
760cm	25'-4"
730cm	24'-4"
520cm	17'-4"
480cm	16'-0"
442cm	15'-5"
370cm	12'-4"
340cm	11'-4"
310cm	10'-4"
250cm	8'-4"

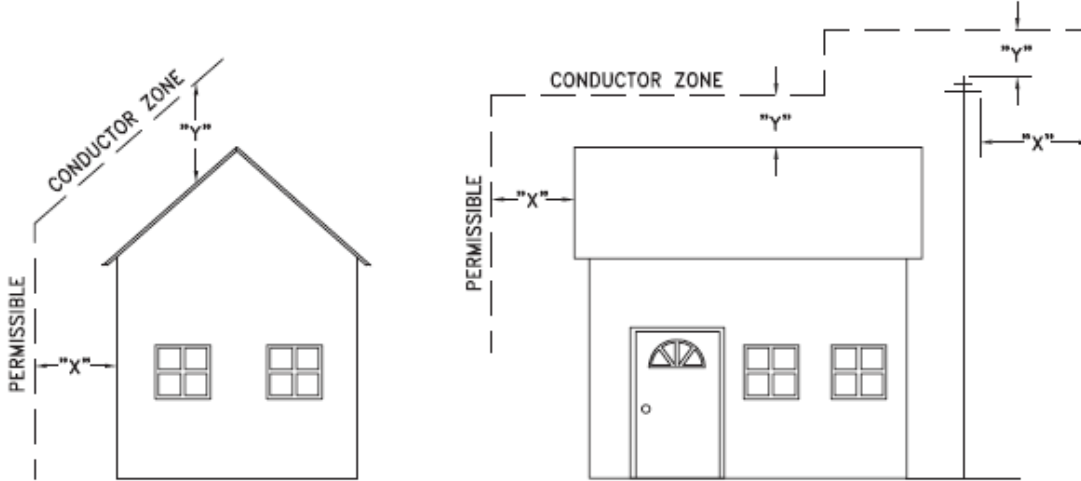
REFERENCES

SAGS AND TENSIONS | SECTION 02

MINIMUM VERTICAL CLEARANCES OF WIRES, CABLES AND CONDUCTORS ABOVE GROUND OR RAILS

ORIGINAL ISSUE DATE: 2010-DEC-24 REVISION NO: R1 REVISION DATE: 2012-JAN-09

Certificate of Approval	
This construction Standard meets the safety requirements of Section 4 of Regulation 22/04	
Joe Crozier, P.Eng.	2012-JAN-09
Name	Date
P.Eng. Approval By:	Joe Crozier



VOLTAGE	MINIMUM HORIZONTAL CLEARANCE UNDER MAXIMUM SWING CONDITIONS DIMENSION "X" (SEE NOTES 1, 3 & 4)	MINIMUM VERTICAL CLEARANCE UNDER MAXIMUM DESIGN SAG CONDITIONS DIMENSION "Y" (SEE NOTES 1, 2, 4 & 5)
0-600V AND NEUTRAL	100cm	250cm
4.16/2.4 TO 44kV	300cm	480cm

NOTES

1. UNDER NO CIRCUMSTANCES SHALL A CONDUCTOR BE PERMITTED TO PENETRATE THE ENVELOPE SHOWN BY THE DOTTED LINE.
2. THE VERTICAL CLEARANCES ARE UNDER CONDITIONS OF MAXIMUM DESIGN SAG.
3. THE HORIZONTAL CLEARANCES ARE UNDER CONDITIONS OF MAXIMUM SWING. WHERE THE CONDUCTOR SWING IS NOT KNOWN A HORIZONTAL CLEARANCE OF 480CM SHALL BE USED.
4. BUILDINGS THAT EXCEED 3 STOREYS OR 15M IN HEIGHT, THE MINIMUM HORIZONTAL CLEARANCE OF THE SECONDARY CONDUCTORS SHOULD BE INCREASED TO 300cm WHERE IT IS NECESSARY TO ALLOW FOR THE RAISING OF LADDERS BY LOCAL FIRE DEPARTMENTS.
5. IN SITUATIONS SUCH AS MULTI-LEVEL GARAGES, WHERE ROOFS ARE NORMALLY USED BY PERSONS AND VEHICLES, THE VERTICAL CLEARANCES OF POWERSTREAM STANDARD 03-1 SHALL APPLY.
6. DISTRIBUTION LINES CONSTRUCTED NEAR BUILDINGS SHALL BE BUILT TO AVOID OVERHANG WHEREVER POSSIBLE. WHERE LINES MUST BE CONSTRUCTED OVER OR ADJACENT TO BUILDINGS THE APPLICABLE HORIZONTAL AND VERTICAL CLEARANCES SHALL BE AT CONDITIONS OF MAXIMUM CONDUCTOR SWING AND MAXIMUM SAG. THE ABOVE CLEARANCES ARE DESIGNED TO PREVENT PERSONS ON OR IN BUILDINGS AS WELL AS EXTERNAL MACHINERY USED IN CONJUNCTION WITH A BUILDING TO COME IN CONTACT WITH CONDUCTORS. EFFORTS SHOULD BE MADE TO INCREASE THESE CLEARANCES WHERE POSSIBLE.
7. ALL CLEARANCES ARE IN ACCORDANCE TO CSA C22.3 NO.1-06 (TABLE-9).

METRIC	IMPERIAL (APPROX)
480cm	16'-0"
300cm	10'-0"
250cm	8'-4"
100cm	3'-4"

MINIMUM VERTICAL & HORIZONTAL CLEARANCES OF CONDUCTORS FROM BUILDINGS OR OTHER PERMANENT STRUCTURES (CONDUCTORS NOT ATTACHED TO BUILDINGS)

Certificate of Approval
This construction Standard meets the safety requirements of Section 4 of Regulation 22/04
Debbie Dadwani, P.Eng. 2010-MAY-05
Name Date
P. Eng. Approval By: *D. Dadwani*

ORIGINAL ISSUE DATE: 2010-MAY-05 REVISION NO: REVISION DATE:
PS:\System Planning and Standards\Standard Design\PowerStream Standards\PowerStream Standards working files\Section 3-1-02\WG 03-4 R0 May 5, 2010.dwg, 5/5/2010 10:22:02 AM, Adobe PDF

To: Committee of Adjustment
From: Bernd Paessler, Building Standards Department
Date: July 26, 2024
Applicant: GameTime Eatery and Entertainment (Brantford) Inc.
Location: 2601 Rutherford Road
 PLAN 65M3354 Block 1
File No.(s): A123/24

Zoning Classification:

The subject lands are zoned EM1 Prestige Employment Zone and subject to the provisions of Exception 9(822B) under Zoning By-law 1-88, as amended.

Zoning By-law 1-88		Variance requested
1	An accessory arcade to a freestanding eating establishment, shall not exceed a maximum of 10% of the building Gross Floor Area. Exception 9(822B) sub ci)	To permit an accessory arcade to a freestanding eating establishment to have a maximum floor area of 40% of the building Gross Floor Area.

Staff Comments:

Stop Work Order(s) and Order(s) to Comply:

There are no outstanding Orders on file

Building Permit(s) Issued:

A Building Permit has not been issued. The Ontario Building Code requires a building permit for structures that exceed 10m²

Other Comments:

General Comments	
1	The applicant shall be advised that additional variances may be required upon review of detailed drawing for building permit/site plan approval.
2	Note that an increase to design maximum capacities in proposed uses could increase parking required beyond what was previously approved under A242/06.

Conditions of Approval:

If the committee finds merit in the application, the following conditions of approval are recommended.

* Comments are based on the review of documentation supplied with this application.

To: Christine Vigneault, Committee of Adjustment Secretary Treasurer
From: Nancy Tuckett, Director of Development Planning
Date: August 8, 2024
Name of Owner: Maruba Investment Inc.
Location: 2601 Rutherford Road
File No.(s): A123/24

Proposed Variance(s) (By-law 1-88):

1. To permit an accessory arcade to a freestanding eating establishment to have a maximum floor area of 40% of the building Gross Floor Area.

By-Law Requirement(s) (By-law 1-88):

1. An accessory arcade to a freestanding eating establishment, shall not exceed a maximum of 10% of the building Gross Floor Area.

Official Plan:

City of Vaughan Official Plan 2010 ('VOP 2010'): Prestige Employment

Comments:

The Owner is seeking relief to permit a restaurant and arcade business, with the above noted variances.

The Development Planning Department has no objection to Variance 1. There is an existing one-storey building and associated parking lot on the Subject Lands, currently vacant, which previously operated as a sports bar and off-track betting facility. The property is zoned EM1 – Prestige Employment Zone, subject to the provisions of site-specific exception 9(822B) under Zoning By-law 1-88, as amended. The exception permits one free standing eating establishment to occupy a maximum of 50% of the building Gross Floor Area (GFA), 5% for accessory billiard tables, 10% for accessory arcade use, and 15% for accessory teletheatre. The Owner is proposing to vary the site exception to permit a new entertainment facility, comprising of 50% eating establishment, 10% bowling, and 40% arcade. Bowling is permitted as-of-right in the EM1 Zone. The new facility will continue to be an eating establishment with accessory entertainment space, as the site-specific exception intended. However, it is the distribution of entertainment that will be different. The Development Engineering Department has also reviewed this application and have no concerns regarding the parking supply for the proposed uses to this site.

Accordingly, the Development Planning Department can support the requested variance and is of the opinion that the proposal is minor in nature, maintains the general intent and purpose of the Official Plan and Zoning By-law, and is desirable for the appropriate development of the land.

Recommendation:

The Development Planning Department recommends approval of the application

Conditions of Approval:

If the Committee finds merit in the application, the following conditions of approval are recommended:

None.

Comments Prepared by:

Alyssa Pangilinan, Planner 1
David Harding, Senior Planner

From: [Cameron McDonald](#)
To: [Committee of Adjustment](#)
Subject: [External] RE: A123/24 (2601 Rutherford Road)- REQUEST FOR COMMENTS, CITY OF VAUGHAN
Date: Tuesday, July 30, 2024 2:22:06 PM
Attachments: [image003.png](#)

CAUTION! This is an external email. Verify the sender's email address and carefully examine any links or attachments before clicking. If you believe this may be a phishing email, please use the Phish Alert Button.

Good afternoon,

Based on a review of our screening mapping, I can confirm that the subject property is not located within TRCA's Regulated Area. As such, any site alteration or development on the property would not require a permit from TRCA.

Based on the above, we have no comments/requirements.

Regards,

Cameron McDonald

Planner I

Development Planning and Permits | Development and Engineering Services

T: [\(437\) 880-1925](tel:(437)880-1925)

E: cameron.mcdonald@trca.ca

A: [101 Exchange Avenue, Vaughan, ON, L4K 5R6](https://www.trca.ca) | [trca.ca](https://www.trca.ca)



From: [Development Services](#)
To: [Lenore Providence](#)
Cc: [Committee of Adjustment](#)
Subject: [External] RE: A123/24 (2601 Rutherford Road)- REQUEST FOR COMMENTS, CITY OF VAUGHAN
Date: Wednesday, August 7, 2024 3:00:02 PM
Attachments: [image002.png](#)
[image004.png](#)

CAUTION! This is an external email. Verify the sender's email address and carefully examine any links or attachments before clicking. If you believe this may be a phishing email, please use the Phish Alert Button.

Hi Lenore,

The Regional Municipality of York has completed its review of the minor variance application – A123/24 (2601 Rutherford Road) and has no comment.

Please provide us with a digital copy of the notice of decision for our records.

Many thanks,

Our working hours may be different. Please do not feel obligated to reply outside of your scheduled working hours. Let's work together to help foster healthy work-life boundaries.

Niranjan Rajevan, M.Pl. | Associate Planner, Development Planning | Economic and Development Services Branch | Corporate Services Department

The Regional Municipality of York | 17250 Yonge Street | Newmarket, ON L3Y 6Z1
1-877-464-9675 ext. 71521 | niranjan.rajevan@york.ca | www.york.ca

Our Values: Integrity, Commitment, Accountability, Respect, Excellence



Our Mission: **Working together to serve our thriving communities – today and tomorrow**

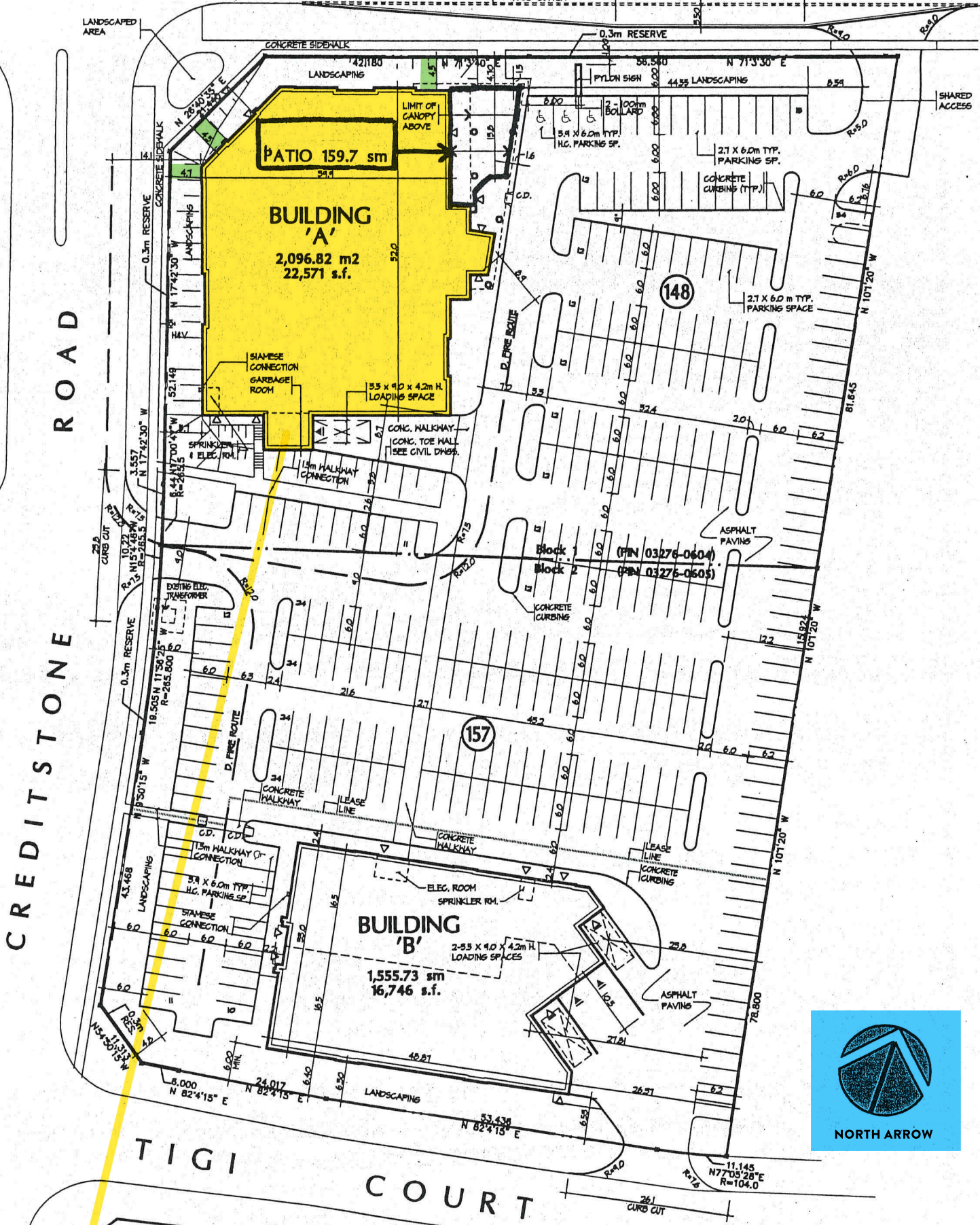
Please consider the environment before printing this email.

SETBACKS 4.5M OR 4.7M WILL
REMAIN THE SAME, NOTHING CHANGED.

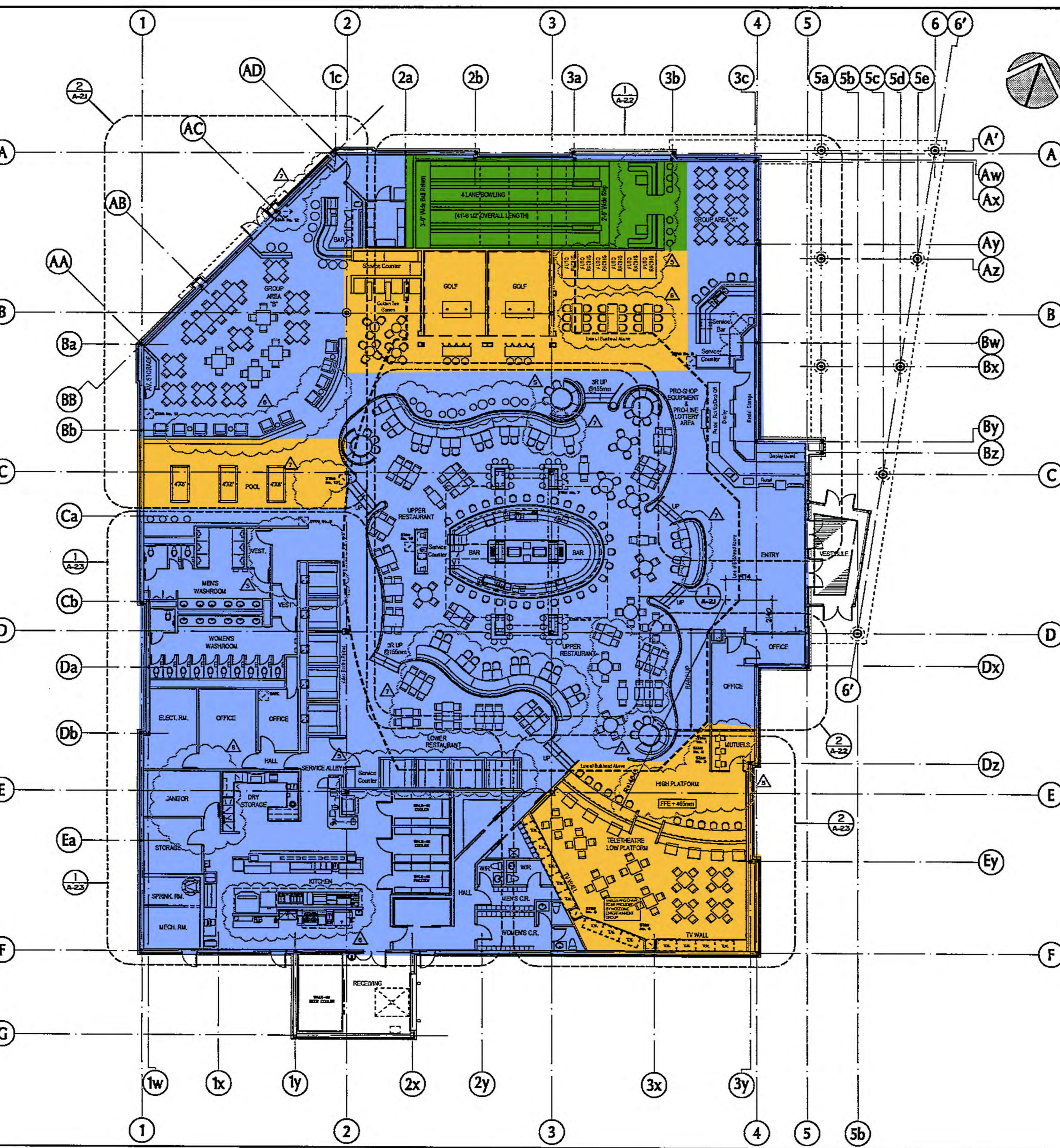
RUTHERFORD ROAD

REMOVE AND SALVAGE EXISTING SIGNS
REMOVE EXISTING MEDIAN BULLNOSE

PROPOSED CONCRETE MEDIAN EXTENSION



2601 RUTHERFORD RD.
BUILDING A: 2096.82 M²
THE BUILDING WILL REMAIN THE SAME AND NO CHANGES WILL BE MADE TO STRUCTURES OR PROPERTY.



**EXISTING PERMITTED
AREA (GFA) USE**

- RESTAURANT 50% GFA
- BOWLING 10% GFA
- ARCADES & GAMES 10%
- BILLIARDS 5%
- TELETHEATRE 15%

NO	ISSUED	DATE
5	RE-ISSUED FOR CLIENT REVIEW	DEC 05 2003
6	RE-ISSUED FOR CLIENT REVIEW	JAN 09 2004
7	RE-ISSUED FOR CLIENT REVIEW	APR 26, 2004
8	ISSUED FOR DRYHALL & INSULATION PRICING	MAY 05, 2004
9	ISSUED FOR PERMIT	MAY 18, 2004
10	ISSUED FOR DRYHALL PARTITION PRICING	MAY 14, 2004
11	ISSUED FOR STADIUM BAR TENDER	MAY 25, 2004
12	ISSUED FOR DRYHALL PARTITION CEILING & BULKHEAD PRICING	JUNE 02, 2004
13	ISSUED FOR MISC. METALS & REMAINING MILYORK TENDER	JULY 16, 2004
14	AS-BUILT PACKAGE	APR. 01 2005

8	REVISED PER MUTUELS AND KITCHEN PARTITIONS	SEPT. 25, 2004
7	REVISED PER FURNITURE/STADIUM BAR PERIMETER	JULY 15, 2004
6	REVISED PER FURNITURE/KITCHEN LAYOUT	JULY 05, 2004
5	REVISED AS NOTED	JUNE 21, 2004
4	REVISED AS NOTED	MAY 31, 2004
5	REV. TO SEATING	JAN 08 2004
2	REV. TO BULKHEADS AND SEATING	DEC 05 2003
1	REV. TO WASHRM. FIXTURES MINI GOLF ADJUSTED	NOV 12 2003

NO	REVISION	DATE
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**VAUGHAN
SPORTS BAR**

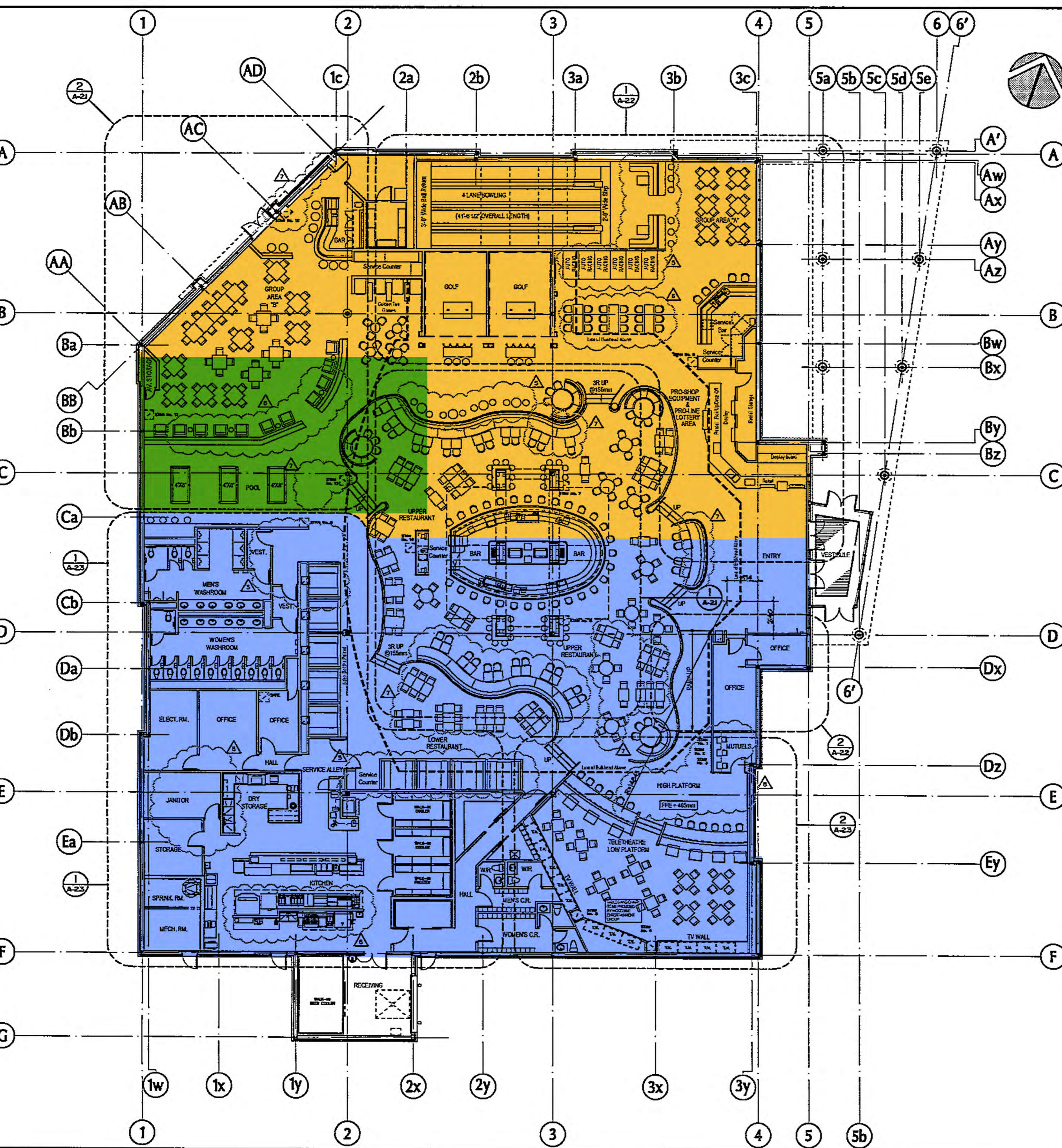
WOODBINE ENT. GROUP
VAUGHAN, ONTARIO

A. BALDASSARRA
Architect Inc.

7800 Jane Street, Suite 200
Concord, Ontario L4K 4R6
Tel: (905) 660-0722
Fax: (905) 660-7019

TELEVISION MONITORS AND STANS TO BE PROVIDED BY WOODBINE ENTERTAINMENT GROUP. LOCATIONS TO BE VERIFIED BY WOODBINE PRIOR TO COMMENCEMENT OF WORK.

DRAWING TITLE	
OVERALL FLOOR PLAN	
DRAWN BY	SCALE
S.C.	1:125
DATE	CHECKED BY
APRIL, 2004	
PROJECT NO	DRAWING NO
03-52	A-2.0



PROPOSED GROSS FLOOR AREA (GFA) USE

- RESTAURANT 50% GFA
- BOWLING 10% GFA
- ARCADES & GAMES 40% GFA

NO	ISSUED	DATE
5	RE-ISSUED FOR CLIENT REVIEW	DEC 05 2003
6	RE-ISSUED FOR CLIENT REVIEW	JAN 09 2004
7	RE-ISSUED FOR CLIENT REVIEW	APR 26, 2004
8	ISSUED FOR DRYHALL & INSULATION PRICING	MAY 05, 2004
4	ISSUED FOR PERMIT	MAY 18, 2004
10	ISSUED FOR DRYHALL PARTITION PRICING	MAY 14, 2004
11	ISSUED FOR STADIUM BAR TENDER	MAY 25, 2004
12	ISSUED FOR DRYHALL PARTITION CEILING & BULKHEAD PRICING	JUNE 02, 2004
13	ISSUED FOR MISC. METALS & REMAINING HILLYORK TENDER	JULY 16, 2004
14	AS-BUILT PACKAGE	APR. 01 2005

8	REVISED PER MUTUELS AND KITCHEN PARTITIONS	SEPT. 25, 2004
7	REVISED PER FURNITURE/STADIUM BAR PERIMETER	JULY 15, 2004
6	REVISED PER FURNITURE/KITCHEN LAYOUT	JULY 05, 2004
5	REVISED AS NOTED	JUNE 21, 2004
4	REVISED AS NOTED	MAY 31, 2004
5	REV. TO SEATING	JAN 08 2004
2	REV. TO BULKHEADS AND SEATING	DEC 05 2003
1	REV. TO WASHRM. FIXTURES MINI GOLF ADJUSTED	NOV 12 2003

NO	REVISION	DATE
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VAUGHAN SPORTS BAR
 WOODBINE ENT. GROUP
 VAUGHAN, ONTARIO

A. BALDASSARRA
 Architect Inc.
 7800 Jane Street, Suite 200
 Concord, Ontario L4K 4R6
 Tel: (905) 660-0722
 Fax: (905) 660-7019

TELEVISION MONITORS AND STANS TO BE PROVIDED BY WOODBINE ENTERTAINMENT GROUP. LOCATIONS TO BE VERIFIED BY WOODBINE PRIOR TO COMMENCEMENT OF WORK.

DRAWING TITLE	
OVERALL FLOOR PLAN	
DRAWN BY	SCALE
S.C.	1:125
DATE	CHECKED BY
APRIL, 2004	
PROJECT NO	DRAWING NO
03-52	A-2.0

**SCHEDULE B:
COMMENTS FROM AGENCIES, BUILDING STANDARDS &
DEVELOPMENT PLANNING**

Department / Agency <small>*Comments Received</small>	Conditions Required		Nature of Comments
Building Standards (Zoning) *See Schedule B	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>	General Comments
Development Planning	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>	Recommend Approval/No Conditions

External Agencies <small>*Comments Received</small>	Conditions Required		Nature of Comments <small>*See Schedule B for full comments</small>
Alectra	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>	General Comments
Region of York	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>	General Comments
TRCA	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>	General Comments

SCHEDULE C: PUBLIC & APPLICANT CORRESPONDENCE

None

SCHEDULE D: BACKGROUND

None