

ITEM: 6.9	REPORT SUMMARY MINOR VARIANCE APPLICATION FILE NUMBER A111/24
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Report Date: August 16, 2024

**THIS REPORT CONTAINS COMMENTS FROM THE FOLLOWING
DEPARTMENTS & AGENCIES (SEE SCHEDULE B):**

Additional comments from departments and agencies received after the publication of the report will be made available on the City's [website](#).

Internal Departments <small>*Comments Received</small>	Conditions Required		Nature of Comments
Building Standards (Zoning) *See Schedule B	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>	General Comments
Committee of Adjustment	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>	General Comments
Development Planning	Yes <input checked="" type="checkbox"/>	No <input type="checkbox"/>	General Comments w/Conditions
Development Engineering	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>	Recommend Approval/No Conditions
Development Finance	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>	General Comments
By-law & Compliance	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>	General Comments
Forestry	Yes <input checked="" type="checkbox"/>	No <input type="checkbox"/>	General Comments w/Conditions

External Agencies <small>*Comments Received</small>	Conditions Required		Nature of Comments <small>*See Schedule B for full comments</small>
Alectra	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>	General Comments
Region of York	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>	General Comments
TRCA	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>	General Comments

PUBLIC & APPLICANT CORRESPONDENCE (SEE SCHEDULE C)

All personal information collected because of this public meeting (including both written and oral submissions) is collected under the authority of the Municipal Act, the Municipal Freedom of Information and Protection of Privacy Act (MFIPPA), the Planning Act and all other relevant legislation, and will be used to assist in deciding on this matter. All personal information (as defined by MFIPPA), including (but not limited to) names, addresses, opinions and comments collected will become property of the City of Vaughan, will be made available for public disclosure (including being posted on the internet) and will be used to assist the Committee of Adjustment and staff to process this application.

Correspondence Type	Name	Address	Date Received <small>(mm/dd/yyyy)</small>	Summary
Applicant			07/30/2024	Application Cover Letter

BACKGROUND (SCHEDULE D, IF REQUIRED)

* Background Information contains historical development approvals considered to be related to this file.
This information should not be considered comprehensive.

Application No. (City File)	Application Description <small>(i.e. Minor Variance Application; Approved by COA / OLT)</small>
N/A	N/A

ADJOURNMENT HISTORY

* Previous hearing dates where this application was adjourned by the Committee and public notice issued.

Hearing Date	Reason for Adjournment (to be obtained from NOD_ADJ)
N/A	N/A

SCHEDULES

Schedule A	Drawings & Plans Submitted with the Application
Schedule B	Comments from Agencies, Building Standards & Development Planning
Schedule C (if required)	Public & Applicant Correspondence
Schedule D (if required)	Background



MINOR VARIANCE APPLICATION FILE NUMBER A111/24

CITY WARD #:	2
APPLICANT:	Ncap Nicola (Hwy 27) Ltd.
AGENT:	Weston Consulting
PROPERTY:	7242 Hwy 27, Vaughan
ZONING DESIGNATION:	See below.
VAUGHAN OFFICIAL PLAN (2010) DESIGNATION:	Vaughan Official Plan 2010 ('VOP 2010'): "Prestige Employment" by Schedule 13 – Land Use and subject to Site-Specific Policy 13.3.
RELATED DEVELOPMENT APPLICATIONS:	DA.24.020.
PROPOSAL:	Relief from the Zoning By-law is being requested to permit a proposed retaining wall and to facilitate related Site Plan Application DA.24.020.

The following variances are being requested from the City's Zoning By-law to accommodate the above proposal:

The subject lands are zoned EM1(H) Prestige Employment Zone and subject to the provisions of Exception 14.1162 under Zoning By-law 001-2021, as amended.

#	Zoning By-law 001-2021	Variance requested
1	The minimum setback of any building or structure to an Open Space Zone shall be 11.0m. Exception 14.1162	To permit a minimum setback of 0.30 metres from the OS lands to the retaining wall.
2	A retaining wall shall be setback an equal distance to the height of the highest portion of the retaining wall. The minimum setback is 1.60m. Section 4.13	To permit a retaining wall with a maximum height of 1.6m to be setback a minimum of 0.30 metres from the rear lot line.

HEARING INFORMATION

DATE OF MEETING: Thursday, August 22, 2024
TIME: 6:00 p.m.
MEETING LOCATION: Vaughan City Hall, Woodbridge Room (2nd Floor), 2141 Major Mackenzie Drive
LIVE STREAM LINK: Vaughan.ca/LiveCouncil

PUBLIC PARTICIPATION

If you would like to speak to the Committee of Adjustment at the meeting, either remotely or in person, please complete the [Request to Speak Form](#) and submit to cofa@vaughan.ca

If you would like to submit written comments, please quote file number above and submit by mail or email to:

Email: cofa@vaughan.ca

Mail: City of Vaughan, Office of the City Clerk, Committee of Adjustment, 2141 Major Mackenzie Drive, Vaughan, ON, L6A 1T1

To speak electronically, pre-registration is required by completing the [Request to Speak Form](#) on-line and submitting it to cofa@vaughan.ca no later than NOON on the last business day before the meeting.

THE DEADLINE TO REGISTER TO SPEAK ELECTRONICALLY OR SUBMIT WRITTEN COMMENTS ON THE ABOVE NOTED FILE(S) IS NOON ON THE LAST BUSINESS DAY BEFORE THE MEETING.

along the southern property line) due to the property's varying topography. The retaining wall along the western property line is proposed to have acoustic paneling on top. The retaining wall along the south lot line is proposed to have a guardrail on top. The 0.30 m minimum setback for the proposed retaining wall is measured along the entirety of the proposed retaining wall at both the western and southern property lines and provides sufficient space for safe access and maintenance if required. The Urban Design Department and Development Engineering Department have also reviewed the proposal and have no concerns with the retaining wall. As such, the retaining wall is not anticipated to have any adverse impacts to the neighbouring property and land use is desirable for the appropriate development of the land.

In support of the application, the Owner has submitted an Arborist Report & Tree Protection and Removal Plan prepared by P & A Urban Forestry Consulting Ltd., dated November 30, 2021, and updated on October 13, 2023. The report inventoried a total of four (4) trees, two (2) of which are proposed to be removed and two (2) to be preserved through construction. A total of two (2) replacement trees are proposed. Urban Design staff have reviewed the report and concur with its recommendations.

Accordingly, the Development Planning Department can support the requested variance and is of the opinion that the proposal is minor in nature, maintains the general intent and purpose of the Official Plan and Zoning By-law, and is desirable for the appropriate development of the land.

Recommendation:

The Development Planning Department recommends approval of the application with the following condition of approval:

Condition of Approval:

If the Committee finds merit in the application, the following condition of approval is recommended:

1. That all comments on Site Development Application File DA.23.035 be addressed to the satisfaction of the Development Planning Department.

Comments Prepared by:

Nicholas Del Prete, Planner
David Harding, Senior Planner

INTRODUCTION

Staff and Agencies act as advisory bodies to the Committee of Adjustment. The comments contained in this report are presented as recommendations to the Committee.

Section 45(1) of the Planning Act sets the criteria for authorizing minor variances to the City of Vaughan's Zoning By-law. Accordingly, review of the application may consider the following:

That the general intent and purpose of the by-law will be maintained.

That the general intent and purpose of the official plan will be maintained.

That the requested variance(s) is/are acceptable for the appropriate development of the subject lands.

That the requested variance(s) is/are minor in nature.

Public written and oral submissions relating to this application are taken into consideration by the Committee of Adjustment as part of its deliberations and final decision on this matter.

COMMITTEE OF ADJUSTMENT

Date Public Notice Mailed:	August 8, 2024
Date Applicant Confirmed Posting of Sign:	August 1, 2024
Applicant Justification for Variances: <small>*As provided in Application Form</small>	The height of the proposed retaining wall for development is higher than the required setback to a lot line.
Was a Zoning Review Waiver (ZRW) Form submitted by Applicant: <small>*ZRW Form may be used by applicant in instances where a revised submission is made, and zoning staff do not have an opportunity to review and confirm variances prior to the issuance of public notice.</small>	Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>
COMMENTS:	
None	
Committee of Adjustment Recommended Conditions of Approval:	None

BUILDING STANDARDS (ZONING)

**See Schedule B for Building Standards (Zoning) Comments	
Building Standards Recommended Conditions of Approval:	None

DEVELOPMENT PLANNING

**See Schedule B for Development Planning Comments.	
Development Planning Recommended Conditions of Approval:	That all comments on Site Development Application File DA.23.035 be addressed to the satisfaction of the Development Planning Department.

DEVELOPMENT ENGINEERING

Link to Grading Permit Link to Pool Permit Link to Curb Curt Permit Link Culvert Installation	
This Minor Variance application has a concurrent Site Plan Application (DA.24.020). Development Engineering Department has reviewed Minor Variance application A111/24 and has no concerns with the proposed retaining wall.	
Development Engineering Recommended Conditions of Approval:	None

PARKS, FORESTRY & HORTICULTURE (PFH)

Recommended condition of approval:	
PFH Recommended Conditions of Approval:	Applicant/owner shall obtain a "Private Property Tree Removal & Protection" permit through the forestry division prior to any construction works on the subject property.

DEVELOPMENT FINANCE

No comment no concerns.	
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DEVELOPMENT FINANCE

Development Finance Recommended Conditions of Approval:	None
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BY-LAW AND COMPLIANCE, LICENSING AND PERMIT SERVICES

No comments.

BCLPS Recommended Conditions of Approval:	None
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BUILDING INSPECTION (SEPTIC)

No comments received to date.

Building Inspection Recommended Conditions of Approval:	None
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FIRE DEPARTMENT

No comments received to date.

Fire Department Recommended Conditions of Approval:	None
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RECOMMENDED CONDITIONS OF APPROVAL SUMMARY

Should the Committee find it appropriate to approve this application in accordance with request and the sketch submitted with the application, as required by Ontario Regulation 200/96, the following conditions have been recommended:

#	DEPARTMENT / AGENCY	CONDITION
1	Development Planning Nicholas.delprete@vaughan.ca	That all comments on Site Development Application File DA.23.035 be addressed to the satisfaction of the Development Planning Department.
2	Parks, Forestry and Horticulture Operations zachary.quizzetti@vaughan.ca	Applicant/owner shall obtain a "Private Property Tree Removal & Protection" permit through the forestry division prior to any construction works on the subject property.

All conditions of approval, unless otherwise stated, are considered to be incorporated into the approval "if required". If a condition is no longer required after an approval is final and binding, the condition may be waived by the respective department or agency requesting conditional approval. A condition cannot be waived without written consent from the respective department or agency.

IMPORTANT INFORMATION

CONDITIONS: It is the responsibility of the owner/applicant and/or authorized agent to obtain and provide a clearance letter from respective department and/or agency (**see condition chart above for contact**). This letter must be provided to the Secretary-Treasurer to be finalized. All conditions must be cleared prior to the issuance of a Building Permit.

APPROVALS: Making any changes to your proposal after a decision has been made may impact the validity of the Committee's decision.

An approval obtained from the Committee of Adjustment, where applicable, is tied to the building envelope shown on the plans and drawings submitted with the application and subject to the variance approval.

A building envelope is defined by the setbacks of the buildings and/or structures shown on the plans and drawings submitted with the application, as required by Ontario Regulation 200/96. Future development outside of an approved building envelope, where a minor variance was obtained, must comply with the provisions of the City's Zoning By-law.

Elevation drawings are provided to reflect the style of roof (i.e. flat, mansard, gable etc.) to which a building height variance has been applied. Where a height variance is approved, building height is applied to the style of roof (as defined in the City's Zoning By-law) shown on the elevation plans submitted with the application.

Architectural design features that are not regulated by the City's Zoning By-law are not to be considered part of an approval unless specified in the Committee's decision.

IMPORTANT INFORMATION

DEVELOPMENT CHARGES: That the payment of the Regional Development Charge, if required, is payable to the City of Vaughan before issuance of a building permit in accordance with the Development Charges Act and the Regional Development Charges By-law in effect at the time of payment.

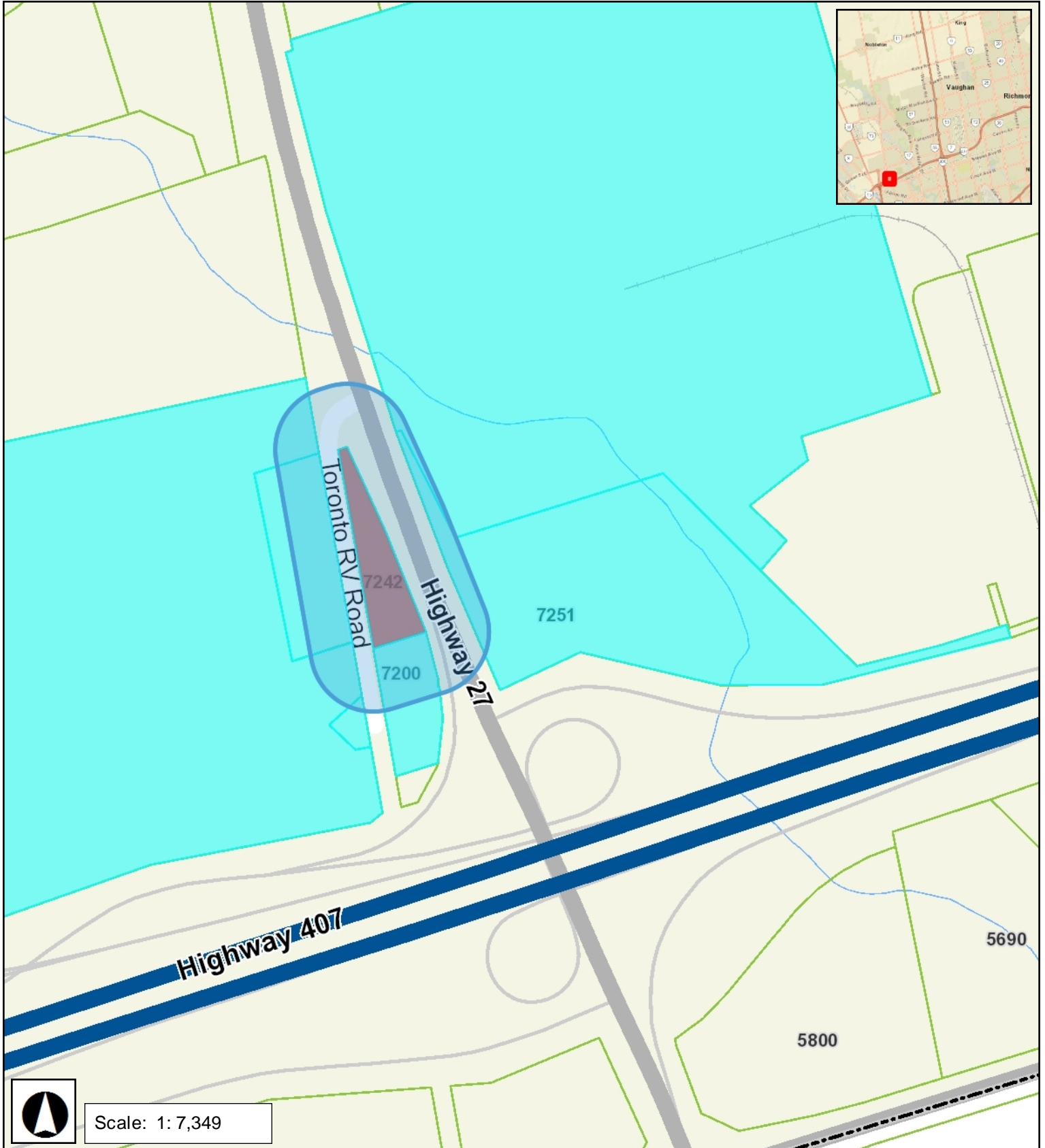
That the payment of the City Development Charge, if required, is payable to the City of Vaughan before issuance of a building permit in accordance with the Development Charges Act and the City's Development Charges By-law in effect at the time of payment.

That the payment of the Education Development Charge if required, is payable to the City of Vaughan before issuance of a building permit in accordance with the Development Charges Act and the Boards of Education By-laws in effect at the time of payment

That the payment of Special Area Development charge, if required, is payable to the City of Vaughan before issuance of a building permit in accordance with the Development Charges Act and The City's Development Charge By-law in effect at the time of Building permit issuance to the satisfaction of the Reserves/Capital Department.

NOTICE OF DECISION: If you wish to be notified of the decision in respect to this application or a related Ontario Land Tribunal (OLT) hearing you must complete a Request for Decision form and submit to the Secretary Treasurer (ask staff for details). In the absence of a written request to be notified of the Committee's decision you will **not** receive notice.

SCHEDULE A: DRAWINGS & PLANS



SITE INFORMATION

SITE STATISTICS	
TOTAL LOT AREA:	16,735.41 M ² / 180,138 F ² / 4.14 AC
PROPOSED BUILDING AREA(GFA):	7,661.71 M ²
PROPOSED BUILDING OUTLINE:	5,664.82 M ²
PROPOSED COVERAGE:	33.85%
PROPOSED FSI:	45.78%
PROPOSED PAVED:	9,546.19 M ² / 57%

REQUIRED - ZONE EM1	ZONING BY-LAW 001-2021	PROPOSED
PERMITTED USE	PERMITTED USE	
MIN. LOT FRONTAGE	30m	
MAX. LOT AREA	60%	33.85%
MAX. BUILDING HEIGHT	15m	9.14m
SETBACKS:		
FRONT YARD	6m	16.9m
SIDE YARD (NORTH)	6m	11m
SIDE YARD (SOUTH)	6m	11.6m
REAR YARD	12m	15.6m
THE KING'S HIGHWAY 27	14m	14m
TORONTO R.V. ROAD R.O.W	20m	20m
LANDSCAPE:		
REQUIRED LANDSCAPE STRIP ABUTTING A STREET LINE	3m	3m
MINIMUM LANDSCAPE OPEN SPACE	5%	9% (1,427.13 M ²)

BUILDING STATISTICS	
BUILDING NET FLOOR AREA:	
BUILDING A TOTAL OF UNITS	3,542.87 M ² / 38,135.14 F ²
BUILDING B TOTAL OF UNITS	4,008.71 M ² / 43,149.40 F ²
BUILDING GFA AREA:	
BUILDING A:	
GROUND FLOOR	2,611.15 M ² / 28,106.18 F ²
MEZZANINE:	936.21 M ² / 10,077.28 F ²
MECH. ROOM	25.66 M ² / 276.20 F ²
ELEC. ROOM	26.24 M ² / 282.45 F ²
TOTAL	3,599.26 M ² / 38,742.11 F ²
BUILDING B:	
GROUND FLOOR	2,952.40 M ² / 31,779.37 F ²
MEZZANINE:	1,060.68 M ² / 11,417.06 F ²
MECH. ROOM	26.20 M ² / 282.01 F ²
ELEC. ROOM	23.17 M ² / 249.40 F ²
TOTAL	4,062.45 M ² / 43,727.85 F ²
TOTAL GFA: +/- 7,661.71 M² / 82,469.96 F²	

PARKING SPACE CALCULATIONS	
PER (ZONING BY LAW 1-88 SECTION 3.9)	INDUSTRIAL BUILDINGS, MULTI-UNIT, CONTAINING MORE THAN FOUR(4) UNITS, 2.0 PARKING SPACES PER 100 SM GFA OR 4.0 SPACES PER UNIT WHICHEVER IS GREATER
REQUIRED:	GREATER OF (4x42) AND (7662/100x2) = 172 SPOTS
PROVIDED:	120 SPOTS
PER BY LAW 001-2021 SECTION 6.3.5 (APPEALED)	FOR INDUSTRIAL MALL: 1.5 PARKING SPACE PER 100 M ² GFA
REQUIRED:	7662/100x1.5 = 115 SPOTS
PROVIDED:	120 SPOTS

CARPOOL & ELECTRIC VEHICLE PARKING	
5% OF PARKING SPOTS W/ MIN 4 TO CARPOOLING(120x.05) = 6 PARKING SPACE REQUIRED	
REQUIRED	PROVIDED
4 CAR POOL PARKING SPACE	4 CAR POOL PARKING SPACE
2 EV PARKING SPACE	2 EV PARKING SPACE

ACCESSIBLE PARKING SPACE CALCULATIONS	
REQUIRED: 1 SPACE PLUS 3% OF THE TOTAL NUMBER OF PARKING SPACES, OF WHICH, 50% SHALL BE TYPE A AND 50% SHALL BE TYPE B	
: 1+0.03x121 = 5 SPOTS (2 TYPE A + 2 TYPE B)	
TYPE A	= 3.5m x 6.0m MINIMUM
TYPE B	= 2.4m x 6.0m MINIMUM

BICYCLE PARKING	
PER (ZONING BY-LAW (2021))	
0.05 PER 100 SQ.M OF GROSS FLOOR AREA FOR LONG-TERM BICYCLE PARKING SPACES, AND 0.1 PER 100 SQ.M OF GROSS FLOOR AREA OR 2 WHICHEVER IS GREATER FOR SHORT-TERM BICYCLE PARKING SPACES.	
REQUIRED: LONG-TERM PARKING (7662/100x0.05)	= 4 SPACES
PROVIDED:	4 SPACES
REQUIRED: SHORT-TERM PARKING (7662/100x0.1)	= 8 SPACES
PROVIDED:	8 SPACES

SNOW STORAGE AREA REQUIRED	
2% OF LOT AREA	
REQUIRED: (16,747 M ² /100x2)	= 344.94 M ² / 3,712 F ²
PROVIDED:	= 277.51 M² / 2,987 F²

BUILDING CLASSIFICATION
 OBC 3.2.2.72. GROUP F, DIVISION 2, UP TO 2 STOREYS, SPRINKLERED
 (1) A BUILDING CLASSIFIED AS GROUP F, DIVISION 2 IS PERMITTED TO CONFORM TO SENTENCE (2) PROVIDED:
 (A) EXCEPT AS PERMITTED BY SENTENCE 3.2.2.7 (1), THE BUILDING IS SPRINKLERED,
 (B) IT IS NOT MORE THAN 2 STOREYS IN BUILDING HEIGHT, AND
 (C) IT HAS A BUILDING AREA NOT MORE THAN,
 (i) 4,500 M² IF 1 STOREY IN BUILDING HEIGHT, OR
 (ii) 1,800 M² IF 2 STOREYS IN BUILDING HEIGHT.
 (2) THE BUILDING REFERRED TO SENTENCE (1) IS PERMITTED TO BE OF COMBUSTIBLE CONSTRUCTION OR NONCOMBUSTIBLE CONSTRUCTION USED SINGLY OR IN COMBINATION, AND
 (A) FLOOR ASSEMBLIES SHALL BE FIRE SEPARATION AND, IF OF COMBUSTIBLE CONSTRUCTION, SHALL HAVE A FIRE-RESISTANCE NOT LESS THAN 45 MIN, AND
 (B) LOADBEARING WALLS, COLUMNS AND ARCHES SUPPORTING AN ASSEMBLY REQUIRED TO HAVE A FIRE-RESISTANCE RATING SHALL,
 (i) HAVE A FIRE-RESISTANCE RATING NOT LEES THAN 45 MIN, OR
 (ii) BE OF NONCOMBUSTIBLE CONSTRUCTION.

LOADING SPACE REQUIRED
 ZONING BY-LAW 1-88 SECTION 3.9
 REQUIRED: FOR BUILDING>1000 SM: TWO LOADING SPACE FOR EVERY 1000 SM = 7662/1000x2 = 16
 PROVIDED: **42 PROVIDED**
 BUILDING A **TYPE B** LOADING SPACES (3.5mx11m):
 PROVIDED: **2 PROVIDED**
 BUILDING B **TYPE B** LOADING SPACES (3.5mx11m):
 PROVIDED: **2 PROVIDED**

RECEIVED

By Christine Vigneault at 10:38 am, Aug 01, 2024

powers brown architecture
 411 Richmond Street East
 Suite 206
 Toronto, Ontario M5A 3S5
 647.931.9787
 www.powersbrown.com

PROJECT TITLE
 7242 HWY 27, VAUGHAN, ON
 7242 HWY 27, VAUGHAN
 MINOR SITE DEVELOPMENT APPLICATION NO. DA24.020
 SITE DEVELOPMENT APPLICATION NO. DA.23.035
 A PROJECT FOR
NCAP NICOLA (HWY27) LTD.

GENERAL NOTES

- DESIGNATED FIRE ACCESS LANE - MINIMUM 20'-0"
- NOT IN SCOPE
- TYPE B LOADING SPACES: 3.5m x 11m (2 PER BUILDING)
- LIGHT CONCRETE PAVING
- LANDSCAPING
- PROPOSED FIRE HYDRANT
- PROPERTY LINE
- LIMITING DISTANCE

ACCESSIBLE PARKING DIMENSIONS - TYP

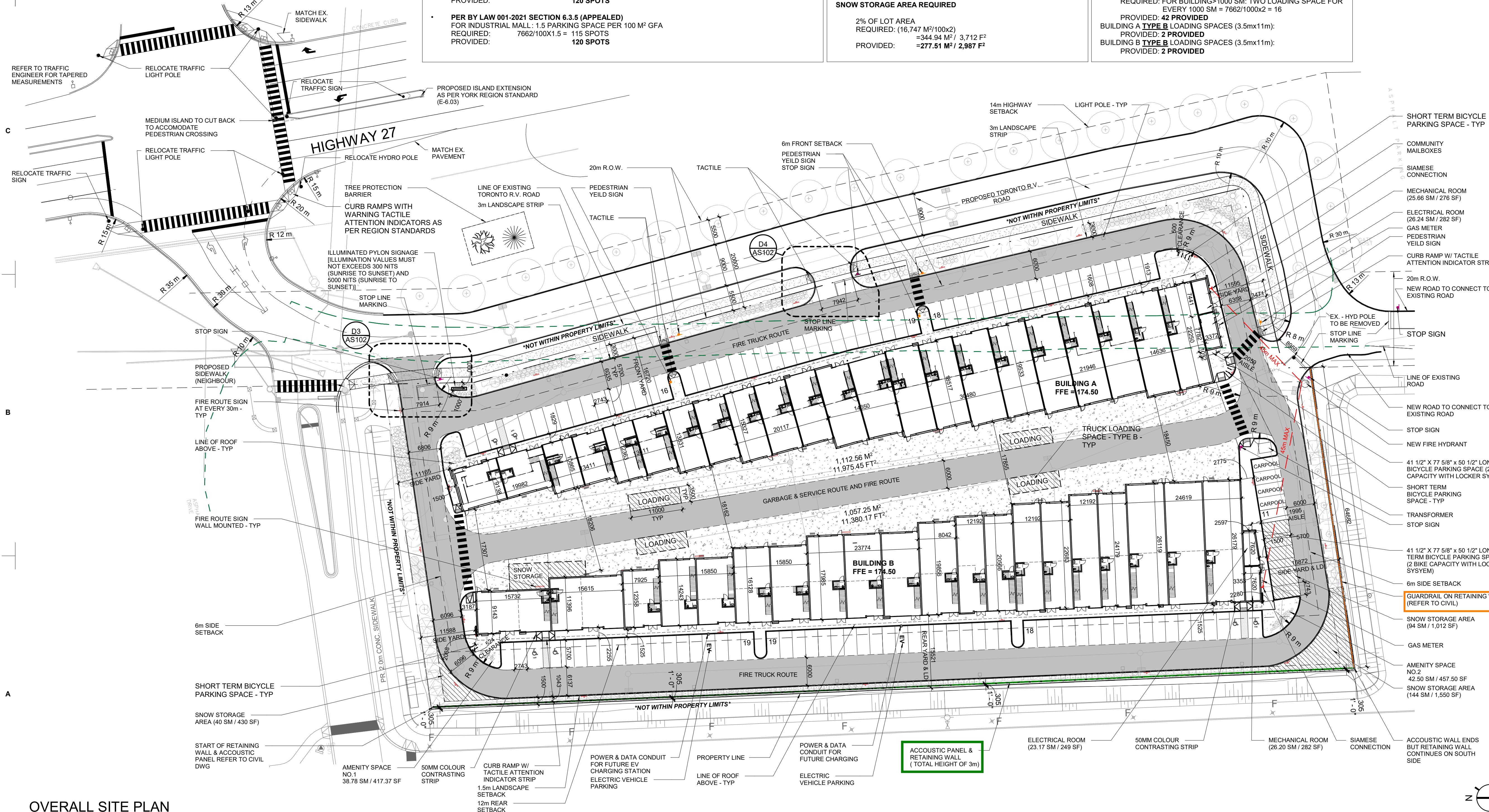
DATE	REVISION
2023-06-15	ISSUED FOR SPA
2023-10-11	RE-ISSUED FOR SPA
2024-01-12	RE-ISSUED FOR SPA
2024-03-01	RE-ISSUED FOR SPA
2024-05-09	RE-ISSUED FOR SPA
2024-05-30	ISSUED FOR MINOR SITE DEVELOPMENT

PROJECT NO: 215073
 DRAWN BY: TS,EL
 CHECKED BY: LD
SHEET NAME

OVERALL SITE PLAN

SEAL SHEET NUMBER

AS101



OVERALL SITE PLAN

SCALE: 1 : 450

Autodesk Docs://215073 Cavalieri 7242 Highway 27 Vaughan/215073_ARCH_C&S_R21-BLDG 1.rvt 2024-07-31 10:26:57 AM

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5% OF PARKING SPOTS W/ MIN 4 TO CARPOOLING(120x05) = 6 PARKING SPACE REQUIRED	
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2 EV PARKING SPACE	2 EV PARKING SPACE

RECEIVED
By provided at 1:38 pm, Jul 10, 2024

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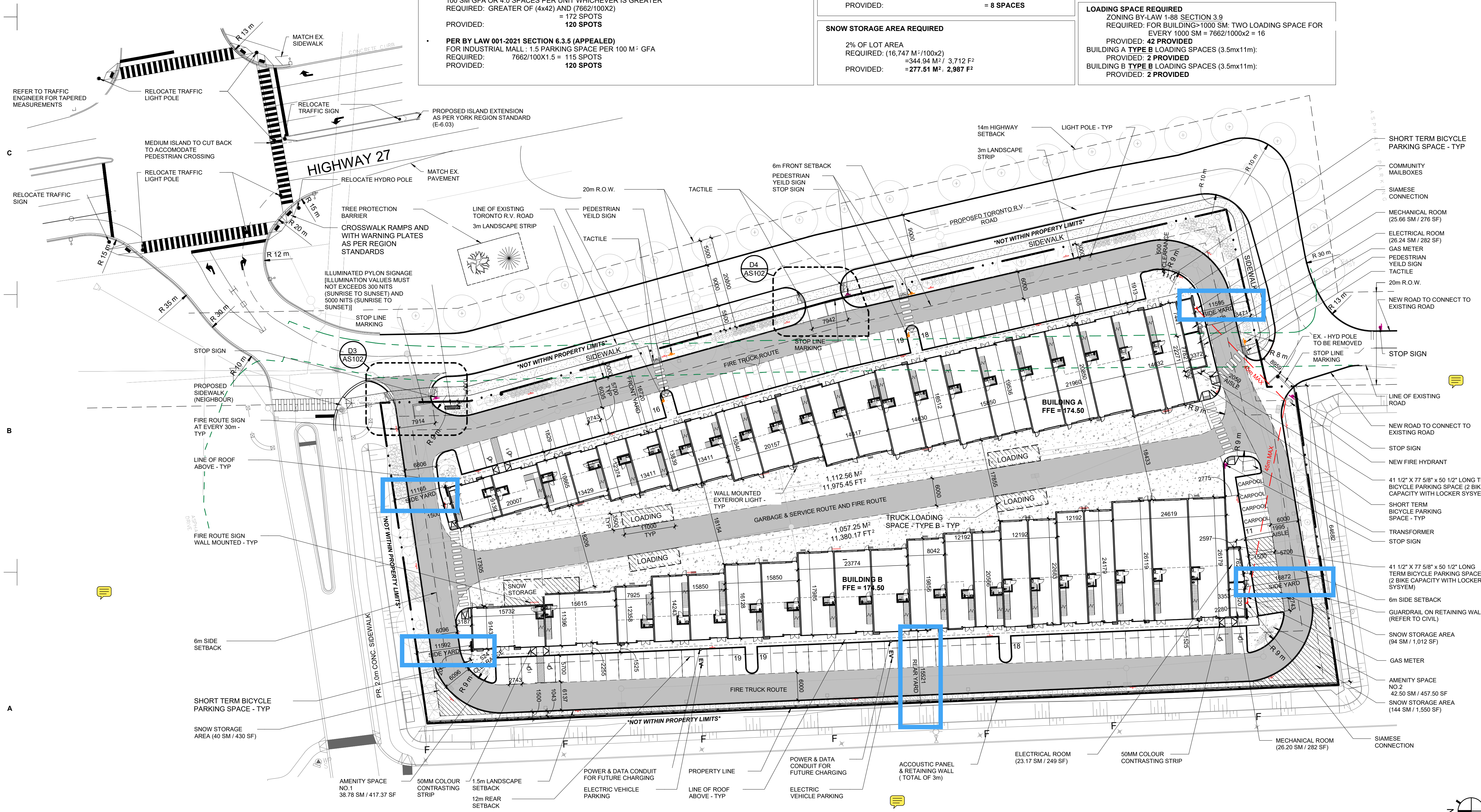
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OBC 3.2.2.72. GROUP F, DIVISION 2, UP TO 2 STOREYS, SPRINKLERED
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(A) EXCEPT AS PERMITTED BY SENTENCE 3.2.2.7.(1), THE BUILDING IS SPRINKLERED,
(B) IT IS NOT MORE THAN 2 STOREYS IN BUILDING HEIGHT, AND
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PARKING SPACE CALCULATIONS	
PER (ZONING BY LAW 1-88 SECTION 3.9)	
INDUSTRIAL BUILDINGS, MULTI-UNIT, CONTAINING MORE THAN FOUR(4) UNITS, 2.0 PARKING SPACES PER 100 SM GFA OR 4.0 SPACES PER UNIT WHICHEVER IS GREATER	
REQUIRED: GREATER OF (4x42) AND (7662/100x2)	= 172 SPOTS
PROVIDED:	172 SPOTS
PER BY LAW 001-2021 SECTION 6.3.5 (APPEALED)	
FOR INDUSTRIAL MALL: 1.5 PARKING SPACE PER 100 M ² GFA	
REQUIRED: 7662/100x1.5	= 115 SPOTS
PROVIDED:	120 SPOTS

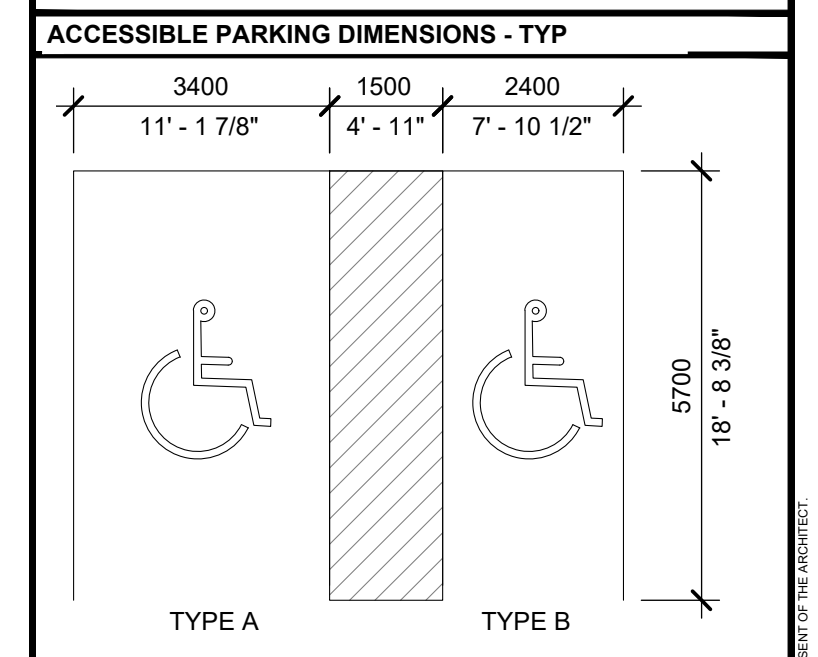


powers brown architecture
411 Richmond Street East Suite 206 Toronto, Ontario M5A 3S5 647.931.9787 www.powersbrown.com

PROJECT TITLE
7242 HWY 27, VAUGHAN, ON
MINOR SITE DEVELOPMENT APPLICATION NO. DA24.020
SITE DEVELOPMENT APPLICATION NO. DA.23.035
A PROJECT FOR
NCAP NICOLA (HWY27) LTD.

GENERAL NOTES

- DESIGNATED FIRE ACCESS LANE - MINIMUM 20'-0"
- NOT IN SCOPE
- TYPE B LOADING SPACES: 3.5m x 11m (2 PER BUILDING)
- LIGHT CONCRETE PAVING
- LANDSCAPING
- PROPOSED FIRE HYDRANT
- PROPERTY LINE



DATE	REVISION
2023-06-15	ISSUED FOR SPA
2023-10-11	RE-ISSUED FOR SPA
2024-01-12	RE-ISSUED FOR SPA
2024-03-01	RE-ISSUED FOR SPA
2024-05-09	RE-ISSUED FOR SPA
2024-05-30	ISSUED FOR MINOR SITE DEVELOPMENT

PROJECT NO: 215073
DRAWN BY: TS.EL
CHECKED BY: LD
SHEET NAME
OVERALL SITE PLAN

SEAL SHEET NUMBER
AS101
ONTARIO ASSOCIATION OF ARCHITECTS
RASHAD HINDI LICENCE 6646
2024-05-30

Autodesk Docs://215073 Cavalieri 7242 Highway 27 Vaughan 215073_ARCH_C&S_R21 - BLDG 1.rvt 5/30/2024 4:27:18 PM



7242 HWY 27 - RETAINING WALL
VAUGHAN, ONTARIO, CANADA

STRUCTURAL DRAWINGS LIST

DESCRIPTION	DRAWING NO.	SHEET NO.
STRUCTURAL COVER PAGE	S0.1	1
GENERAL NOTES AND SPECIFICATIONS	S0.2	2
SITE PLAN AND WALL DETAIL	S1.0	3
ACOUSTIC WALL PLAN AND DETAILS	S1.1	4



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ALL WORK MUST COMPLY WITH THE MOST RECENT EDITION OF THE APPLICABLE BUILDING CODE, AND ANY OTHER GOVERNING AUTHORITY.

No.	Description	Date
1	ISSUED FOR REVIEW	2024-01-17
2	ISSUED FOR MINOR SITE DEVELOPMENT	2024-05-30

ARCHITECT	SEAL

CLIENT

DRAWN BY: AR
CHECKED BY: YJL
ENGINEER: HOSSEIN MOHAMMADI
DATE: 2024-01-17
PROJECT #: 2021357
SCALE: AS NOTED

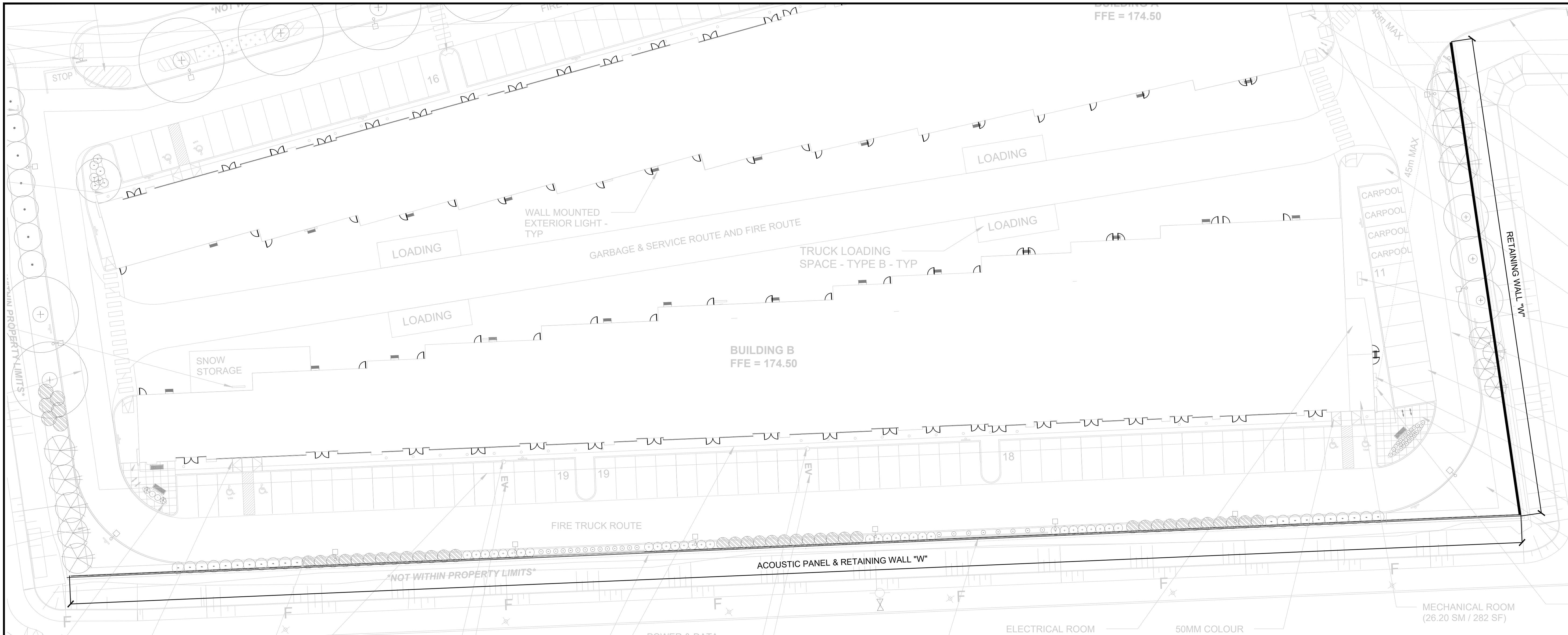
PROJECT

**7242 HWY 27 -
RETAINING WALL**
VAUGHAN, ON, CANADA
L4H 4Y8
MINOR SITE DEVELOPMENT
APPLICATION NO. DA.24.020
SITE DEVELOPMENT
APPLICATION NO. DA.23.035

DESCRIPTION

**STRUCTURAL
COVER PAGE**

DRAWING NO. S0.1	SHEET 1 / 4
----------------------------	-----------------------



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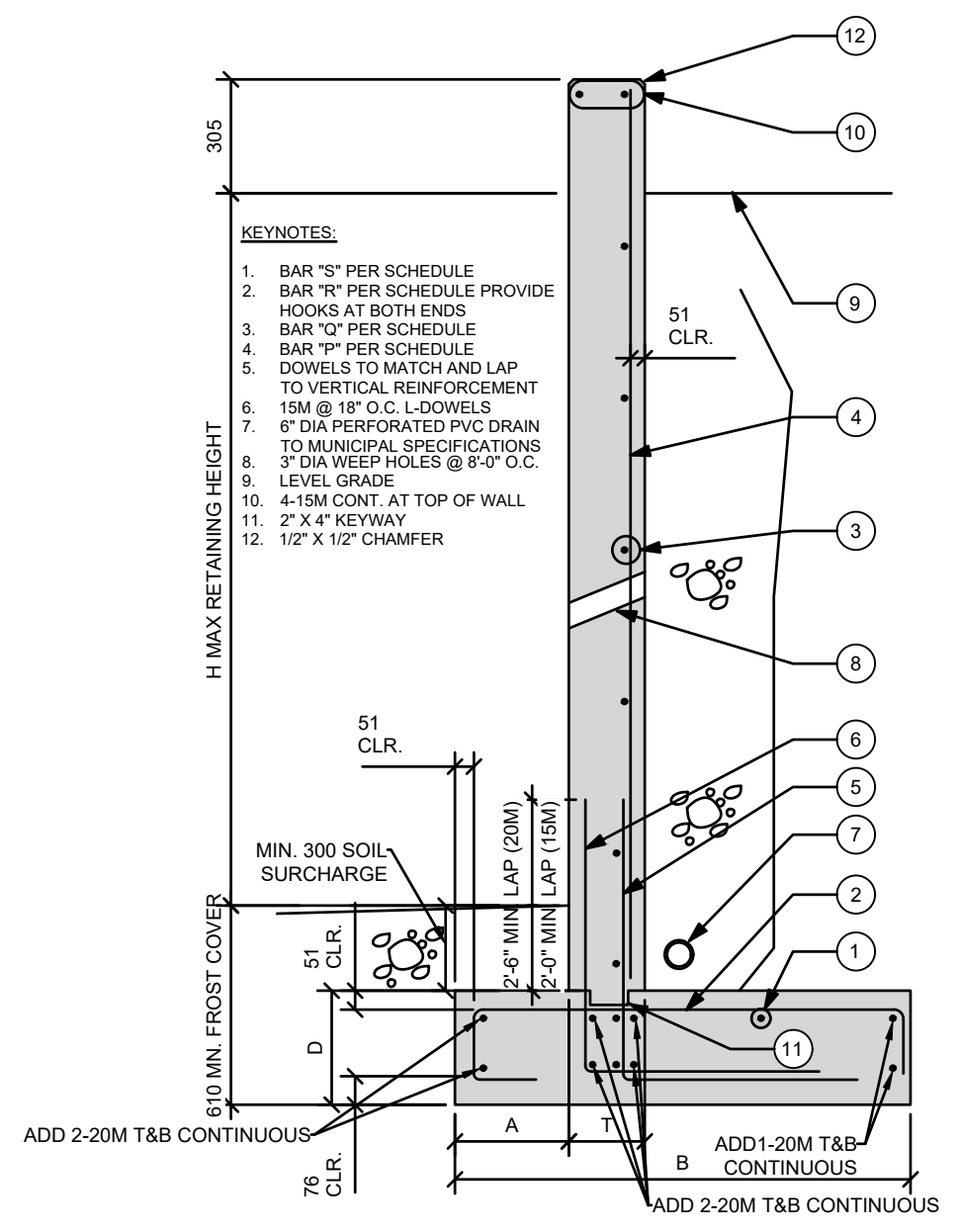
ALL WORK MUST COMPLY WITH THE MOST RECENT EDITION OF THE APPLICABLE BUILDING CODE, AND ANY OTHER GOVERNING AUTHORITY.

No.	Description	Date
1	ISSUED FOR REVIEW	2024-01-17
2	ISSUED FOR MINOR SITE DEVELOPMENT	2024-05-30

ARCHITECT

SEAL
 MAY 30, 2024

1 RETAINING WALL SITE PLAN



- REVISED NOTES:**
- BAR #5 PER SCHEDULE
 - BAR #5 PER SCHEDULE PROVIDE HOOKS AT BOTH ENDS
 - BAR #5 PER SCHEDULE
 - BAR #5 PER SCHEDULE
 - DOWNELS TO MATCH AND LAP TO VERTICAL REINFORCEMENT
 - 15M @ 18" O.C. DOWNELS
 - 6" DIA PERFORATED PVC DRAIN TO MUNICIPAL SPECIFICATIONS
 - 3" DIA WEEP HOLES @ 8'0" O.C. LEVEL GRADE
 - 4-15M CONT. AT TOP OF WALL
 - 2" X 4" KEYWAY
 - 12" X 12" CHAMFER

WALL #	DIMENSIONS				REINFORCEMENT				
	H	A	B	D	T	P	O	R	S
W1	6'-0"	305	1524	305	250	10M @ 200	10M @ 200	10M @ 200	REINF-1
W2	6'-0"	305	2133	305	250	20M @ 200	10M @ 200	20M @ 200	REINF-1
W3	10'-0"	305	2743	406	250	20M @ 150	10M @ 200	20M @ 150	REINF-1

REINF-1 = 15M @ 12" T&B CONTINUOUS

2 TYPICAL RETAINING WALL DETAIL

CLIENT

DRAWN BY: AR
 CHECKED BY: Y.JL
 ENGINEER: HOSSEIN MOHAMMADI
 DATE: 2024-01-17
 PROJECT #: 2021357
 SCALE: AS NOTED

PROJECT
**7242 HWY 27 -
 RETAINING WALL**
 VAUGHAN, ON, CANADA
 L4H 4Y8
 MINOR SITE DEVELOPMENT
 APPLICATION NO. DA.24.020
 SITE DEVELOPMENT
 APPLICATION NO. DA.23.035

DESCRIPTION
**SITE PLAN AND
 WALL DETAIL**

DRAWING NO. **S1.0** SHEET 3/4

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No.	Description	Date
1	ISSUED FOR REVIEW	2024-01-17
2	ISSUED FOR MINOR SITE DEVELOPMENT	2024-05-30

ARCHITECT

SEAL

MAY 30, 2024

CLIENT

DRAWN BY: AR
 CHECKED BY: YJL
 ENGINEER: HOSSEIN MOHAMMADI
 DATE: 2024-01-17
 PROJECT #: 2021357
 SCALE: AS NOTED

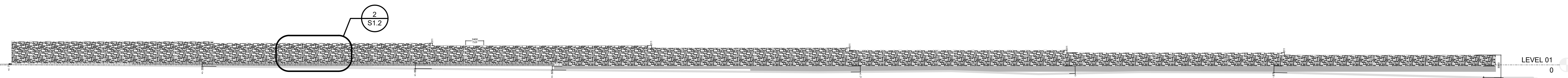
PROJECT

**7242 HWY 27 -
 RETAINING WALL**
 VAUGHAN, ON, CANADA
 L4H 4Y8
 MINOR SITE DEVELOPMENT
 APPLICATION NO. DA.24.020
 SITE DEVELOPMENT
 APPLICATION NO. DA.23.035

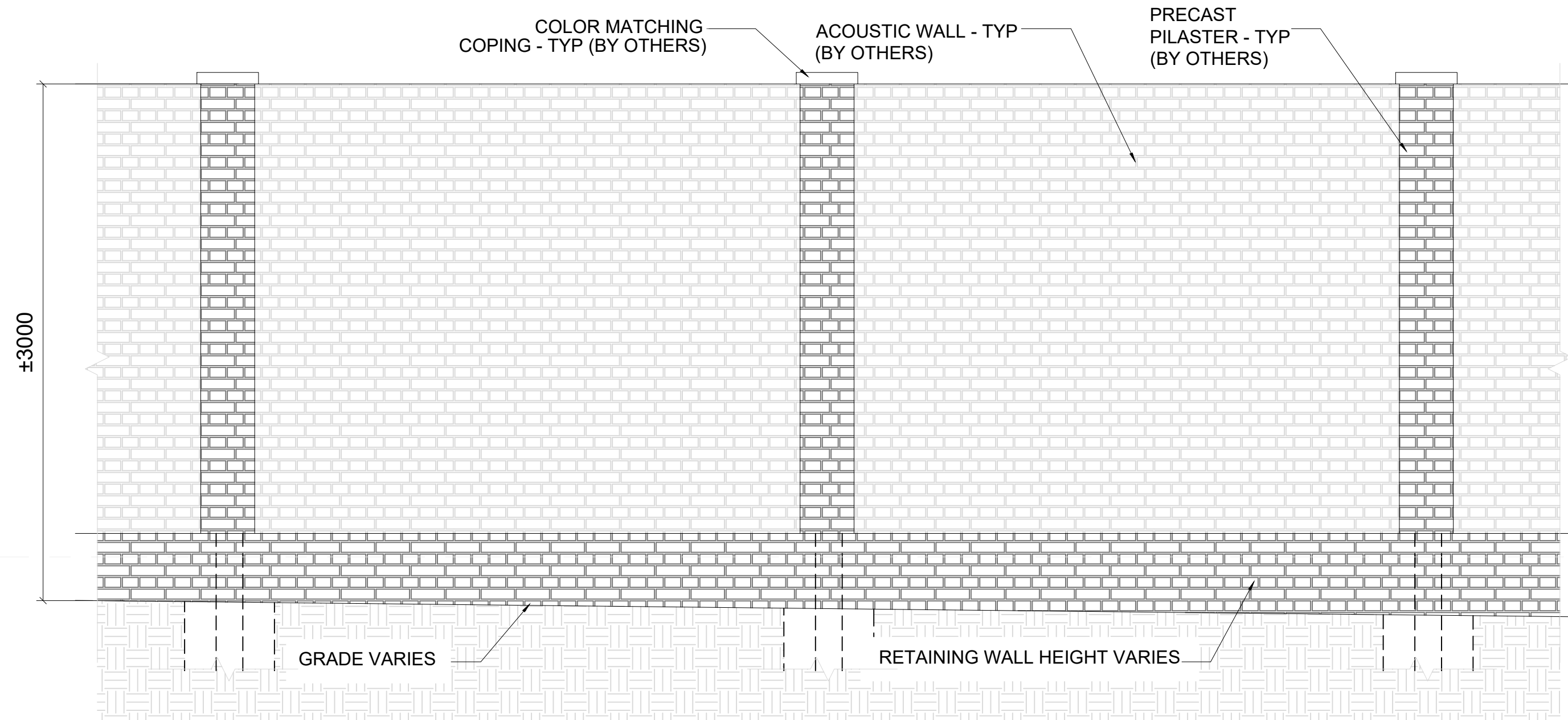
DESCRIPTION

**ACOUSTIC WALL
 PLAN AND DETAILS**

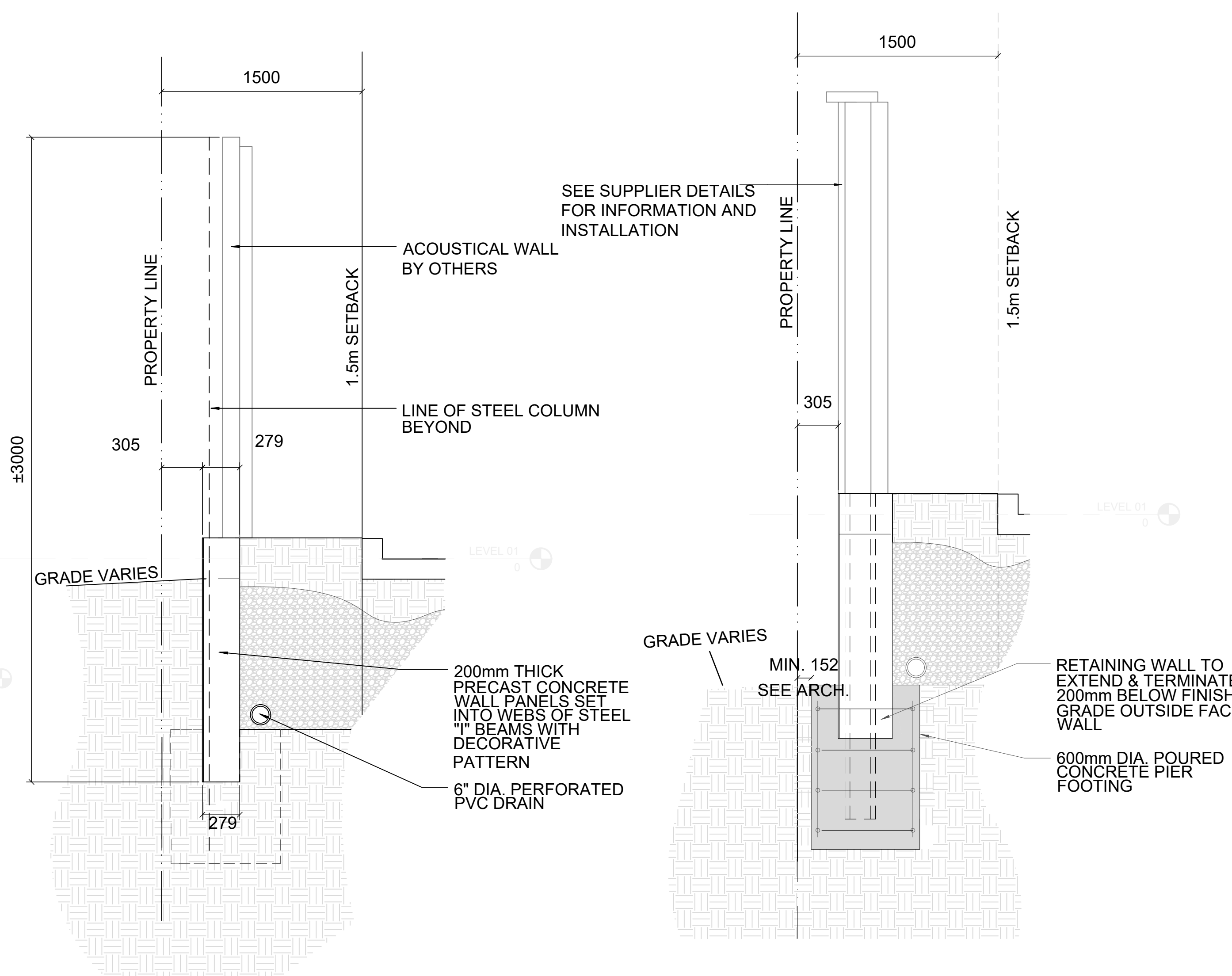
DRAWING NO. **S1.1** SHEET **4** OF **4**



1 OVERALL RETAINING WALL ELEVATION - WEST

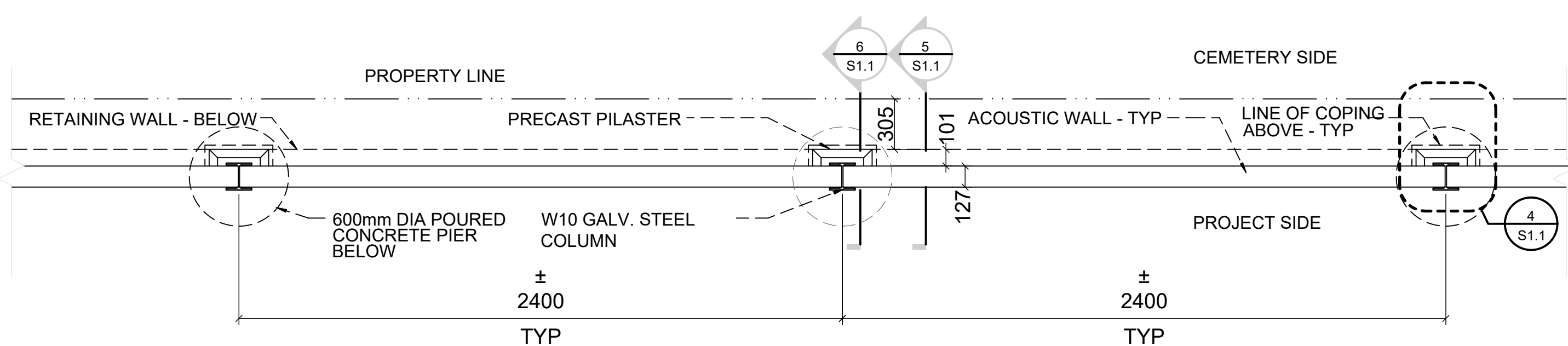


2 ENLARGED ELEVATION AT ACOUSTIC WALL

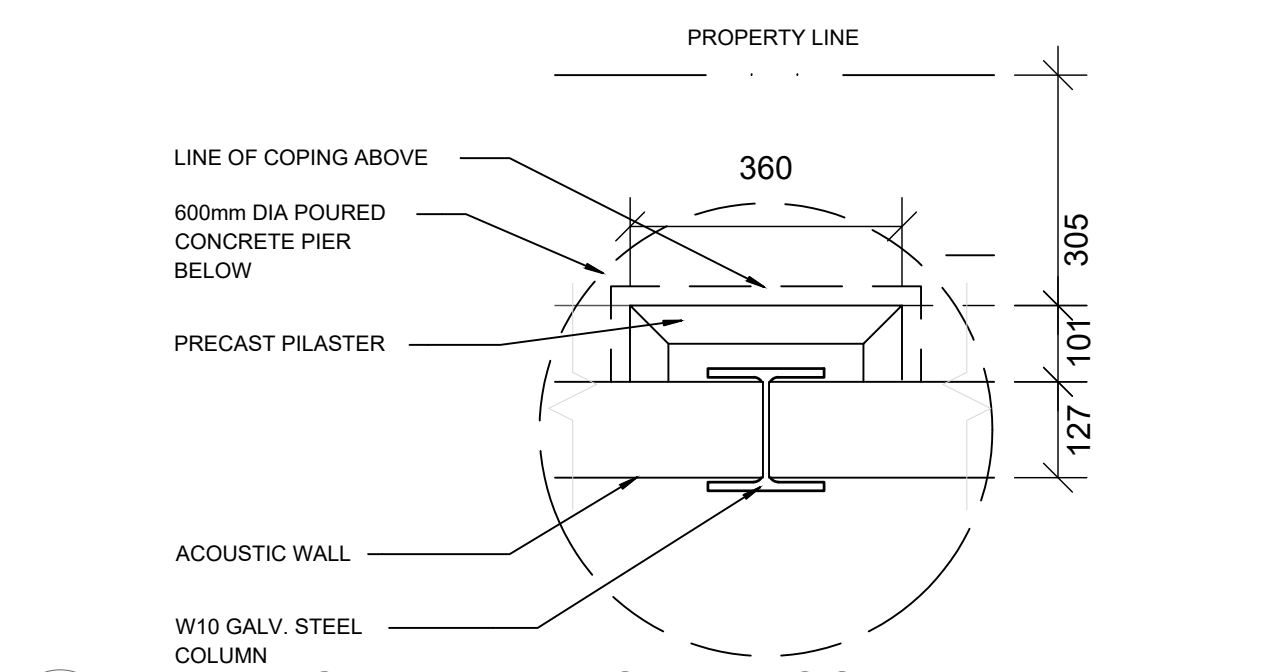


5 WALL SECTION THRU SITE ACOUSTIC WALL-TYP

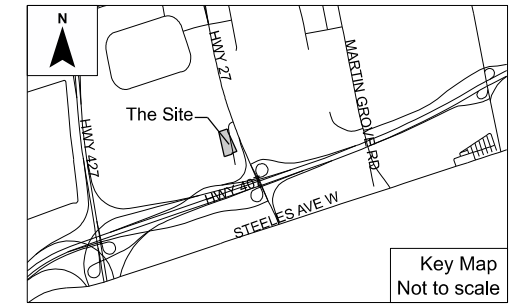
6 WALL SECTION THRU SITE COLUMN-TYP



3 STEEL COLUMN - PLAN DETAIL



4 ENLARGED PLAN - STEEL COLUMN



LEGEND

- Subject Property
- - - Retaining Wall
- ▲ Vehicular Access

Notes:

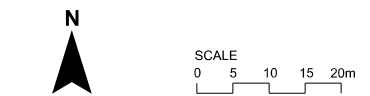
- Property Boundary is approximate based on Site Plan drawing prepared by Powers Brown Architecture dated May 2024.
- The Site Plan is prepared by Powers Brown Architecture and graphically manipulated by Weston Consulting.

DRAWN / REVISED

21 JUNE 2024	First Draft

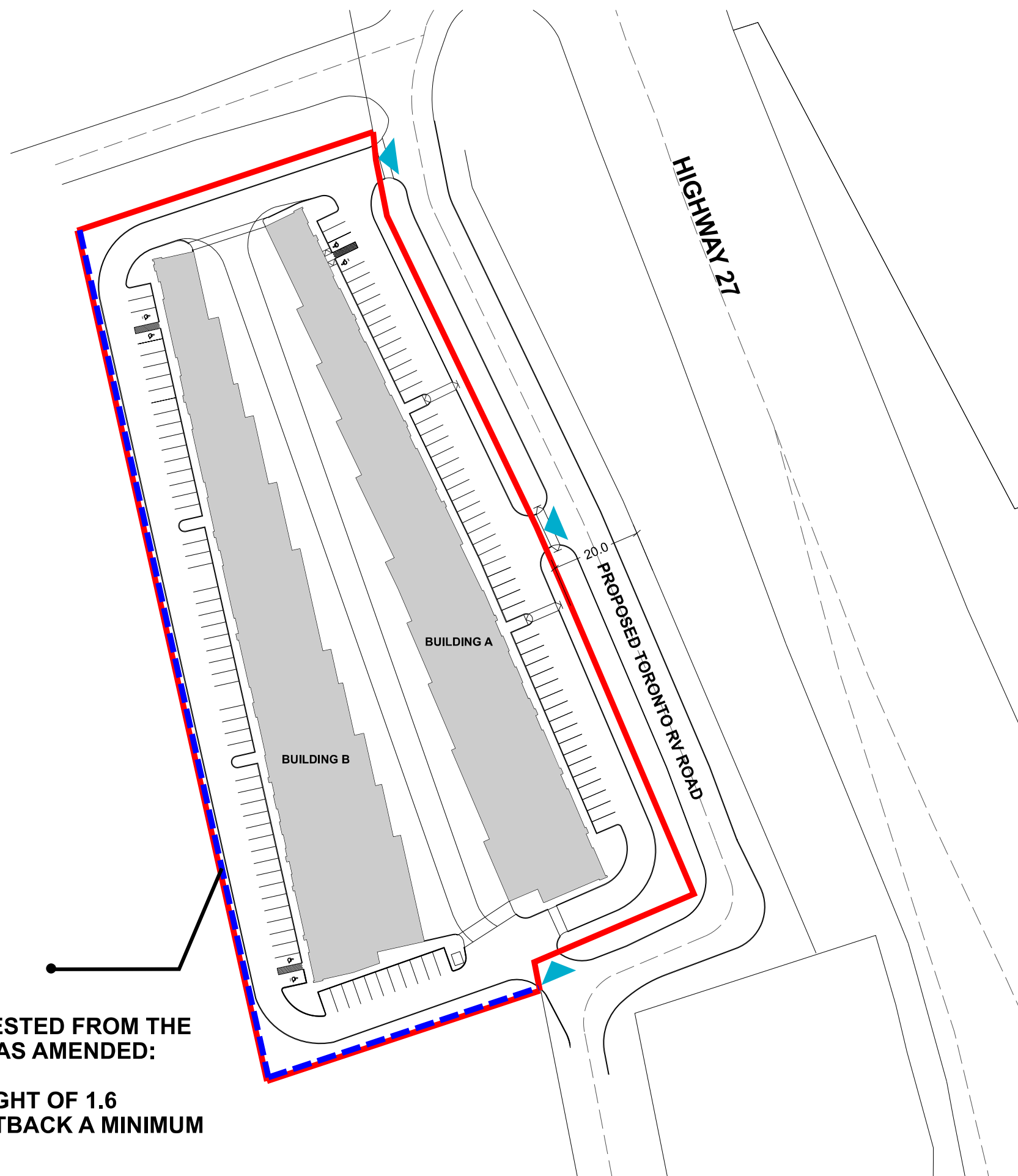
MINOR VARIANCE SKETCH

7242 HIGHWAY 27
CITY OF VAUGHAN



File Number: 7494-1
Date: 2024-06-21
Drawn By: GA
Planner: SP
CAD: 7494-1_MV Sketch_2024-06-21.dgn

Drawing
MV



REQUESTED MINOR VARIANCE

THE FOLLOWING MINOR VARIANCE IS REQUESTED FROM THE CITY OF VAUGHAN ZONING BY-LAW 01-2021, AS AMENDED:

1. TO PERMIT A RETAINING WALL WITH A HEIGHT OF 1.6 METRES AT ITS HIGHEST PORTION TO BE SETBACK A MINIMUM OF 0.3 METRES FROM A LOT LINE.

7242 HWY 27, VAUGHAN, ON

7242 HWY 27, VAUGHAN

ARCHITECTS PROJECT # 215073

A PROJECT FOR
NCAP NICOLA (HWY27) LTD.



CIVIL

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QASIM AKHTAR, E.I.T.

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OMC LANDSCAPE ARCHITECTURE
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MMOKRYCKE@OMCLA.CA
MARIANNE MOKRYCKE, PRINCIPLE

GEOTECHNICAL

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647.241.3710
NICOLE@CAVALIERI-ASSOCIATES.COM
NICOLE PARAAN, PROJECT DIRECTOR

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POWERS BROWN ARCHITECTURE
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DANA@POWERSBROWN.COM
LADAN, DANA PROJECT MANAGER

STRUCTURE

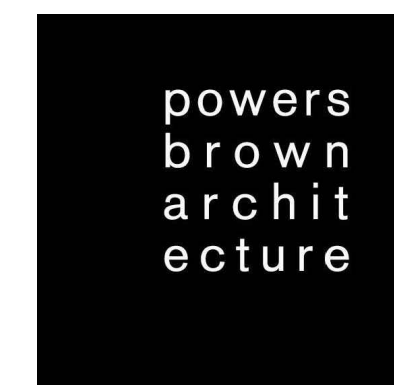
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WILL.MARIA@GHD.COM



ABBREVIATIONS

Ø	DIAMETER	R	RADIUS, RISER OR RISERS
CL	CENTER LINE	RD	ROOF DRAIN
#	POUND/ NUMBER	REQD	REQUIRED
&	AND	REV	REVISION
@	AT	RM	ROOM
A/C	AIR CONDITIONING	RO	ROUGH OPENING
ACT	ACOUSTICAL CEILING TILE	RTU	ROOF TOP UNIT
ADA	AMERICANS WITH DISABILITIES ACT	SCWD	SOLID CORE WOOD DOOR
ADDL	ADDITIONAL	SECT	SECTION
AFF	ABOVE FINISH FLOOR	SIM	SIMILAR
AFG	ABOVE FINISH GRADE	SPEC	SPECIFIED
AHU	AIR HANDLING UNIT	SQ	SQUARE
ALT	ALTERNATE	SST	STAINLESS STEEL
ALUM	ALUMINUM	STO	STORAGE
ARCH	ARCHITECT	STRUCT	STRUCTURAL
BD	BOARD	TOC	TOP OF CURB
BFF	BELOW FINISH FLOOR	TOM	TOP OF MULLION
BLDG	BUILDING	TOP	TOP OF PARAPET
BOM	BOTTOM OF MULLION	TOR	TOP OF REVEAL
BOR	BOTTOM OF REVEAL	TOS	TOP OF SLAB
CAB	CABINET	TW	TILT WALL
CJ	CONTROL JOINT/ CONSTRUCTION JOINT	TYP	TYPICAL
CLG	CEILING	UNO	UNLESS NOTED OTHERWISE
CIP	CAST-IN-PLACE	VCT	VINYL COMPOSITION TILE
CLR	CLEAR	VERT	VERTICAL
CMU	CONCRETE MASONRY UNIT	VEST	VESTIBULE
COL	COLUMN	W/	WITH
CONC	CONCRETE	WO	WITHOUT
CONSTR	CONSTRUCTION	WD	WOOD
CONT	CONTINUE	WDW	WINDOW
CORR	CORRIDOR		
CT	CERAMIC TILE		
DF	DRINKING FOUNTAIN		
DIM	DIMENSION		
DIST	DISTANCE		
DS	DOWNSPOUT		
DWG	DRAWING		
EIFS	EXTERIOR INSULATED FINISH SYSTEM		
EJ	EXPANSION JOINT		
ELEC	ELECTRIC		
ELEV	ELEVATOR		
EQ	EQUAL		
EXIST	EXISTING		
EXP	EXPANSION		
EXT	EXTERIOR		
FD	FLOOR DRAIN		
FE	FIRE EXTINGUISHER		
FEC	FIRE EXTINGUISHER CABINET		
FLR	FLOOR OR FLOORING		
FLUOR	FLUORESCENT		
FIN	FINISH		
FIXT	FIXTURE		
FV	FIELD VERIFY		
GA	GAUGE		
GALV	GALVANIZED		
GYP	GYPSONUM		
HB	HOSE BIB		
HDW	HARDWARE		
HM	HOLLOW METAL		
HNDRL	HANDRAIL		
HORIZ	HORIZONTAL		
HT	HEIGHT		
INSUL	INSULATION		
INFO	INFORMATION		
INT	INTERIOR		
JAN	JANITOR		
LAV	LAVATORY		
LDG	LANDING		
LT	LIGHT		
LWC	LIGHTWEIGHT CONCRETE		
MAX	MAXIMUM		
MFR	MANUFACTURER		
MIN	MINIMUM		
MO	MASONRY OPENING		
MTD	MOUNTED		
MTL	METAL		
MULL	MULLION		
NIC	NOT IN CONTRACT		
NTS	NOT TO SCALE		
OC	ON CENTER		
OF/CI	OWNER FURNISHED/ CONTRACTOR INSTALLED		
OF/OI	OWNER FURNISHED/ OWNER INSTALLED		
OPH	OPPOSITE HAND		
PLAM	PLASTIC LAMINATE		
PLYWD	PLYWOOD		
PR	PAIR		
PTD	PAINTED		

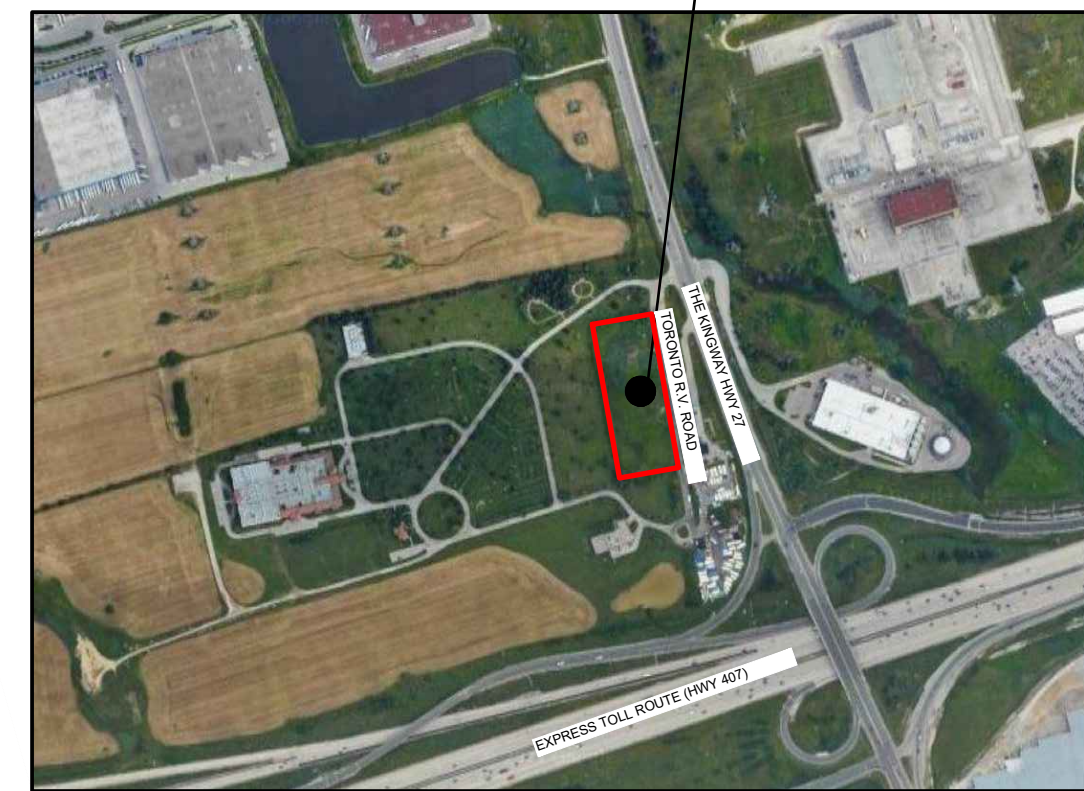
SYMBOL LEGEND

TRUE NORTH		NORTH ARROW
PROJECT NORTH		
		COLUMN ID
		EXISTING CONSTRUCTION TO REMAIN
		EXISTING CONSTRUCTION TO BE DEMOL
		NEW PARTITION
FIRE RATING (NUMBER)		HEAD CONDITION (LETTER)
PARTITION TYPE (LETTER)		STUD SIZE (NUMBER)
		EXISTING DOOR
		NEW DOOR
		TO CENTER LINE OF BUILDING ELEMENT
		FACE OF FINISH
		DETAIL NUMBER
		SHEET NUMBER
		DESCRIPTION OF SIMILAR OR OPPOSITE
		AREA TO BE DETAILED
		BUILDING SECTION DETAIL NUMBER
		SHEET NUMBER
		WALL SECTION OR DETAIL NUMBER
		SHEET NUMBER
EXTERIOR ELEVATION		DETAIL NUMBER
		DIRECTION OF ELEVATION
		SHEET NUMBER
INTERIOR ELEVATION OR VIEW REFERENCE		SHEET NUMBER
		DETAIL NUMBER
		ROOM NAME
		ROOM NUMBER
		ROOM AREA
		DOOR NUMBER (WITH SCHEDULE)
		KEYNOTE TAG
		WINDOW TAG
		FINISH - WALL (WITH SCHEDULE)
		FINISH - BASE (WITH SCHEDULE)
		FINISH - FLOOR (WITH SCHEDULE)
		FINISH - CEILING (WITH SCHEDULE)
		DIMENSION OF CEILING ABOVE FINISH FLOOR
		EQUIPMENT (WITH SCHEDULE)
		WALL MOUNTED ONE-WAY SWITCH
		DATA / TELEPHONE, WALL MTD
		TELEPHONE ONLY, WALL MTD
		DATA ONLY, WALL MTD
		DATA / TELEPHONE, FLOOR MTD
		110 DUPLEX RECEPTACLE, WALL MTD
		110 DUPLEX RECEPTACLE, FLOOR MTD
		DUPLEX CONVENIENCE, WALL MTD
		DUPLEX DEDICATED, WALL MTD
		DUPLEX SEPARATE, WALL MTD
		DOUBLE DUPLEX CONVENIENCE, WALL MTD
		DOUBLE DUPLEX DEDICATED, WALL MTD
		DOUBLE DUPLEX SEPARATE, WALL MTD
		DOUBLE DUPLEX RECEPTACLE, FLOOR MTD
		SIMPLEX CONVENIENCE, WALL MTD
		SIMPLEX DEDICATED, WALL MTD
		SIMPLEX SEPARATE, WALL MTD
		CEILING MOUNTED EXIT SIGN
		FIRE EXTINGUISHER CABINET

VICINITY MAP



PROJECT LOCATION



7242 HWY 27, VAUGHAN

powers brown architecture
 411 Richmond Street East Suite 206
 Toronto, Ontario M5A 3S5
 647.931.9787
 www.powersbrown.com

PROJECT TITLE
7242 HWY 27, VAUGHAN, ON
 7242 HWY 27, VAUGHAN
 A PROJECT FOR
NCAP NICOLA (HWY27) LTD.

- GENERAL NOTES**
- ALL MATERIALS ON JOB TO COMPLY WITH FEDERAL AND STATE VOC/AIM REGULATIONS.
 - ALL CONSTRUCTION TO COMPLY WITH LOCAL ACCESSIBILITY CODES, CURRENT ENERGY CODE AND LOCAL AMMENDMENTS OR REQUIREMENTS.
 - ALL FIRE WALL PENETRATIONS SHALL BE SEALED WITH FIRE RATED FOAM SEALANT (BOTH SIDES OF WALL). SEALANT TYPE SHALL BE A COMPATIBLE RATING TO THE WALL SYSTEMS.
 - MAXIMUM CLEAR SPAN HEIGHTS FOR INTERIOR METAL STUDS SHALL BE SUCH THAT DEFLECTION SHALL NOT EXCEED L/360 UNDER A 5 PSF LOAD (CERAMIC TILE FINISHES AND/OR WALLS TO DECK) AND L/120 AT ALL OTHER AREAS.
 - WHERE REQUIRED BY CODE ALUMINUM VERTICAL MULLIONS TO RECEIVE STEEL STIFFENER TO ACHIEVE WIND LOAD CAPACITY.
 - ALL WOOD FRAMING, BLOCKING, SHEATHING OR BRACING SHALL BE FIRE RETARDANT TREATED.
 - DO NOT SCALE THESE DRAWINGS FOR DIMENSIONAL INFORMATION. REFER TO DIMENSIONS ON THE FLOOR PLANS AND ENLARGED PLANS. IF THERE IS A CONFLICT WITH THE PLAN DIMENSIONS OR AN EXISTING FIELD CONDITION, CONTACT THE ARCHITECT. DIMENSIONS ARE GIVEN TO FACE OF FINISH, UNO.
 - REFER TO BUILDING ELEVATION DRAWINGS FOR FINISH MATERIAL, CALL OUTS AND PAINT REQUIREMENTS. VERIFY COLOR OF MATERIALS NOT SHOWN ON THE DRAWINGS WITH THE ARCHITECT.
 - ALL GYPSUM BOARD THROUGHOUT THE PROJECT SHALL BE 5/8" THICK, UNO. (TYPE 'X' IF REQUIRED) USE WATER RESISTANT GYPSUM BOARD AT ALL WET LOCATIONS AND 5/8" FIBER REINFORCED CEMENT BOARD BEHIND ALL WALL TILE.
 - GALVANIZE ALL EXPOSED EXTERIOR STEEL.
 - COORDINATE ALL REQUIRED ELECTRICAL CONDUITS AND SLEEVES FOR IRRIGATION UNDER SIDEWALK AREAS AT DECORATIVE LIGHT POLES AND PLANTERS WITH MECHANICAL AND ELECTRICAL PLANS.

Δ	DATE	REVISION
1	2023-06-15	ISSUED FOR SPA
2	2023-10-11	RE-ISSUED FOR SPA
3	2024-01-12	RE-ISSUED FOR SPA
4	2024-03-01	RE-ISSUED FOR SPA
5	2024-05-09	RE-ISSUED FOR SPA
6	2024-05-30	ISSUED FOR MINOR SITE DEVELOPMENT

PROJECT NO: 215073
 DRAWN BY: PBA
 CHECKED BY: LD

SYMBOL LEGEND & ABBREVIATION INDEX

SEAL	SHEET NUMBER
 RASHAD HINDI LICENCE 6646 2024-05-30	G001

DRAWING INDEX

Table with columns for drawing type (Future Issue, Re-Issued for SPA, etc.), sheet number, and sheet name.

DRAWING INDEX - GENERAL

Table listing drawing codes (G000-G006) and their corresponding sheet names (COVER, SYMBOL LEGEND & ABBREVIATION INDEX, etc.).

DRAWING INDEX - LANDSCAPING

Table listing drawing codes (L0-L5) and their corresponding sheet names (CIRCULATION DIAGRAM, LAYOUT PLAN, etc.).

DRAWING INDEX - CIVIL

Table listing drawing codes (C0.00-CM.04.01) and their corresponding sheet names (CIVIL COVER PAGE, SITE GRADING PLAN, etc.).

DRAWING INDEX - ARCHITECTURAL

Table listing drawing codes (A101-A, A110-A, A201-A, A301-A, SK101.1) and their corresponding sheet names (OVERALL GROUND AND MEZZANINE FLOOR PLAN, etc.).

DRAWING INDEX - STRUCTURAL

Table listing drawing codes (S0.1-S1.1) and their corresponding sheet names (STRUCTURAL COVER PAGE, GENERAL STRUCTURAL NOTES, etc.).

DRAWING INDEX - ELECTRICAL

Table listing drawing codes (E1.0-E1.4) and their corresponding sheet names (ELECTRICAL LIGHTING SITE PLAN CALCULATION, etc.).

Table with columns for drawing type (Future Issue, Re-Issued for SPA, etc.), sheet number, and sheet name.

DRAWING INDEX - MECHANICAL

Table listing drawing codes (M001-M901) and their corresponding sheet names (FRONT PAGE, MECHANICAL GENERAL NOTES, etc.).

Company logo for powers brown architecture and contact information: 411 Richmond Street East, Suite 206, Toronto, Ontario M5A 3S5.

PROJECT TITLE

7242 HWY 27, VAUGHAN, ON

7242 HWY 27, VAUGHAN

A PROJECT FOR NCAP NICOLA (HWY27) LTD.

Revision table with columns for DATE and REVISION, showing a single revision on 2024-05-30.

PROJECT NO: 215073, DRAWN BY: EL, CHECKED BY: LD, SHEET NAME

DRAWING INDEX

Professional seal for RASHAD HINDI, LICENCE 6646, 2024-05-30, and sheet number G001.1.

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Ontario Building Code Data Matrix Part 3				Building Code Reference	Ontario Building Code Data Matrix Part 3				Building Code Reference ¹																																										
3.00	Building Code Version:	O. Reg. 332/12 Last Amendment O. Reg. 191/14			3.16	Importance Category:	<input type="checkbox"/> Low <input type="checkbox"/> Low human occupancy <input type="checkbox"/> Post-disaster shelter <input checked="" type="checkbox"/> Normal <input type="checkbox"/> High <input type="checkbox"/> Minor storage building <input type="checkbox"/> Explosive or hazardous substances <input type="checkbox"/> Post-disaster		4.1.2.1.(3) & T4.1.2.1.B																																										
3.01	Project Type:	<input checked="" type="checkbox"/> New <input type="checkbox"/> Addition <input type="checkbox"/> Renovation <input type="checkbox"/> Change of use <input type="checkbox"/> Addition and renovation Description: TWO NEW ONE STOREY WITH MEZZANINE MULTI-UNIT INDUSTRIAL WAREHOUSE		[A] 1.1.2.																																															
3.02	Major Occupancy Classification:	Occupancy: BUILDING 1 (A) Use: GROUP F, DIV 2 MEDIUM HAZARD INDUSTRIAL		3.1.2.1.(1)	3.17	Seismic Hazard Index:	(IE Fa Sa (0.2)) = _____ Seismic design required for Table 4.1.8.18, items 6 to 21: ((IE Fa Sa (0.2)) ≥ 0.35 or Post-disaster) <input type="checkbox"/> No <input type="checkbox"/> Yes		4.1.2.1.(3) 4.1.8.18.(2)																																										
3.03	Superimposed Major Occupancies:	<input checked="" type="checkbox"/> No <input type="checkbox"/> Yes Description: N/A		3.2.2.7.	3.18	Occupant Load	Floor Level/Area: BUILDING A Occupancy Type: GROUP F-2 Based On: AS PER CLIENT Occupant Load (Persons):		3.1.17.																																										
3.04	Building Area (m2)	Description: Existing New Total BUILDING 1 (A) 0 2,663 M ² 2,663 M ² Total 2,663 M ² 2,663 M ²		[A] 1.4.1.2.	3.19	Barrier-free Design:	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No ****THIS PERMIT APPLICATION IS FOR CORE AND SHELL OF TWO BUILDING, TENANT FIT-OUT WILL BE IN A SEPARATE PERMIT																																												
3.05	Gross Area (m2)	Description: Existing New Total BUILDING 1 (A) 0 3,599 M ² 3,599 M ² Total 3,599 M ² 3,599 M ²		[A] 1.4.1.2.	3.20	Hazardous Substances:	<input checked="" type="checkbox"/> No <input type="checkbox"/> Yes ****THIS PERMIT APPLICATION IS FOR CORE AND SHELL OF TWO BUILDING, TENANT FIT-OUT WILL BE IN A SEPARATE PERMIT		.1.2. & 3.3.1.19.																																										
3.06	Mezzanine Area (m2)	Description: Existing New Total BUILDING 1 (A) 0 936 M ² 936 M ² Total 936 M ² 936 M ²		3.2.1.1.	3.21	Required Fire Resistance Ratings	<table border="1"> <thead> <tr> <th>Horizontal Assembly</th> <th>Rating</th> <th>Supporting Assembly (H)</th> <th>Noncombustible in lieu of rating?</th> </tr> </thead> <tbody> <tr> <td>Floors over basement</td> <td></td> <td></td> <td><input type="checkbox"/> No <input type="checkbox"/> Yes <input type="checkbox"/> N/A</td> </tr> <tr> <td>Floors</td> <td>45M</td> <td></td> <td><input type="checkbox"/> No <input checked="" type="checkbox"/> Yes <input type="checkbox"/> N/A</td> </tr> <tr> <td>Mezzanine</td> <td>45M</td> <td></td> <td><input type="checkbox"/> No <input checked="" type="checkbox"/> Yes <input type="checkbox"/> N/A</td> </tr> <tr> <td>Roof</td> <td></td> <td></td> <td><input type="checkbox"/> No <input type="checkbox"/> Yes <input type="checkbox"/> N/A</td> </tr> </tbody> </table>		Horizontal Assembly	Rating	Supporting Assembly (H)	Noncombustible in lieu of rating?	Floors over basement			<input type="checkbox"/> No <input type="checkbox"/> Yes <input type="checkbox"/> N/A	Floors	45M		<input type="checkbox"/> No <input checked="" type="checkbox"/> Yes <input type="checkbox"/> N/A	Mezzanine	45M		<input type="checkbox"/> No <input checked="" type="checkbox"/> Yes <input type="checkbox"/> N/A	Roof			<input type="checkbox"/> No <input type="checkbox"/> Yes <input type="checkbox"/> N/A	3.2.2.20. - 83. & 3.2.1.4.																						
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Wall	EBF Area (m2)	L.D. (m)	L/H or H/L	Required FRR (h)	Construction Type Required	Cladding Type Required																																													
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3.09	Number of Streets/Firefighter access	BUILDING A: FOUR (4) STREET		3.2.2.10. & 3.2.5.			THIS PERMIT APPLICATION IS FOR CORE & SHELL OF ONE BUILDING. TENANT FIT OUT WILL BE IN A SEPARATE PERMIT																																												
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 www.powersbrown.com

PROJECT TITLE

7242 HWY 27, VAUGHAN, ON

7242 HWY 27, VAUGHAN

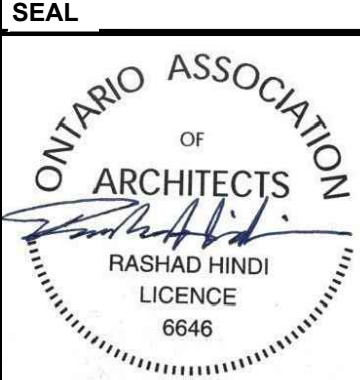
A PROJECT FOR

NCAP NICOLA (HWY27) LTD.

△	DATE	REVISION
1	2023-06-15	ISSUED FOR SPA
2	2023-10-11	RE-ISSUED FOR SPA
3	2024-01-12	RE-ISSUED FOR SPA
4	2024-03-01	RE-ISSUED FOR SPA
5	2024-05-09	RE-ISSUED FOR SPA
6	2024-05-30	ISSUED FOR MINOR SITE DEVELOPMENT

PROJECT NO: 215073
 DRAWN BY: EL
 CHECKED BY: LD
 SHEET NAME

CODE SUMMARY (BUILDING A)

SEAL	SHEET NUMBER
	G002-A

PROJECT TITLE: 7242 HWY 27, VAUGHAN, ON. PROJECT NO: 215073. DRAWN BY: EL. CHECKED BY: LD. SHEET NAME: CODE SUMMARY (BUILDING A). SHEET NUMBER: G002-A. DATE: 2024-05-30.

Ontario Building Code Data Matrix Part 3				Building Code Reference	Ontario Building Code Data Matrix Part 3				Building Code Reference ¹
3.00	Building Code Version:	O. Reg. 332/12	Last Amendment	O. Reg. 191/14	3.16	Importance Category:	<input type="checkbox"/> Low <input type="checkbox"/> Low human occupancy <input type="checkbox"/> Post-disaster shelter <input checked="" type="checkbox"/> Normal <input type="checkbox"/> High <input type="checkbox"/> Minor storage building <input type="checkbox"/> Explosive or hazardous substances <input type="checkbox"/> Post-disaster	4.1.2.1.(3) & T4.1.2.1.B	
3.01	Project Type:	<input checked="" type="checkbox"/> New <input type="checkbox"/> Addition <input type="checkbox"/> Renovation <input type="checkbox"/> Change of use <input type="checkbox"/> Addition and renovation Description: TWO NEW ONE STOREY WITH MEZZANINE MULTI-UNIT INDUSTRIAL WAREHOUSE	[A] 1.1.2.						
3.02	Major Occupancy Classification:	Occupancy: BUILDING 2 (B) Use: GROUP F, DIV 2 MEDIUM HAZARD INDUSTRIAL	3.1.2.1.(1)	3.17	Seismic Hazard Index:	(IE Fa Sa (0.2)) = _____ Seismic design required for Table 4.1.8.18. Items 6 to 21: (IE Fa Sa (0.2)) ≥ 0.35 or Post-disaster <input type="checkbox"/> No <input type="checkbox"/> Yes	4.1.2.1.(3) 4.1.8.18.(2)		
3.03	Superimposed Major Occupancies:	<input checked="" type="checkbox"/> No <input type="checkbox"/> Yes Description: N/A	3.2.2.7.	3.18	Occupant Load:	Floor Level/Area: BUILDING B Occupancy Type: GROUP F-2 Based On: AS PER CLIENT Occupant Load (Persons): _____	3.1.17.		
3.04	Building Area (m2)	Description: Existing New Total BUILDING 2 (B) 0 3,001 M ² 3,001 M ² Total 3,001 M ² 3,001 M ²	[A] 1.4.1.2.	3.19	Barrier-free Design:	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No ****THIS PERMIT APPLICATION IS FOR CORE AND SHELL OF TWO BUILDING. TENANT FIT-OUT WILL BE IN A SEPARATE PERMIT			
3.05	Gross Area (m2)	Description: Existing New Total BUILDING 2 (B) 0 4,062 M ² 4,062 M ² Total 4,062 M ² 4,062 M ²	[A] 1.4.1.2.	3.20	Hazardous Substances:	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No ****THIS PERMIT APPLICATION IS FOR CORE AND SHELL OF TWO BUILDING. TENANT FIT-OUT WILL BE IN A SEPARATE PERMIT	.1.2. & 3.3.1.19.		
3.06	Mezzanine Area (m2)	Description: Existing New Total BUILDING 2 (B) 0 1,060 M ² 1,060 M ² Total 1,060 M ² 1,060 M ²	3.2.1.1.	3.21	Required Fire Resistance Ratings:	Horizontal Assembly Rating Supporting Assembly (H) Noncombustible in lieu of rating? Floors over basement _____ <input type="checkbox"/> No <input type="checkbox"/> Yes <input type="checkbox"/> N/A Floors 45M _____ <input type="checkbox"/> No <input checked="" type="checkbox"/> Yes <input type="checkbox"/> N/A Mezzanine 45M _____ <input type="checkbox"/> No <input checked="" type="checkbox"/> Yes <input type="checkbox"/> N/A Roof _____ <input type="checkbox"/> No <input type="checkbox"/> Yes <input type="checkbox"/> N/A	3.2.2.20. - 83. & 3.2.1.4.		
3.07	Building Height	1 Storeys above grade 9 (m) Above grade 0 Storeys below grade	[A] 1.4.1.2. & 3.2.1.1.	3.22	Spatial Separation:	Wall EBF Area (m2) L.D. L/H or H/L Required FRR (H) Construction Type Required Cladding Type Required BUILDING B SOUTH 216 <15 _____ <input type="checkbox"/> Noncombustible <input type="checkbox"/> Noncombustible EAST 77 8 _____ <input type="checkbox"/> Noncombustible <input type="checkbox"/> Noncombustible NORTH 1,407 12 _____ <input type="checkbox"/> Noncombustible <input type="checkbox"/> Noncombustible WEST 1,428 <15 _____ <input type="checkbox"/> Noncombustible <input type="checkbox"/> Noncombustible _____ <input type="checkbox"/> Noncombustible <input type="checkbox"/> Noncombustible _____ <input type="checkbox"/> Noncombustible <input type="checkbox"/> Noncombustible _____ <input type="checkbox"/> Noncombustible <input type="checkbox"/> Noncombustible	3.2.3.		
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3.14	Water Service / Supply is Adequate	<input type="checkbox"/> No <input checked="" type="checkbox"/> Yes		3.25	Notes:				
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PROJECT TITLE

7242 HWY 27, VAUGHAN, ON

7242 HWY 27, VAUGHAN

A PROJECT FOR

NCAP NICOLA (HWY27) LTD.

△	DATE	REVISION
1	2023-06-15	ISSUED FOR SPA
2	2023-10-11	RE-ISSUED FOR SPA
3	2024-01-12	RE-ISSUED FOR SPA
4	2024-03-01	RE-ISSUED FOR SPA
5	2024-05-09	RE-ISSUED FOR SPA
6	2024-05-30	ISSUED FOR MINOR SITE DEVELOPMENT

PROJECT NO: 215073
DRAWN BY: EL
CHECKED BY: LD
SHEET NAME

CODE SUMMARY (BUILDING B)

<div style="border: 1px solid black; padding: 5px; font-size: 0.8em;"> SEAL </div>	<div style="border: 1px solid black; padding: 5px; font-size: 1.5em; font-weight: bold;">SHEET NUMBER G002-B</div>
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PROJECT TITLE

7242 HWY 27, VAUGHAN, ON

7242 HWY 27, VAUGHAN

A PROJECT FOR
NCAP NICOLA (HWY27) LTD.

GENERAL NOTES

-  DESIGNATED FIRE ACCESS LANE - MINIMUM 20'-0"
-  NOT IN SCOPE
-  TYPE B LOADING SPACES: 3.5m x 11m (2 PER BUILDING)
-  LIGHT CONCRETE PAVING
-  LANDSCAPING
-  PROPOSED FIRE HYDRANT
-  PROPERTY LINE

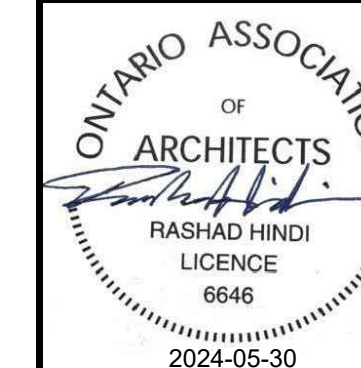
Δ	DATE	REVISION
1	2023-06-15	ISSUED FOR SPA
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6	2024-05-30	ISSUED FOR MINOR SITE DEVELOPMENT

PROJECT NO: 215073
DRAWN BY: TS
CHECKED BY: LD

SHEET NAME

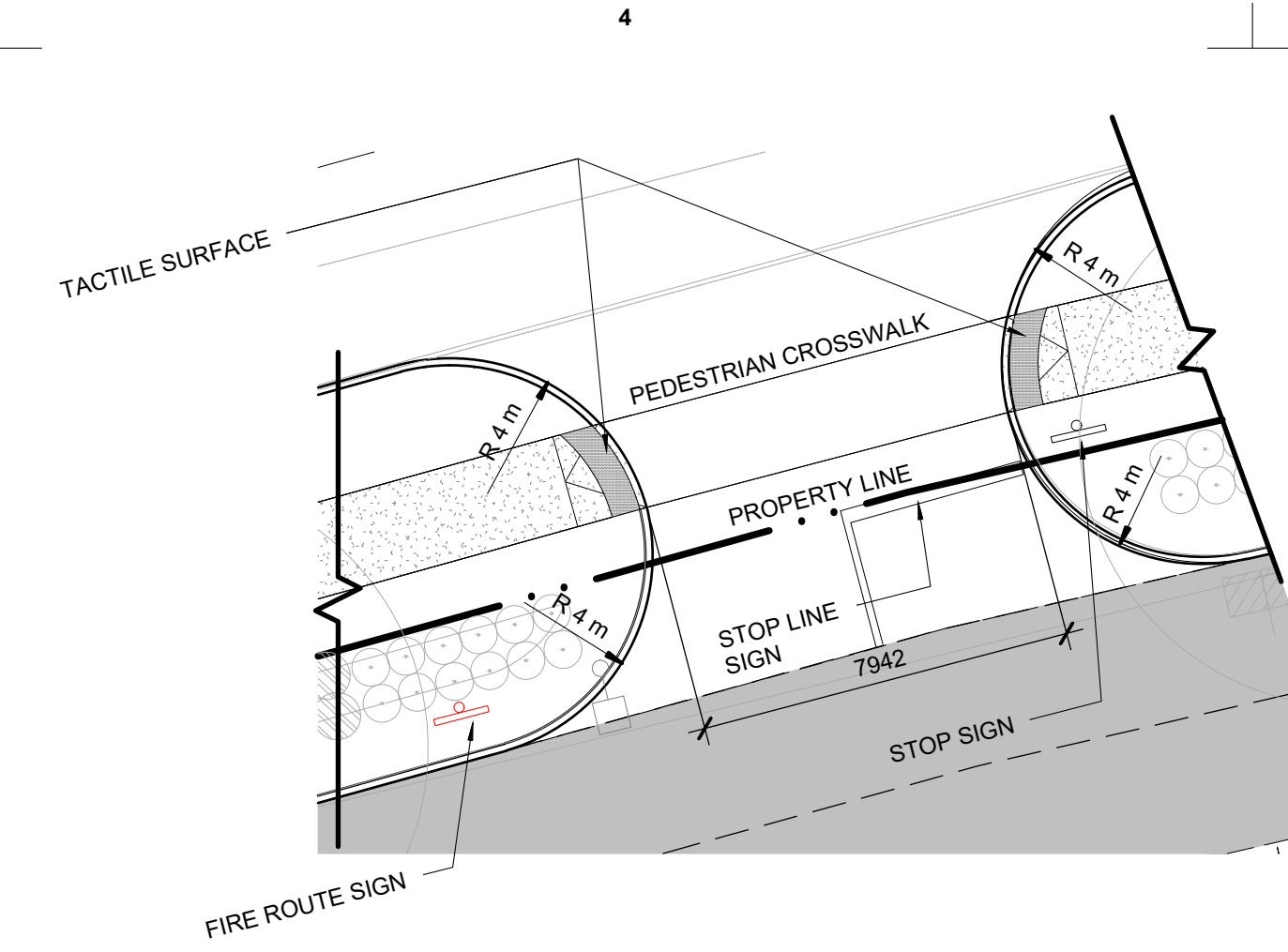
SITE PLAN - ENLARGED

SEAL

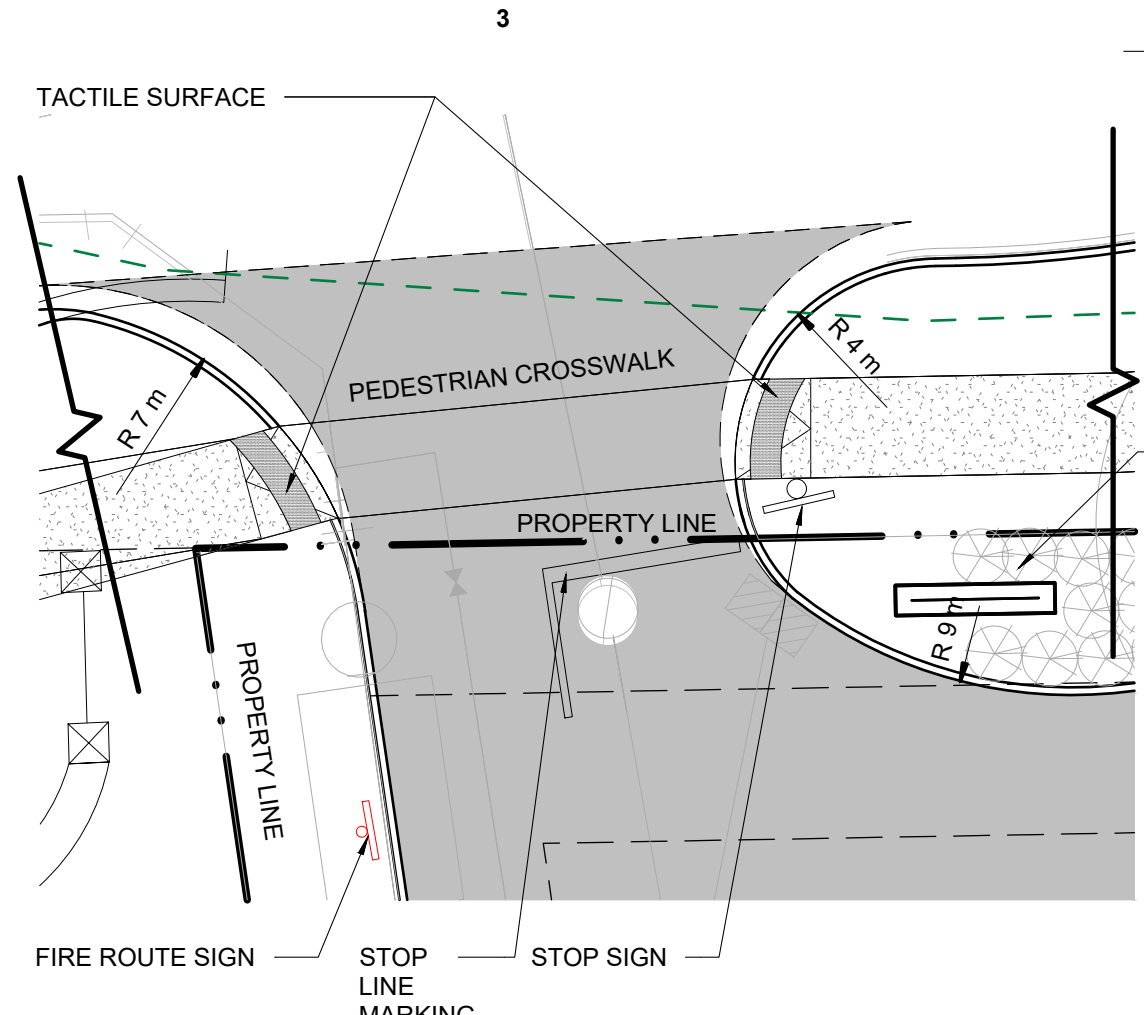


SHEET NUMBER

AS102

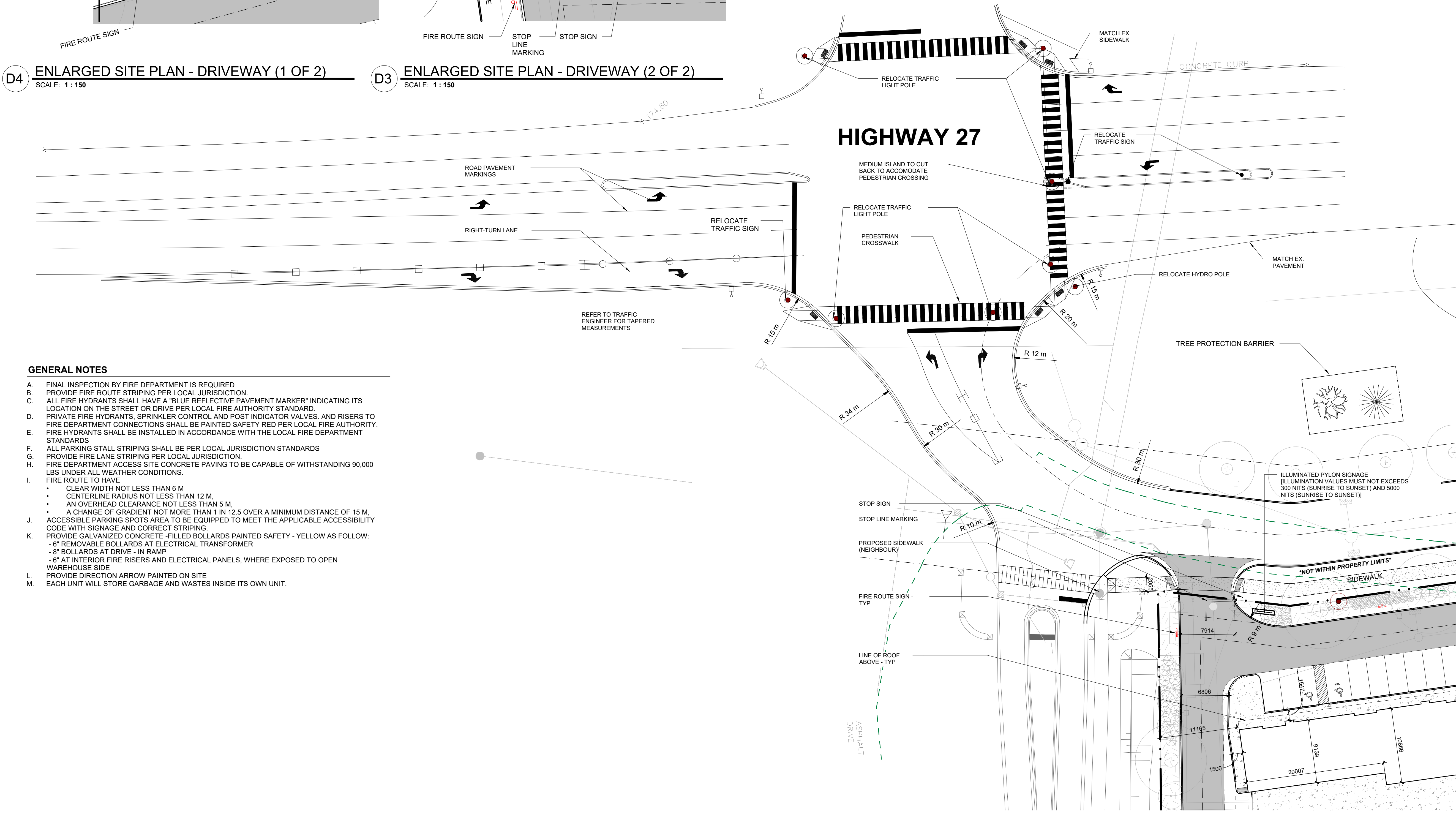


D4 ENLARGED SITE PLAN - DRIVEWAY (1 OF 2)
SCALE: 1 : 150



D3 ENLARGED SITE PLAN - DRIVEWAY (2 OF 2)
SCALE: 1 : 150

ILLUMINATED PYLON SIGNAGE (ILLUMINATION VALUES MUST NOT EXCEEDS 300 NITS (SUNRISE TO SUNSET) AND 5000 NITS (SUNRISE TO SUNSET))



GENERAL NOTES

- A. FINAL INSPECTION BY FIRE DEPARTMENT IS REQUIRED
- B. PROVIDE FIRE ROUTE STRIPING PER LOCAL JURISDICTION.
- C. ALL FIRE HYDRANTS SHALL HAVE A "BLUE REFLECTIVE PAVEMENT MARKER" INDICATING ITS LOCATION ON THE STREET OR DRIVE PER LOCAL FIRE AUTHORITY STANDARD.
- D. PRIVATE FIRE HYDRANTS, SPRINKLER CONTROL AND POST INDICATOR VALVES, AND RISERS TO FIRE DEPARTMENT CONNECTIONS SHALL BE PAINTED SAFETY RED PER LOCAL FIRE AUTHORITY.
- E. FIRE HYDRANTS SHALL BE INSTALLED IN ACCORDANCE WITH THE LOCAL FIRE DEPARTMENT STANDARDS
- F. ALL PARKING STALL STRIPING SHALL BE PER LOCAL JURISDICTION STANDARDS
- G. PROVIDE FIRE LANE STRIPING PER LOCAL JURISDICTION.
- H. FIRE DEPARTMENT ACCESS SITE CONCRETE PAVING TO BE CAPABLE OF WITHSTANDING 90,000 LBS UNDER ALL WEATHER CONDITIONS.
- I. FIRE ROUTE TO HAVE
 - CLEAR WIDTH NOT LESS THAN 6 M
 - CENTERLINE RADIUS NOT LESS THAN 12 M.
 - AN OVERHEAD CLEARANCE NOT LESS THAN 5 M.
 - A CHANGE OF GRADIENT NOT MORE THAN 1 IN 12.5 OVER A MINIMUM DISTANCE OF 15 M.
- J. ACCESSIBLE PARKING SPOTS AREA TO BE EQUIPPED TO MEET THE APPLICABLE ACCESSIBILITY CODE WITH SIGNAGE AND CORRECT STRIPING.
- K. PROVIDE GALVANIZED CONCRETE - FILLED BOLLARDS PAINTED SAFETY - YELLOW AS FOLLOW:
 - 6" REMOVABLE BOLLARDS AT ELECTRICAL TRANSFORMER
 - 8" BOLLARDS AT DRIVE - IN RAMP
 - 8" AT INTERIOR FIRE RISERS AND ELECTRICAL PANELS, WHERE EXPOSED TO OPEN WAREHOUSE SIDE
- L. PROVIDE DIRECTION ARROW PAINTED ON SITE
- M. EACH UNIT WILL STORE GARBAGE AND WASTES INSIDE ITS OWN UNIT.

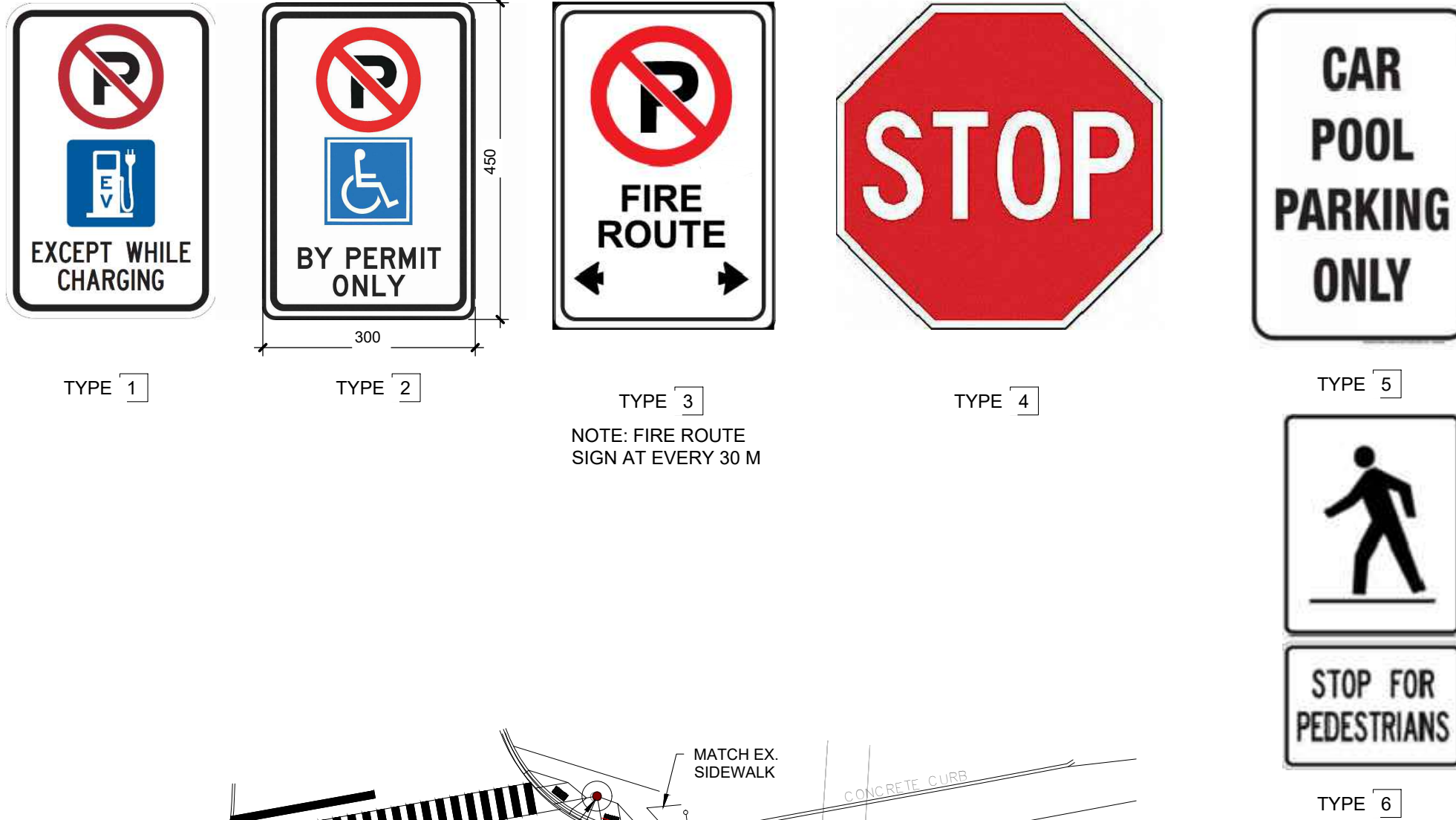
A3 ENLARGED SITE PLAN - RIGHT LANE DECELERATION
SCALE: 1 : 300

Autodesk Docs://215073 Cavalieri7242 Highway 27 Vaughan/215073_ARCH_C&S_R21 - BLDG 1.rvt

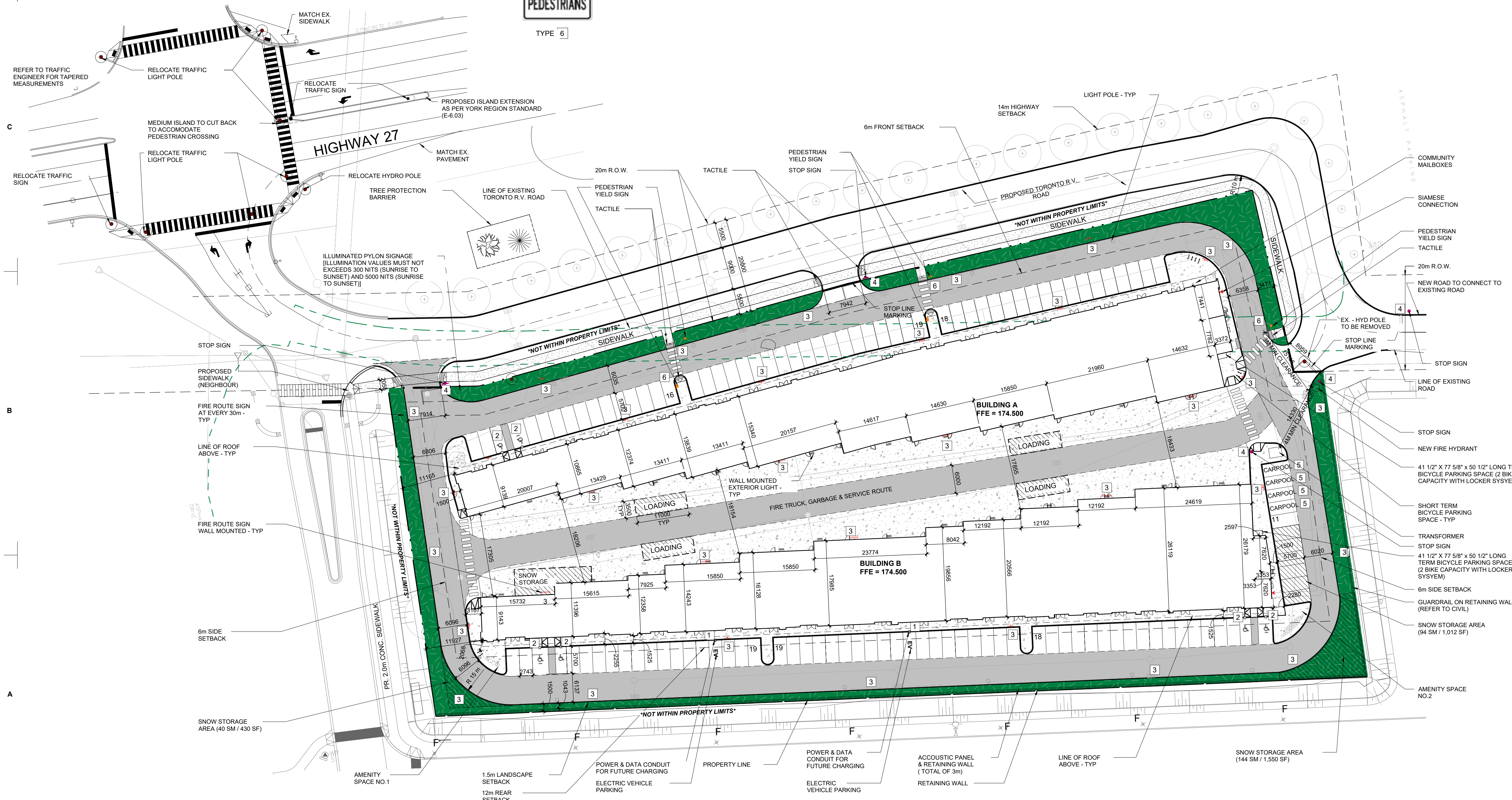
5/30/2024 4:27:56 PM

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SIGNAGE DETAILS



- NOTE:**
- 1.) SIGNS SHALL BE MOUNTED ON PERMANENT POSTS, POLES, OR BUILDING STRUCTURE
 - 2.) SIGNS SHALL BE ERECTED AT A HEIGHT OF BETWEEN 1.9M (6 FEET) AND 2.5M (8 FEET) AS MEASURED FROM THE EDGE OF THE TRAVELED PORTION OF THE DESIGNATED ROUTE TO THE BOTTOM EDGE OF THE SIGN.
 - 3.) SIGNS SHALL BE INSTALLED AT A DISTANCE OF BETWEEN 0.3M (1 FOOT) AND 3M (10 FEET) FROM THE TRAVELED EDGE OF THE DESIGNATED ROUTE.
 - 4.) SIGNS AS DESIGNATED SHALL BE INSTALLED ALONG THE ROUTE AT APPROXIMATELY 30M (100 FEET) INTERVALS OR AS FREQUENTLY AS IS NECESSARY TO IDENTIFY THE ROUTE IN THE JUDGEMENT OF THE CHIEF FIRE OFFICIAL.
 - 5.) SIGNS SHALL BE INSTALLED SO THAT THERE ARE NO OBSTRUCTIONS WITHIN 6 METRES (20 FEET) OF THE SIGN AND BE VISIBLE TO APPROACHING TRAFFIC.
 - 6.) SIGNS SHALL DISPLAY SINGLE HEADED ARROWS POINTING IN THE DIRECTION IN WHICH THE REGULATION IS IN EFFECT. AT INTERMEDIATE POINTS THROUGHOUT THE REGULATED AREA DOUBLE HEADED ARROWS SHALL INDICATE THAT THE PROHIBITION OR RESTRICTION EXISTS IN EACH DIRECTION.
 - 7.) BYLAW NUMBERS SHALL NOT BE INDICATED ON A FIRE ROUTE SIGN.
 - 8.) A DESIGNATED FIRE ACCESS ROUTE AND SIGNAGE SHALL BE MAINTAINED BY THE PROPERTY OWNER.
 - 9.) A FINAL FIRE DEPARTMENT INSPECTION WILL BE REQUIRED AS PART OF THE FINAL APPROVAL. TO ARRANGE FOR A FINAL INSPECTION, PLEASE CONTACT THE FIRE PREVENTION & PUBLIC SAFETY DIVISION AT 905-683-7791.



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 411 Richmond Street East
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 647.931.9787
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PROJECT TITLE
 7242 HWY 27, VAUGHAN, ON
 7242 HWY 27, VAUGHAN
 A PROJECT FOR
NCAP NICOLA (HWY27) LTD.

GENERAL NOTES

- DESIGNATED FIRE ACCESS LANE - MINIMUM 20'-0"
- NOT IN SCOPE
- TYPE B LOADING SPACES: 3.5m x 11m (2 PER BUILDING)
- LIGHT CONCRETE PAVING
- LANDSCAPING
- PROPOSED FIRE HYDRANT
- PROPERTY LINE
- STOP SIGN
- PEDESTRIAN YIELD SIGN
- FIRE ROUTE SIGN

DATE	REVISION
2023-06-15	ISSUED FOR SPA
2023-10-11	RE-ISSUED FOR SPA
2024-01-12	RE-ISSUED FOR SPA
2024-03-01	PERFECT ENGINEERING SUBMISSION
2024-03-01	RE-ISSUED FOR SPA
2024-05-09	PERFECT ENGINEERING SUBMISSION
2024-05-09	RE-ISSUED FOR SPA
2024-05-30	ISSUED FOR MINOR SITE DEVELOPMENT

PROJECT NO: 215073
 DRAWN BY: TS.EL
 CHECKED BY: LD

SHEET NAME
 OVERALL SIGNAGE PLAN

SEAL
 ONTARIO ASSOCIATION OF ARCHITECTS
 RASHAD HINDI
 LICENCE 6646
 2024-05-30

SHEET NUMBER
 AS103

OVERALL SIGNAGE PLAN
 SCALE: 1 : 450

Autodesk Docs://215073 Cavalieri 7242 Highway 27 Vaughan/215073_ARCH_C&S_R21 - BLDG 1.rvt 5/30/2024 4:28:44 PM

ALECTRA
 NAME: _____
 DATE: _____

BELL CANADA
 NAME: _____
 DATE: _____

ENBRIDGE
 NAME: _____
 DATE: _____

ROGERS COMMUNICATIONS
 NAME: _____
 DATE: _____

NOTE
 The information here is based on the civil drawings issued May 09, 2024 by DesignWorks Engineering.

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PROJECT TITLE
 7242 HWY 27, VAUGHAN, ON
 7242 HWY 27, VAUGHAN
 A PROJECT FOR
NCAP NICOLA (HWY27) LTD.

GENERAL NOTES

- PROPERTY LINE
- STORM WATER
- WATER / HYDRANT
- SEWER
- HYDRO
- ELECTRICAL FEATURES (LIGHTING / TRANSFORMERS)
- TREE PROTECTION HOARDING
- PROPOSED DECIDUOUS TREE PER LANDSCAPE L2
- PROPOSED CONIFEROUS TREE PER LANDSCAPE L2
- EXISTING DECIDUOUS TREE PER SURVEY
- EXISTING CONIFEROUS TREE PER SURVEY
- HYDRO FEATURES
- EXTERIOR LIGHTING
- STORM WATER CATCH BASIN
- MH COVER

****DASHED OUTLINE FOR REMOVED SERVICE FEATURE****

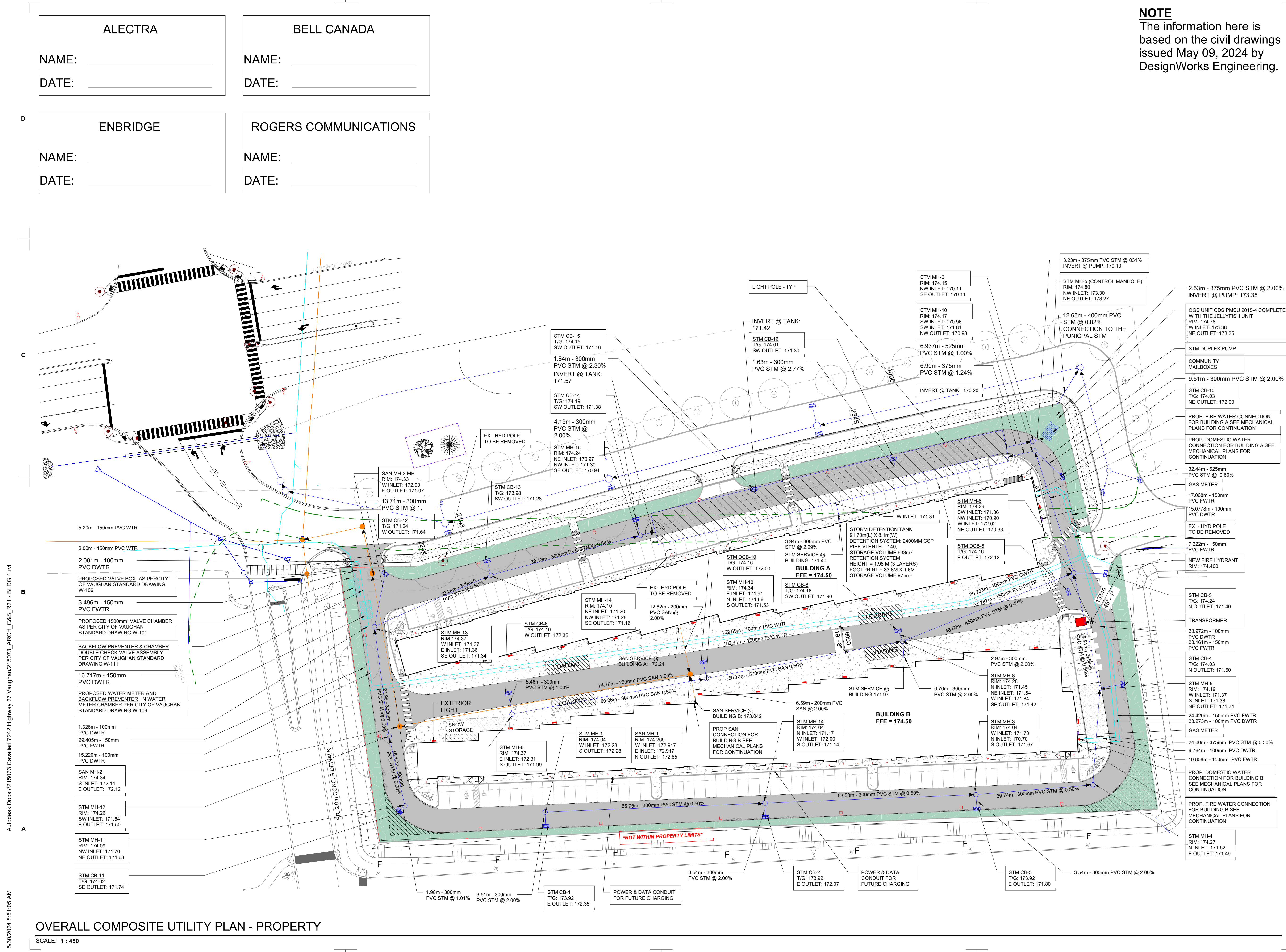
NO.	DATE	REVISION
1	2024-03-01	PERFECT ENGINEERING SUBMISSION
2	2024-05-09	PERFECT ENGINEERING SUBMISSION
3	2024-05-30	ISSUED FOR MINOR SITE DEVELOPMENT

PROJECT NO: 215073
 DRAWN BY: EL
 CHECKED BY: LD

SHEET NAME
 PRIVATE DEVELOPMENT - COMPOSITE UTILITY PLAN

SEAL
 ONTARIO ASSOCIATION OF ARCHITECTS
 RASHAD HINDI
 LICENCE 6646
 2024-03-30

SHEET NUMBER
AS105



OVERALL COMPOSITE UTILITY PLAN - PROPERTY
 SCALE: 1 : 450

Autodesk Docs://215073/Cavallieri/7242 Highway 27/Vaughan/215073_ARCH_C&S_P21 - BLDG 1.rvt
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PROJECT TITLE

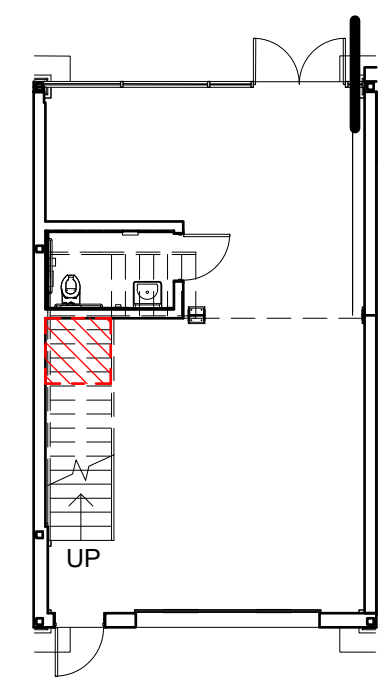
7242 HWY 27, VAUGHAN, ON

7242 HWY 27, VAUGHAN

A PROJECT FOR
NCAP NICOLA (HWY27) LTD.

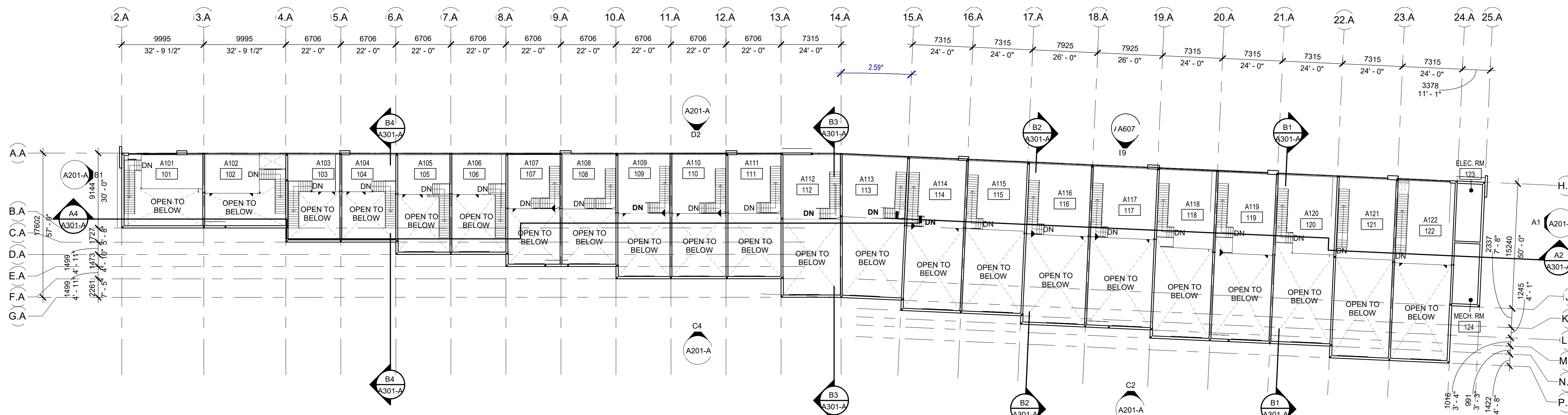
GENERAL NOTES

WASHROOM ARE SHOWN FOR ILLUSTRATIVE PURPOSES ONLY AND ONLY ROUGH-INS WILL BE PROVIDED.



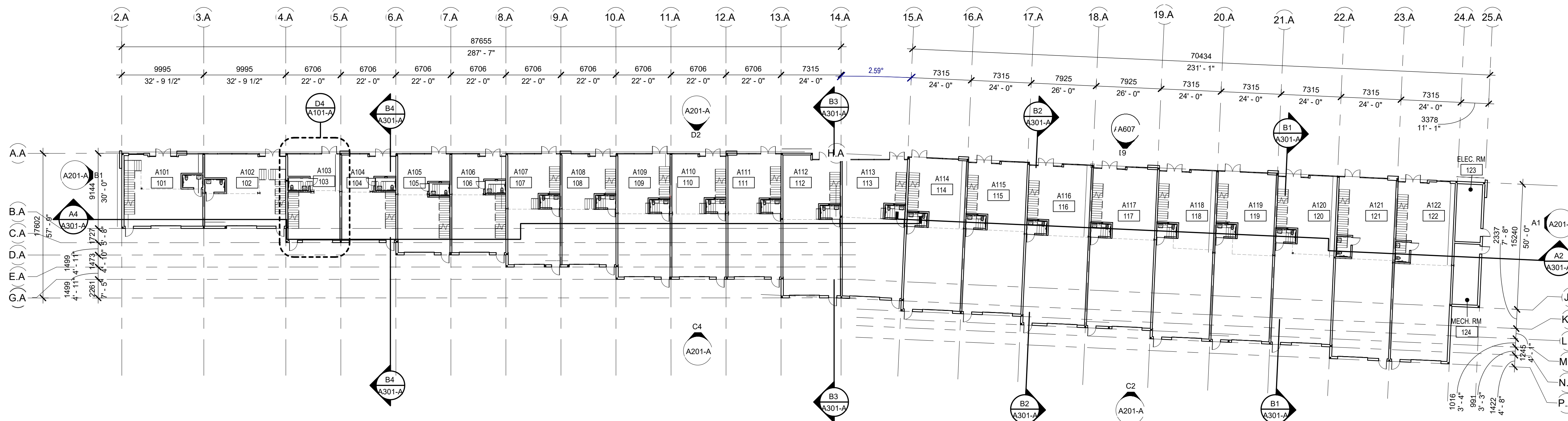
NOTE:
 • HATCHED AREA SHOWN IS TYPICAL PROPOSED WASTE ROOM REQUIRED FOR EACH UNIT.
 • FINAL LOCATION TO BE DETERMINED AND TO BE BUILT BY FUTURE PURCHASER.
 • APPROXIMATE SIZE IS 1.3M x 1.3M
 • TO BE INCLUDED IN PURCHASER'S INTERIOR FIT - OUT DRAWINGS AND TO BE IN ACCORDANCE TO CITY OF VAUGHAN'S STANDARDS.

D4 UNIT A103
 SCALE: 1:150



OVERALL MEZZANINE FLOOR PLAN - BUILDING A

SCALE: 1:275



OVERALL GROUND FLOOR PLAN - BUILDING A

SCALE: 1:275

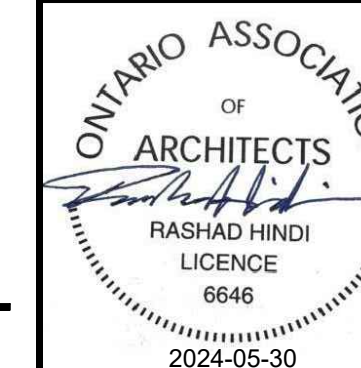
Δ	DATE	REVISION
1	2023-06-15	ISSUED FOR SPA
2	2023-10-11	RE-ISSUED FOR SPA
3	2024-01-12	RE-ISSUED FOR SPA
4	2024-03-01	RE-ISSUED FOR SPA
5	2024-05-09	RE-ISSUED FOR SPA
6	2024-05-30	ISSUED FOR MINOR SITE DEVELOPMENT

PROJECT NO: 215073
 DRAWN BY: TS
 CHECKED BY: LD

SHEET NAME

OVERALL GROUND AND MEZZANINE FLOOR PLAN - BUILDING A

SEAL SHEET NUMBER



A101-A

PROJECT TITLE

7242 HWY 27, VAUGHAN, ON

7242 HWY 27, VAUGHAN

A PROJECT FOR
NCAP NICOLA (HWY27) LTD.

GENERAL NOTES

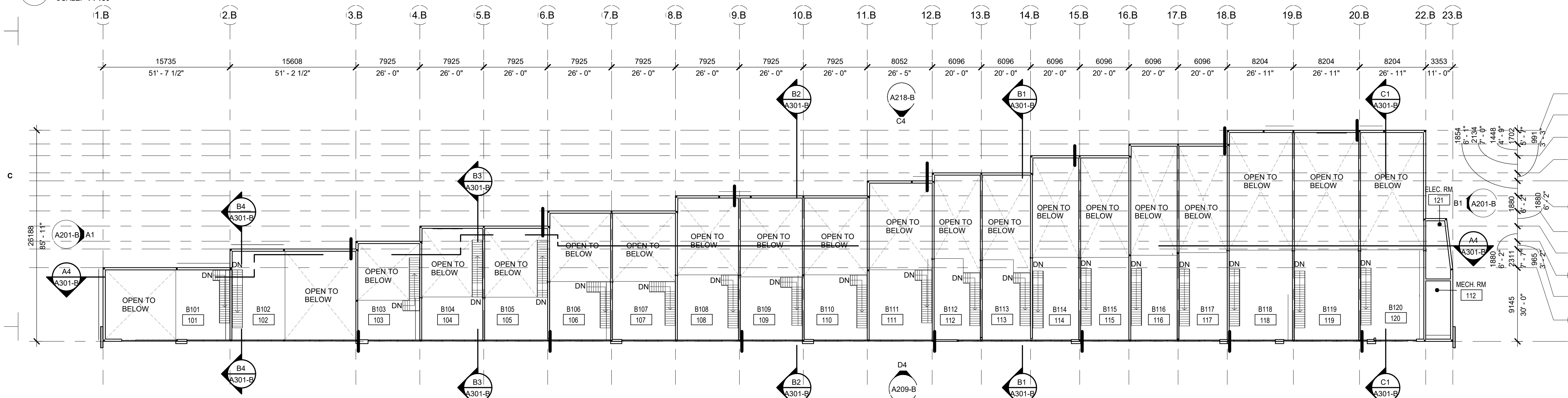
WASHROOM ARE SHOWN FOR ILLUSTRATIVE PURPOSES ONLY AND ONLY ROUGH-INS WILL BE PROVIDED.

NOTE:

- HATCHED AREA SHOWN IS TYPICAL PROPOSED WASTE ROOM REQUIRED FOR EACH UNIT.
- FINAL LOCATION TO BE DETERMINED AND TO BE BUILT BY FUTURE PURCHASER.
- APPROXIMATE SIZE IS 1.3M x 1.3M
- TO BE INCLUDED IN PURCHASER'S INTERIOR FIT - OUT DRAWINGS AND TO BE IN ACCORDANCE TO CITY OF VAUGHAN'S STANDARDS.

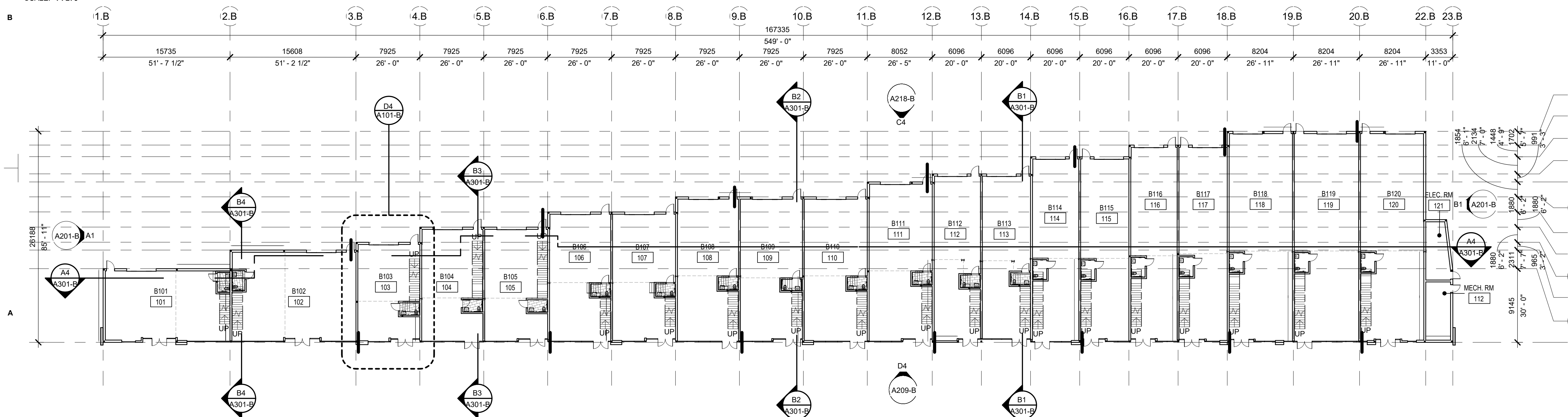
D4 FLOOR PLAN - B103.

SCALE: 1:150



OVERALL MEZZANINE FLOOR PLAN - BUILDING B

SCALE: 1:275



OVERALL GROUND FLOOR PLAN - BUILDING B

SCALE: 1:275

Δ	DATE	REVISION
1	2023-06-15	ISSUE FOR SPA
2	2023-10-11	RE-ISSUE FOR SPA
3	2024-01-12	RE-ISSUED FOR SPA
4	2024-03-01	RE-ISSUED FOR SPA
5	2024-05-09	RE-ISSUED FOR SPA
6	2024-05-30	ISSUED FOR MINOR SITE DEVELOPMENT

PROJECT NO: 215073

DRAWN BY: TS

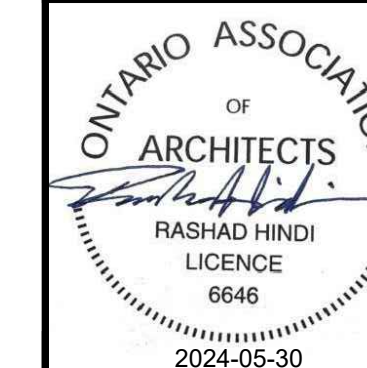
CHECKED BY: LD

SHEET NAME

OVERALL FLOOR PLAN - BUILDING B

SEAL

SHEET NUMBER



A101-B

BUILDING A BUILDING AREA (M ²)	PROPOSED
GROSS FLOOR AREA, AS DEFINED IN GREEN STANDARD (M ²)	3,393.66 M ²
TOTAL ROOF AREA (M ²)	2,903.04 M ²
ROOF COVERAGE	

SINGLE - PLY WHITE TPO ROOF (R40MIN) - 100% OF THE ROOF SPACE TPO MEMBRANE TO COMPLIES WITH REQUIREMENTS OF A MINIMUM SOLAR REFLECT INDEX (SRI) OF 79 FOR INDUSTRIAL BUILDINGS (AS PER COOL ROOF ALTERNATIVE TO THE GREEN REQUIREMENTS FOR INDUSTRIAL BUILDINGS).

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PROJECT TITLE

7242 HWY 27, VAUGHAN, ON

7242 HWY 27, VAUGHAN

A PROJECT FOR

NCAP NICOLA (HWY27) LTD.

GENERAL NOTES

TAPERED INSULATION - 1/4" PER 1 FOOT SLOPE - TYP

OSCUPO OVERFLOW SCUPPER
ROOF DRAIN

△	DATE	REVISION
1	2023-06-15	ISSUED FOR SPA
2	2023-10-11	RE-ISSUED FOR SPA
3	2024-01-12	RE-ISSUED FOR SPA
4	2024-03-01	RE-ISSUED FOR SPA
5	2024-05-09	RE-ISSUED FOR SPA
6	2024-05-30	ISSUED FOR MINOR SITE DEVELOPMENT

PROJECT NO: 215073
DRAWN BY: TS
CHECKED BY: LD

SHEET NAME

OVERALL ROOF PLAN - BUILDING A

SEAL

ONTARIO ASSOCIATION OF ARCHITECTS

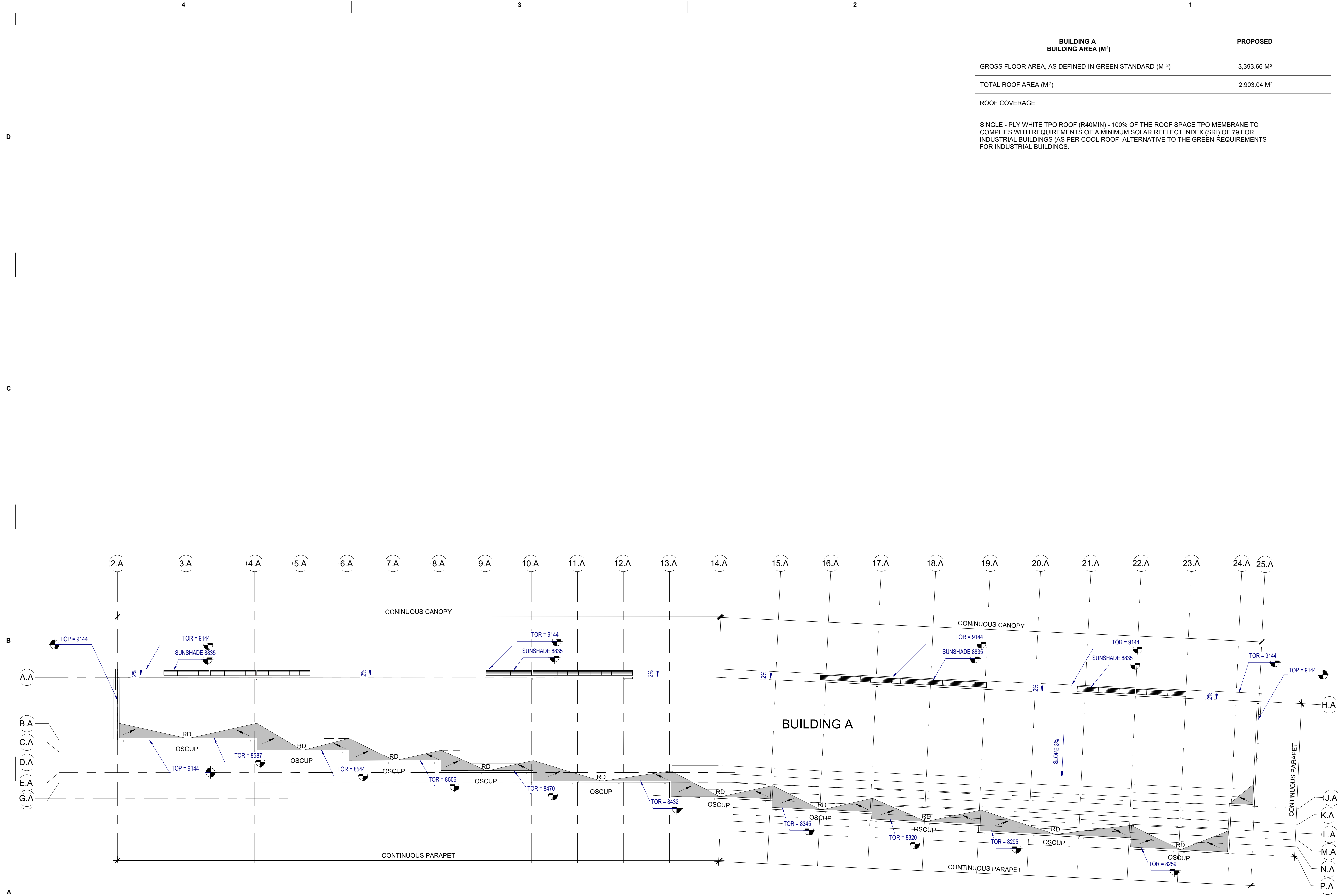
RASHAD HINDI
LICENCE 6646
2024-05-30

SHEET NUMBER

A110-A

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OVERALL ROOF PLAN - BUILDING A

SCALE: 1 : 275

BUILDING B BUILDING AREA (M ²)	PROPOSED
GROSS FLOOR AREA, AS DEFINED IN GREEN STANDARD (M ²)	3,854.20 M ²
TOTAL ROOF AREA (M ²)	3,225.09 M ²
ROOF COVERAGE	

SINGLE - PLY WHITE TPO ROOF (R40MIN) - 100% OF THE ROOF SPACE TPO MEMBRANE TO COMPLIES WITH REQUIREMENTS OF A MINIMUM SOLAR REFLECT INDEX (SRI) OF 79 FOR INDUSTRIAL BUILDINGS (AS PER COOL ROOF ALTERNATIVE TO THE GREEN REQUIREMENTS FOR INDUSTRIAL BUILDINGS.

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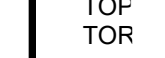


PROJECT TITLE

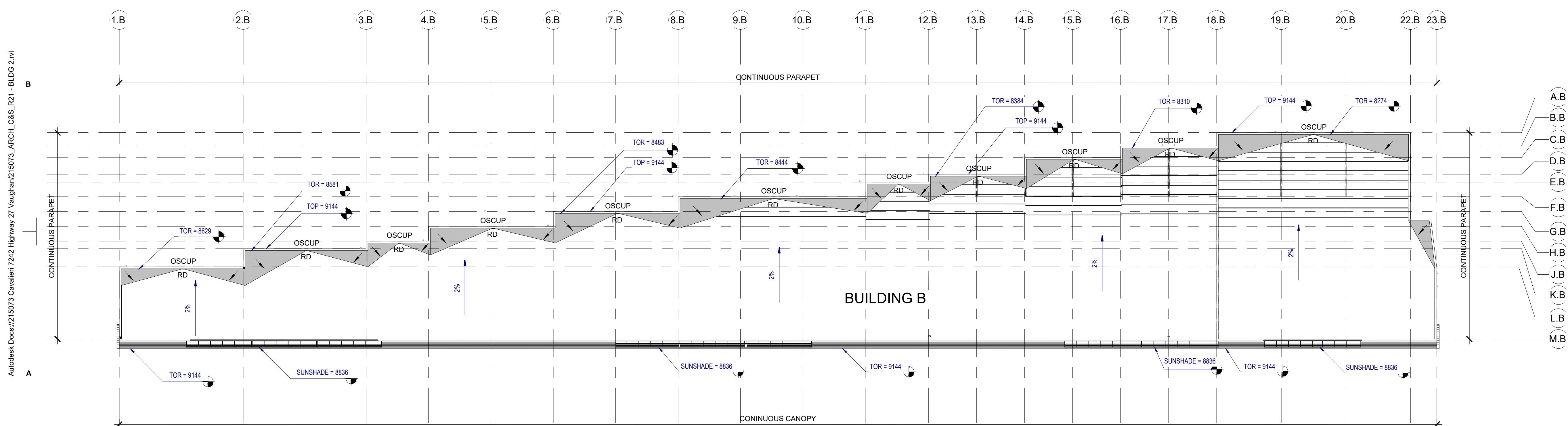
7242 HWY 27, VAUGHAN, ON

7242 HWY 27, VAUGHAN

A PROJECT FOR
NCAP NICOLA (HWY27) LTD.

GENERAL NOTES

-  TAPERED INSULATION - 1/4" PER 1 FOOT SLOPE - TYP
-  OSCUP OVERFLOW SCUPPER
-  RD ROOF DRAIN
-  TOP TOP OF PARAPET
-  TOR TOP OF ROOF

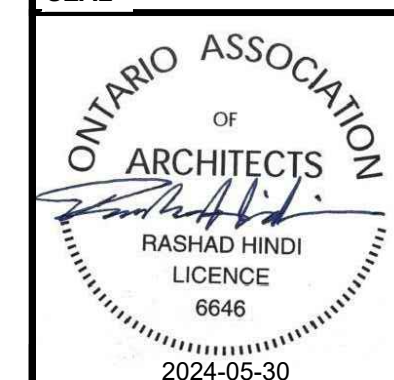


Δ	DATE	REVISION
1	2023-06-15	ISSUE FOR SPA
2	2023-10-11	RE-ISSUE FOR SPA
3	2024-01-12	RE-ISSUED FOR SPA
4	2024-03-01	RE-ISSUED FOR SPA
5	2024-05-09	RE-ISSUED FOR SPA
6	2024-05-30	ISSUED FOR MINOR SITE DEVELOPMENT

PROJECT NO: 215073
 DRAWN BY: TS
 CHECKED BY: LD

SHEET NAME

OVERALL ROOF PLAN - BUILDING B

SEAL	SHEET NUMBER
	A110-B

OVERALL ROOF PLAN - BUILDING B

SCALE: 1 : 275

Autodesk Docs://215073_Cavallieri_7242_Highway_27_Vaughan/215073_ARCH_C&S_R21 - BLDG 2.rvt

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PROJECT TITLE

7242 HWY 27, VAUGHAN, ON

7242 HWY 27, VAUGHAN

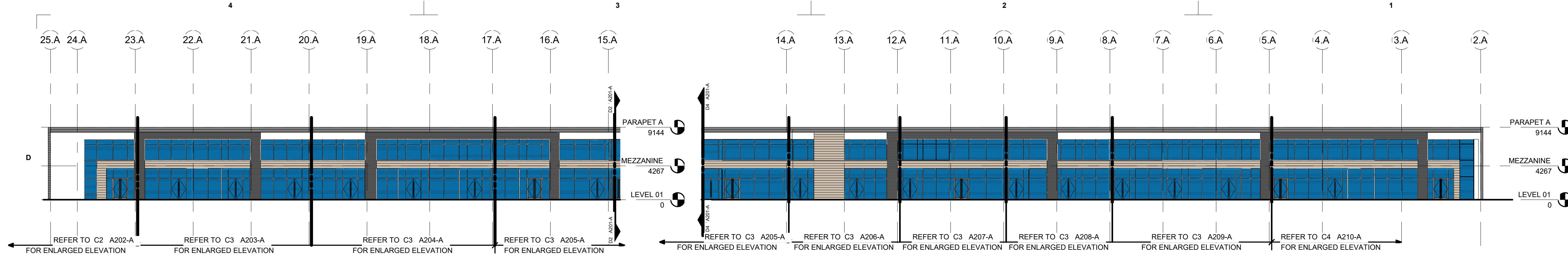
A PROJECT FOR
NCAP NICOLA (HWY27) LTD.

GENERAL NOTES

- PROVIDE BIRD DETERRING VISUAL MARKERS APPLIED TO ALL GLAZINGS WITH MAXIMUM SPACING OF 100mm X 10mm.

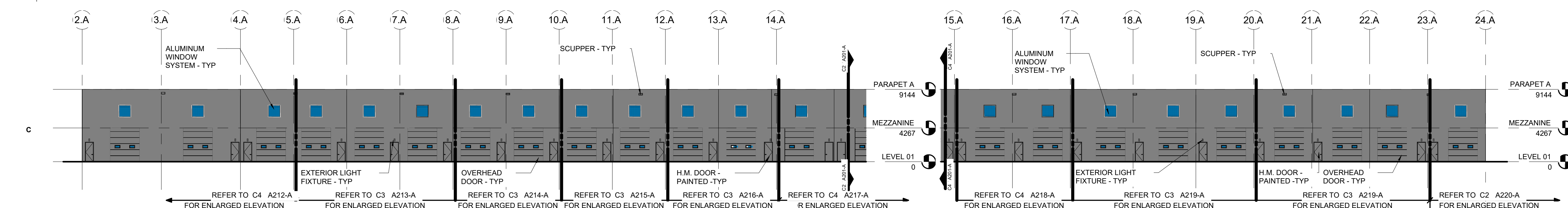
MATERIAL LEGEND

- METAL PANEL WITH WOOD GRAIN COLOUR: WOOD PATTERN
- PRECAST PANEL FORMLINER - HORIZONTAL COLOUR: DARK GREY
- PRECAST PANEL COLOUR: WHITE
- PRECAST PANEL COLOUR: LIGHT GREY
- GLAZING - VISION



D4 OVERALL ELEVATION - BUILDING A - EAST 1 OF 2
 SCALE: 1 : 275

D2 OVERALL ELEVATION - BUILDING A - EAST 2 OF 2
 SCALE: 1 : 275



C4 OVERALL ELEVATION - BUILDING A - WEST 1 OF 2
 SCALE: 1 : 275

C2 OVERALL ELEVATION - BUILDING A - WEST 2 OF 2
 SCALE: 1 : 275

	NORTH	WEST	SOUTH	EAST	TOTAL BIRD FRIENDLY GLAZING AREA (%)
GLAZING AREA (M ²)	0 M ²	51.09 M ²	0 M ²	958.60 M ²	100%
NON-VISION GLAZING AREA (M ²)	0 M ²	0 M ²	0 M ²	0 M ²	0%
TREATED AREA (M ²)	0 M ²	51.09 M ²	0 M ²	958.60 M ²	100%

Bird Safe Treatment Exterior Specification Checklist
 Applicant to include checklist on Elevation Drawings of final site plan submission. Drawings to be stamped and signed by an OAA member.

Mandatory Primary Treatments for all site and draft plan applications.

All Glaze Condition (check to confirm the below is applied):

- ✓ Bird safe treatment (s) are applied on minimum 50% of contiguous glass panel area, and within 15m from finished grade or to the height of the adjacent mature tree canopy, whichever is greater.
- ✓ Treatments are applied to all glass panel areas that creates fly through conditions and are adjacent to natural heritage features.
- ✓ Treatments are identified and redlined on the elevation drawings.

Roof Landscapes Conditions (check to confirm the below is applied):

- ✓ Development contains no glass panel within 15m from roof level finished grade.
- If glazing is adjacent to green roof and/or rooftop vegetation, bird safe treatment is applied at a height of 4m from the surface of the green roof or the height of the adjacent mature vegetation, whichever is greater.

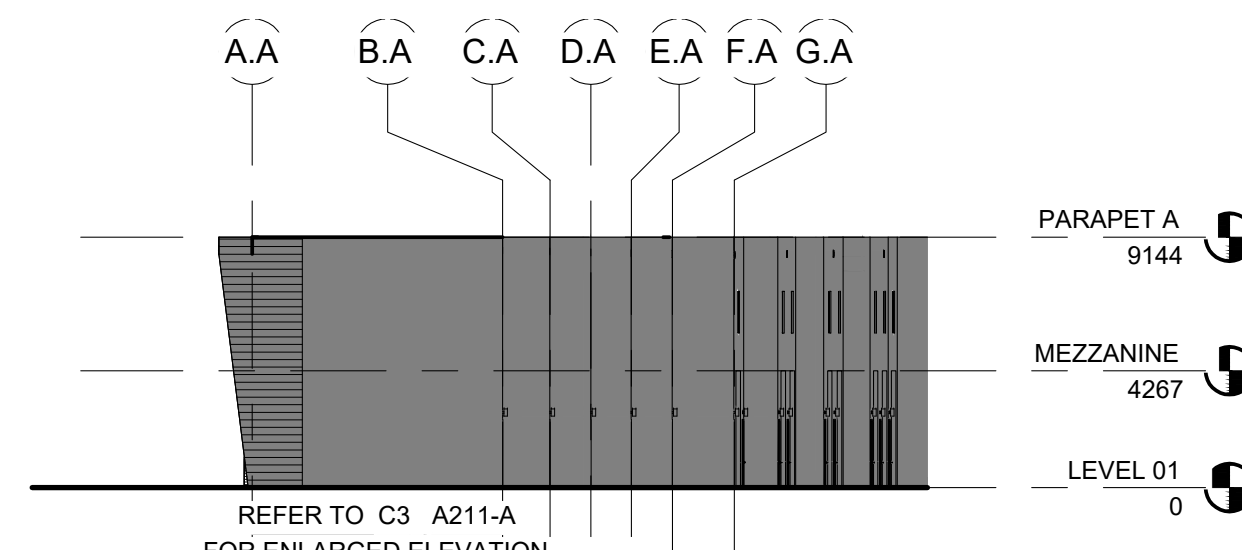
BIRD FRIENDLY GLASS CALCULATION

SCALE: 1 : 1

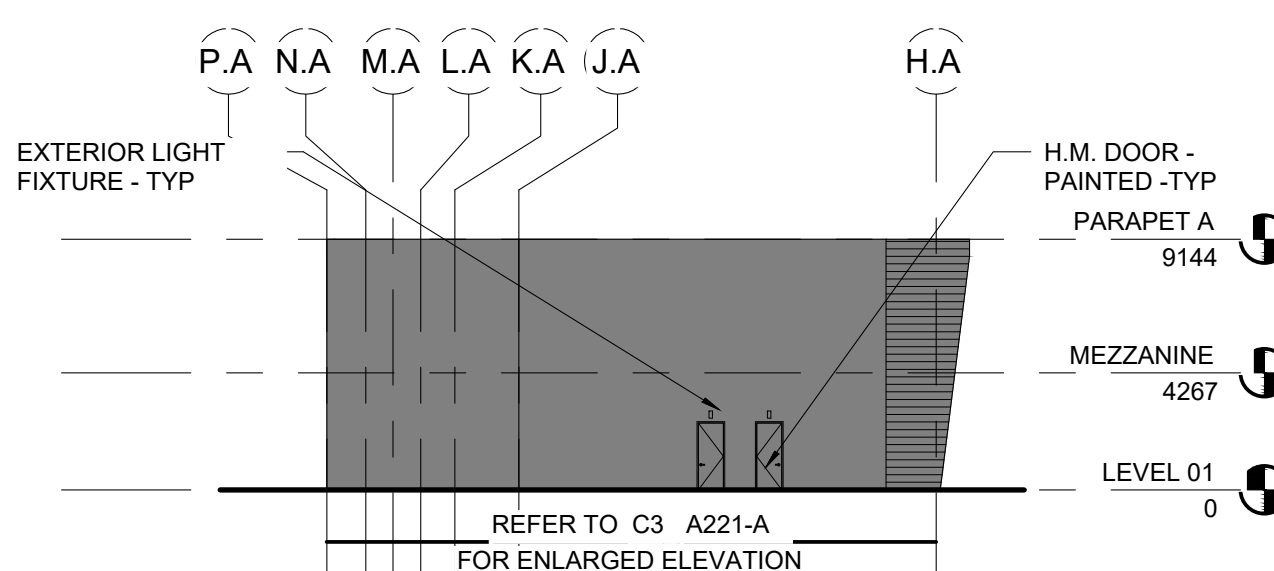
NOTE: SIGNAGE - FOR VISUAL PURPOSES AND NOT PART OF SPA



OVERALL ELEVATION - RENDERING
 SCALE: 1 : 1



B1 OVERALL ELEVATION - BUILDING A - NORTH
 SCALE: 1 : 275



A1 OVERALL ELEVATION - BUILDING A - SOUTH
 SCALE: 1 : 275

Δ	DATE	REVISION
1	2023-06-15	ISSUED FOR SPA
2	2023-10-11	RE-ISSUED FOR SPA
3	2024-01-12	RE-ISSUED FOR SPA
4	2024-03-01	RE-ISSUED FOR SPA
5	2024-05-09	RE-ISSUED FOR SPA
6	2024-05-30	ISSUED FOR MINOR SITE DEVELOPMENT

PROJECT NO: 215073
 DRAWN BY: TS
 CHECKED BY: LD

OVERALL BUILDING ELEVATIONS - BUILDING A

SEAL SHEET NUMBER

A201-A

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PROJECT TITLE
7242 HWY 27, VAUGHAN, ON

7242 HWY 27, VAUGHAN

A PROJECT FOR
NCAP NICOLA (HWY27) LTD.

GENERAL NOTES

1. PROVIDE BIRD DETERRING VISUAL MARKERS APPLIED TO ALL GLAZINGS WITH MAXIMUM SPACING OF 100mm X 10mm.

MATERIAL LEGEND

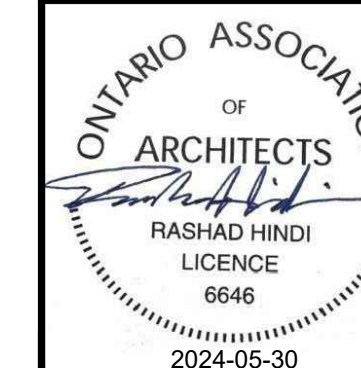
- METAL PANEL WITH WOOD GRAIN
COLOUR: WOOD PATTERN
- PRECAST PANEL FORMLINER - HORIZONTAL
COLOUR: DARK GREY
- PRECAST PANEL
COLOUR: WHITE
- PRECAST PANEL
COLOUR: LIGHT GREY
- GLAZING - VISION

Δ	DATE	REVISION
1	2023-06-15	ISSUE FOR SPA
2	2023-10-11	RE-ISSUE FOR SPA
3	2024-01-12	RE-ISSUED FOR SPA
4	2024-03-01	RE-ISSUED FOR SPA
5	2024-05-09	RE-ISSUED FOR SPA
6	2024-05-30	ISSUED FOR MINOR SITE DEVELOPMENT

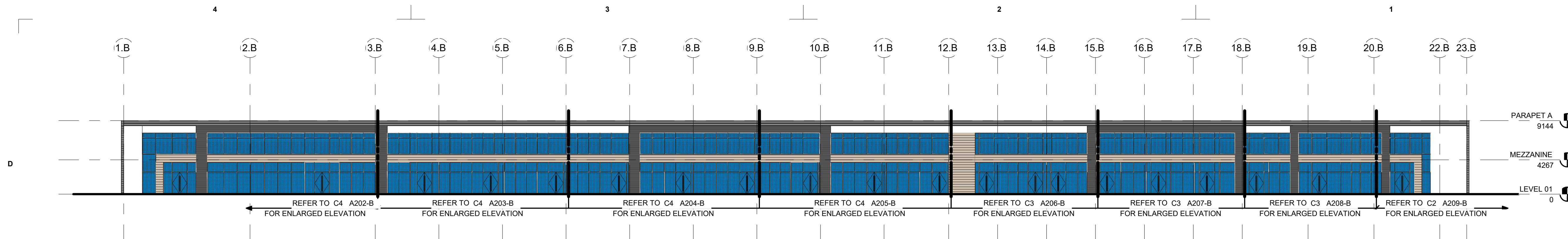
PROJECT NO: 215073
DRAWN BY: TS
CHECKED BY: LD

SHEET NAME
OVERALL BUILDING ELEVATIONS - BUILDING B

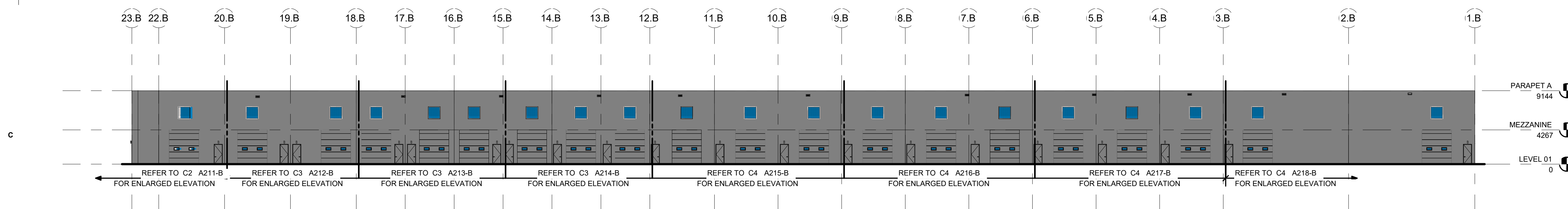
SEAL SHEET NUMBER



A201-B



D4 OVERALL ELEVATION - BUILDING B - WEST
SCALE: 1 : 275



C4 OVERALL ELEVATION - BUILDING B - EAST
SCALE: 1 : 275

	NORTH	WEST	SOUTH	EAST	TOTAL BIRD FRIENDLY GLAZING AREA (%)
GLAZING AREA (M ²)	0 M ²	48.77 M ²	0 M ²	980.58 M ²	100%
NON-VISION GLAZING AREA (M ²)	0 M ²	0 M ²	0 M ²	0 M ²	0%
TREATED AREA (M ²)	0 M ²	48.77 M ²	0 M ²	980.58 M ²	100%

Bird Safe Treatment Exterior Specification Checklist
Applicant to indicate inclusion of Execution Drawings at first site plan submission. Drawings to be stamped and signed by an OAA member.

Mandatory Primary Treatments for all site and detail plan applications:
At Grade Conditions (check to confirm the below is applied):
 Bird safe treatment (s) are applied on minimum 90% of contiguous glass panel area, and within 15m from finished grade or to the height of the adjacent maximum free canopy, whichever is greater.
 Treatments are applied to all glass panel areas that creates fly-through conditions and are adjacent to natural heritage features.
 Treatments are identified and redlined on the elevation drawings.

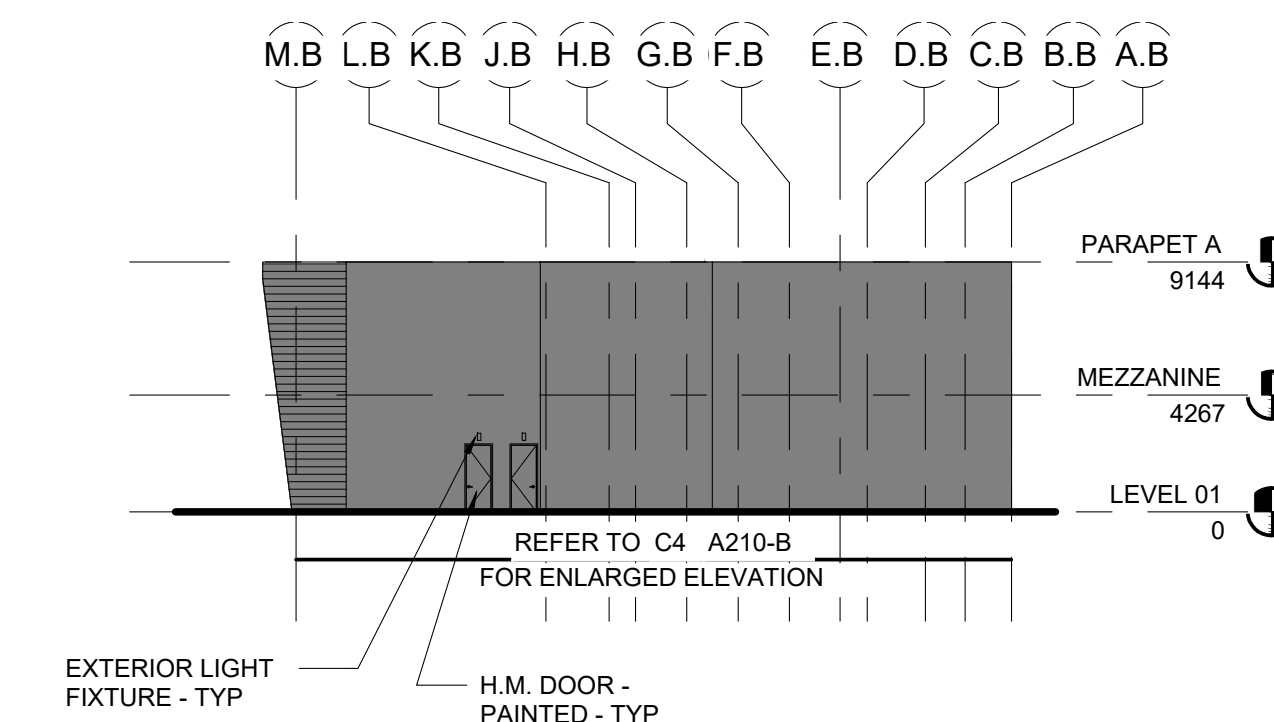
Roof Landscape Conditions (check to confirm the below is applied):
 Development contains no glass panel within 15m from roof level finished grade.
 If glazing is adjacent to green roof and/or rooftop vegetation, bird safe treatment is applied at a height of 6m from the surface of the green roof or the height of the vegetation.

BIRD FRIENDLY GLASS CALCULATION

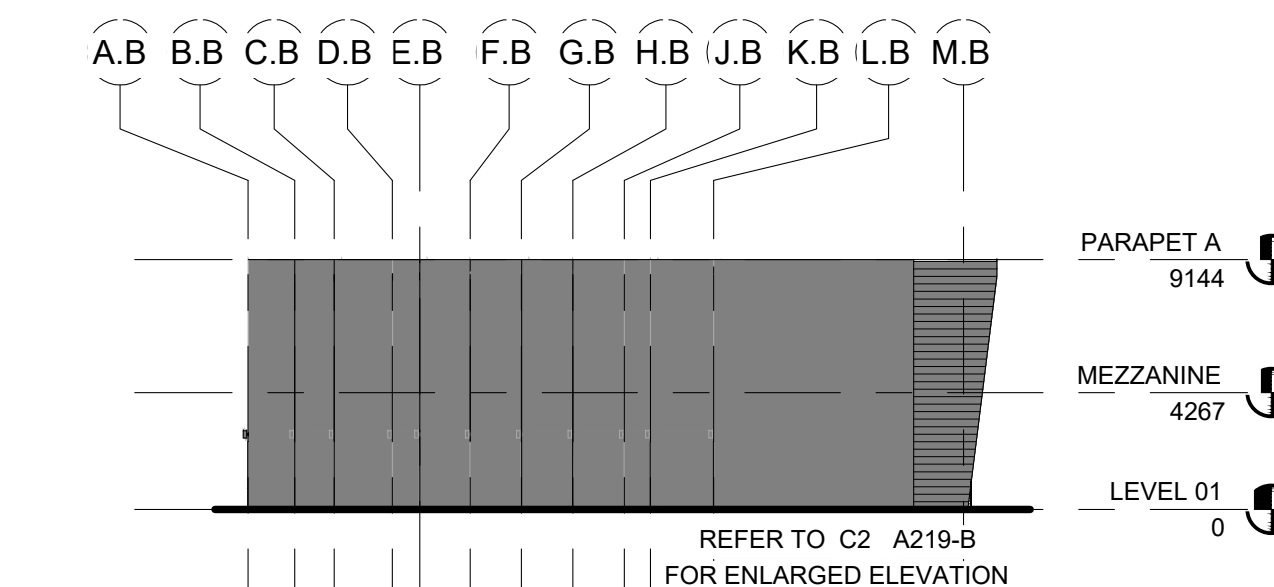
SCALE: 1 : 1
NOTE: SIGNAGE - FOR VISUAL PURPOSES AND NOT PART OF SPA



OVERALL ELEVATION - RENDERING
SCALE: 1 : 1



B1 OVERALL ELEVATION - BUILDING B - SOUTH
SCALE: 1 : 275



A1 OVERALL ELEVATION - BUILDING B - NORTH
SCALE: 1 : 275

PROJECT TITLE

7242 HWY 27, VAUGHAN, ON

7242 HWY 27, VAUGHAN

A PROJECT FOR
NCAP NICOLA (HWY27) LTD.

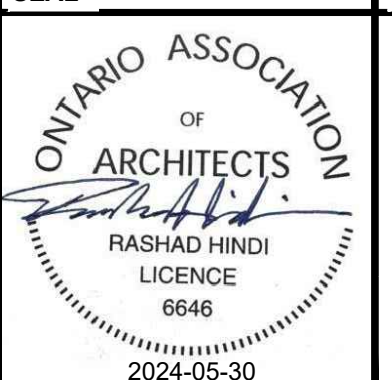
GENERAL NOTES

A NOTE: FUTURE BY TENANT: UNDER DIFFERENT APPLICATION

△	DATE	REVISION
1	2023-06-15	ISSUED FOR SPA
2	2023-10-11	RE-ISSUED FOR SPA
3	2024-01-12	RE-ISSUED FOR SPA
4	2024-03-01	RE-ISSUED FOR SPA
5	2024-05-09	PERFECT ENGINEERING SUBMISSION
6	2024-05-09	RE-ISSUED FOR SPA
7	2024-05-30	ISSUED FOR MINOR SITE DEVELOPMENT

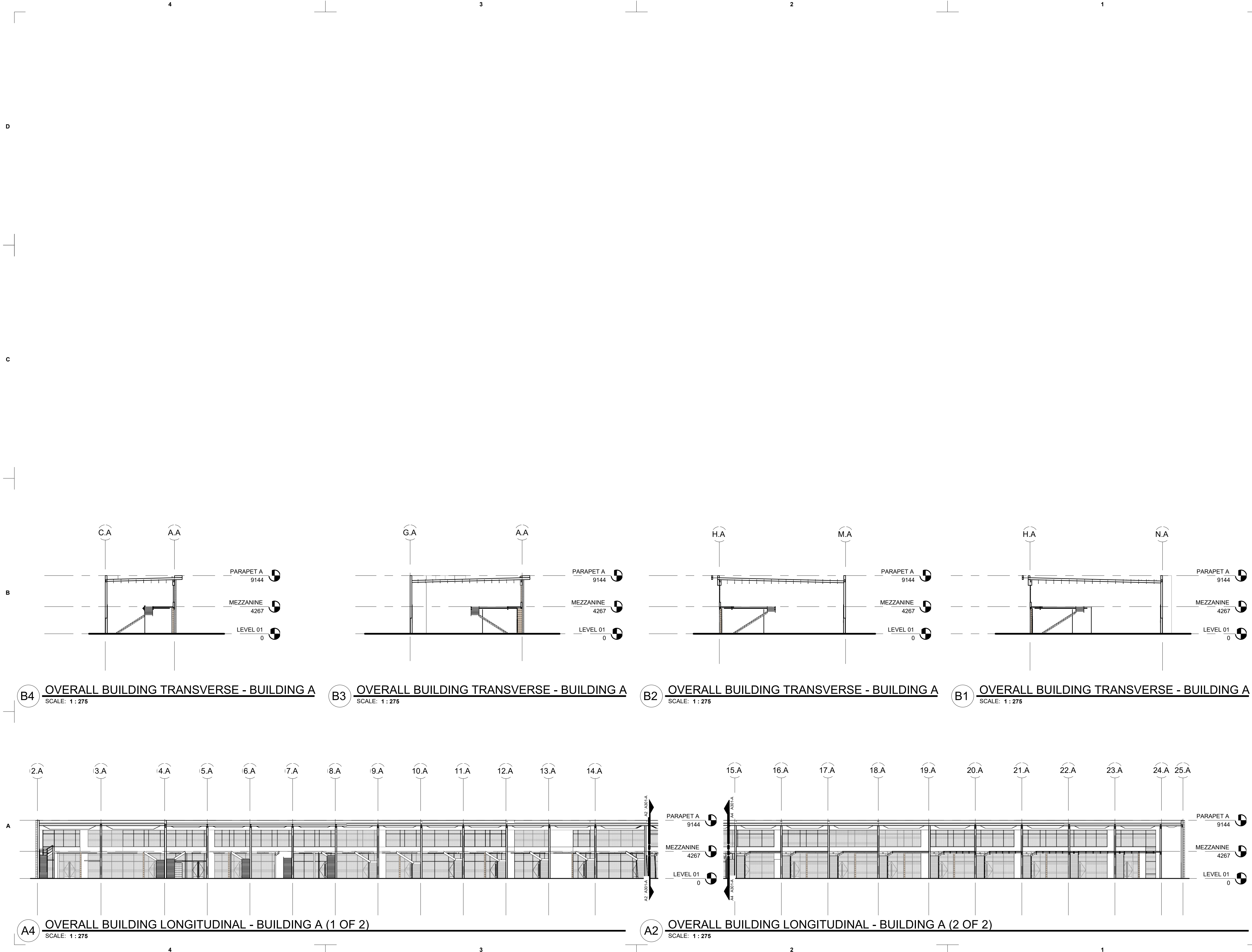
PROJECT NO: 215073
DRAWN BY: TS
CHECKED BY: LD

SHEET NAME
OVERALL BUILDING SECTIONS - BUILDING A

 RASHAD HINDI LICENCE 6646 2024-05-30	<p>SHEET NUMBER</p> <p>A301-A</p>
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Autodesk Docs://215073/Cavalleri/7242 Highway 27/Vaughan/215073_ARCH_C&S_R21 - BLDG 1.rvt

5/29/2024 4:46:43 PM



B4 OVERALL BUILDING TRANSVERSE - BUILDING A
SCALE: 1 : 275

B3 OVERALL BUILDING TRANSVERSE - BUILDING A
SCALE: 1 : 275

B2 OVERALL BUILDING TRANSVERSE - BUILDING A
SCALE: 1 : 275

B1 OVERALL BUILDING TRANSVERSE - BUILDING A
SCALE: 1 : 275

A4 OVERALL BUILDING LONGITUDINAL - BUILDING A (1 OF 2)
SCALE: 1 : 275

A2 OVERALL BUILDING LONGITUDINAL - BUILDING A (2 OF 2)
SCALE: 1 : 275

PROJECT TITLE

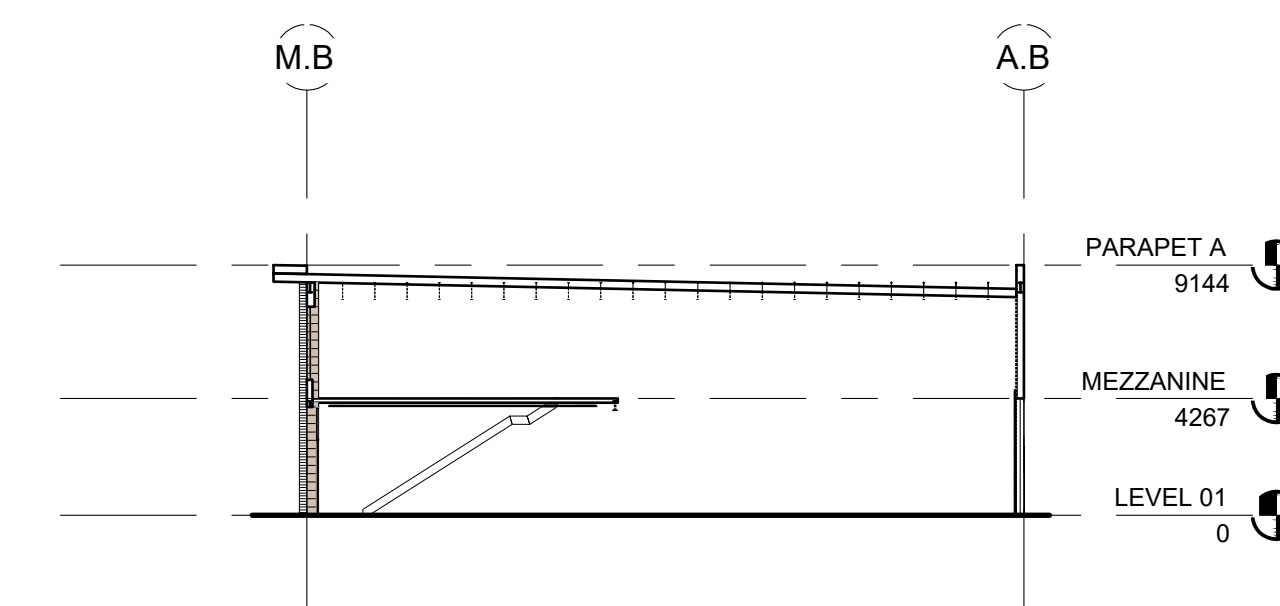
7242 HWY 27, VAUGHAN, ON

7242 HWY 27, VAUGHAN

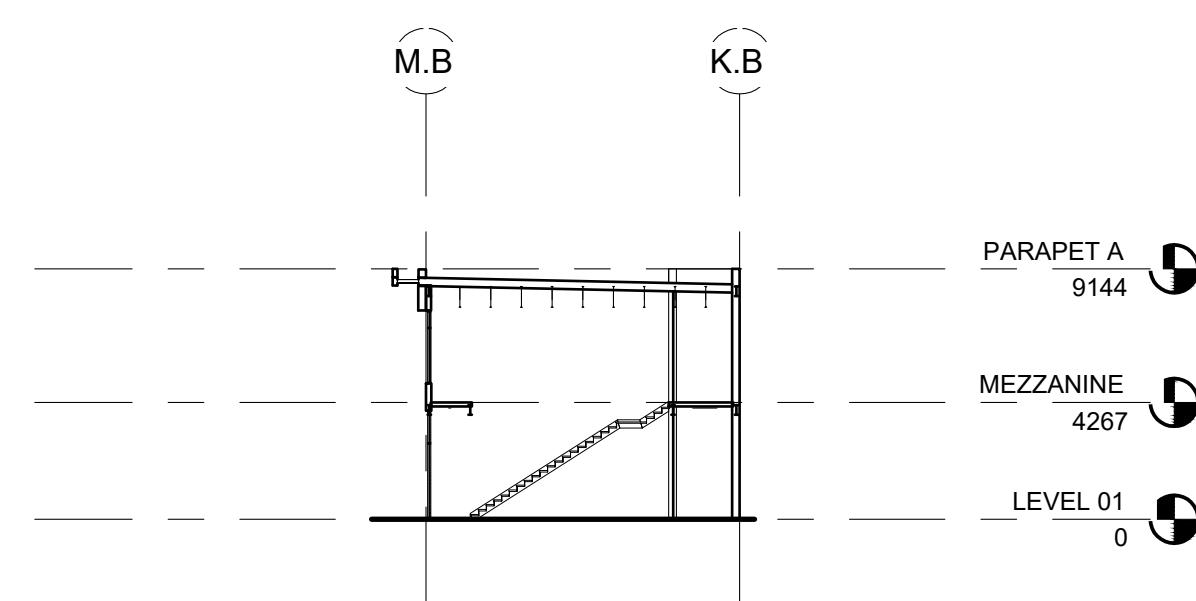
A PROJECT FOR
NCAP NICOLA (HWY27) LTD.

GENERAL NOTES

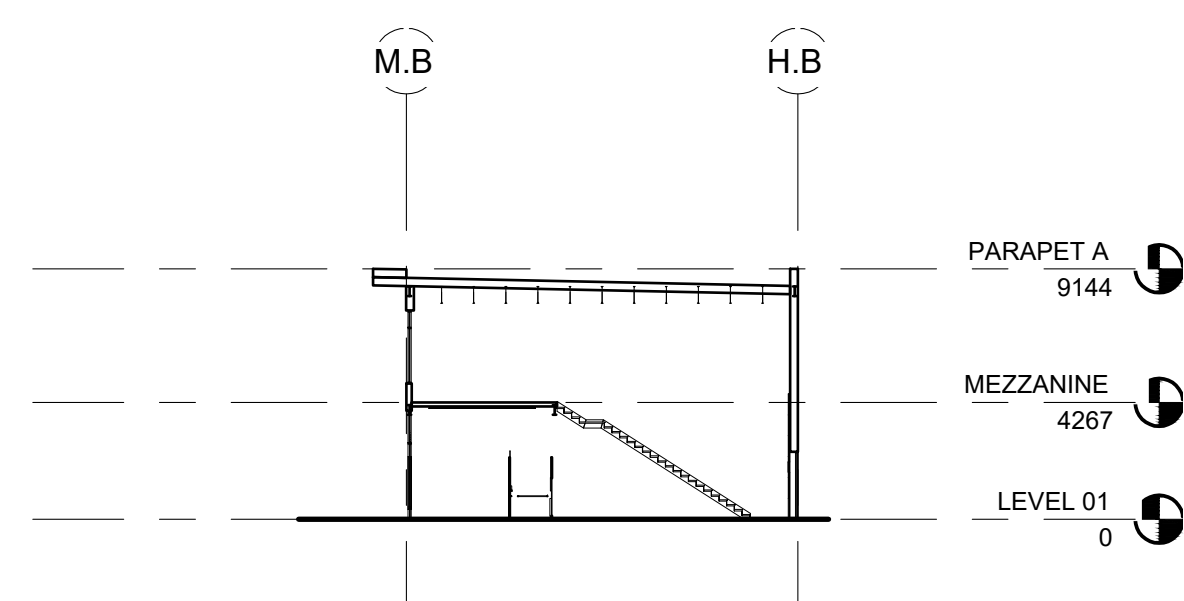
A NOTE: FUTURE BY TENANT: UNDER DIFFERENT APPLICATION



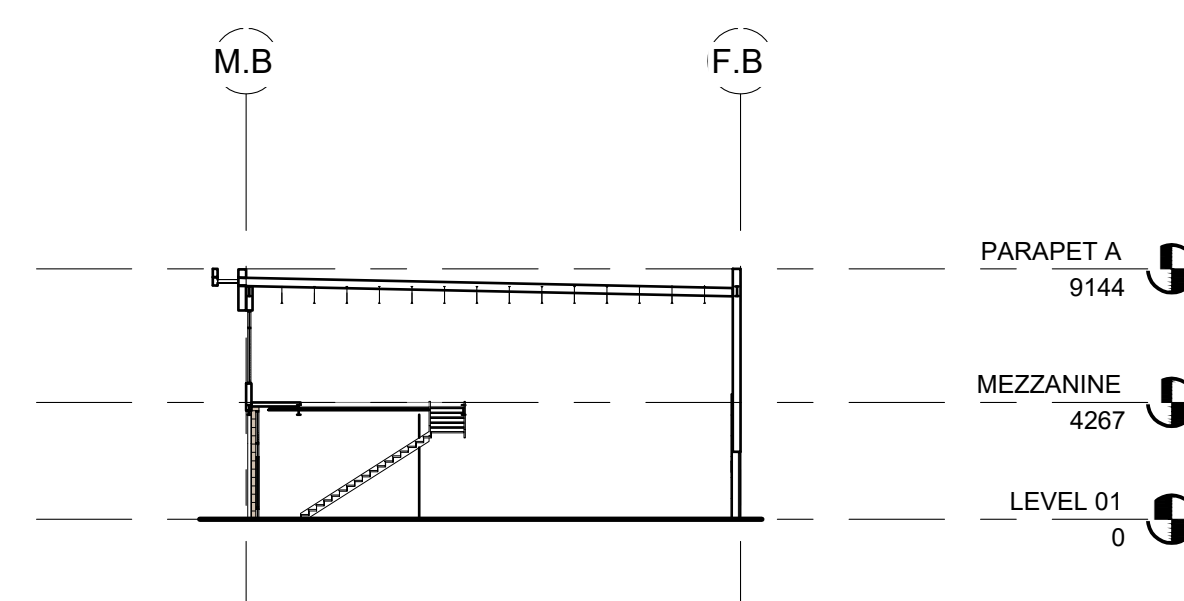
C1 OVERALL BUILDING TRANSVERSE - BUILDING B
SCALE: 1 : 275



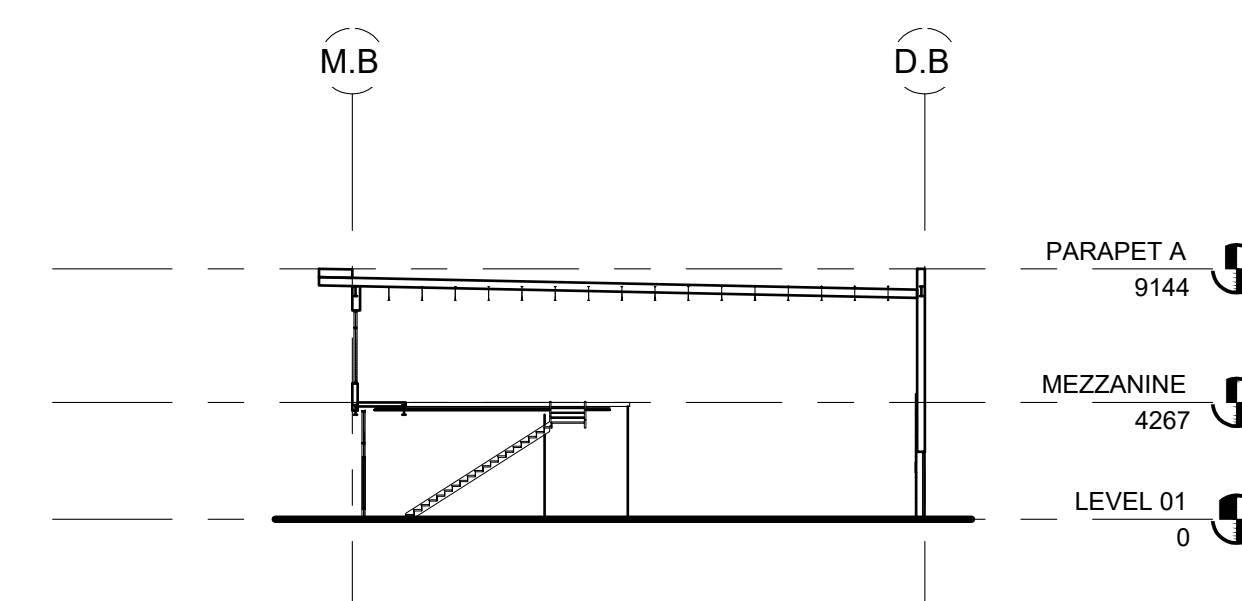
B4 OVERALL BUILDING TRANSVERSE - BUILDING B
SCALE: 1 : 275



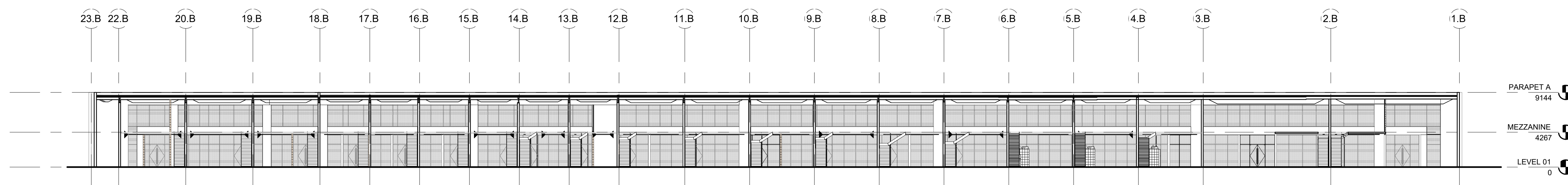
B3 OVERALL BUILDING TRANSVERSE - BUILDING B
SCALE: 1 : 275



B2 OVERALL BUILDING TRANSVERSE - BUILDING B
SCALE: 1 : 275



B1 OVERALL BUILDING TRANSVERSE - BUILDING B
SCALE: 1 : 275



A4 OVERALL BUILDING LONGITUDINAL - BUILDING B
SCALE: 1 : 275

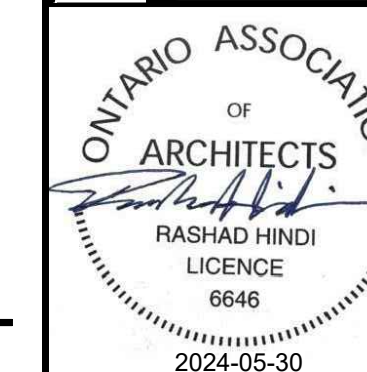
△	DATE	REVISION
1	2023-06-15	ISSUE FOR SPA
2	2023-10-11	RE-ISSUE FOR SPA
3	2024-01-12	RE-ISSUED FOR SPA
4	2024-03-01	RE-ISSUED FOR SPA
5	2024-05-09	RE-ISSUED FOR SPA
6	2024-05-30	ISSUED FOR MINOR SITE DEVELOPMENT

PROJECT NO: 215073
DRAWN BY: TS
CHECKED BY: LD

SHEET NAME

OVERALL BUILDING SECTIONS - BUILDING B

SEAL



SHEET NUMBER

A301-B

PROJECT TITLE

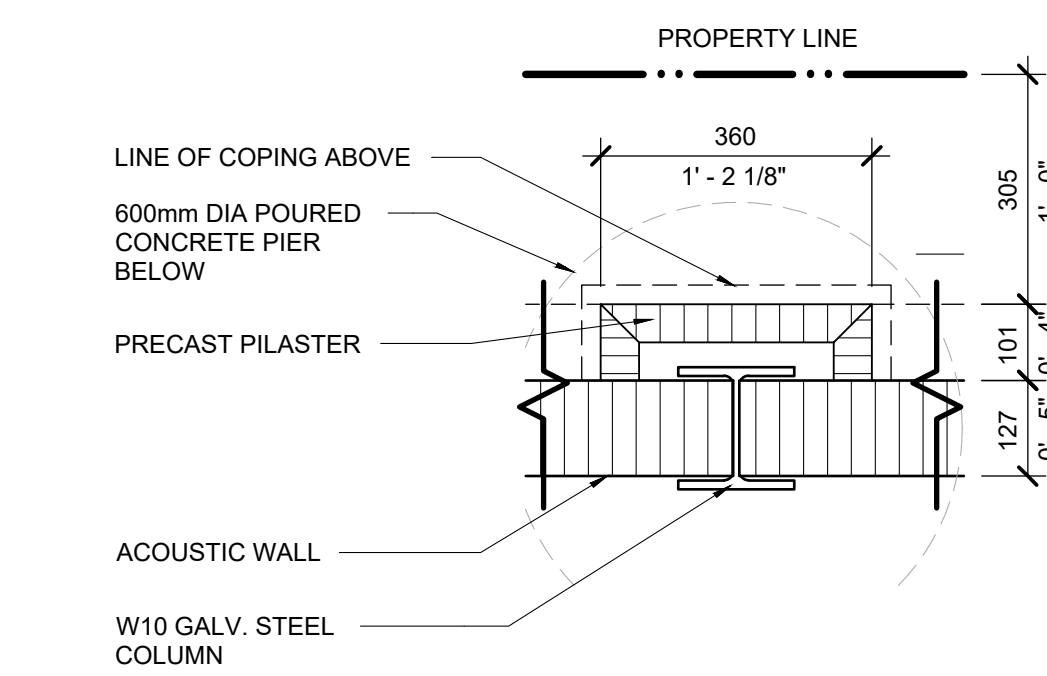
7242 HWY 27, VAUGHAN, ON

7242 HWY 27, VAUGHAN

MINOR SITE DEVELOPMENT APPLICATION NO. DA24.020
SITE DEVELOPMENT APPLICATION NO. DA.23.035

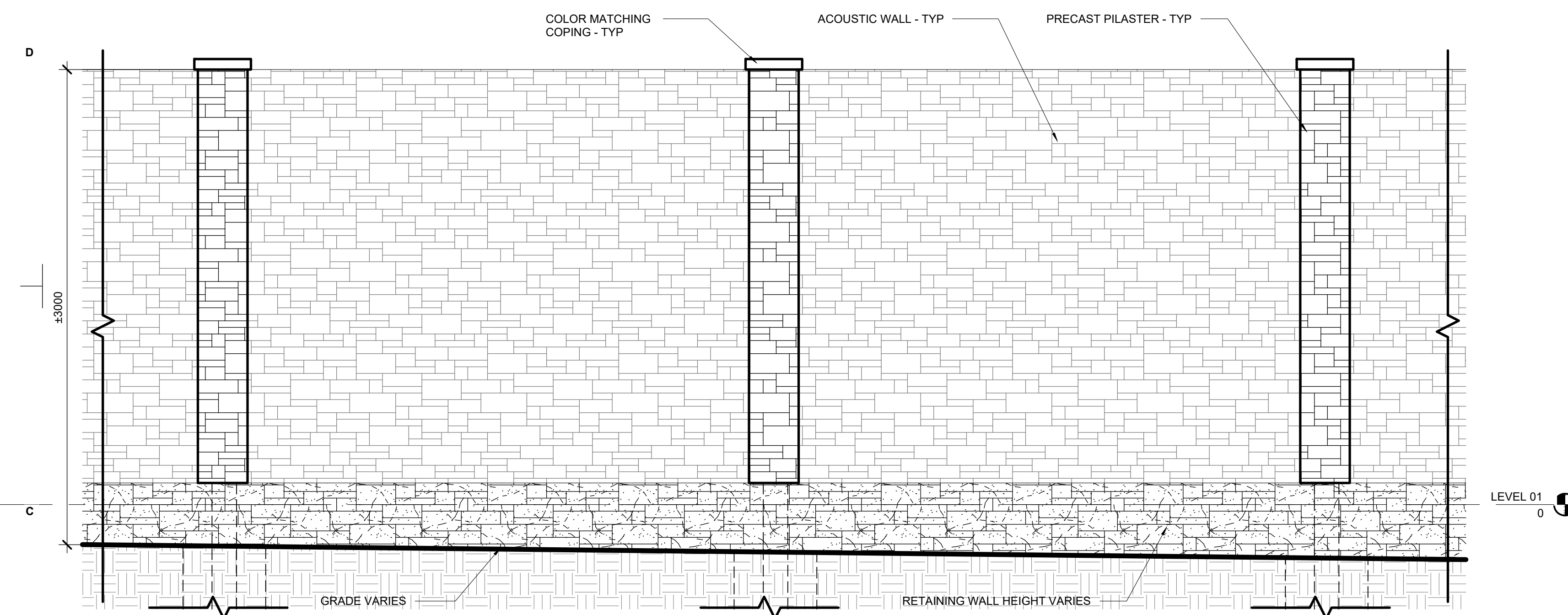
A PROJECT FOR

NCAP NICOLA (HWY27) LTD.



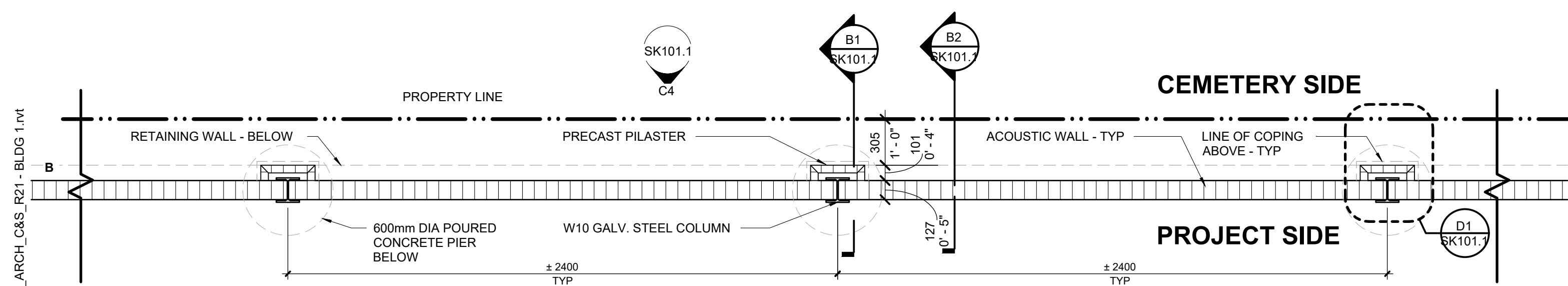
D1 ENLARGED PLAN - STEEL COLUMN

SCALE: 1:10



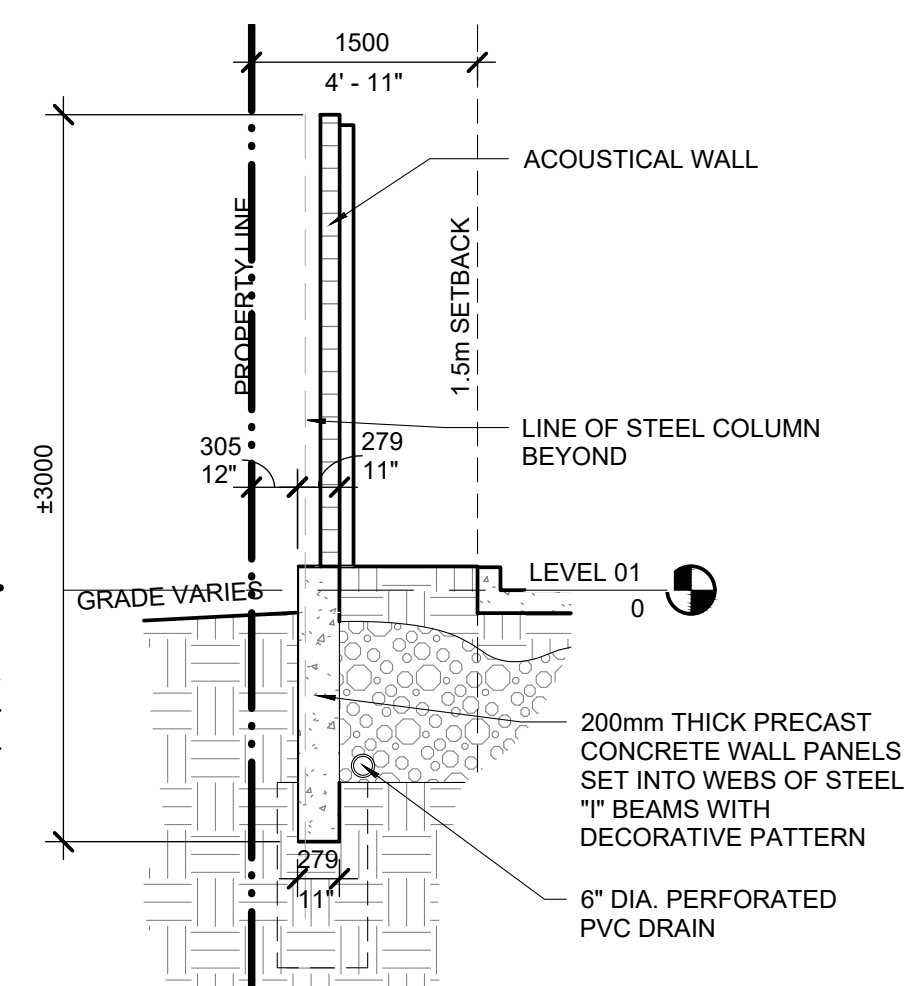
C4 ENLARGED ELEVATION AT ACOUSTIC WALL AT CEMETERY SIDE

SCALE: 1:25



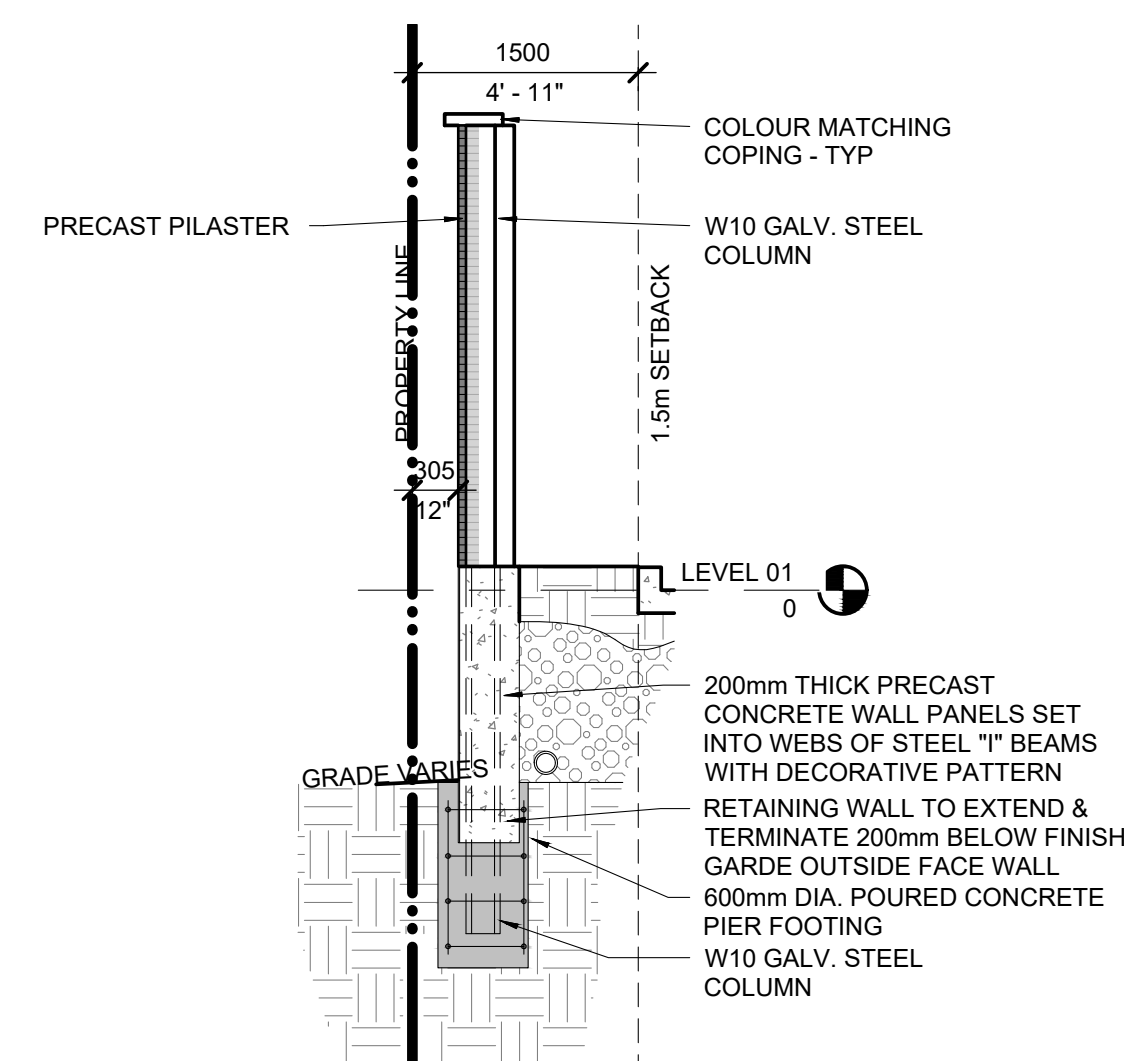
B4 STEEL COLUMN - PLAN DETAIL

SCALE: 1:25



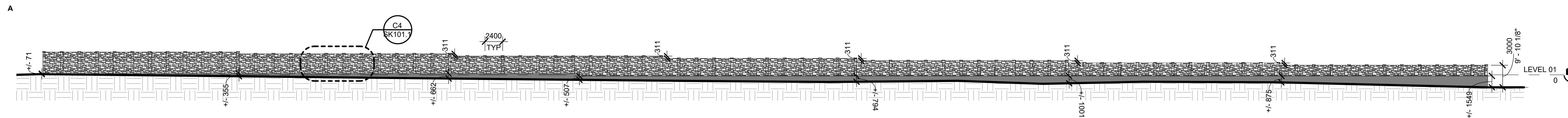
B2 WALL SECTION THRU ACOUSTIC WALL - TYP

SCALE: 1:50



B1 WALL SECTION THRU SITE COLUMN - TYP

SCALE: 1:50



A4 OVERALL RETAINING WALL ELEVATION - WEST

SCALE: 1:300

Δ	DATE	REVISION
1	2024-03-01	RE-ISSUED FOR SPA
2	2024-05-09	RE-ISSUED FOR SPA
3	2024-05-30	ISSUED FOR MINOR SITE DEVELOPMENT

PROJECT NO: 215073

DRAWN BY: SC

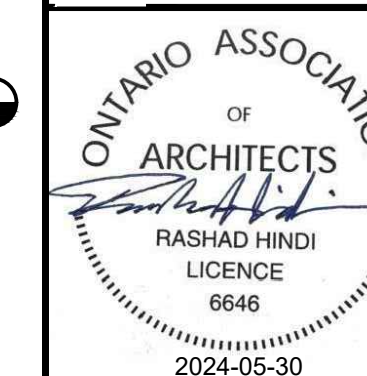
CHECKED BY: LD

SHEET NAME

**ACOUSTIC WALL AND
RETAINING WALL**

SEAL

SHEET NUMBER



SK101.1

Autodesk Docs://215073 Cavalier7242 Highway 27 Vaughan/215073_ARCH_C&S_R21 - BLDG 1.rvt

5/30/2024 8:51:46 AM

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**SCHEDULE B:
COMMENTS FROM AGENCIES, BUILDING STANDARDS &
DEVELOPMENT PLANNING**

Department / Agency <small>*Comments Received</small>	Conditions Required		Nature of Comments
Building Standards (Zoning) *See Schedule B	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>	General Comments
Development Planning	Yes <input checked="" type="checkbox"/>	No <input type="checkbox"/>	Recommend Approval w/Conditions

External Agencies <small>*Comments Received</small>	Conditions Required		Nature of Comments <small>*See Schedule B for full comments</small>
Alectra	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>	General Comments
Region of York	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>	General Comments
TRCA	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>	General Comments

Date: July 22nd 2024

Attention: Christine Vigneault

RE:

File No.: A111-24

Related Files:

Applicant Weston Consulting

Location 7242 Hwy 27



Discover the possibilities

COMMENTS:

- We have reviewed the proposed Variance Application and have no comments or objections to its approval.
- We have reviewed the proposed Variance Application and have no objections to its approval, subject to the following comments (attached below).
- We have reviewed the proposed Variance Application and have the following concerns (attached below).

Alectra Utilities (formerly PowerStream) has received and reviewed the proposed Variance Application. This review, however, does not imply any approval of the project or plan.

All proposed billboards, signs, and other structures associated with the project or plan must maintain minimum clearances to the existing overhead or underground electrical distribution system as specified by the applicable standards, codes and acts referenced.

In the event that construction commences, and the clearance between any component of the work/structure and the adjacent existing overhead and underground electrical distribution system violates the Occupational Health and Safety Act, the customer will be responsible for 100% of the costs associated with Alectra making the work area safe. All construction work will be required to stop until the safe limits of approach can be established.

In the event construction is completed, and the clearance between the constructed structure and the adjacent existing overhead and underground electrical distribution system violates the any of applicable standards, acts or codes referenced, the customer will be responsible for 100% of Alectra's cost for any relocation work.

References:

- Ontario Electrical Safety Code, latest edition (Clearance of Conductors from Buildings)
- Ontario Health and Safety Act, latest edition (Construction Protection)
- Ontario Building Code, latest edition (Clearance to Buildings)
- PowerStream (Construction Standard 03-1, 03-4), attached
- Canadian Standards Association, latest edition (Basic Clearances)

If more information is required, please contact either of the following:

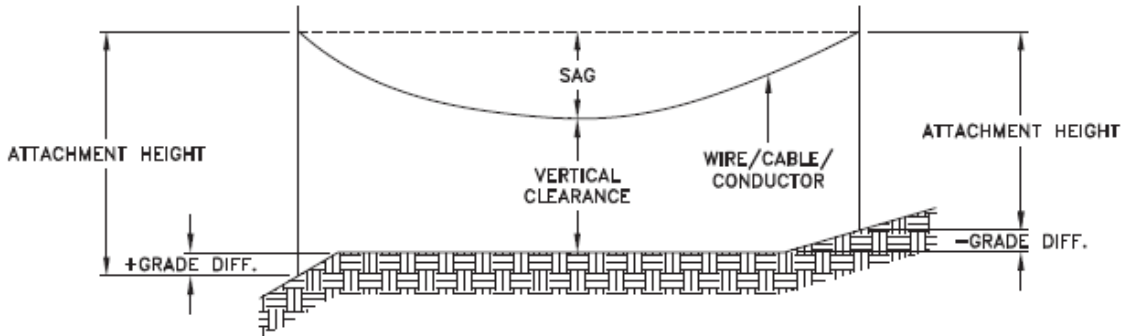
Mr. Stephen Cranley, C.E.T
Supervisor, Distribution Design, ICI & Layouts (North)
Phone: 1-877-963-6900 ext. 31297

E-mail: stephen.cranley@alectrautilities.com

Mitchell Penner
Supervisor, Distribution Design-Subdivisions
Phone: 416-302-6215

Email: Mitchell.Penner@alectrautilities.com

LOCATION OF WIRES, CABLES OR CONDUCTORS	SYSTEM VOLTAGE			
	SPAN GUYS AND COMMUNICATIONS WIRES	UP TO 600V AND NEUTRAL	4.16/2.4kV TO 27.6/16kV (SEE NOTE 1)	44kV
MINIMUM VERTICAL CLEARANCES (SEE NOTE 2)				
OVER OR ALONGSIDE ROADS, DRIVEWAYS OR LANDS ACCESSIBLE TO <u>VEHICLES</u>	442cm	442cm	480cm	520cm
OVER GROUND ACCESSIBLE TO <u>PEDESTRIANS AND BICYCLES ONLY</u>	250cm	310cm	340cm	370cm
ABOVE TOP OF RAIL AT <u>RAILWAY CROSSINGS</u>	730cm	730cm	760cm	810cm



MINIMUM ATTACHMENT HEIGHT = MAXIMUM SAG
 + MINIMUM VERTICAL CLEARANCE (FROM ABOVE TABLE)
 ± GRADE DIFFERENCE
 + 0.3m (VEHICLE OR RAILWAY LOCATION)
 + SNOW DEPTH (PEDESTRIAN LOCATION, SEE NOTE 3)

NOTES:

1. THE MULTIGROUNDED SYSTEM NEUTRAL HAS THE SAME CLEARANCE AS THE 600V SYSTEM.
2. THE VERTICAL CLEARANCES IN THE ABOVE TABLE ARE UNDER MAXIMUM SAG CONDITIONS.
3. REFER TO CSA STANDARD C22.3 No.1, ANNEX D FOR LOCAL SNOW DEPTH VALUES.
4. ALL CLEARANCES ARE IN ACCORDANCE TO CSA STANDARD C22.3.

CONVERSION TABLE

METRIC	IMPERIAL (APPROX)
810cm	27'-0"
760cm	25'-4"
730cm	24'-4"
520cm	17'-4"
480cm	16'-0"
442cm	15'-5"
370cm	12'-4"
340cm	11'-4"
310cm	10'-4"
250cm	8'-4"

REFERENCES

SAGS AND TENSIONS | SECTION 02

MINIMUM VERTICAL CLEARANCES OF WIRES, CABLES AND CONDUCTORS ABOVE GROUND OR RAILS

ORIGINAL ISSUE DATE: 2010-DEC-24 REVISION NO: R1 REVISION DATE: 2012-JAN-09

Certificate of Approval	
This construction Standard meets the safety requirements of Section 4 of Regulation 22/04	
Joe Crozier, P.Eng.	2012-JAN-09
Name	Date
P.Eng. Approval By:	Joe Crozier



VOLTAGE	MINIMUM HORIZONTAL CLEARNACE UNDER MAXIMUM SWING CONDITIONS DIMENSION "X" (SEE NOTES 1, 3 & 4)	MINIMUM VERTICAL CLEARANCE UNDER MAXIMUM DESIGN SAG CONDITIONS DIMENSION "Y" (SEE NOTES 1, 2, 4 & 5)
0-600V AND NEUTRAL	100cm	250cm
4.16/2.4 TO 44kV	300cm	480cm

NOTES

1. UNDER NO CIRCUMSTANCES SHALL A CONDUCTOR BE PERMITTED TO PENETRATE THE ENVELOPE SHOWN BY THE DOTTED LINE.
2. THE VERTICAL CLEARANCES ARE UNDER CONDITIONS OF MAXIMUM DESIGN SAG.
3. THE HORIZONTAL CLEARANCES ARE UNDER CONDITIONS OF MAXIMUM SWING. WHERE THE CONDUCTOR SWING IS NOT KNOWN A HORIZONTAL CLEARANCE OF 480CM SHALL BE USED.
4. BUILDINGS THAT EXCEED 3 STOREYS OR 15M IN HEIGHT, THE MINIMUM HORIZONTAL CLEARANCE OF THE SECONDARY CONDUCTORS SHOULD BE INCREASED TO 300cm WHERE IT IS NECESSARY TO ALLOW FOR THE RAISING OF LADDERS BY LOCAL FIRE DEPARTMENTS.
5. IN SITUATIONS SUCH AS MULTI-LEVEL GARAGES, WHERE ROOFS ARE NORMALLY USED BY PERSONS AND VEHICLES, THE VERTICAL CLEARANCES OF POWERSTREAM STANDARD 03-1 SHALL APPLY.
6. DISTRIBUTION LINES CONSTRUCTED NEAR BUILDINGS SHALL BE BUILT TO AVOID OVERHANG WHEREVER POSSIBLE. WHERE LINES MUST BE CONSTRUCTED OVER OR ADJACENT TO BUILDINGS THE APPLICABLE HORIZONTAL AND VERTICAL CLEARANCES SHALL BE AT CONDITIONS OF MAXIMUM CONDUCTOR SWING AND MAXIMUM SAG. THE ABOVE CLEARANCES ARE DESIGNED TO PREVENT PERSONS ON OR IN BUILDINGS AS WELL AS EXTERNAL MACHINERY USED IN CONJUNCTION WITH A BUILDING TO COME IN CONTACT WITH CONDUCTORS. EFFORTS SHOULD BE MADE TO INCREASE THESE CLEARANCES WHERE POSSIBLE.
7. ALL CLEARANCES ARE IN ACCORDANCE TO CSA C22.3 NO.1-06 (TABLE-9).

METRIC	IMPERIAL (APPROX)
480cm	16'-0"
300cm	10'-0"
250cm	8'-4"
100cm	3'-4"

MINIMUM VERTICAL & HORIZONTAL CLEARANCES OF CONDUCTORS FROM BUILDINGS OR OTHER PERMANENT STRUCTURES (CONDUCTORS NOT ATTACHED TO BUILDINGS)

Certificate of Approval
This construction Standard meets the safety requirements of Section 4 of Regulation 22/04
Debbie Dadwani, P.Eng. 2010-MAY-05
Name Date
P. Eng. Approval By: *D. Dadwani*

ORIGINAL ISSUE DATE: 2010-MAY-05 REVISION NO: REVISION DATE:
PS:\System Planning and Standards\Standard Design\PowerStream Standards\PowerStream Standards working files\Section 3-1-02\WG 03-4 R0 May 5, 2010.dwg, 5/5/2010 10:22:02 AM, Adobe PDF

To: Committee of Adjustment
From: Bernd Paessler, Building Standards Department
Date: August 6, 2024
Applicant: Weston Consulting
Location: 7242 Hwy 27
 CONC 8 Part of Lot 2
File No.(s): A1111/24

Zoning Classification:

The subject lands are zoned EM1(H) Prestige Employment Zone and subject to the provisions of Exception 14.1162 under Zoning By-law 001-2021, as amended.

#	Zoning By-law 001-2021	Variance requested
1	The minimum setback of any building or structure to an Open Space Zone shall be 11.0m. Exception 14.1162	To permit a minimum setback of 0.30 metres from the OS lands to the retaining wall.
2	A retaining wall shall be setback an equal distance to the height of the highest portion of the retaining wall. The minimum setback is 1.60m. Section 4.13	To permit a retaining wall with a maximum height of 1.6m to be setback a minimum of 0.30 metres from the rear lot line.

Staff Comments:

Stop Work Order(s) and Order(s) to Comply:

There are no outstanding Orders on file

Building Permit(s) Issued:

A Building Permit has not been issued. The Ontario Building Code requires a building permit for structures that exceed 10m²

Other Comments:

General Comments	
1	The applicant shall be advised that additional variances may be required upon review of detailed drawing for building permit/site plan approval.
2	This review is strictly for the retaining wall.

Conditions of Approval:

If the committee finds merit in the application, the following conditions of approval are recommended.

* Comments are based on the review of documentation supplied with this application.

To: Christine Vigneault, Committee of Adjustment Secretary Treasurer
From: Nancy Tuckett, Director of Development Planning
Date: August 13, 2024
Name of Owner: Michael Lazier - NCAP Nicola (Hwy 27) Ltd.
Location: 7242 Highway 27
File No.(s): A1111/24

Proposed Variance(s) (By-law 001-2021):

1. To permit a minimum setback of **0.30 m** from the OS lands to the retaining wall.
2. To permit a retaining wall with a maximum height of **1.60 m** to be setback a minimum of **0.30 m** from the rear lot line.

By-Law Requirement(s) (By-law 001-2021):

1. The minimum setback of any building or structure to an Open Space Zone shall be **11.0 m**.
2. A retaining wall shall be set back an equal distance to the height of the highest portion of the retaining wall. The minimum setback is **1.60 m**.

Official Plan:

Vaughan Official Plan 2010 ('VOP 2010'): "Prestige Employment" by Schedule 13 – Land Use and subject to Site-Specific Policy 13.3.

Comments:Application History

In 2023, the Owners submitted a Site Development Application (DA.23.035) to permit the proposed development which contemplates two (2) 1-storey multi-unit industrial buildings. The industrial buildings will have a combined gross floor area ('GFA') of 7,661.71 m², a total floor space index ("FSI") of 0.46, with 43 industrial units and 120 surface parking spaces along the perimeter of the Subject Lands. Vehicular access is proposed via three (3) access points on a realigned Toronto RV Road. The re-alignment of Toronto RV Road consolidates the lands held by the Owner, which are currently bisected by the road. The consolidated lot provides additional developable area. Prior to the Site Plan Application, Official Plan Amendment (OP.17.016) and Zoning By-law Amendment (Z.17.046) applications were submitted in 2017 and approved by Council on December 12, 2023, and By-laws 213-2023 and 214-2023 were enacted to adopt the amendment to the Vaughan Official Plan (VOP) 2010 and pass an amendment to Zoning By-law 001-2021 respectively.

In order to facilitate the development proposed in Site Development Application File DA.23.035, relief from Zoning By-law 001-2021 was sought via Minor Variance Application File A1111/24. This Minor Variance Application (A207/23) was submitted to permit the construction of a retaining wall on the subject lands.

Analysis

The Owner is requesting relief to permit the construction of a retaining wall along the entirety of the western lot line and a portion of the south lot line of the Subject Lands, with the above-noted variances.

The Development Planning Department has no objection to the proposed variances to permit a proposed retaining wall for the proposed development that has a maximum height of 1.60 m (excluding the proposed acoustic panels and guardrails), while maintaining a setback of 0.30 m from the abutting Open Space Zone (Variances 1 & 2). The retaining wall is proposed as an "L-shape" as both segments are connected at the southwestern corner of the Subject Lands. The wall would have an exposed face height up to 1.60m at its highest portions (1.549 m along the western property line and 1.583

along the southern property line) due to the property's varying topography. The retaining wall along the western property line is proposed to have acoustic paneling on top. The retaining wall along the south lot line is proposed to have a guardrail on top. The 0.30 m minimum setback for the proposed retaining wall is measured along the entirety of the proposed retaining wall at both the western and southern property lines and provides sufficient space for safe access and maintenance if required. The Urban Design Department and Development Engineering Department have also reviewed the proposal and have no concerns with the retaining wall. As such, the retaining wall is not anticipated to have any adverse impacts to the neighbouring property and land use is desirable for the appropriate development of the land.

In support of the application, the Owner has submitted an Arborist Report & Tree Protection and Removal Plan prepared by P & A Urban Forestry Consulting Ltd., dated November 30, 2021, and updated on October 13, 2023. The report inventoried a total of four (4) trees, two (2) of which are proposed to be removed and two (2) to be preserved through construction. A total of two (2) replacement trees are proposed. Urban Design staff have reviewed the report and concur with its recommendations.

Accordingly, the Development Planning Department can support the requested variance and is of the opinion that the proposal is minor in nature, maintains the general intent and purpose of the Official Plan and Zoning By-law, and is desirable for the appropriate development of the land.

Recommendation:

The Development Planning Department recommends approval of the application with the following condition of approval:

Condition of Approval:

If the Committee finds merit in the application, the following condition of approval is recommended:

1. That all comments on Site Development Application File DA.23.035 be addressed to the satisfaction of the Development Planning Department.

Comments Prepared by:

Nicholas Del Prete, Planner
David Harding, Senior Planner

Lenore Providence

Subject: FW: [External] RE: A111/24 (160 Polo Crescent) - REQUEST FOR COMMENTS, CITY OF VAUGHAN

From: Cameron McDonald <Cameron.McDonald@trca.ca>

Sent: Friday, July 19, 2024 3:56 PM

To: Committee of Adjustment <CofA@vaughan.ca>

Subject: [External] RE: A111/24 (160 Polo Crescent) - REQUEST FOR COMMENTS, CITY OF VAUGHAN

CAUTION! This is an external email. Verify the sender's email address and carefully examine any links or attachments before clicking. If you believe this may be a phishing email, please use the Phish Alert Button.

Good afternoon,

Based on a review of our screening mapping, I can confirm that the subject property is not located within TRCA's Regulated Area. As such, any site alteration or development on the property would not require a permit from TRCA.

Based on the above, we have no comments/requirements.

Regards,

Cameron McDonald

Planner I

Development Planning and Permits | Development and Engineering Services

T: [\(437\) 880-1925](tel:4378801925)

E: cameron.mcdonald@trca.ca

A: [101 Exchange Avenue, Vaughan, ON, L4K 5R6](https://www.trca.ca) | [trca.ca](https://www.trca.ca)



From: [Development Services](#)
To: [Christine Vigneault](#)
Cc: [Committee of Adjustment](#)
Subject: [External] RE: A111/24 (7242 Hwy 27) - REQUEST FOR COMMENTS, CITY OF VAUGHAN
Date: Monday, July 29, 2024 5:48:47 PM
Attachments: [image001.png](#)
[image003.png](#)

CAUTION! This is an external email. Verify the sender's email address and carefully examine any links or attachments before clicking. If you believe this may be a phishing email, please use the Phish Alert Button.

Hi Christine,

The Regional Municipality of York has completed its review of the minor variance application – A111/24 (7242 Highway 27) and has no comment.

Please note Regional comments will continue to be provided through the related Site Plan (SP.23.V.0146).

Please provide us with a digital copy of the notice of decision for our records.

Many thanks,

Our working hours may be different. Please do not feel obligated to reply outside of your scheduled working hours. Let's work together to help foster healthy work-life boundaries.

Niranjan Rajevan, M.Pl. | Associate Planner, Development Planning | Economic and Development Services Branch | Corporate Services Department

The Regional Municipality of York | 17250 Yonge Street | Newmarket, ON L3Y 6Z1
1-877-464-9675 ext. 71521 | niranjan.rajevan@york.ca | www.york.ca

Our Values: Integrity, Commitment, Accountability, Respect, Excellence



SCHEDULE C: PUBLIC & APPLICANT CORRESPONDENCE

Correspondence Type	Name	Address	Date Received (mm/dd/yyyy)	Summary
Applicant			07/30/2024	Application Cover Letter

City of Vaughan
Development Planning Department
2141 Major Mackenzie Drive
Vaughan, Ontario L6A 1T1

July 29, 2024
File 7494-1

**Attn: Christine Vigneault - Manager Development Services & Secretary Treasurer
Nicholas Del Prete – Planner, Development Planning**

**Re: Minor Variance Application – Addendum Letter
7242 Highway 27, Vaughan
Related Files: DA.24.020, DA.23.035**

Weston Consulting is the planning consultant for NCAP NICOLA (HWY 27) LTD., the registered owner of the lands municipally known as 7242 Highway 27 in the City of Vaughan (herein referred to as the 'Subject Lands'). This planning rationale addendum letter has been prepared to support the minor variance application, which seeks zoning reliefs for the permitted retaining wall setbacks from the lot lines to the south, north and west of the subject lands.

Minor Variance Application Context and Addendum Rationale

A Minor Variance application was submitted to the Committee of Adjustment on June 21, 2024, requesting a zoning relief to permit a retaining wall with a maximum height of 1.6 metres to be setback a minimum of 0.30 metres from the lot lines. Through the Minor Site Development (DA.24.020) application review process and discussions with City staff on July 26, 2024, a second minor variance pertaining to the minimum setback requirement for any building or structure to an Open Space Zone has been confirmed. As a result, this addendum letter has been prepared in support of the requested variances.

As described in the original application and cover letter, the Subject Lands had undergone a number of planning applications and approvals. On December 12, 2023, the Official Plan (OP.17.016) and Zoning By-law Amendment (Z.17046) applications were approved by the City Council with the site-specific provisions and the Holding Symbol. The proposed retaining wall and its 0.305 m setback (305 mm) to the adjacent property were identified and illustrated on associated drawings/plans at the time of the application review and approval process.

As mentioned previously, the Subject Lands has also undergone a Minor Site Development application (DA.24.020), which is intended to facilitate the construction of a retaining and acoustic wall on the west boundary and a retaining wall on the south boundary of the Subject Lands prior to the construction of the proposed industrial buildings and realignment of Toronto RV Road. The proposed retaining and acoustic wall on the west boundary of the Subject Lands is intended to facilitate the Noise Attenuation requirements recommended by the Noise Study and set out in the letter of understanding between Catholic Cemeteries and Funeral Services and NCAP NICOLA (HWY 27) LTD., dated November 3, 2023. The retaining walls on the south and west property boundaries are required to facilitate the site grading of the portion of the Subject Lands where the retaining wall is proposed to be constructed.

Proposed Minor Variances:

In order to facilitate the development proposed through the Site Development Application (DA.23.035) and Minor Site Plan (DA.24.020), relief from the City of Vaughan Comprehensive Zoning By-law 01-2021 for the proposed retaining wall is required. The table below identifies the requested variance:

#	Zoning By-law 01-2021	Variance Requested
1.	<p><i>Section 4.13 Permitted Encroachments into Required Yards. (Table 4-1):</i></p> <ul style="list-style-type: none"> <i>Retaining Wall - Shall be setback an equal distance to the height of the highest portion of the retaining wall</i> 	To permit a retaining wall with a maximum height of 1.6 metres at its highest portion to be setback a minimum of 0.3 metres from a lot line.
2.	<p><i>Site Exception 14.1162</i></p> <ul style="list-style-type: none"> <i>The minimum setback of any building or structure to an Open Space Zone shall be 11.0m.</i> 	To permit a minimum setback of 0.30 metres from the OS lands to the retaining wall.

Minor Variance Rationale:

Section 45(1) of the Planning Act authorizes the Committee of Adjustment to grant minor variances from the regulations of the zoning by-law, provided that an application satisfies the "four tests": that the variances requested maintain the general intent of the Official Plan and Zoning By-law, that the requested variances are minor in nature and desirable for the appropriate development or use of the lands.

Are the general intent and purpose of the Official Plan and the Zoning By-law maintained?

The proposed development has undergone approvals for the Official Plan and Zoning By-law Amendments, as well as development approvals through the recently approved Minor DA for the proposed industrial development. The proposed retaining wall has been identified to address engineering matters such as the site grading and drainage of the proposed development. As such, it is our opinion that the requested variance maintains the intent of the City's Official Plan and Comprehensive Zoning By-law.

Is the variance minor in nature?

The City's Comprehensive Zoning By-law allows a retaining wall to be on a lot line if the height is less than 1 metre. As shown on the enclosed Architectural Drawing Set (Sheet Number SK101.1), the height of the retaining wall is less than 1 metres throughout the west and south elevation, except for a small portion to the southwest corner, where it is 1.54 metres at the highest portion. It is noted that the retaining wall is not proposed on the lot line, but it maintains a setback of 0.3 metres throughout the lot line. Therefore, the retaining wall height increase at the small corner segment is minor as it exceeds the 1 metre height limit by only 0.54 metres.

Is the variance desirable for the property?

As previously noted, the retaining wall is required to address the proposed development's site grading and drainage matters. In addition, the retaining wall along the western property line also provides a base for the acoustic walls, which is recommended to mitigate noise associated with the proposed development to the adjacent cemetery. Therefore, the proposed variance is desirable for the functionality of the proposed development and enhancement of employment lands within the City of Vaughan.

Resubmission Materials

In support of the Minor Variance Application and per the comments issued by Zoning Staff on July 18, 2024, the following materials are enclosed:

0. Cover Letter Addendum, prepared by Weston Consulting.
1. Updated Minor Variance Site Plan Sketch, prepared by Weston Consulting.
2. Letter of Understanding, dated November 3, 2023.

Conclusion

Based on the information provided in this addendum letter, the enclosed revised drawing, and our analysis, it is our opinion that the proposed variances have planning merit as they satisfy the four tests for a minor variance approval under Section 45 (1) of the Planning Act and represent good planning. As such, it is our opinion that this application and the requested variance are desirable and appropriate for the subject property and should be considered for approval by the Committee of Adjustment.

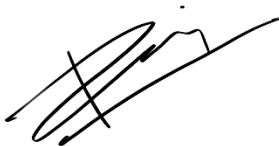
We trust that the above is in order and constitutes a complete application for a Minor Variance application. We request that staff review the enclosed materials as soon as possible, as we understand that our application has been tentatively scheduled for the Committee of Adjustment Hearing on August 22, 2024, at 6:00 pm.

Please do not hesitate to contact the undersigned at extension 330 or Kaveh Wahdat at extension 328 should there be any questions regarding this submission.

Yours truly,

Weston Consulting

Per:



Raj Lamichhane, BARCH, MPL, MCIP, RPP
Senior Planner

cc. Client
Sandra K. Patano, Weston Consulting
Casandra Krysko, Senior Planner, City of Vaughan
Sarah Scauzillo, Building Standards Department, City of Vaughan
Rex Bondad, Development Engineering, City of Vaughan

SCHEDULE D: BACKGROUND

None