

ITEM: 6.3	REPORT SUMMARY MINOR VARIANCE APPLICATION FILE NUMBER A027/24
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Report Date: August 16, 2024

**THIS REPORT CONTAINS COMMENTS FROM THE FOLLOWING
DEPARTMENTS & AGENCIES (SEE SCHEDULE B):**

Additional comments from departments and agencies received after the publication of the report will be made available on the City's [website](#).

Internal Departments <small>*Comments Received</small>	Conditions Required		Nature of Comments
Building Standards (Zoning) *See Schedule B	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>	General Comments
Committee of Adjustment	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>	General Comments
Development Planning	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>	Recommend Approval/No Conditions
Development Engineering	Yes <input checked="" type="checkbox"/>	No <input type="checkbox"/>	General Comments w/Conditions
Development Finance	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>	General Comments

External Agencies <small>*Comments Received</small>	Conditions Required		Nature of Comments <small>*See Schedule B for full comments</small>
Alectra	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>	General Comments
Region of York	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>	General Comments
TRCA	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>	General Comments

PUBLIC & APPLICANT CORRESPONDENCE (SEE SCHEDULE C)				
<p>All personal information collected because of this public meeting (including both written and oral submissions) is collected under the authority of the Municipal Act, the Municipal Freedom of Information and Protection of Privacy Act (MFIPPA), the Planning Act and all other relevant legislation, and will be used to assist in deciding on this matter. All personal information (as defined by MFIPPA), including (but not limited to) names, addresses, opinions and comments collected will become property of the City of Vaughan, will be made available for public disclosure (including being posted on the internet) and will be used to assist the Committee of Adjustment and staff to process this application.</p>				
Correspondence Type	Name	Address	Date Received <small>(mm/dd/yyyy)</small>	Summary
Applicant			03/08/2024	Application Cover Letter

BACKGROUND (SCHEDULE D, IF REQUIRED)	
<p style="text-align: center;"><small>* Background Information contains historical development approvals considered to be related to this file. This information should not be considered comprehensive.</small></p>	
Application No. (City File)	Application Description <small>(i.e. Minor Variance Application; Approved by COA / OLT)</small>
N/A	N/A

ADJOURNMENT HISTORY	
<small>* Previous hearing dates where this application was adjourned by the Committee and public notice issued.</small>	
Hearing Date	Reason for Adjournment (to be obtained from NOD_ADJ)
N/A	N/A

SCHEDULES	
Schedule A	Drawings & Plans Submitted with the Application
Schedule B	Comments from Agencies, Building Standards & Development Planning
Schedule C (if required)	Public & Applicant Correspondence
Schedule D (if required)	Background



MINOR VARIANCE APPLICATION FILE NUMBER A027/24

CITY WARD #:	4
APPLICANT:	Talya Gaborieau
AGENT:	Arash Bahamin
PROPERTY:	212 Cook's Mill Crescent, Maple
ZONING DESIGNATION:	See below.
VAUGHAN OFFICIAL PLAN (2010) DESIGNATION:	Vaughan Official Plan 2010 ('VOP 2010'): "Low-Rise Residential".
RELATED DEVELOPMENT APPLICATIONS:	None
PROPOSAL:	Relief from the Zoning By-law is being requested to permit a proposed gazebo and existing shed located in the rear yard.

The following variances are being requested from the City's Zoning By-law to accommodate the above proposal:

The subject property is zoned R2A, Second Residential, subject to the provisions of Exception 14.861 under By-law 001-2021 as amended.

#	Zoning By-law 001-2021	Variance requested
1	A minimum setback of 2.4 m is required from the rear lot line to the residential accessory structure (proposed gazebo). [Section 4.1.2]	To permit a minimum setback of 2.28 m from the rear lot line to the residential accessory structure (proposed 3.06 m high gazebo).
2	A minimum setback of 2.4 m is required from the northerly interior side lot line to the residential accessory structure (proposed gazebo). [Section 4.1.2]	To permit a minimum setback of 2.03 m from the northerly interior side lot line to the accessory structure (proposed 3.06 m high gazebo).
3	A maximum height of 3.0 m is permitted for the residential accessory structure (gazebo). [Section 4.1.4.1, Section 3, Definitions, for Height and Established Grade]	To permit a maximum height of 3.06 m for the residential accessory structure (proposed gazebo).
4	A minimum setback of 2.4 m is required from the easterly interior side lot line to the residential accessory structure (proposed shed). [Section 4.1.2]	To permit a minimum setback of 2.18 m from the southerly interior side lot line to the existing residential accessory structure (proposed 2.96 m high shed).

HEARING INFORMATION

DATE OF MEETING: Thursday, August 22, 2024
TIME: 6:00 p.m.
MEETING LOCATION: Vaughan City Hall, Woodbridge Room (2nd Floor), 2141 Major Mackenzie Drive
LIVE STREAM LINK: Vaughan.ca/LiveCouncil

PUBLIC PARTICIPATION

If you would like to speak to the Committee of Adjustment at the meeting, either remotely or in person, please complete the [Request to Speak Form](#) and submit to cofa@vaughan.ca

If you would like to submit written comments, please quote file number above and submit by mail or email to:

Email: cofa@vaughan.ca

HEARING INFORMATION

Mail: City of Vaughan, Office of the City Clerk, Committee of Adjustment, 2141 Major Mackenzie Drive, Vaughan, ON, L6A 1T1

To speak electronically, pre-registration is required by completing the [Request to Speak Form](#) on-line and submitting it to cofa@vaughan.ca no later than NOON on the last business day before the meeting.

THE DEADLINE TO REGISTER TO SPEAK ELECTRONICALLY OR SUBMIT WRITTEN COMMENTS ON THE ABOVE NOTED FILE(S) IS NOON ON THE LAST BUSINESS DAY BEFORE THE MEETING.

INTRODUCTION

Staff and Agencies act as advisory bodies to the Committee of Adjustment. The comments contained in this report are presented as recommendations to the Committee.

Section 45(1) of the Planning Act sets the criteria for authorizing minor variances to the City of Vaughan's Zoning By-law. Accordingly, review of the application may consider the following:

- That the general intent and purpose of the by-law will be maintained.
- That the general intent and purpose of the official plan will be maintained.
- That the requested variance(s) is/are acceptable for the appropriate development of the subject lands.
- That the requested variance(s) is/are minor in nature.

Public written and oral submissions relating to this application are taken into consideration by the Committee of Adjustment as part of its deliberations and final decision on this matter.

COMMITTEE OF ADJUSTMENT

Date Public Notice Mailed:	August 8, 2024
Date Applicant Confirmed Posting of Sign:	August 5, 2024
Applicant Justification for Variances: <small>*As provided in Application Form</small>	Site constraints.
Was a Zoning Review Waiver (ZRW) Form submitted by Applicant: <small>*ZRW Form may be used by applicant in instances where a revised submission is made, and zoning staff do not have an opportunity to review and confirm variances prior to the issuance of public notice.</small>	Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>
COMMENTS:	
None	
Committee of Adjustment Recommended Conditions of Approval:	None

BUILDING STANDARDS (ZONING)

**See Schedule B for Building Standards (Zoning) Comments	
Building Standards Recommended Conditions of Approval:	None

DEVELOPMENT PLANNING

**See Schedule B for Development Planning Comments.	
Development Planning Recommended Conditions of Approval:	None

DEVELOPMENT ENGINEERING

[Link to Grading Permit](#) [Link to Pool Permit](#) [Link to Curb Curt Permit](#) [Link Culvert Installation](#)

As the proposed structure in the subject property is 26.8 m², the Owner/ Applicant needs to obtain a 'Lot Grading Permit' from the Development Inspection and Lot Grading Division of the City's Development Engineering Department. Please note any in-ground structure over 10 m² requires a 'Grading Permit'. Please contact the Development Engineering Reviewer after receiving the Grading Permit to clear the condition. (Condition attached) The proposed work by the Owner/Applicant is increasing the lot coverage on the subject property. The added hardscape may have impacts on the City's Storm Water management system. Development Engineering strongly encourages the Owner / Applicant introduce Low-Impact Development (LID) measures (e.g., bioswales, permeable pavers, rain gardens, rain barrels etc.) to reduce the impacts to the stormwater system. Should further information be required, please contact the Development Engineering COA reviewer.

DEVELOPMENT ENGINEERING

[Link to Grading Permit](#)
 [Link to Pool Permit](#)
 [Link to Curb Curt Permit](#)
 [Link Culvert Installation](#)

Development Engineering Recommended Conditions of Approval:	The Owner/Applicant shall submit an application and obtain an approved Grading Permit before initiating any work on the property. The Final Lot Grading and/or Servicing Plan will be required for the Grading Permit Application. Please visit the Permits page of the City of Vaughan's website: Permits City of Vaughan to apply for a Grading Permit. For any inquiries regarding the Grading Permit, please email DEPermits@vaughan.ca
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PARKS, FORESTRY & HORTICULTURE (PFH)

No comments received to date.	
PFH Recommended Conditions of Approval:	None

DEVELOPMENT FINANCE

No comment no concerns.	
Development Finance Recommended Conditions of Approval:	None

BY-LAW AND COMPLIANCE, LICENSING AND PERMIT SERVICES

No comments received to date.	
BCLPS Recommended Conditions of Approval:	None

BUILDING INSPECTION (SEPTIC)

No comments received to date.	
Building Inspection Recommended Conditions of Approval:	None

FIRE DEPARTMENT

No comments received to date.	
Fire Department Recommended Conditions of Approval:	None

RECOMMENDED CONDITIONS OF APPROVAL SUMMARY

Should the Committee find it appropriate to approve this application in accordance with request and the sketch submitted with the application, as required by Ontario Regulation 200/96, the following conditions have been recommended:

#	DEPARTMENT / AGENCY	CONDITION
1	Development Engineering jonal.hall@vaughan.ca	The Owner/Applicant shall submit an application and obtain an approved Grading Permit before initiating any work on the property. The Final Lot Grading and/or Servicing Plan will be required for the Grading Permit Application. Please visit the Permits page of the City of Vaughan's website: Permits City of Vaughan to apply for a Grading Permit. For any inquiries regarding the Grading Permit, please email DEPermits@vaughan.ca

All conditions of approval, unless otherwise stated, are considered to be incorporated into the approval "if required". If a condition is no longer required after an approval is final and binding, the condition may be waived by the respective department or agency requesting conditional approval. A condition cannot be waived without written consent from the respective department or agency.

IMPORTANT INFORMATION

CONDITIONS: It is the responsibility of the owner/applicant and/or authorized agent to obtain and provide a clearance letter from respective department and/or agency (**see condition chart above for contact**). This letter must be provided to the Secretary-Treasurer to be finalized. All conditions must be cleared prior to the issuance of a Building Permit.

APPROVALS: Making any changes to your proposal after a decision has been made may impact the validity of the Committee's decision.

An approval obtained from the Committee of Adjustment, where applicable, is tied to the building envelope shown on the plans and drawings submitted with the application and subject to the variance approval.

A building envelope is defined by the setbacks of the buildings and/or structures shown on the plans and drawings submitted with the application, as required by Ontario Regulation 200/96. Future development outside of an approved building envelope, where a minor variance was obtained, must comply with the provisions of the City's Zoning By-law.

Elevation drawings are provided to reflect the style of roof (i.e. flat, mansard, gable etc.) to which a building height variance has been applied. Where a height variance is approved, building height is applied to the style of roof (as defined in the City's Zoning By-law) shown on the elevation plans submitted with the application.

Architectural design features that are not regulated by the City's Zoning By-law are not to be considered part of an approval unless specified in the Committee's decision.

DEVELOPMENT CHARGES: That the payment of the Regional Development Charge, if required, is payable to the City of Vaughan before issuance of a building permit in accordance with the Development Charges Act and the Regional Development Charges By-law in effect at the time of payment.

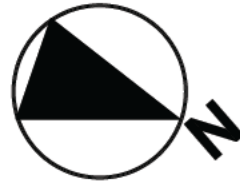
That the payment of the City Development Charge, if required, is payable to the City of Vaughan before issuance of a building permit in accordance with the Development Charges Act and the City's Development Charges By-law in effect at the time of payment.

That the payment of the Education Development Charge if required, is payable to the City of Vaughan before issuance of a building permit in accordance with the Development Charges Act and the Boards of Education By-laws in effect at the time of payment

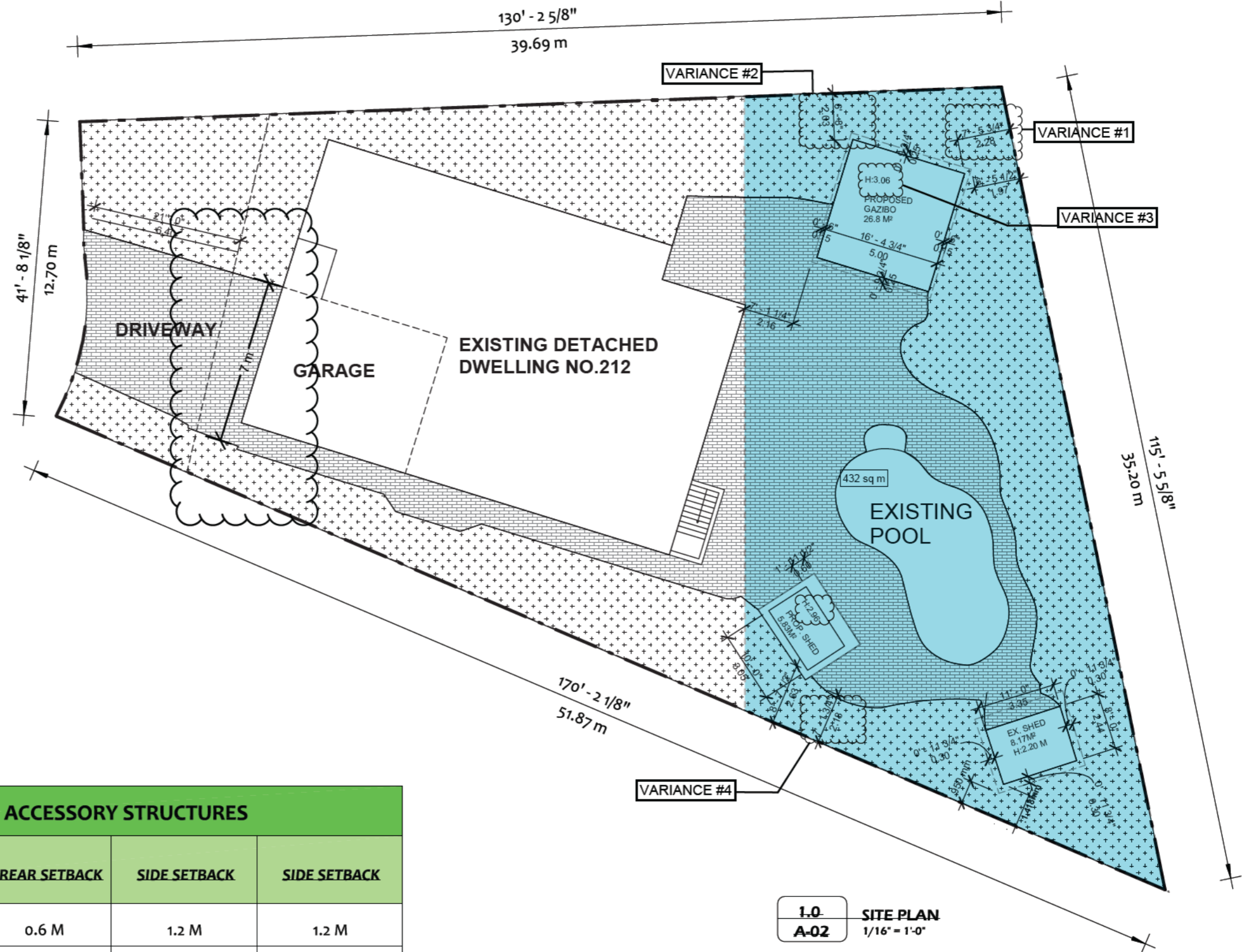
That the payment of Special Area Development charge, if required, is payable to the City of Vaughan before issuance of a building permit in accordance with the Development Charges Act and The City's Development Charge By-law in effect at the time of Building permit issuance to the satisfaction of the Reserves/Capital Department.

NOTICE OF DECISION: If you wish to be notified of the decision in respect to this application or a related Ontario Land Tribunal (OLT) hearing you must complete a Request for Decision form and submit to the Secretary Treasurer (ask staff for details). In the absence of a written request to be notified of the Committee's decision you will **not** receive notice.

SCHEDULE A: DRAWINGS & PLANS



COOKS MILL CRESCENT



LANDSCAPING CALCULATIONS:

TOTAL REAR YARD: 432.00 SQ.M
 TOTAL HARDSCAPING: 187.08 SQ. M
 SWIMMING POOL AREA: 52.89 SQ. M

TOTAL SOFTSCAPING : 192.03 SQ. M

LOT COVERAGE CALCULATIONS:

EXISTING DWELLING: 246.61 SQ. M (24.90%)
 EXISTING ANCILLARY BUILDING (SHED): 8.17 SQ. M (0.08%)
 PROPOSED ANCILLARY BUILDINGS (PROP. + EXISTING): 40.80 SQ. M (4.11%)

TOTAL COVERAGE (DWELLING + ANCILLARY BUILDINGS): 287.41 SQ. M (29.01%)

ZONING INFORMATION	ZONING CATEGORY : RD2 - ACCESSORY STRUCTURES					
	LOT AREA	MAX.LOT COVERAGE	MAX HEIGHT	REAR SETBACK	SIDE SETBACK	SIDE SETBACK
PERMITTED	990.4 M2	67 M2	3.0 M	0.6 M	1.2 M	1.2 M
PROPOSED	990.4 M2	42.77 M2	3.0 M	1.2 M	1.2 M	1.2 M

ACCESSORY STRUCTURES

212 COOKS MILL CRESCENT
 VAUGHAN, ON L6A 0K9

Issued For CoA
 Issued For CoA
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 Issued For CoA

Date:2024.06.25
 Date:2024.06.24
 Date: 2024.05.08
 Date: 2024.04.16
 Date: 2022.06.07

SITE PLAN

Project number

22 R-1900-126

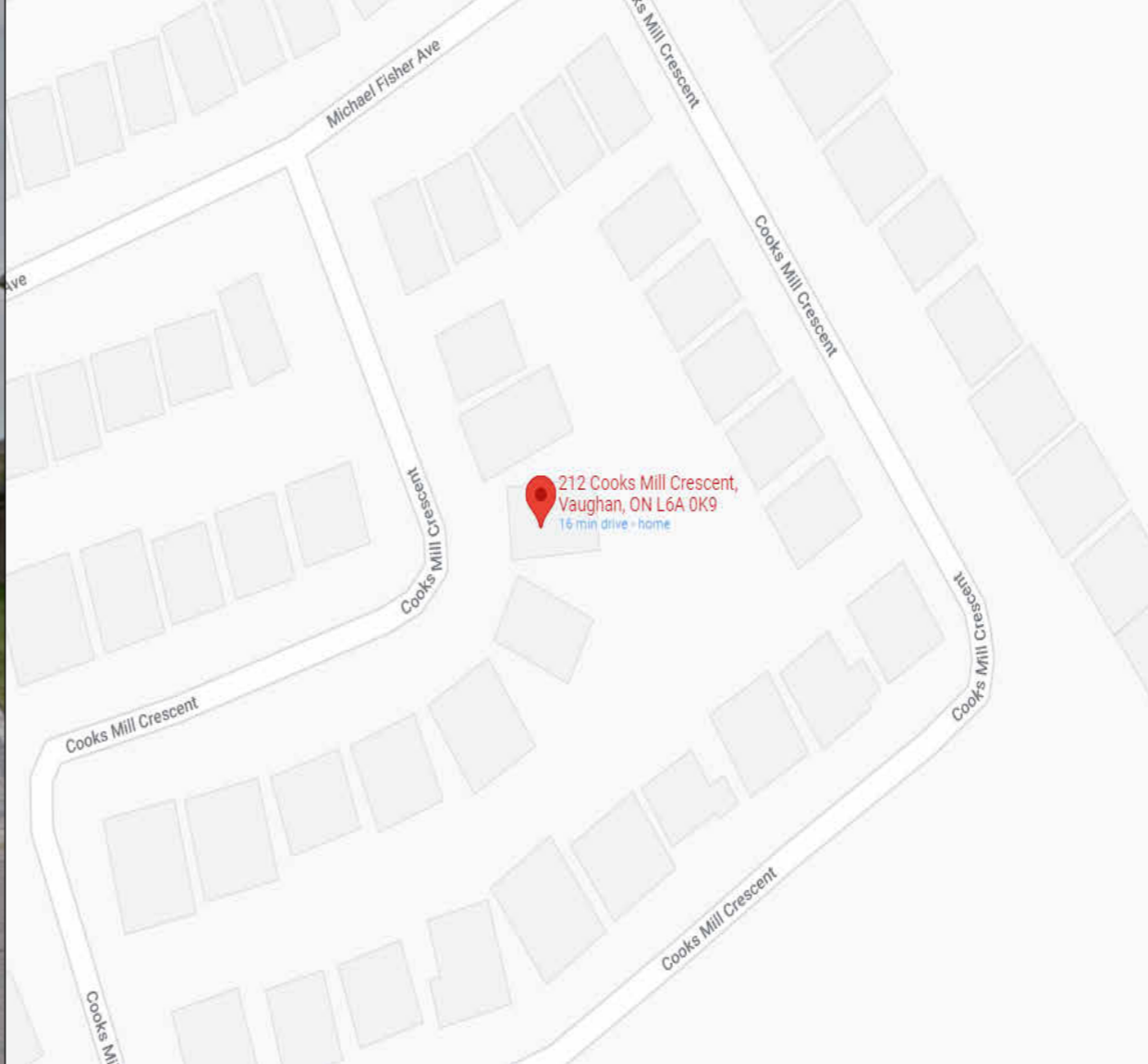
A-02

Drawn by

H.R.

Scale

As Indicated



INDEX	
Number	Sheet Name
A-00	COVER PAGE
A-01	SURVEY
A-02	SITE PLAN
A-03	GAZEBO PLAN & DETAILS
A-04	ELEVATIONS
A-05	SHED PLANS
A-06	SHED ELEVATIONS
AN-01	GENERAL NOTES

ACCESSORY STRUCTURES

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ACCESSORY STRUCTURES

212 COOKS MILL CRESCENT
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Issued For CoA Date: 2024.05.08
 Issued For CoA Date: 2024.04.16
 Issued For CoA Date: 2022.06.07

COVER PAGE

Project number

22 R-1900-126

A-00

Drawn by

B.N

Scale

SURVEYOR'S REAL PROPERTY REPORT
 PART 1 - PLAN SHOWING
**LOTS 28 TO 34, BOTH INCLUSIVE
 AND 47**
REGISTERED PLAN 65M-3917
 CITY OF VAUGHAN
 REGIONAL MUNICIPALITY OF YORK

METRIC DISTANCES SHOWN ON THIS PLAN ARE IN METRES AND CAN BE CONVERTED TO FEET BY DIVIDING BY 0.3048.

PART 2 - SURVEY REPORT

- **DESCRIPTION**
 LOTS 28 TO 34, BOTH INCLUSIVE AND 47, REGISTERED PLAN 65M-3917 CITY OF VAUGHAN
- **REGISTERED EASEMENTS AND/OR RIGHTS-OF-WAY**
 LOT 28 IS SUBJECT TO EASEMENT AS IN INST. No. YR905754
 LOT 29 IS SUBJECT TO EASEMENT AS IN INST. No. YR905755
 LOT 30 IS SUBJECT TO EASEMENT AS IN INST. No. YR905756
 LOT 31 IS SUBJECT TO EASEMENT AS IN INST. No. YR905766
 LOT 32 IS SUBJECT TO EASEMENT AS IN INST. No. YR905767
 LOT 33 IS SUBJECT TO EASEMENT AS IN INST. No. YR905768
 LOT 34 IS SUBJECT TO EASEMENT AS IN INST. No. YR905769
 LOT 47 IS SUBJECT TO EASEMENT AS IN INST. No. YR905787
- **ADDITIONAL REMARKS**
 NO EXISTING FENCES ALONG LOT LINES.

NOTES


BEARINGS SHOWN HEREON ARE GRID AND ARE DERIVED FROM THE WEST LIMIT OF COOK'S MILL CRESCENT, HAVING A BEARING OF N 35° 29' 30" W, IN ACCORDANCE WITH REGISTERED PLAN 65M-3917.

- DENOTES SURVEY MONUMENT FOUND
- DENOTES SURVEY MONUMENT SET
- SIB DENOTES STANDARD IRON BAR
- IB DENOTES IRON BAR
- DUC DENOTES DWELLING UNDER CONSTRUCTION
- P&S DENOTES REGISTERED PLAN 65M-3917 AND SET
- P&M DENOTES REGISTERED PLAN 65M-3917 AND MEASURED
- TW DENOTES TOP OF FOUNDATION WALL ELEVATION
- GC DENOTES GARAGE CUT ELEVATION
- JDB DENOTES J.D. BARNES LTD


ALL BUILDING TIES ARE TAKEN TO CONCRETE FOUNDATION
 ALL FOUND SURVEY MONUMENTS ARE STANDARD IRON BARS AND WERE SET BY, SCHAEFFER & DZALDOV LIMITED, OLS UNLESS NOTED OTHERWISE.
 COMPLIANCE WITH ONTARIO BUILDING CODE SETBACK REQUIREMENTS ARE NOT VERIFIED BY THIS SURVEY.

SURVEYOR'S CERTIFICATE

- I CERTIFY THAT:
1. THIS SURVEY AND PLAN ARE CORRECT AND IN ACCORDANCE WITH THE SURVEYS ACT, THE SURVEYORS ACT AND THE REGULATIONS MADE UNDER THEM.
 2. THE SURVEY WAS COMPLETED ON DECEMBER 21, 2006.

DATE May 1, 2007 
 MICHAEL J. GORMAN
 ONTARIO LAND SURVEYOR

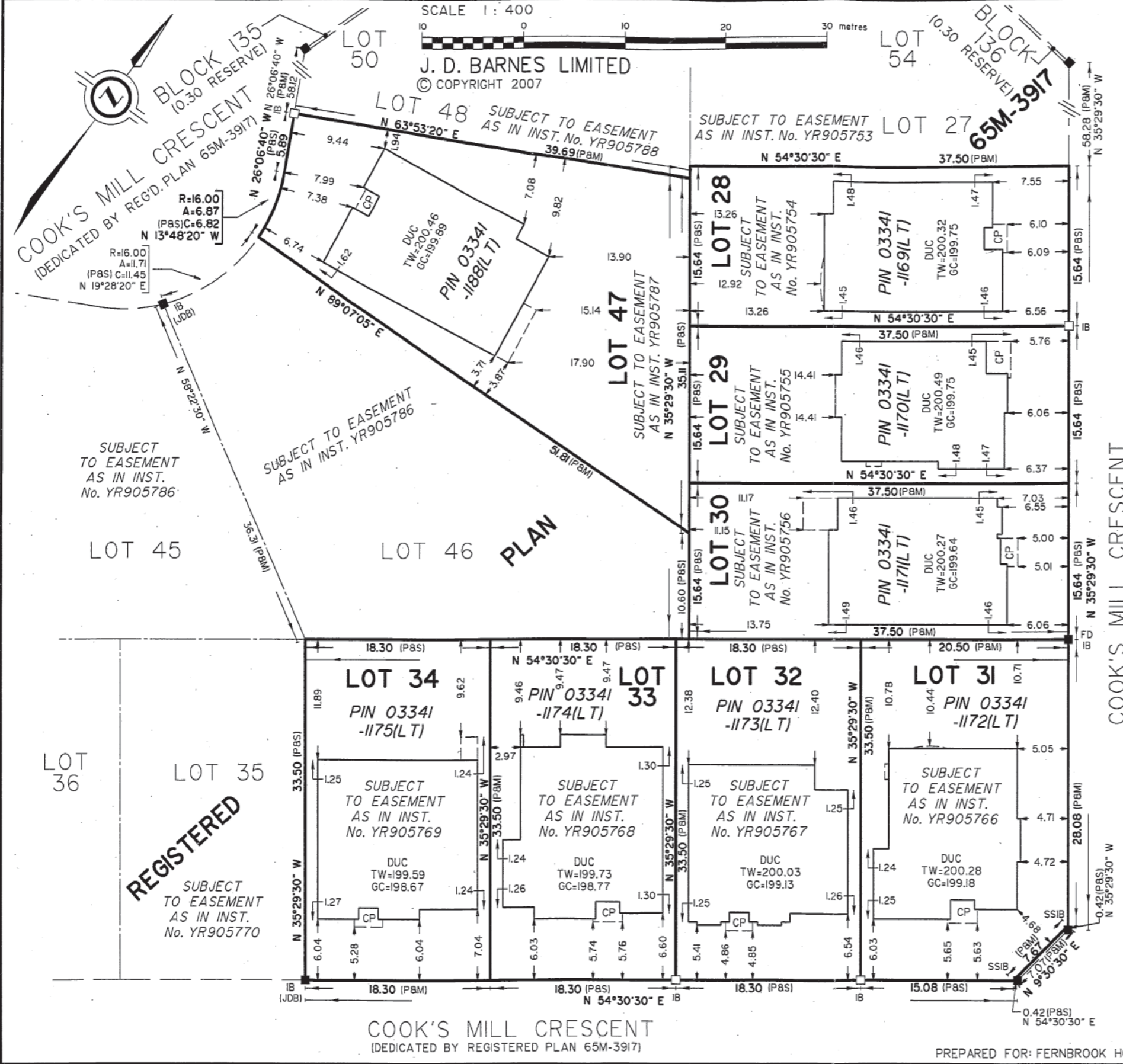
**ASSOCIATION OF ONTARIO
 LAND SURVEYORS
 PLAN SUBMISSION FORM
 1645843**



THIS PLAN IS NOT VALID
 UNLESS IT IS AN EMBOSSED
 ORIGINAL COPY
 ISSUED BY THE SURVEYOR
 In accordance with
 Regulation 1026, Section 29(3).

J.D. BARNES SURVEYING LIMITED MAPPING
 MARKED BY INNOVATION · MEASURED BY REPUTATION™ GIS
 140 RENFREW DRIVE, SUITE 100, MARKHAM, ON L3R 6B3
 T: (905) 477-3600 F: (905) 477-3882 www.jdbarnes.com

BE	DRAWN
MJG	CHECKED
Dec. 1/06	DATED
	Ref. No.
	04-21-225-00-28



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ACCESSORY STRUCTURES
 212 COOKS MILL CRESCENT
 VAUGHAN, ON L6A 0K9

Issued For CoA Date: 2024.05.08
 Issued For CoA Date: 2024.04.16
 Issued For CoA Date: 2022.06.07

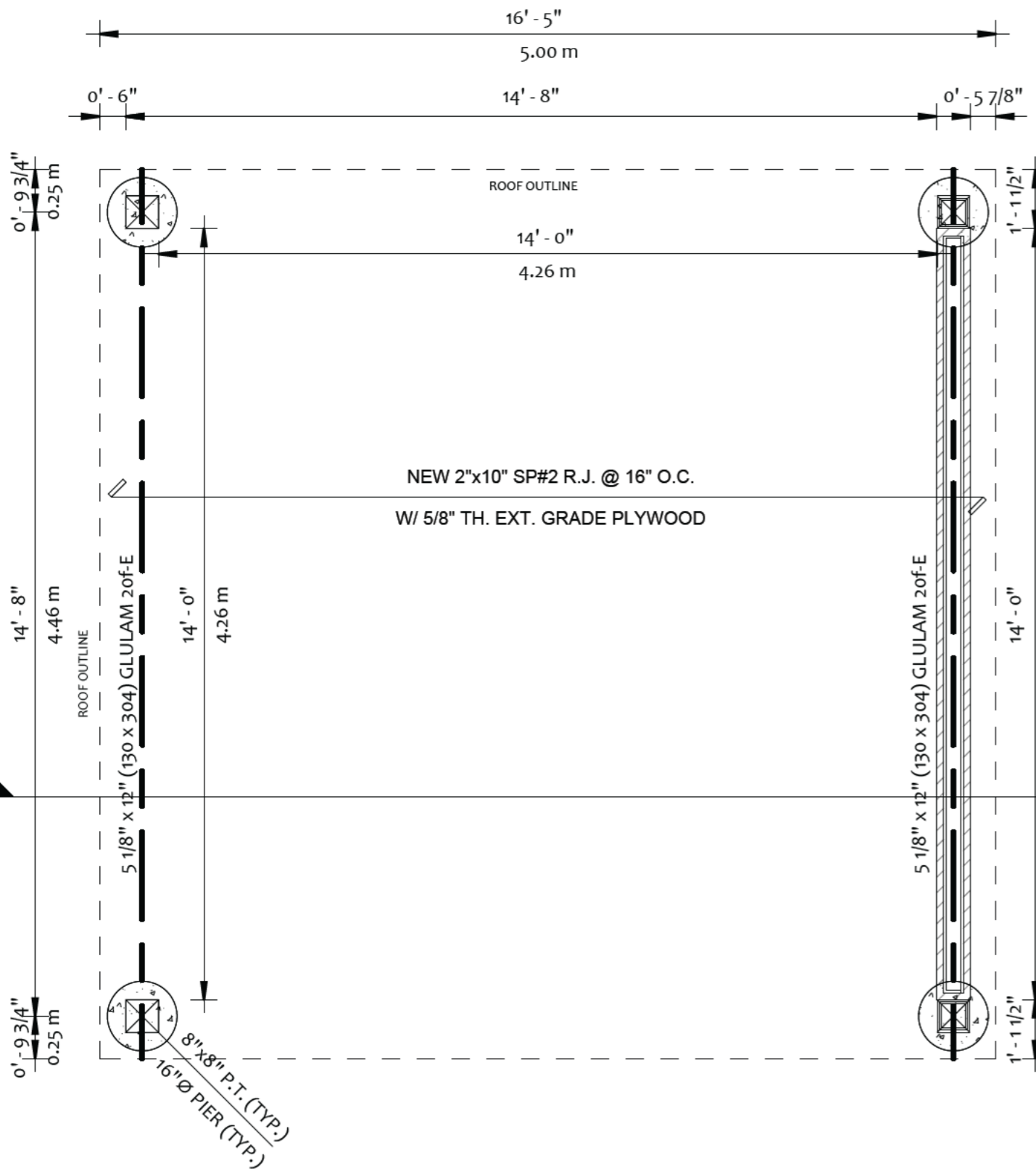
SURVEY

Project number

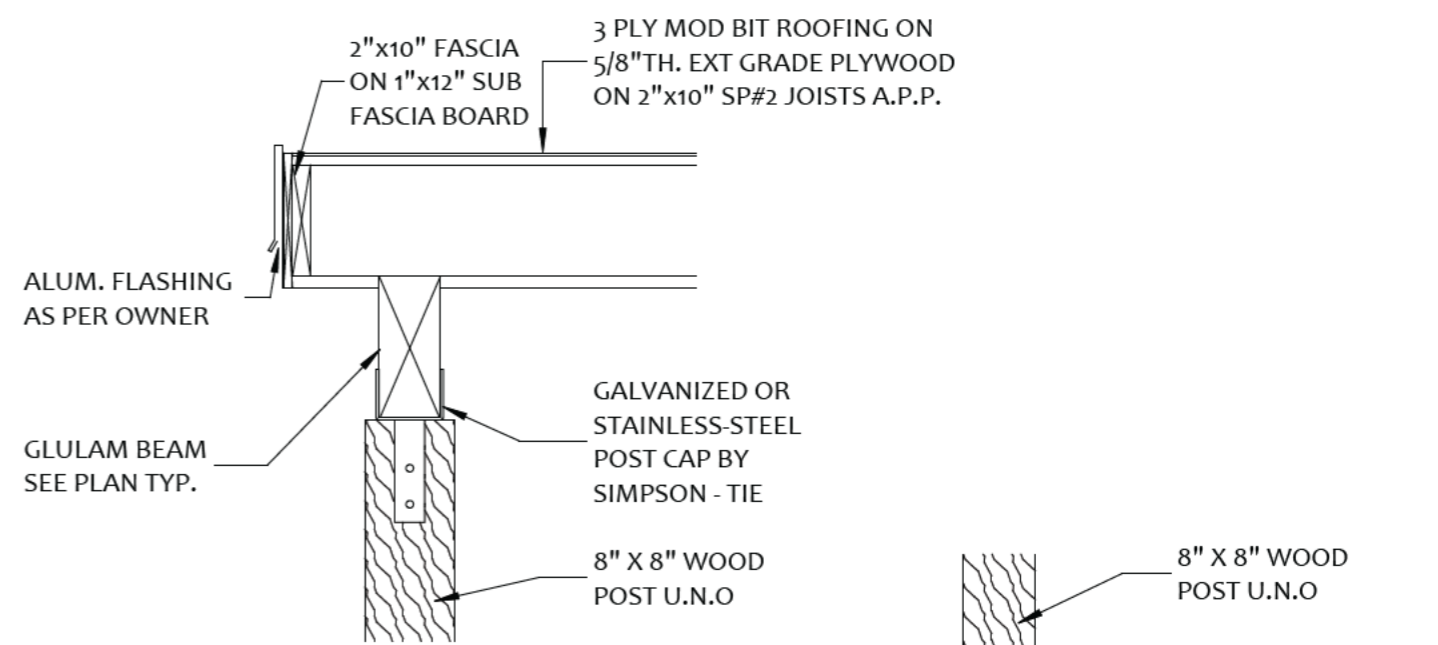
22 R-1900-126

Drawn by **A-01** Drawer

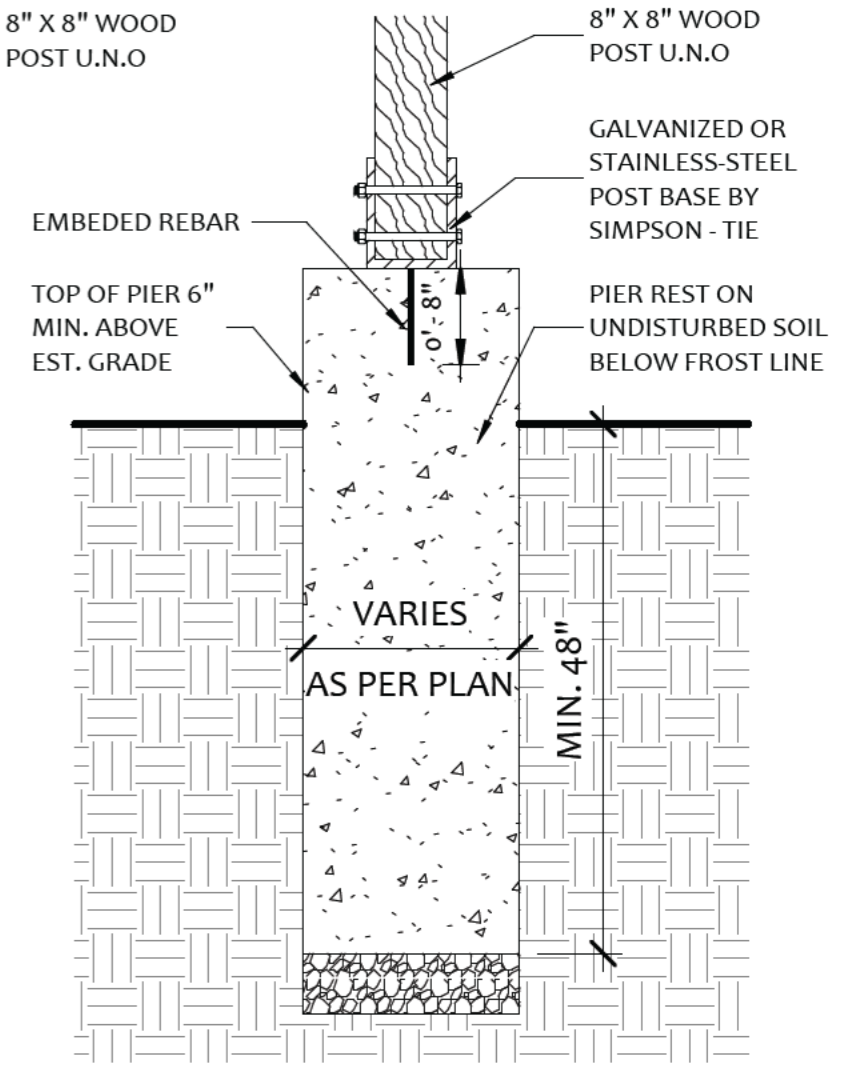
Scale



1
A-03
GAZEBO PLAN
3/8" = 1'-0"



3
A-03
Section 3 - Callout 1
3/4" = 1'-0"



2
A-03
POST TO PIER CONNECTION
3/4" = 1'-0"



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GAZEBO PLAN & DETAILS

Project number

22 R-1900-126

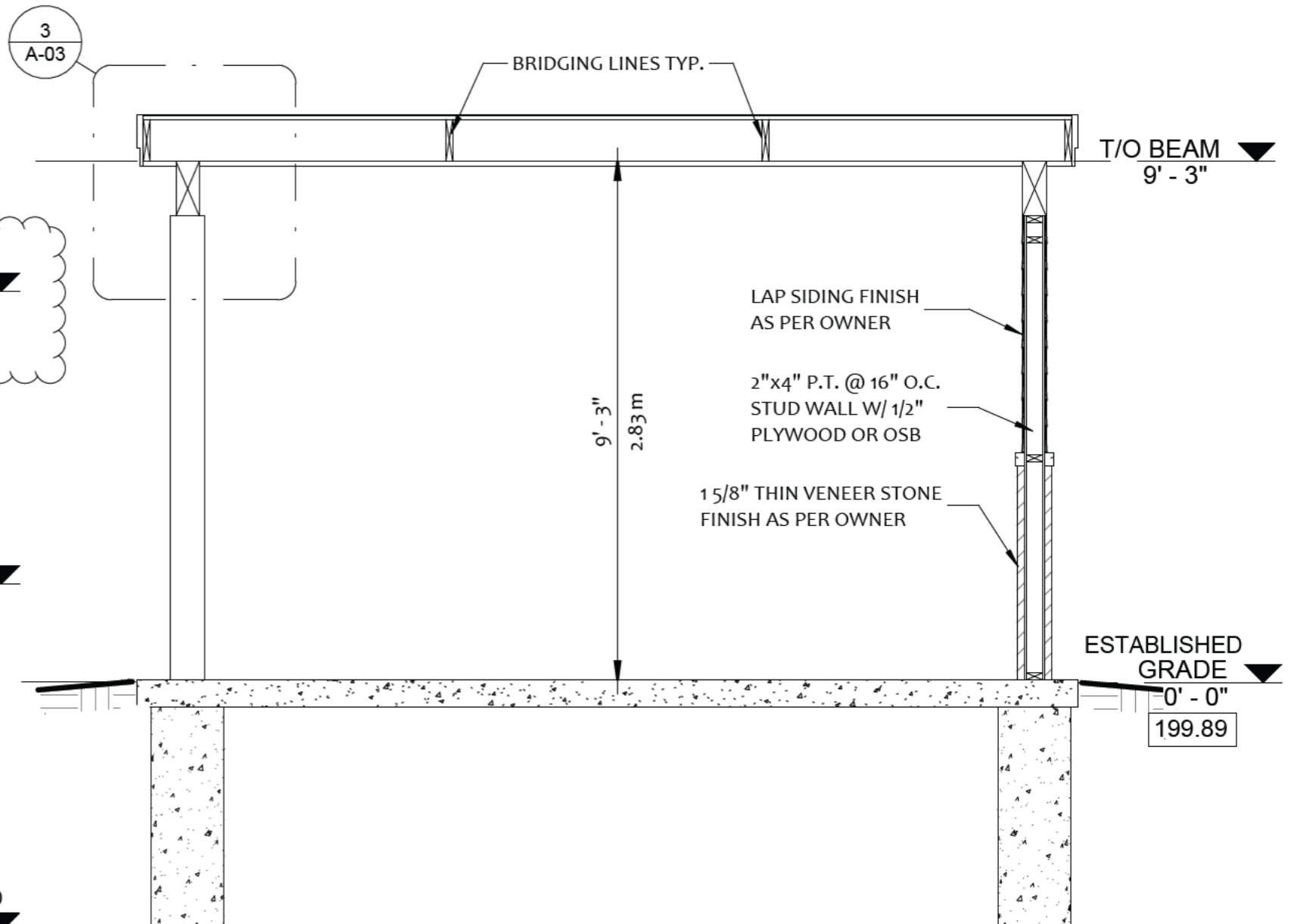
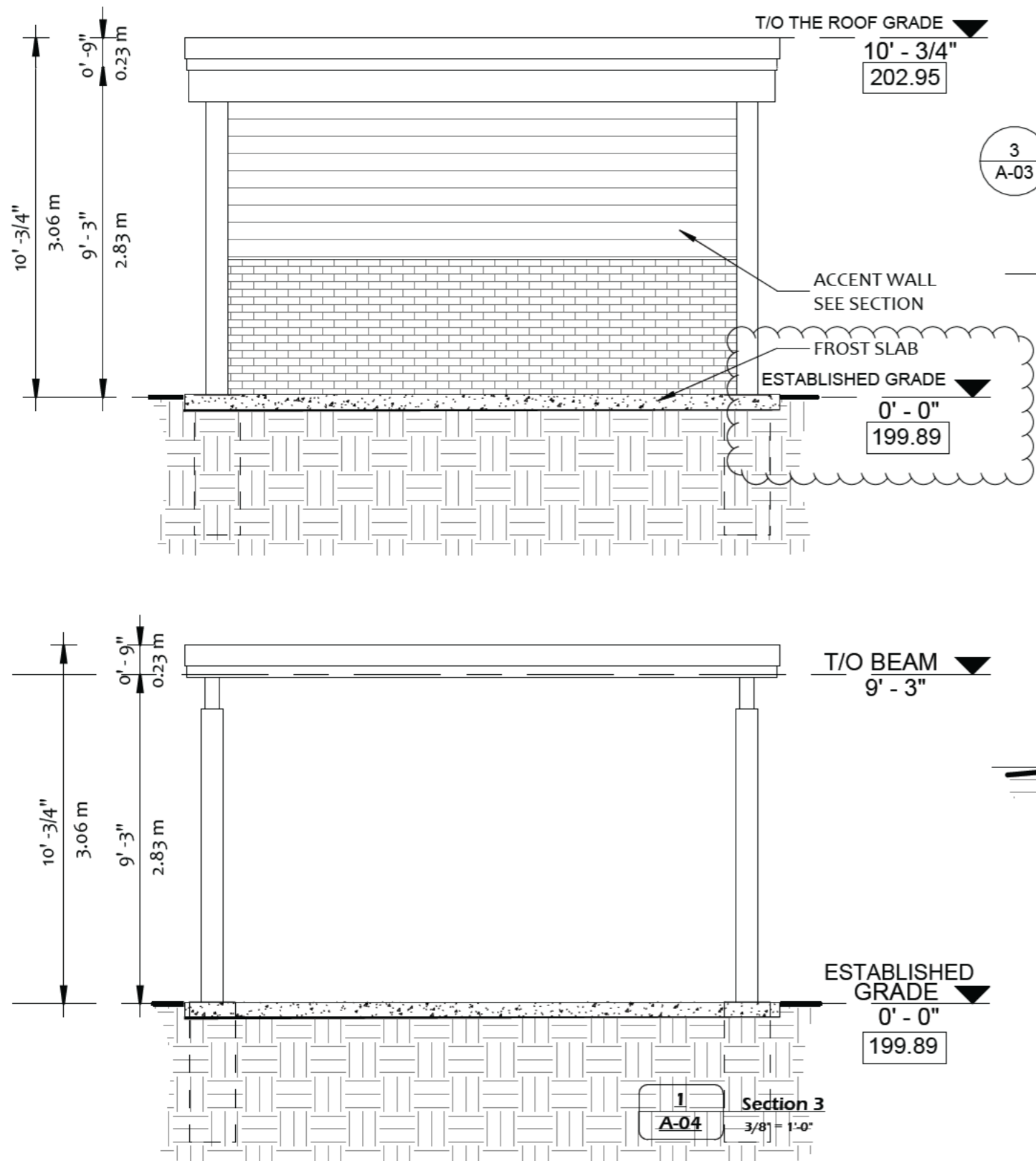
A-03

Drawn by

B.N

Scale

As indicated



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PROPOSED GAZIBO ELEVATION

Project number

22 R-1900-126

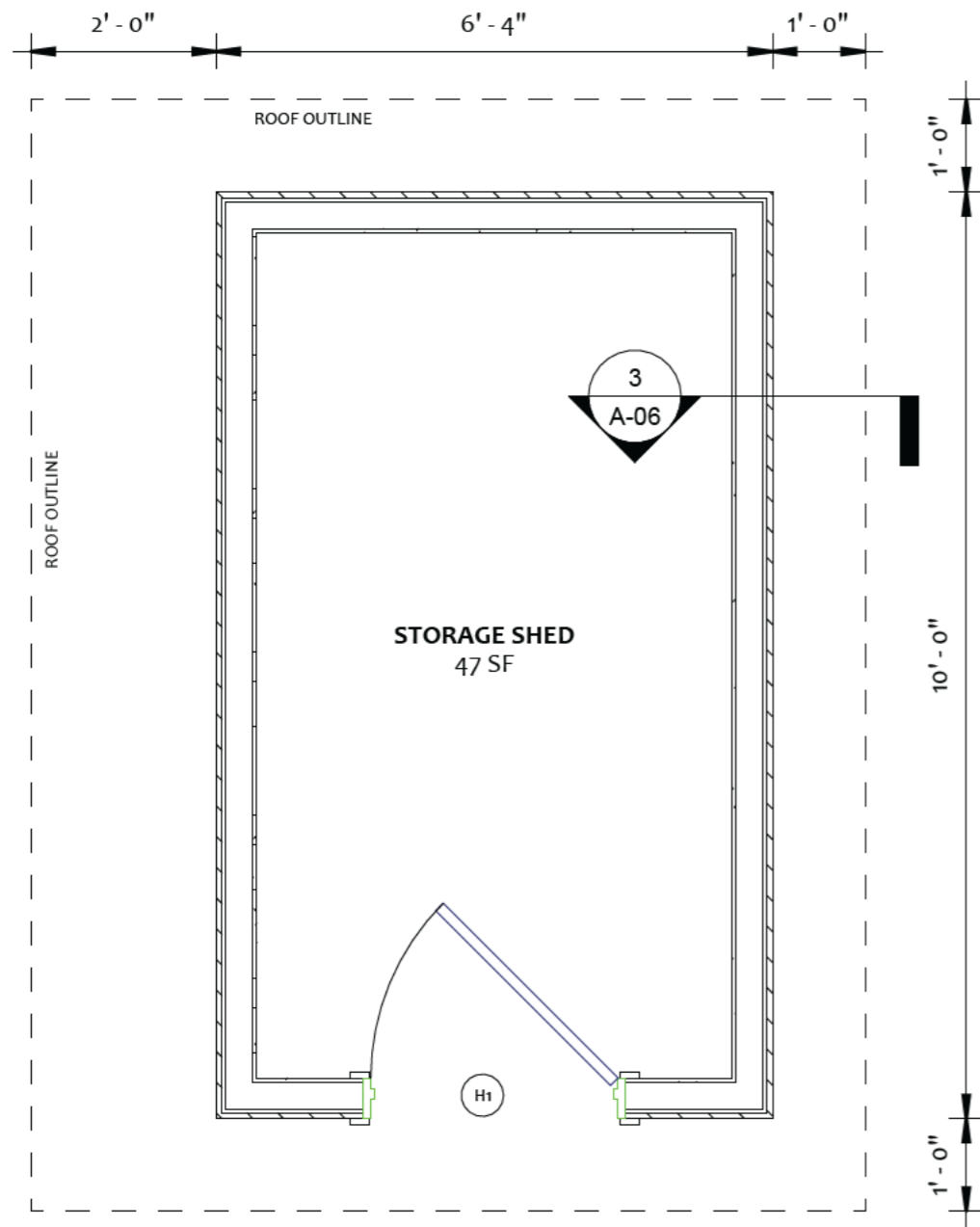
A-04

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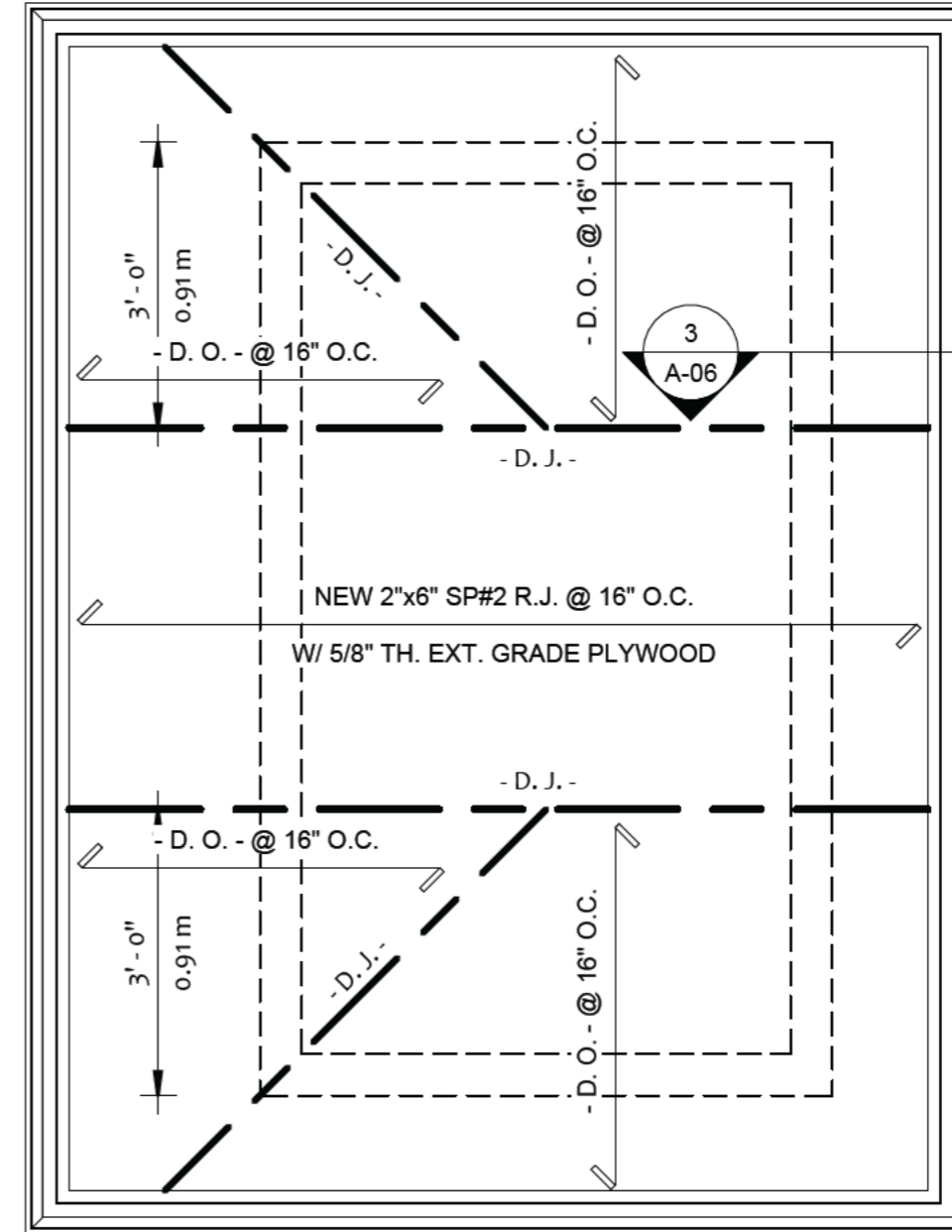
H.R

Scale

As indicated



1 SHED PLAN
A-05 1/2" = 1'-0"



2 SHED ROOF PLAN
A-05 1/2" = 1'-0"



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ACCESSORY STRUCTURES

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PROPOSED SHED PLANS

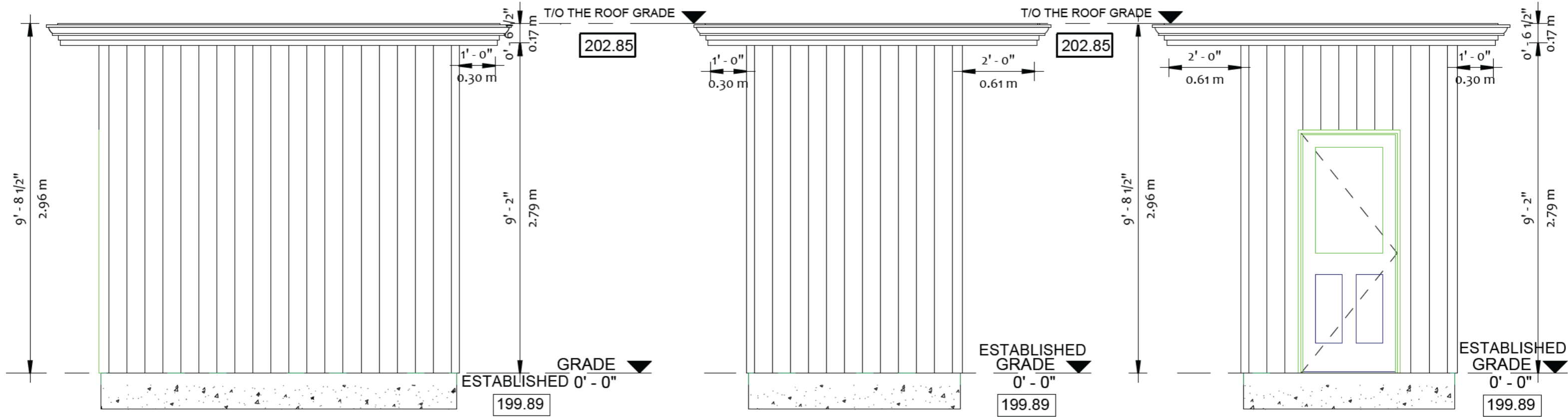
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A-05

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Scale

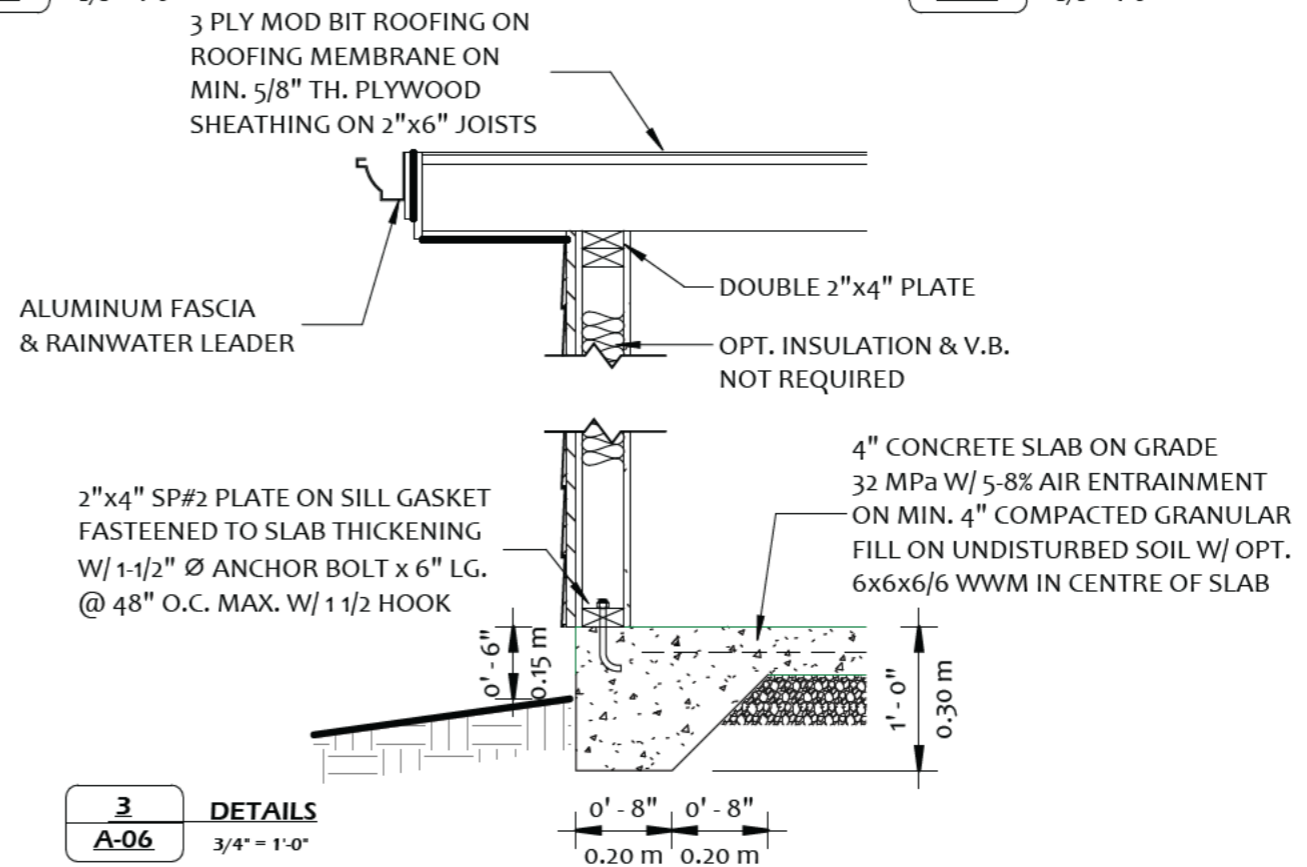
H.R.
1/2" = 1'-0"



1
A-06 **SIDE ELEVATION**
3/8" = 1'-0"

2
A-06 **REAR ELEVATION**
3/8" = 1'-0"

4
A-06 **FRONT ELEVATION**
3/8" = 1'-0"



3
A-06 **DETAILS**
3/4" = 1'-0"

STRUC. ELEMENTS

LINTEL SCHEDULE	
NO.	DESCRIPTION
H1	2 - 2x8
H2	3 - 2x8
H3	2 - 2x10
H4	3 - 2x10
H5	2 - 2x12
H6	3 - 2x12
L7	L - 5 x 3 1/2 x 5/16
L8	L - 5 x 5 x 5/16
L9	L - 5 x 5 x 1/2



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PROPOSED SHED ELEVATIONS

Issued For CoA Date: 2024.05.08

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Issued For CoA Date: 2022.06.07

Project number 22 R-1900-126

A-06

Drawn by H.R.
Scale As indicated

GENERAL NOTES :

I. ALL CONSTRUCTION SHALL MEET WITH THE LATEST REQUIREMENTS OF:

- AUTHORITIES HAVING JURISDICTION.
- ZONING RESTRICTIONS AND COMMITTEE OF ADJUSTMENT DECISIONS.
- ONTARIO BUILDING CODE
- ONTARIO REGULATIONS UNDER THE HEALTH AND PROMOTION ACT.
- ONTARIO FIRE CODE
- ALL SUPPLIERS SPECIFICATIONS RE: THE TECHNICAL METHODS TO USE MATERIALS AND THE SAFEST SYSTEM TO INSTALL BREAKABLE OR HANGING MATERIALS SUCH AS GLASS OR LIGHT FIXTURES ETC.

II. CONTRACTOR SHALL:

- CONFIRM ALL DIMENSIONS ON SITE AND REPORT ANY DISCREPANCIES OR ERRORS TO THE ARCHITECT AND THE PARTIES INVOLVED.
- WORK ONLY FROM THE APPROVED PERMIT DRAWINGS AND SPECIFICATIONS THAT ARE STAMPED AND SIGNED BY THE ARCHITECT.
- RETAIN A CERTIFIED SURVEYOR TO CHALK OUT ALL PROPERTY LINES, BUILDING BOUNDARIES AND LIMITATIONS AND CONFIRM GRADES OF THE LOT.
- PRIOR TO EXCAVATION, TAKE PRECAUTION IN SUCH A MANNER TO PREVENT DAMAGE TO ADJACENT PROPERTIES, EXISTING STRUCTURE, UTILITIES, ROADS AND SIDEWALKS.
- PRIOR TO CONSTRUCTION CHECK WITH ALL INSPECTORS OF ALL AUTHORITIES HAVING JURISDICTION ON THE PROJECT REGARDING SCHEDULES OF INSPECTIONS AND ARRANGE FOR THEIR SITE VISITS AND CALL ALL UTILITY COMPANIES (GAS, HYDRO, CABLE, WORKS DEPT.,...etc.) TO CHECK ALL EXISTING LINES, PIPES, TREES,
- PROVIDE ALL REQUIRED LATERAL FRAMING SUPPORTS (TO ENSURE RIGIDITY AND STURDINESS) THAT DO NOT SHOW ON DRAWINGS
- NOT PLACE MATERIALS NOR PLACE OR OPERATE EQUIPMENT IN OR ADJACENT TO AN EXCAVATION IN A MANNER THAT MAY ENDANGER THE INTEGRITY OF THE EXCAVATION OR ITS SUPPORTS.
- NOT SCALE DRAWINGS UNLESS OTHERWISE MENTIONED
- COMPLY BY SOIL REPORT WHENEVER APPLICABLE.
- USE ONLY APPROVED SUPPLIERS & INSTALLERS

III. SHOP DRAWINGS:

- THE REVIEW OF SHOP DRAWINGS IS FOR THE SOLE PURPOSE OF ASCERTAINING CONFORMANCE WITH THE GENERAL DESIGN CONCEPT. IT SHALL NOT MEAN APPROVAL OF THE DETAIL DESIGN INHERENT IN THE SHOP DRAWING, RESPONSIBILITY FOR WHICH SHALL REMAIN WITH THE CONTRACTOR SUBMITTING SAME, AND SUCH REVIEW SHALL NOT RELIEVE THE CONTRACTOR OF HIS RESPONSIBILITY FOR MEETING ALL REQUIREMENTS OF THE CONTRACT DOCUMENTS. THE CONTRACTOR IS RESPONSIBLE FOR DIMENSIONS TO BE CONFIRMED AND CORRECTED AT THE JOB SITE, FOR INFORMATION THAT PERTAINS SOLELY TO FABRICATION, PROCESSES OR TO TECHNIQUES OF CONSTRUCTION AND INSTALLATION AND OR COORDINATION OF THE WORK OF ALL SUB-TRADES.
- ALL SHOP DRAWINGS SHALL BE STAMPED BY THE MANUFACTURER'S STRUCTURAL ENGINEER PRIOR TO SUBMITTING FOR REVIEW BY ARCHITECT.
- SEQUENCE OF SHOP DRAWINGS REVIEW: - CONTRACTOR - STRUCTURAL ENGINEER - ALL OTHER INVOLVED CONSULTANTS - ARCHITECT
- SHOP DRAWINGS SHALL BE PROVIDED FOR: - STEEL - PREFAB. CONC. - CANOPIES - WINDOWS - DOORS

GENERAL NOTES :

IV. RENOVATION AND ADDITION CONSTRUCTION:

- REPAIR ALL DEFECTIVE OR DAMAGED CONDITIONS IN BUILDING AND SITE THEN FINISH THEM TO MATCH
- ALL EXISTING CONSTRUCTION SHALL BE ALL FINISHED UNLESS OTHERWISE MENTIONED, CHECK WITH ARCHITECT.

V. BONDING EXISTING TO NEW CONSTRUCTION:

- PROVIDE 1/2" DIA. X 6" LONG ANCHOR BOLTS SPACED 3'-0" O/C VERTICALLY OR HORIZONTALLY BETWEEN EXISTING AND NEW STUDS AND ROOF FRAMINGS.
- PROVIDE OVERLAPPED VERTICAL JOINTS BETWEEN EXISTING AND NEW MASONRY VENEERS, WALLS AND FOUNDATION.
- SAND BLASTED AREA SHALL BE FINISHED WITH A CLEAR SEALANT.

CONSTRUCTION SPECIFICATIONS

1. WOOD

- ALL WOOD CONSTRUCTION SHALL BE IN ACCORDANCE WITH CSA 086
- BEAMS AND LINTELS & JOISTS SHALL BE KILN DRIED, STAMPED SPRUCE #2, UNLESS OTHERWISE MENTIONED.
- ALL WOOD MEMBERS WHICH ARE PLACED IN SOIL SHOULD BE PRESSURE TREATED WITH A WOOD PRESERVATIVE.
- ALL EXTERIOR WOOD SHALL BE STAINED OR PAINTED.

2. CONCRETE

- SHALL COMPLY WITH CSA A23 SERIES INCL. COLD WEATHER CONCRETING.
- MINIMUM COMPRESSIVE STRENGTH OF UNREINFORCED CONCRETE: 25 MPA AND 35 MPA FOR LOADING DOCK AND FOR ALL EXPOSED CONCRETE AFTER 28 DAYS WITH AIR ENTRAINMENT 6 %
- MAXIMUM SLUMP 3"
- PROVIDE SEALANT-TOPPED EXPANSION JOINT BETWEEN EXISTING AND NEW CONCRETE FLOORS.
- REINFORCEMENT SHALL CONFORM CSA 30.12 GRADE 58

3. STEEL

- SHALL CONFORM TO CSA STANDARDS & CAN 3-G40.21 (STRUCTURAL STEEL QUALITY)
- SHALL BE TREATED ON THE OUTSIDE SURFACE WITH AT LEAST ONE COAT OF RUST INHIBIT PAINT.
- ALL EXPOSED STEEL SHALL BE GALVANIZED.
- STEEL GRADE
 - I) HOLLOW SECTION: G 40.21-M 350W
 - II) I BEAMS & COLUMNS: G 40.21-M 350W
- O.W.S.J. : LIVE LOAD DEFLECTION SHALL NOT EXCEED 1/360 OF SPAN, TOTAL LOAD DEFLECTION SHALL NOT EXCEED 1/300 OF SPAN.
- WELDING SHALL COMPLY WITH CSA W59 AND EXECUTED BY CERTIFIED WELDER.
- ALL BOLTS A 325 BOLTS.
- FOR ALL STEEL FABRICATION, PROVIDE SHOP DRAWINGS AND CALCULATIONS STAMPED BY P. ENG.

CONSTRUCTION SPECIFICATIONS

4. MINIMUM STRUCTURAL BEARING

(PROVIDE 2 SOLID MASONRY BLOCKS BELOW BEARING)

- WOOD JOIST: 2"
- WOOD BEAMS: 4"
- STEEL BEAM: 8"
- STEEL LINTEL: 8"
- O.W.S.J. : 6" ON MASONRY & 2 1/2" ON STEEL & SHALL HAVE 4" DEEP SHOES

5. MASONRY

- SHALL HAVE 1000 PSI MIN. CRUSHING STRENGTH.
- PROVIDE GALVANIZED STANDARD BLOCK-LOK EACH 2ND COURSE.
- VERTICAL JOINTS SHALL BE STAGGERED & CORNERS INTERLOCKED.
- PROVIDE SHOP DRAWINGS STAMPED BY P. ENG. FOR STONE VENEER & PREFAB PANELS.
- VERTICAL CRACK CONTROL JOINTS (DESIGNED TO RESIST MOISTURE PENETRATION AND KEYED TO PREVENT RELATIVE DISPLACEMENT OF THE WALL PORTIONS ADJACENT TO THE JOINT) SHALL BE PROVIDED IN FOUNDATION WALLS MORE THAN 82'-0" LONG AT INTERVALS OF 50'-0" MAX. AND FLUSH WITH OPENING JAMBS.

6. FOUNDATION

- FOOTING AND SONO TUBE FOUNDATION SHALL BEAR ON UNDISTURBED SOIL OR COMPACTED ENGINEERED FILL (TO 98 % STANDARD PROCTOR DENSITY) CAPABLE OF A BEARING OF 3000 PSF, SOIL SHALL BE CHECKED BY SOIL ENGINEER
- DEPTH OF FOOTING ARE PROVISIONAL & SUBJECT TO VERIFICATION ON SITE BY A SOIL ENGINEER.
- ALL EXTERIOR (OR EXPOSED TO EXTERIOR) WALLS, PARTITION, COLUMNS SHALL BE PROVIDED WITH 4'-0" DEEP FOUNDATION.
- PROVIDE 5/8" DIA. X 16" LONG ANCHOR TIES (8" IN NEW CONSTRUCTION).
- TOP TWO COURSES OF CONCRETE BLOCKS SHALL BE FILLED WITH CONCRETE.
- PROVIDE MIN 8"X2'-0" WIDE STRIP FOOTING BELOW ANY INTERIOR LOAD BEARING WALL

7. COLUMNS

- SHALL BE SECURELY FASTENED TO CENTER OF FOUNDATIONS AND TO THE SUPPORTED MEMBERS TO PREVENT LATERAL MOVEMENT.

8. DESIGN LOADS

UN FACTORED DESIGN LOADS

1. SNOW LOAD = kPa (PART 4 DESIGN, S_s = 2.0 kPa, S_r = 0.4kPa)
2. ROOF DEAD LOAD = 0.75kPa
3. SECOND FLOOR DEAD LOAD = 0.75kPa
4. MAIN FLOOR DEAD LOAD = 1.0kPa
5. OCCUPANCY LIVE LOAD = 1.9kPa
6. WIND PRESSURE q(1/50) = 0.44 Kpa
7. ASSUMED SOIL BEARING CAPACITY = 75 kPa
8. GUARDS TO BE BUILT ACCORDING TO OBC 2012 SB-7



888.236.9958 | 416.483.5393 | 905.821.0728
INFO@YEJSTUDIO.COM
WWW.YEJSTUDIO.COM

ACCESSORY STRUCTURES

212 COOKS MILL CRESCENT
VAUGHAN, ON L6A 0K9

Issued For CoA Date: 2024.05.08
Issued For CoA Date: 2024.04.16
Issued For CoA Date: 2022.06.07

GENERAL NOTES

Project number

22 R-1900-126

AN-01

Drawn by

A.R

Scale

**SCHEDULE B:
COMMENTS FROM AGENCIES, BUILDING STANDARDS &
DEVELOPMENT PLANNING**

Department / Agency <small>*Comments Received</small>	Conditions Required		Nature of Comments
Building Standards (Zoning) *See Schedule B	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>	General Comments
Development Planning	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>	Recommend Approval/No Conditions

External Agencies <small>*Comments Received</small>	Conditions Required		Nature of Comments <small>*See Schedule B for full comments</small>
Alectra	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>	General Comments
Region of York	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>	General Comments
TRCA	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>	General Comments

Date: May 14th 2024

Attention: Christine Vigneault

RE:

File No.: A027-24

Related Files:

Applicant Tayla Gaborieau

Location 212 Cook's Mill Crescent



Discover the possibilities

COMMENTS:

- We have reviewed the proposed Variance Application and have no comments or objections to its approval.
- We have reviewed the proposed Variance Application and have no objections to its approval, subject to the following comments (attached below).
- We have reviewed the proposed Variance Application and have the following concerns (attached below).

Alectra Utilities (formerly PowerStream) has received and reviewed the proposed Variance Application. This review, however, does not imply any approval of the project or plan.

All proposed billboards, signs, and other structures associated with the project or plan must maintain minimum clearances to the existing overhead or underground electrical distribution system as specified by the applicable standards, codes and acts referenced.

In the event that construction commences, and the clearance between any component of the work/structure and the adjacent existing overhead and underground electrical distribution system violates the Occupational Health and Safety Act, the customer will be responsible for 100% of the costs associated with Alectra making the work area safe. All construction work will be required to stop until the safe limits of approach can be established.

In the event construction is completed, and the clearance between the constructed structure and the adjacent existing overhead and underground electrical distribution system violates the any of applicable standards, acts or codes referenced, the customer will be responsible for 100% of Alectra's cost for any relocation work.

References:

- Ontario Electrical Safety Code, latest edition (Clearance of Conductors from Buildings)
- Ontario Health and Safety Act, latest edition (Construction Protection)
- Ontario Building Code, latest edition (Clearance to Buildings)
- PowerStream (Construction Standard 03-1, 03-4), attached
- Canadian Standards Association, latest edition (Basic Clearances)

If more information is required, please contact either of the following:

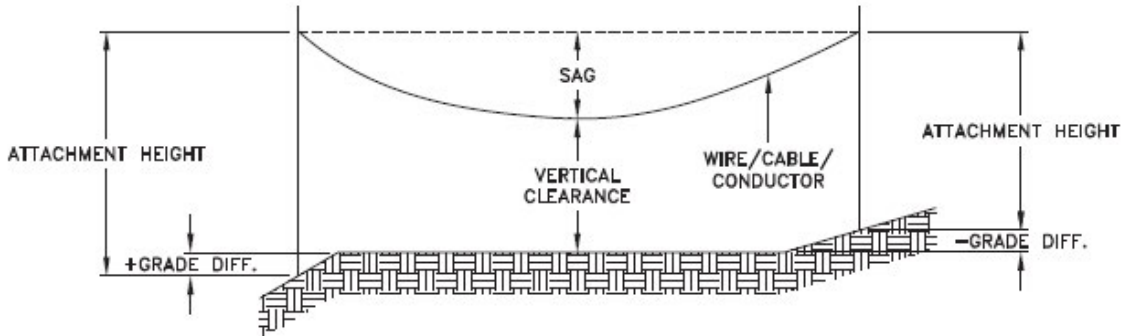
Mr. Stephen Cranley, C.E.T
Supervisor, Distribution Design, ICI & Layouts (North)
Phone: 1-877-963-6900 ext. 31297

E-mail: stephen.cranley@alectrautilities.com

Mitchell Penner
Supervisor, Distribution Design-Subdivisions
Phone: 416-302-6215

Email: Mitchell.Penner@alectrautilities.com

LOCATION OF WIRES, CABLES OR CONDUCTORS	SYSTEM VOLTAGE			
	SPAN GUYS AND COMMUNICATIONS WIRES	UP TO 600V AND NEUTRAL	4.16/2.4kV TO 27.6/16kV (SEE NOTE 1)	44kV
MINIMUM VERTICAL CLEARANCES (SEE NOTE 2)				
OVER OR ALONGSIDE ROADS, DRIVEWAYS OR LANDS ACCESSIBLE TO <u>VEHICLES</u>	442cm	442cm	480cm	520cm
OVER GROUND ACCESSIBLE TO <u>PEDESTRIANS AND BICYCLES ONLY</u>	250cm	310cm	340cm	370cm
ABOVE TOP OF RAIL AT <u>RAILWAY CROSSINGS</u>	730cm	730cm	760cm	810cm



MINIMUM ATTACHMENT HEIGHT = MAXIMUM SAG
 + MINIMUM VERTICAL CLEARANCE (FROM ABOVE TABLE)
 ± GRADE DIFFERENCE
 + 0.3m (VEHICLE OR RAILWAY LOCATION)
 + SNOW DEPTH (PEDESTRIAN LOCATION, SEE NOTE 3)

NOTES:

1. THE MULTIGROUNDED SYSTEM NEUTRAL HAS THE SAME CLEARANCE AS THE 600V SYSTEM.
2. THE VERTICAL CLEARANCES IN THE ABOVE TABLE ARE UNDER MAXIMUM SAG CONDITIONS.
3. REFER TO CSA STANDARD C22.3 No.1, ANNEX D FOR LOCAL SNOW DEPTH VALUES.
4. ALL CLEARANCES ARE IN ACCORDANCE TO CSA STANDARD C22.3.

CONVERSION TABLE

METRIC	IMPERIAL (APPROX)
810cm	27'-0"
760cm	25'-4"
730cm	24'-4"
520cm	17'-4"
480cm	16'-0"
442cm	15'-5"
370cm	12'-4"
340cm	11'-4"
310cm	10'-4"
250cm	8'-4"

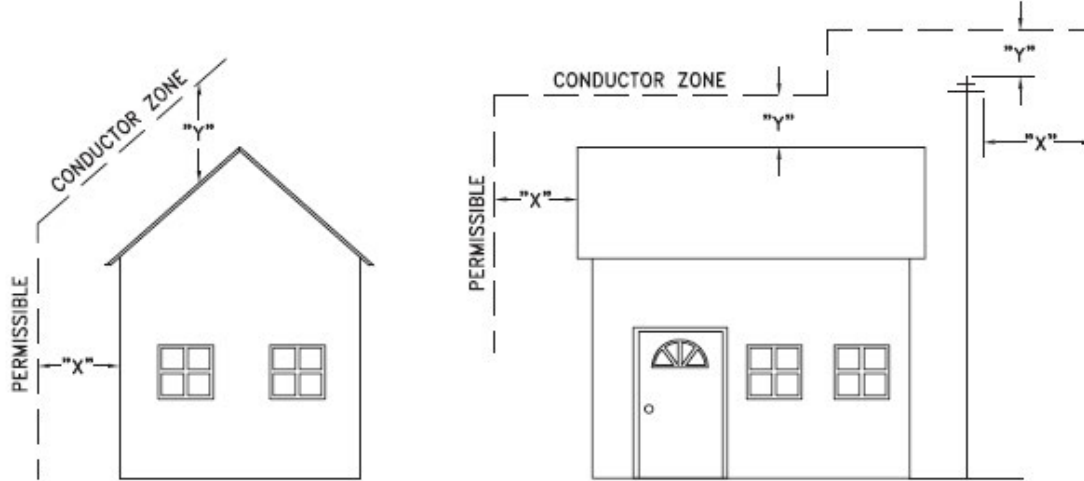
REFERENCES

SAGS AND TENSIONS | SECTION 02

MINIMUM VERTICAL CLEARANCES OF WIRES, CABLES AND CONDUCTORS ABOVE GROUND OR RAILS

ORIGINAL ISSUE DATE: 2010-DEC-24 REVISION NO: R1 REVISION DATE: 2012-JAN-09

Certificate of Approval	
This construction Standard meets the safety requirements of Section 4 of Regulation 22/04	
Joe Crozier, P.Eng.	2012-JAN-09
Name	Date
P.Eng. Approval By:	Joe Crozier



VOLTAGE	MINIMUM HORIZONTAL CLEARANCE UNDER MAXIMUM SWING CONDITIONS DIMENSION "X" (SEE NOTES 1, 3 & 4)	MINIMUM VERTICAL CLEARANCE UNDER MAXIMUM DESIGN SAG CONDITIONS DIMENSION "Y" (SEE NOTES 1, 2, 4 & 5)
0-600V AND NEUTRAL	100cm	250cm
4.16/2.4 TO 44kV	300cm	480cm

NOTES

1. UNDER NO CIRCUMSTANCES SHALL A CONDUCTOR BE PERMITTED TO PENETRATE THE ENVELOPE SHOWN BY THE DOTTED LINE.
2. THE VERTICAL CLEARANCES ARE UNDER CONDITIONS OF MAXIMUM DESIGN SAG.
3. THE HORIZONTAL CLEARANCES ARE UNDER CONDITIONS OF MAXIMUM SWING. WHERE THE CONDUCTOR SWING IS NOT KNOWN A HORIZONTAL CLEARANCE OF 480CM SHALL BE USED.
4. BUILDINGS THAT EXCEED 3 STOREYS OR 15M IN HEIGHT, THE MINIMUM HORIZONTAL CLEARANCE OF THE SECONDARY CONDUCTORS SHOULD BE INCREASED TO 300cm WHERE IT IS NECESSARY TO ALLOW FOR THE RAISING OF LADDERS BY LOCAL FIRE DEPARTMENTS.
5. IN SITUATIONS SUCH AS MULTI-LEVEL GARAGES, WHERE ROOFS ARE NORMALLY USED BY PERSONS AND VEHICLES, THE VERTICAL CLEARANCES OF POWERSTREAM STANDARD 03-1 SHALL APPLY.
6. DISTRIBUTION LINES CONSTRUCTED NEAR BUILDINGS SHALL BE BUILT TO AVOID OVERHANG WHEREVER POSSIBLE. WHERE LINES MUST BE CONSTRUCTED OVER OR ADJACENT TO BUILDINGS THE APPLICABLE HORIZONTAL AND VERTICAL CLEARANCES SHALL BE AT CONDITIONS OF MAXIMUM CONDUCTOR SWING AND MAXIMUM SAG. THE ABOVE CLEARANCES ARE DESIGNED TO PREVENT PERSONS ON OR IN BUILDINGS AS WELL AS EXTERNAL MACHINERY USED IN CONJUNCTION WITH A BUILDING TO COME IN CONTACT WITH CONDUCTORS. EFFORTS SHOULD BE MADE TO INCREASE THESE CLEARANCES WHERE POSSIBLE.
7. ALL CLEARANCES ARE IN ACCORDANCE TO CSA C22.3 NO.1-06 (TABLE-9).

METRIC	IMPERIAL (APPROX)
480cm	16'-0"
300cm	10'-0"
250cm	8'-4"
100cm	3'-4"

MINIMUM VERTICAL & HORIZONTAL CLEARANCES OF CONDUCTORS FROM BUILDINGS OR OTHER PERMANENT STRUCTURES (CONDUCTORS NOT ATTACHED TO BUILDINGS)

Certificate of Approval
This construction Standard meets the safety requirements of Section 4 of Regulation 22/04
Debbie Dadwani, P.Eng. 2010-MAY-05
Name Date
P. Eng. Approval By: *D. Dadwani*

ORIGINAL ISSUE DATE: 2010-MAY-05 REVISION NO: REVISION DATE:
PS System Planning and Standards/Standard Design/PowerStream Standards/PowerStream Standards working folder/Section 3.3-6/DWG 03-4 R0 May 5, 2010.dwg, 3/3/2010 10:27:02 AM, Adobe PDF

To: Committee of Adjustment
From: Bernd Paessler, Building Standards Department
Date: August 6, 2024
Applicant: Tayla Gaborieau
Location: 212 Cook's Mill Crescent
 PLAN 65M3917 Lot 47
File No.(s): A027/24

Zoning Classification:

The subject property is zoned R2A, Second Residential, subject to the provisions of Exception 14.861 under By-law 001-2021 as amended.

#	Zoning By-law 001-2021	Variance requested
1	A minimum setback of 2.4 m is required from the rear lot line to the residential accessory structure (proposed gazebo). [Section 4.1.2]	To permit a minimum setback of 2.28 m from the rear lot line to the residential accessory structure (proposed 3.06 m high gazebo).
2	A minimum setback of 2.4 m is required from the northerly interior side lot line to the residential accessory structure (proposed gazebo). [Section 4.1.2]	To permit a minimum setback of 2.03 m from the northerly interior side lot line to the accessory structure (proposed 3.06 m high gazebo).
3	A maximum height of 3.0 m is permitted for the residential accessory structure (gazebo). [Section 4.1.4.1, Section 3, Definitions, for Height and Established Grade]	To permit a maximum height of 3.06 m for the residential accessory structure (proposed gazebo).
4	A minimum setback of 2.4 m is required from the easterly interior side lot line to the residential accessory structure (proposed shed). [Section 4.1.2]	To permit a minimum setback of 2.18 m from the southerly interior side lot line to the existing residential accessory structure (proposed 2.96 m high shed).

Staff Comments:

Stop Work Order(s) and Order(s) to Comply:

There are no outstanding Orders on file.

Building Permit(s) Issued:

Building Permit Application No. 22-126970 has been submitted for the proposed gazebo and shed.

Other Comments:

1	An easement is shown on the survey. It is the owner's responsibility to determine the limits of the subject property and the existence of any registered easements or restrictions.
2	The applicant shall be advised that additional variances may be required upon review of detailed drawings for building permit.

Conditions of Approval:

If the committee finds merit in the application, the following conditions of approval are recommended.

None

* Comments are based on the review of documentation supplied with this application.

To: Christine Vigneault, Committee of Adjustment Secretary Treasurer
From: Nancy Tuckett, Director of Development Planning
Date: August 14, 2024
Name of Owner: Talya Gaborieau
Location: 212 Cook's Mill Crescent
File No.(s): A027/24

Proposed Variance(s) (By-law 001-2021):

1. To permit a minimum setback of 2.28 m from the rear lot line to the residential accessory structure (proposed 3.06 m high gazebo).
2. To permit a minimum setback of 2.03 m from the northerly interior side lot line to the accessory structure (proposed 3.06 m high gazebo).
3. To permit a maximum height of 3.06 m for the residential accessory structure (proposed gazebo).
4. To permit a minimum setback of 2.18 m from the southerly interior side lot line to the existing residential accessory structure (proposed 2.96 m high shed).

By-Law Requirement(s) (By-law 001-2021):

1. A minimum setback of 2.4 m is required from the rear lot line to the residential accessory structure (proposed gazebo).
2. A minimum setback of 2.4 m is required from the northerly interior side lot line to the residential accessory structure (proposed gazebo).
3. A maximum height of 3.0 m is permitted for the residential accessory structure (gazebo).
4. A minimum setback of 2.4 m is required from the easterly interior side lot line to the residential accessory structure (proposed shed).

Official Plan:

City of Vaughan Official Plan 2010 ('VOP 2010'): "Low-Rise Residential"

Comments:

The Owner is seeking relief to permit the existing locations of a shed and a gazebo, with the above noted variances. There is a second existing shed in the rear yard located closer to the southeast corner of the lot, which does not require any relief.

The Development Planning Department has no objection to Variances 1, 2, and 3 for the gazebo that is presently located at the northeast corner of the rear yard. The gazebo is 3.06 m in height and has an area of 36.8 m². The gazebo is only 0.6 m over the permissible height in the By-law, which may be considered minor in nature. The gazebo's structure is made of aluminum and has a flat roof design, slightly sloping down towards the back (north side) of the structure. Additionally, the requested setbacks to the lot lines are measured at pinch points as the gazebo is at an angle to both the north interior side and rear lot lines. A reduction of 0.12 m to the rear lot line and 0.37 m to the northerly interior side lot line does not pose any adverse massing impacts to the surround properties due to modest height, position, and design of the gazebo. There is sufficient spatial separation between the gazebo, rear, and interior side lot lines to allow for maintenance access if required.

The Development Planning Department has no objection to Variance 4 for the existing shed located closer to the southerly interior side lot line. The shed is 2.96 m in height and has an area of 5.83 m². The 0.22 m reduction to the required setback to the interior side lot line is minimal in nature and applies at a pinch-point as the shed is positioned at an angle to the south interior side lot line. The shed's height is compliant with the By-law requirements and the structure has a very minimal footprint. Therefore, the shed will not have any adverse massing impacts to the surrounding properties. There is sufficient spatial separation between the gazebo, rear, and interior side lot lines to allow for maintenance access if required.

Accordingly, the Development Planning Department can support the requested variances and is of the opinion that the proposal is minor in nature, maintains the general intent and purpose of the Official Plan and Zoning By-law, and is desirable for the appropriate development of the land.

Recommendation:

The Development Planning Department recommends approval of the application.

Conditions of Approval:

If the Committee finds merit in the application, the following conditions of approval are recommended:

None.

Comments Prepared by:

Alyssa Pangilinan, Planner 1
David Harding, Senior Planner

From: [Cameron McDonald](#)
To: [Committee of Adjustment](#); [Christine Vigneault](#)
Cc: [Joshua Lacaria](#)
Subject: [External] RE: A027/24 (212 Cook's Mill Crescent) – REQUEST FOR COMMENTS (City of Vaughan)
Date: Friday, May 10, 2024 2:40:38 PM

CAUTION! This is an external email. Verify the sender's email address and carefully examine any links or attachments before clicking. If you believe this may be a phishing email, please use the Phish Alert Button.

Good afternoon,

Based on a review of our screening mapping, I can confirm that the subject property is not located within TRCA's Regulated Area. As such, any site alteration or development on the property would not require a permit from TRCA.

Based on the above, we have no comments/requirements.

Regards,

Cameron McDonald
Planner I
Development Planning and Permits | Development and Engineering Services

T: [\(437\) 880-1925](tel:(437)880-1925)

E: cameron.mcdonald@trca.ca

A: [101 Exchange Avenue, Vaughan, ON, L4K 5R6](#) | trca.ca

Prabhdeep Kaur

From: Development Services <developmentsservices@york.ca>
Sent: Tuesday, May 14, 2024 10:03 AM
To: Christine Vigneault
Cc: Committee of Adjustment
Subject: [External] RE: A027/24 (212 Cook's Mill Crescent) – REQUEST FOR COMMENTS (City of Vaughan)

CAUTION! This is an external email. Verify the sender's email address and carefully examine any links or attachments before clicking. If you believe this may be a phishing email, please use the Phish Alert Button.

Hi Christine,

The Regional Municipality of York has completed its review of the minor variance application – A027/24 (212 Cook's Mill Crescent) and has no comment.

Please provide us with a digital copy of the notice of decision for our records.

Many thanks,

Our working hours may be different. Please do not feel obligated to reply outside of your scheduled working hours. Let's work together to help foster healthy work-life boundaries.

Niranjan Rajevan, M.Pl. | Associate Planner, Development Services, Planning and Economic Development, Corporate Services

The Regional Municipality of York | 17250 Yonge Street | Newmarket, ON L3Y 6Z1
1-877-464-9675 ext. 71521 | niranjan.rajevan@york.ca | www.york.ca

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SCHEDULE C: PUBLIC & APPLICANT CORRESPONDENCE

Correspondence Type	Name	Address	Date Received (mm/dd/yyyy)	Summary
Applicant			03/08/2024	Application Cover Letter

March 7, 2024

Committee of Adjustment
City of Vaughan
2141 Major Mackenzie Drive
Vaughan, ON L6A 1T1

Re: Minor Variance Application A027/24 (212 Cook's Mill Crescent)

Dear Committee of Adjustment,

I am writing to formally submit this letter in support of Minor Variance Application A027/24 for the property located at 212 Cook's Mill Crescent. The proposed variances, as outlined in the application, involve the following:

1. Interior side yard setback of 2.03m vs allowable 2.4m pertaining to the gazebo
2. Interior side yard setback of 2.18m vs the allowable 2.4m pertaining to the shed structure
3. Rear yard setback of 2.28m vs allowable 2.4m pertaining to the gazebo
4. The height of 2.06m vs allowable maximum 3m pertaining to the gazebo
5. 37.57% soft landscaping of the rear yard vs minimum 60% required

It is our contention that these variances are minor in nature and align with the general intent of both the Official Plan and Zoning By-law. The proposed changes will have no adverse impact on the surrounding properties or the community at large. In fact, the variances are in line with the character of the neighborhood, and their approval will contribute positively to the aesthetic and functional aspects of the property. Specifically, with regards to the soft landscaping variance, we would like to highlight the presence of an existing swimming pool with a 53 sqm area on the property. While the swimming pool is not considered as part of the soft landscaping calculations, it undeniably enhances the green space and contributes to the overall intent of soft landscaping enhancements. Therefore, we believe that the existing pool should be taken into consideration when evaluating the compliance with the soft landscaping requirement.

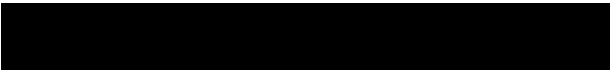
We are confident that the proposed variances maintain the integrity of the neighborhood while allowing for reasonable and necessary improvements to the property. The requested changes are in harmony with the surrounding area and will not compromise the overall objectives of the Official Plan and Zoning By-law.

In conclusion, we kindly request the Committee of Adjustment's favorable consideration of Minor Variance Application A027/24 for 212 Cook's Mill Crescent. We believe that the proposed variances are justifiable and will enhance the property without negatively impacting the community. We are available to attend any meetings or hearings to provide further information or address any concerns the Committee may have.

Regards,

Arash Bahamin, P.Eng, PMP

805-4789 Yonge St, Toronto, M2N 0G3



SCHEDULE D: BACKGROUND

None