

ITEM: 6.17	REPORT SUMMARY MINOR VARIANCE APPLICATION FILE NUMBER A100/24
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Report Date: July 26, 2024

**THIS REPORT CONTAINS COMMENTS FROM THE FOLLOWING
DEPARTMENTS & AGENCIES (SEE SCHEDULE B):**

Additional comments from departments and agencies received after the publication of the report will be made available on the City's [website](#).

Internal Departments <small>*Comments Received</small>	Conditions Required		Nature of Comments
Committee of Adjustment	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>	General Comments
Building Standards (Zoning)	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>	General Comments
Development Planning	Yes <input type="checkbox"/>	No <input type="checkbox"/>	Application Under Review
Development Engineering	Yes <input checked="" type="checkbox"/>	No <input type="checkbox"/>	Recommend Approval w/Conditions
Development Finance	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>	General Comments
By-law & Compliance	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>	General Comments

External Agencies <small>*Comments Received</small>	Conditions Required		Nature of Comments <small>*See Schedule B for full comments</small>
Alectra	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>	General Comments
Region of York	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>	General Comments
TRCA	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>	General Comments

PUBLIC & APPLICANT CORRESPONDENCE (SEE SCHEDULE C)

All personal information collected because of this public meeting (including both written and oral submissions) is collected under the authority of the Municipal Act, the Municipal Freedom of Information and Protection of Privacy Act (MFIPPA), the Planning Act and all other relevant legislation, and will be used to assist in deciding on this matter. All personal information (as defined by MFIPPA), including (but not limited to) names, addresses, opinions and comments collected will become property of the City of Vaughan, will be made available for public disclosure (including being posted on the internet) and will be used to assist the Committee of Adjustment and staff to process this application.

Correspondence Type	Name	Address	Date Received <small>(mm/dd/yyyy)</small>	Summary
None				

BACKGROUND (SCHEDULE D, IF REQUIRED)

* Background Information contains historical development approvals considered to be related to this file.
This information should not be considered comprehensive.

Application No. (City File)	Application Description <small>(i.e. Minor Variance Application; Approved by COA / OLT)</small>
N/A	N/A

ADJOURNMENT HISTORY

* Previous hearing dates where this application was adjourned by the Committee and public notice issued.

Hearing Date	Reason for Adjournment <small>(to be obtained from NOD_ADJ)</small>
N/A	N/A

SCHEDULES

Schedule A	Drawings & Plans Submitted with the Application
Schedule B	Comments from Agencies, Building Standards & Development Planning
Schedule C (if required)	Public & Applicant Correspondence
Schedule D (if required)	Background



MINOR VARIANCE APPLICATION FILE NUMBER A100/24

CITY WARD #:	2
APPLICANT:	Lisi Holdings Inc.
AGENT:	Lou Parente
PROPERTY:	67 Davidson Drive, Woodbridge
ZONING DESIGNATION:	See below.
VAUGHAN OFFICIAL PLAN (2010) DESIGNATION:	Vaughan Official Plan 2010 ('VOP 2010'): "Low-Rise Residential" by Volume 2, Section 11.11 – Woodbridge Centre Secondary Plan.
RELATED DEVELOPMENT APPLICATIONS:	None
PROPOSAL:	Relief from the Zoning By-law is being requested to permit the construction of a proposed dwelling.

The following variances have been requested from the City's Zoning By-law:

The subject lands are zoned R1A(EN) – First Density Residential Zone (Established Neighbourhood) and subject to the provisions of Exception 14.983 under Zoning By-law 001-2021, as amended.

#	Zoning By-law 001-2021	Variance requested
1	For any proposed or new replacement dwelling exceeding a height of 9.5m the minimum required interior side yards shall be the greater (more restrictive) <ul style="list-style-type: none"> a. The requirement of the applicable zone b. The existing interior side yard c. 2.2m. The required side yard shall be 3.42m on the west side and 5.92m on the east side. Section 4.5 2	To permit a minimum side yard of 1.52m on the west side and 2.34m on the east side.
2	The maximum building height shall be the least (more restrictive) of: <ul style="list-style-type: none"> a. The requirement of the applicable zone; or b. The existing building height plus 3.0 m, but in no case shall the maximum building height requirement be less than 8.5 m. The maximum building height shall be 8.5m. Section 4.5 1	To permit a maximum building height of 10.33m.
3	The maximum permitted encroachment for eaves, eavestroughs and gutters is 0.50m into the required yard. Section 4.13 Table 4-1	To permit a maximum encroachment of 0.76m for eaves, eavestroughs and gutters into the required interior side yards.

HEARING INFORMATION

DATE OF MEETING: Thursday, August 1, 2024
TIME: 6:00 p.m.
MEETING LOCATION: Vaughan City Hall, Woodbridge Room (2nd Floor), 2141 Major Mackenzie Drive
LIVE STREAM LINK: Vaughan.ca/LiveCouncil

PUBLIC PARTICIPATION

If you would like to speak to the Committee of Adjustment at the meeting, either remotely or in person, please complete the [Request to Speak Form](#) and submit to cofa@vaughan.ca

HEARING INFORMATION

If you would like to submit written comments, please quote file number above and submit by mail or email to:

Email: cofa@vaughan.ca

Mail: City of Vaughan, Office of the City Clerk, Committee of Adjustment, 2141 Major Mackenzie Drive, Vaughan, ON, L6A 1T1

To speak electronically, pre-registration is required by completing the [Request to Speak Form](#) on-line and submitting it to cofa@vaughan.ca no later than NOON on the last business day before the meeting.

THE DEADLINE TO REGISTER TO SPEAK ELECTRONICALLY OR SUBMIT WRITTEN COMMENTS ON THE ABOVE NOTED FILE(S) IS NOON ON THE LAST BUSINESS DAY BEFORE THE MEETING.

INTRODUCTION

Staff and Agencies act as advisory bodies to the Committee of Adjustment. The comments contained in this report are presented as recommendations to the Committee.

Section 45(1) of the Planning Act sets the criteria for authorizing minor variances to the City of Vaughan's Zoning By-law. Accordingly, review of the application may consider the following:

- That the general intent and purpose of the by-law will be maintained.
- That the general intent and purpose of the official plan will be maintained.
- That the requested variance(s) is/are acceptable for the appropriate development of the subject lands.
- That the requested variance(s) is/are minor in nature.

Public written and oral submissions relating to this application are taken into consideration by the Committee of Adjustment as part of its deliberations and final decision on this matter.

COMMITTEE OF ADJUSTMENT

Date Public Notice Mailed:	July 18, 2024
Date Applicant Confirmed Posting of Sign:	July 2, 2024
Applicant Justification for Variances: <small>*As provided in Application Form</small>	Per owners' family needs/requirements and in keeping with newly built homes in the neighbourhood.
Was a Zoning Review Waiver (ZRW) Form submitted by Applicant: <small>*ZRW Form may be used by applicant in instances where a revised submission is made, and zoning staff do not have an opportunity to review and confirm variances prior to the issuance of public notice.</small>	Yes <input checked="" type="checkbox"/> No <input type="checkbox"/>
COMMENTS:	
<p>On July 15, 2024, the applicant submitted revised plans, together with a Zoning Review Waiver (confirming required variances), to facilitate public notice, that included the following updates:</p> <p>The architectural package has been updated to reflect changes to the retaining wall which were requested by the City's Engineering staff. The plans from the initial submission have not changed except for the details related to the retaining wall. The changes in the forms were to address accuracy and consistency between the architectural drawings set and forms. Corrections to the details of the variances requested in the forms have been addressed as follows: Building height in the forms has been changed from 10.32m to 10.33m for consistency with dimensions in the architectural elevations. The requested minimum west interior side yard has been changed to 1.52m (setback measured from the porch) whereas initially it was noted as 1.65m (setback measured from the main building wall).</p> <p>On July 23, 2024, Zoning staff provided revised comments based on the documents submitted on July 15, 2024 and confirmed that the variances identified in the Zoning Review Waiver were accurate.</p>	
Committee of Adjustment Recommended Conditions of Approval:	None

BUILDING STANDARDS (ZONING)

**See Schedule B for Building Standards (Zoning) Comments

Building Standards Recommended Conditions of Approval:	None
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DEVELOPMENT PLANNING

**See Schedule B for Development Planning Comments. Application under Review.

Development Planning Recommended Conditions of Approval:	TBC
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DEVELOPMENT ENGINEERING

[Link to Grading Permit](#)
 [Link to Pool Permit](#)
 [Link to Curb Curt Permit](#)
 [Link Culvert Installation](#)

Due to the size of the proposed cabana on the subject property, which measures 215.48 m², the Owner/Applicant must acquire a Lot Grading Permit from the Development Inspection and Lot Grading Division of the City's Development Engineering Department. It's important note that any in-ground structure exceeding 10 m² necessitates a Grading Permit. Once the Grading Permit is obtained, please reach out to the Development Engineering Reviewer to clear the Condition imposed on this application. The Development Engineering Department does not object to the Minor Variance application A100/24, subject to the following condition(s):

Development Engineering Recommended Conditions of Approval:	<ol style="list-style-type: none"> 1. The Owner/Applicant shall submit an application and obtain an approved Grading Permit before initiating any work on the property. The Final Lot Grading and/or Servicing Plan will be required for the Grading Permit Application. Please visit the Permits page of the City of Vaughan's website: https://www.vaughan.ca/about-city-vaughan/departments/development-engineering/permits to apply for a Grading Permit. For any inquiries regarding the Grading Permit, please email DEPermits@vaughan.ca. 2. The Owner/Applicant shall initiate the relocation or upgrade of service connections by reaching out to the Development Inspection and Grading Department at serviceconnections@vaughan.ca or by requesting a cost estimate through the Service Request Form. The Service Request Form can be accessed in the Vaughan website at https://www.vaughan.ca/about-city-vaughan/departments/development-engineering/service-connections. The completed form should be accompanied by the final Lot Grading and Servicing Plan and sent via email at serviceconnections@vaughan.ca. The Owner/Applicant is responsible with covering all associated fees, including administration charges upon confirmation of the service connection estimates for the installation of necessary services. The service connection application process typically takes 4-6 weeks, so the Owner/Applicant is encouraged to allow sufficient time for the entire procedure to be completed.
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PARKS, FORESTRY & HORTICULTURE (PFH)

No comments received to date.

PFH Recommended Conditions of Approval:	None
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DEVELOPMENT FINANCE

That the payment of the City Development Charge is payable to the City of Vaughan prior to issuance of a building permit in accordance with the Development Charges Act and City-wide Development Charge By-law in effect at time of payment.

That the payment of Region of York Development Charge is payable to the City of Vaughan prior to issuance of a building permit in accordance with the Development Charges Act and Regional Development Charges By-laws in effect at time of payment.

That the payment of Education Development Charge is payable to the City of Vaughan prior to issuance of a building permit in accordance with the Education Act and York Region District School Board and York Catholic District School Board Development Charges By-laws in effect at time of payment.

DEVELOPMENT FINANCE

That the payment of applicable Area Specific Development Charges are payable to the City of Vaughan prior to issuance of a building permit in accordance with the Development Charges Act and Area Specific Development Charge By-laws in effect at time of payment.

Demolition development charge credits valid for a period of 48 months from date of demolition permit issuance. After 48 months, full development charges apply as per by-laws.

Development Finance Recommended Conditions of Approval:	None
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BY-LAW AND COMPLIANCE, LICENSING AND PERMIT SERVICES

No comments.

BCLPS Recommended Conditions of Approval:	None
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BUILDING INSPECTION (SEPTIC)

No comments received to date.

Building Inspection Recommended Conditions of Approval:	None
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FIRE DEPARTMENT

No comments received to date.

Fire Department Recommended Conditions of Approval:	None
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RECOMMENDED CONDITIONS OF APPROVAL SUMMARY

Should the Committee find it appropriate to approve this application in accordance with request and the sketch submitted with the application, as required by Ontario Regulation 200/96, the following conditions have been recommended:

#	DEPARTMENT / AGENCY	CONDITION
1	Development Planning Nicholas.delprete@vaughan.ca	TBC
2	Development Engineering Rex.bondad@vaughan.ca	<ol style="list-style-type: none"> 1. The Owner/Applicant shall submit an application and obtain an approved Grading Permit before initiating any work on the property. The Final Lot Grading and/or Servicing Plan will be required for the Grading Permit Application. Please visit the Permits page of the City of Vaughan's website: https://www.vaughan.ca/about-city-vaughan/departments/development-engineering/permits to apply for a Grading Permit. For any inquiries regarding the Grading Permit, please email DEPermits@vaughan.ca. 2. The Owner/Applicant shall initiate the relocation or upgrade of service connections by reaching out to the Development Inspection and Grading Department at serviceconnections@vaughan.ca or by requesting a cost estimate through the Service Request Form. The Service Request Form can be accessed in the Vaughan website at https://www.vaughan.ca/about-city-vaughan/departments/development-engineering/service-connections. The completed form should be accompanied by the final Lot Grading and Servicing Plan and sent via email at serviceconnections@vaughan.ca. The Owner/Applicant is responsible with covering all associated fees, including administration charges upon confirmation of the service connection estimates for the

RECOMMENDED CONDITIONS OF APPROVAL SUMMARY

Should the Committee find it appropriate to approve this application in accordance with request and the sketch submitted with the application, as required by Ontario Regulation 200/96, the following conditions have been recommended:

		installation of necessary services. The service connection application process typically takes 4-6 weeks, so the Owner/Applicant is encouraged to allow sufficient time for the entire procedure to be completed.
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All conditions of approval, unless otherwise stated, are considered to be incorporated into the approval "if required". If a condition is no longer required after an approval is final and binding, the condition may be waived by the respective department or agency requesting conditional approval. A condition cannot be waived without written consent from the respective department or agency.

IMPORTANT INFORMATION

CONDITIONS: It is the responsibility of the owner/applicant and/or authorized agent to obtain and provide a clearance letter from respective department and/or agency (**see condition chart above for contact**). This letter must be provided to the Secretary-Treasurer to be finalized. All conditions must be cleared prior to the issuance of a Building Permit.

APPROVALS: Making any changes to your proposal after a decision has been made may impact the validity of the Committee's decision.

An approval obtained from the Committee of Adjustment, where applicable, is tied to the building envelope shown on the plans and drawings submitted with the application and subject to the variance approval.

A building envelope is defined by the setbacks of the buildings and/or structures shown on the plans and drawings submitted with the application, as required by Ontario Regulation 200/96. Future development outside of an approved building envelope, where a minor variance was obtained, must comply with the provisions of the City's Zoning By-law.

Elevation drawings are provided to reflect the style of roof (i.e. flat, mansard, gable etc.) to which a building height variance has been applied. Where a height variance is approved, building height is applied to the style of roof (as defined in the City's Zoning By-law) shown on the elevation plans submitted with the application.

Architectural design features that are not regulated by the City's Zoning By-law are not to be considered part of an approval unless specified in the Committee's decision.

DEVELOPMENT CHARGES: That the payment of the Regional Development Charge, if required, is payable to the City of Vaughan before issuance of a building permit in accordance with the Development Charges Act and the Regional Development Charges By-law in effect at the time of payment.

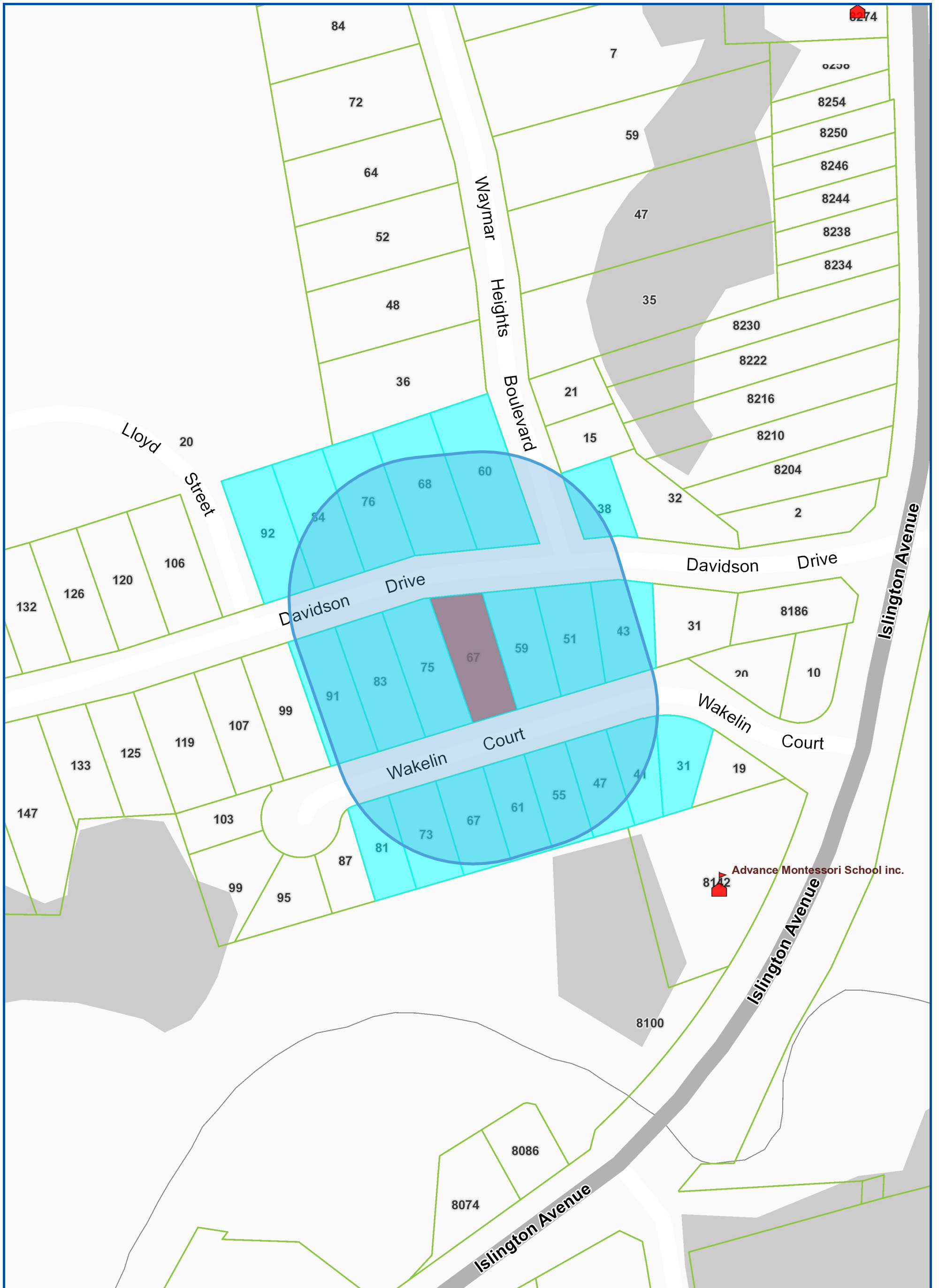
That the payment of the City Development Charge, if required, is payable to the City of Vaughan before issuance of a building permit in accordance with the Development Charges Act and the City's Development Charges By-law in effect at the time of payment.

That the payment of the Education Development Charge if required, is payable to the City of Vaughan before issuance of a building permit in accordance with the Development Charges Act and the Boards of Education By-laws in effect at the time of payment

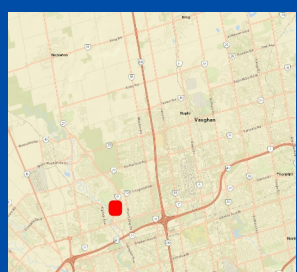
That the payment of Special Area Development charge, if required, is payable to the City of Vaughan before issuance of a building permit in accordance with the Development Charges Act and The City's Development Charge By-law in effect at the time of Building permit issuance to the satisfaction of the Reserves/Capital Department.

NOTICE OF DECISION: If you wish to be notified of the decision in respect to this application or a related Ontario Land Tribunal (OLT) hearing you must complete a Request for Decision form and submit to the Secretary Treasurer (ask staff for details). In the absence of a written request to be notified of the Committee's decision you will **not** receive notice.

SCHEDULE A: DRAWINGS & PLANS



Map Information:



Title: **67 Davidson Drive, Woodbridge**

NOTIFICATION MAP - A100/24

Disclaimer: Every reasonable effort has been made to ensure that the information appearing on this map is accurate and current. We believe the information to be reliable, however the City of Vaughan assumes no responsibility or liability due to errors or omissions. Please report any discrepancies to Infrastructure Programming.



Scale: **1:2,257**
 0 0.04 km



Created By:
 Infrastructure Delivery
 Department
 June 14, 2024 12:00 PM

Projection:
 NAD 83
 UTM Zone
 17N

Legend



MUNICIPAL OFFICES



COMMUNITY CENTRES

SCHOOLS



Public



Catholic



Private



EMERGENCY SERVICES



LIBRARIES



SHOPPING CENTRES



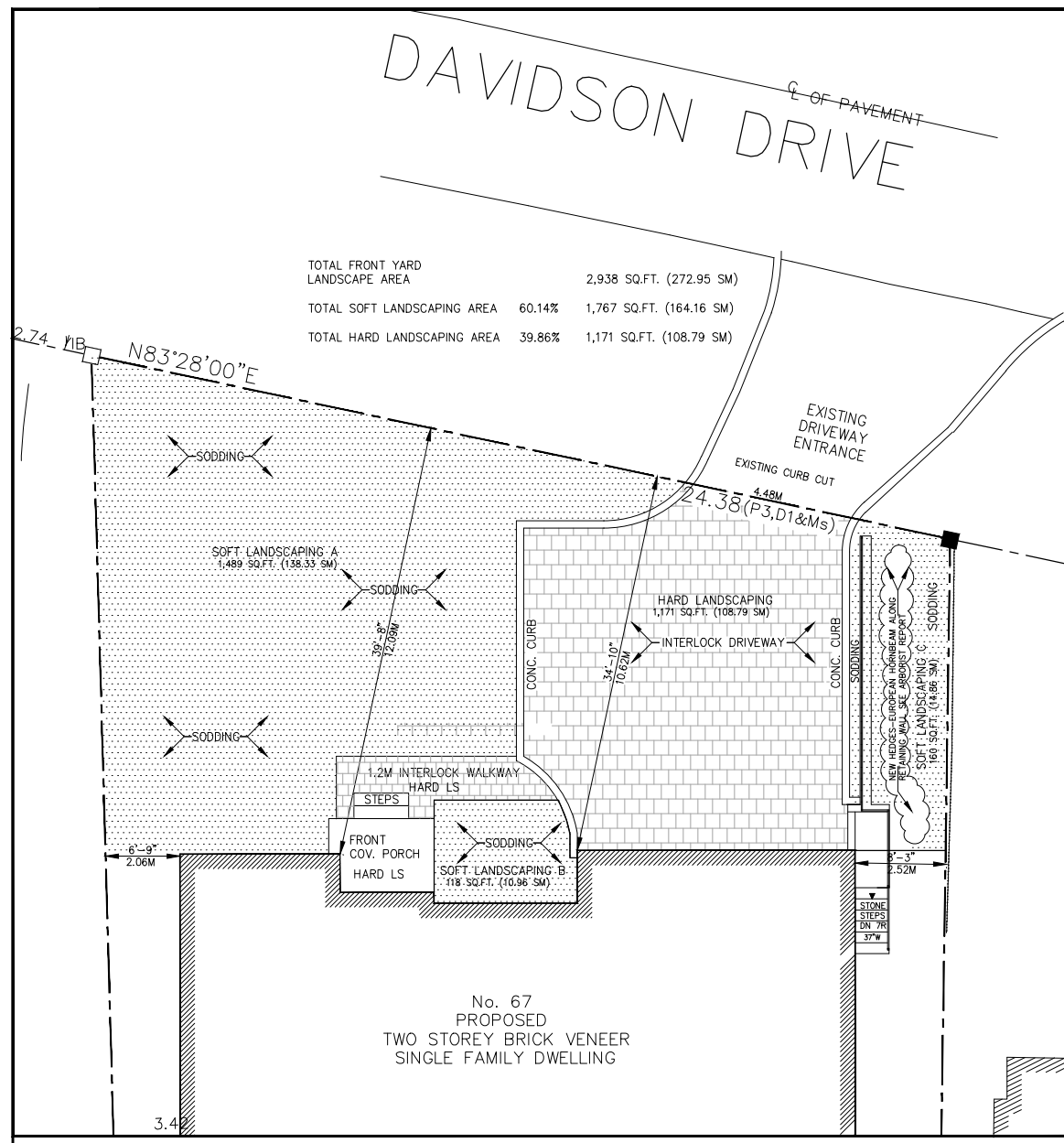
ENTERTAINMENT & CULTURE



Parcels

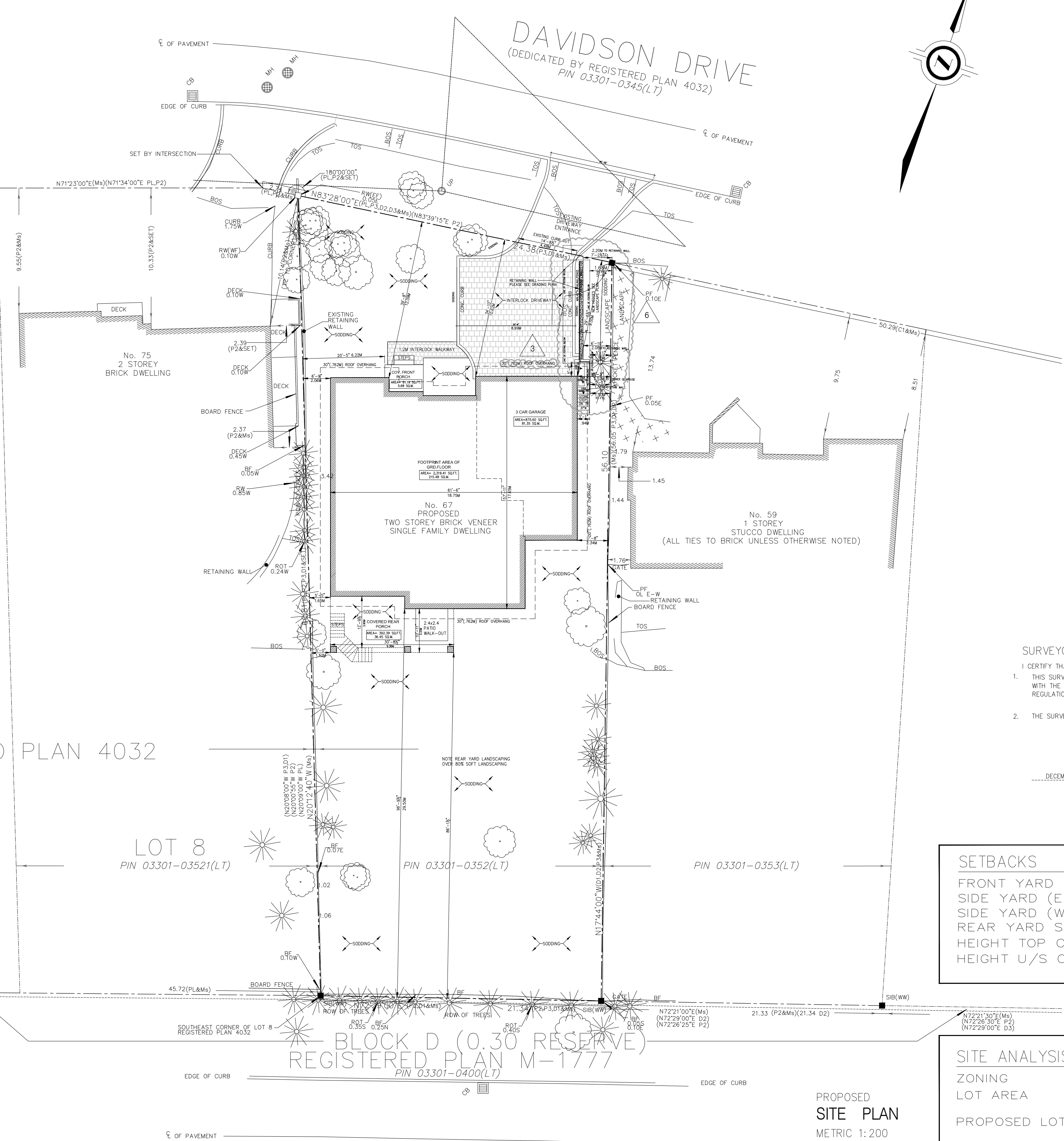
RECEIVED

By Christine Vigneault at 10:19 am, Jul 19, 2024



PROPOSED FRONT YARD LANDSCAPE PLAN

No. 83
1 STOREY
BRICK DWELLING



PROPOSED SITE PLAN
METRIC 1:200

WAKELIN COURT
(DEDICATED BY REGISTERED PLAN M-1777)
PIN 03301-0445(LT)

SURVEYOR'S REAL PROPERTY REPORT
PART 1 - PLAN OF SURVEY OF
PART OF LOT 8
CONCESSION 7
GEOGRAPHIC TOWNSHIP OF VAUGHAN
NOW IN THE
CITY OF VAUGHAN
REGIONAL MUNICIPALITY OF YORK
SCALE = 1:200m

GUIDO PAPA SURVEYING
A DIVISION OF J.D. BARNES LIMITED
© COPYRIGHT 2023

METRIC DISTANCES SHOWN ON THIS PLAN ARE IN METRES AND CAN BE CONVERTED TO FEET BY DIVIDING BY 0.3048.

PART 2 - SURVEY REPORT
DESCRIPTION
MUNICIPALLY KNOWN AS No. 67 DAVIDSON DRIVE
PART OF LOT 8, CONCESSION 7
CITY OF VAUGHAN
REGIONAL MUNICIPALITY OF YORK
EASEMENTS OR RIGHT OF WAY
- NONE
COMPLIANCE WITH MUNICIPAL ZONING BY-LAWS
NO INVESTIGATION WITH RESPECT TO MUNICIPAL ZONING REQUIRED HAS BEEN MADE IN CONNECTION WITH REPORT.
ADDITIONAL REMARKS
- THE FENCES ARE AS SHOWN ON THE SURVEY PLAN.

GEODETIC
ELEVATIONS SHOWN ON THIS PLAN ARE RELATED TO THE GEODETIC DATUM AND ARE DERIVED FROM THE CITY OF VAUGHAN BENCH MARK No. 44-27 HAVING A PUBLISHED ELEVATION OF 142.891 METRES, (COORDS-78 ADJUSTMENT).

NOTES
THIS REPORT HAS BEEN PREPARED FOR "NAPA DESIGN GROUP INC." AND GUIDO PAPA SURVEYING - A DIVISION OF J.D. BARNES LTD. ACCEPTS NO RESPONSIBILITY FOR USE BY OTHER PARTIES.
GUIDO PAPA SURVEYING - A DIVISION OF J.D. BARNES LTD. IS NOT LIABLE FOR USE OF THIS REPORT BY ANY PARTY OR PARTIES FOR FUTURE TRANSACTIONS OR FOR ANY UNRELATED PURPOSES.
THIS REPORT REFLECTS CONDITIONS AT TIME OF SURVEY. UPDATING MAY BE REQUIRED TO ISSUE ADDITIONAL COPIES SUBSEQUENTLY TO DATE OF THE SURVEYOR'S CERTIFICATE.

NOTES
BEARINGS ARE UTM GRID AND DERIVED FROM SPECIFIC CONTROL POINTS (SCPs) 10519980176 AND 10519980182, UTM ZONE 17, NAD83 (CSRS)(2010.0).
DISTANCES ARE GROUND AND CAN BE CONVERTED TO GRID BY MULTIPLYING BY THE COMBINED SCALE FACTOR OF 0.999741.
FOR BEARING COMPARISONS, A ROTATION OF 0°49'45" COUNTER-CLOCKWISE WAS APPLIED TO BEARINGS ON PL AND P2.
FOR BEARING COMPARISONS, A ROTATION OF 0°57'50" COUNTER-CLOCKWISE WAS APPLIED TO BEARINGS ON P1.
FOR BEARING COMPARISONS, A ROTATION OF 2°45'00" COUNTER-CLOCKWISE WAS APPLIED TO BEARINGS ON P3.

INTEGRATION DATA

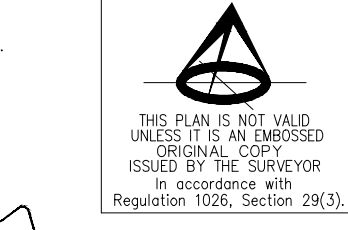
POINT ID	EASTING	NORTHING
SCP 10519980176	612 765.80	4 848 818.17
SCP 10519980182	612 530.21	4 849 907.59

COORDINATES CANNOT IN THEMSELVES, BE USED TO RE-ESTABLISH CORNERS OR BOUNDARIES SHOWN ON THIS PLAN.

THE RESULTANT TIE BETWEEN SCPS 10519980176 AND 10519980182 IS 1114.88 N121°21'0"W

SURVEYOR'S CERTIFICATE

I CERTIFY THAT:
1. THIS SURVEY AND PLAN ARE CORRECT AND IN ACCORDANCE WITH THE SURVEYS ACT AND THE SURVEYORS ACT AND THE REGULATIONS MADE UNDER THEM.
2. THE SURVEY WAS COMPLETED ON DECEMBER 4, 2023.



DECEMBER 8, 2023
DATE

VALERIO C. PAPA
ONTARIO LAND SURVEYOR

SETBACKS

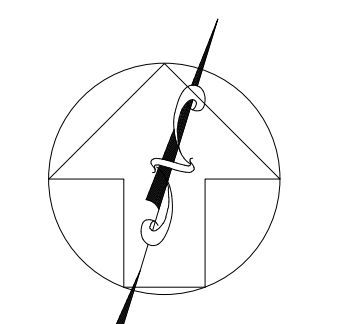
FRONT YARD SETBACK (NORTH)	PROP.	9.00M
SIDE YARD (EAST) SETBACK	PROP.	2.34M
SIDE YARD (WEST) SETBACK	PROP.	1.65M
REAR YARD SETBACK (SOUTH)	PROP.	29.50M
HEIGHT TOP OF ROOF	PROP.	8.62M
HEIGHT U/S OF SOFFIT	PROP.	7.05M

SITE ANALYSIS

ZONING	---
LOT AREA	1,317.82 SQ.M.
PROPOSED LOT COV.	25.72%
PROP. GRD. FLOOR AREA	215.48 SQ.M.
PROP. 2ND FLOOR AREA	176.43 SQ.M.
PROP. FRONT PORCH AREA	5.68 SQ.M.
PROP. REAR PORCH AREA	36.45 SQ.M.
PROP. 3 CAR GARAGE AREA	81.35 SQ.M.
TOTAL FOOTPRINT	338.96 SQ.M.
PERCENT COVERAGE	25.72%
TOTAL GRD. & 2ND FLOOR AREA	392.01 SQ.M.

GENERAL NOTES

ALL DRAWINGS ARE THE PROPERTY OF THE DESIGNER AND THEY ARE NOT TO BE REPRODUCED IN WHOLE OR IN PART WITHOUT WRITTEN CONSENT FROM THE DESIGNER.
CONTRACTOR TO CHECK AND VERIFY ALL DIMENSIONS BEFORE COMMENCING WORK AND TO REPORT ANY DISCREPANCIES TO THE DESIGNER.
DO NOT SCALE DRAWINGS.
ALL CONSTRUCTION TO BE ACCORDING TO BEST COMMON PRACTICE AND CONFORM TO THE ONTARIO BUILDING CODE.



The undersigned has reviewed and takes responsibility for this design, and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.
Required unless design is exempt under 2.17.4.1 of the Building Code
QUALIFICATION INFORMATION
REGISTRATION INFORMATION
Roland Tracy Inc. 33962
REG. NO. 33346
REG. DATE 2008



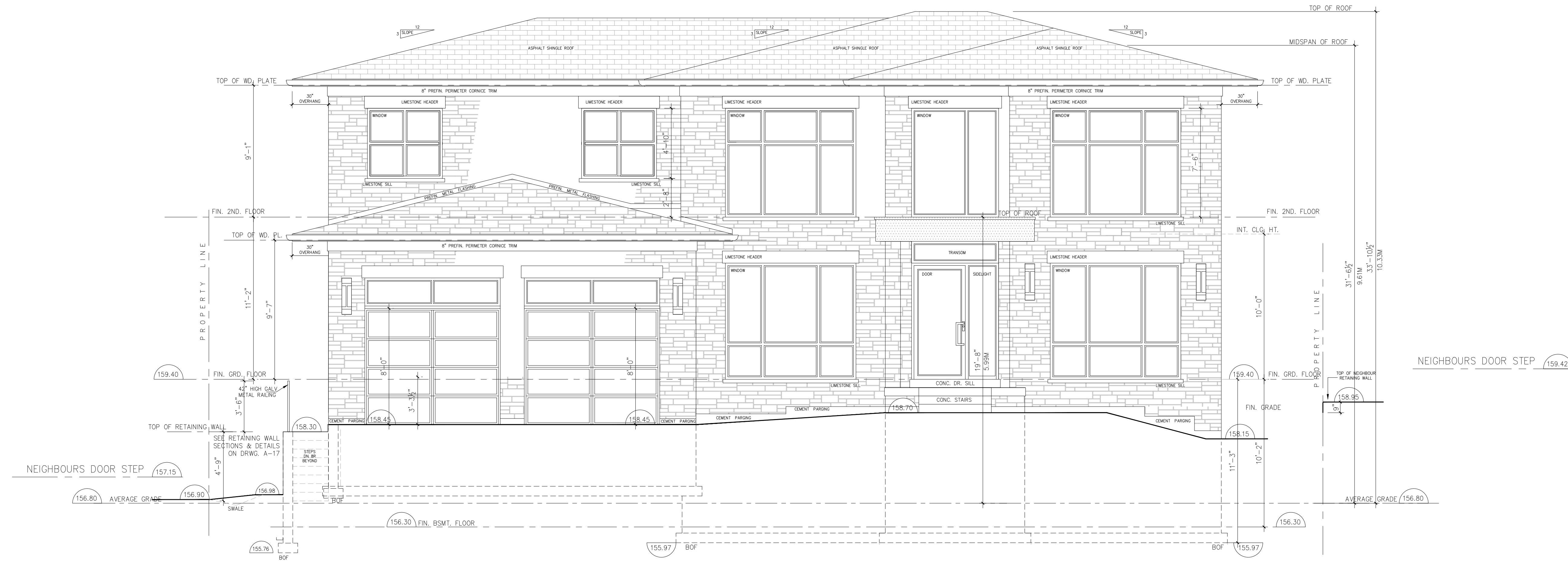
No.	REVISION / ISSUE	DATE
8		
7		
6	ADD DIM. TO RET.WALL/ZONING	18 JUL/24
5	RET WALL REV/ENG./PLANNING	15 JUL/24
4	RET WALL REV/ENG./PLANNING	11 JUL/24
3	REVISED PER ZONING NOTICE	24 MAY/24
2	REVISED	26 APR/24
1	ISSUED FOR REVIEW	24 MAR/24

NAPA design
Napa Design Group Inc.
47 Loweswater Ave.
Unionville, Ontario, L3R7W8
lou@napadg.com
905 477 3633 M 416 930 6337

Project
PROPOSED NEW TWO STOREY RESIDENCE
67 DAVIDSON DRIVE
VAUGHAN, ONTARIO
L4L 1M2

Drawing Name
PROPOSED SITE PLAN LANDSCAPE PLAN

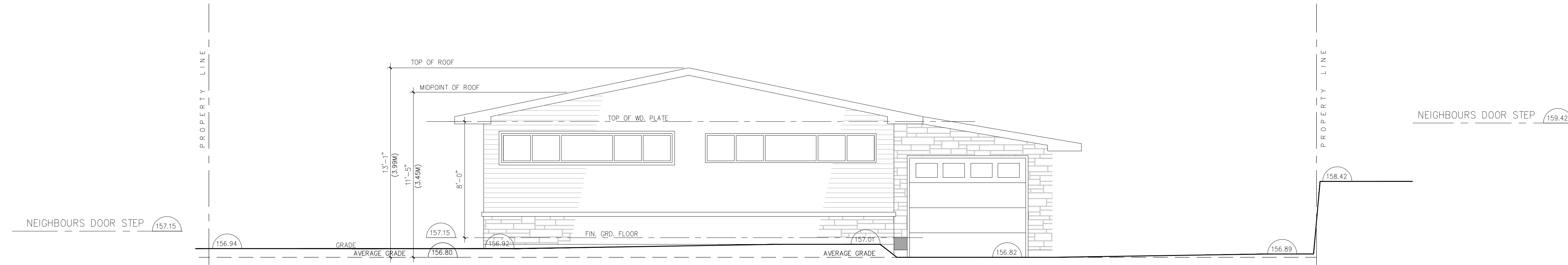
Drawing by LP	Project No. 24 - ----
Date JAN, 2024	Drawing No. A-1
Scale METRIC 1:200	
Checked LP	



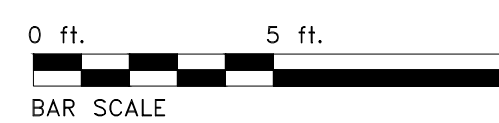
NOTE
 TOTAL WALL AREA = 6,117.60 SQ.FT.
 TOTAL WINDOW AREA = 995.20 SQ.FT.
 PERCENT GLAZING = 16.27% (See EEDS)

PROPOSED
 NORTH ELEVATION
 SCALE 1/4"=1'-0"

AREA 1413.2 SF 457.3 SF WINDOWS 32.4%
 WINDOW WALL LIMITING DISTANCE = STREET
 ALLOWABLE GLAZING = 100%

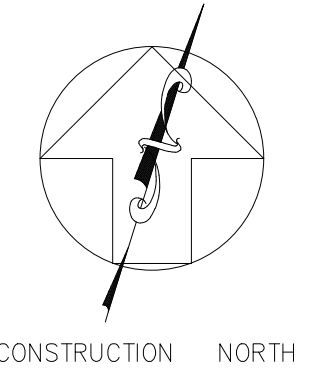


EXISTING BUNGALOW
 NORTH ELEVATION
 SCALE 1/4"=1'-0"



GENERAL NOTES

ALL DRAWINGS ARE THE PROPERTY OF THE DESIGNER AND THEY ARE NOT TO BE REPRODUCED IN WHOLE OR IN PART WITHOUT WRITTEN CONSENT FROM THE DESIGNER.
 CONTRACTOR TO CHECK AND VERIFY ALL DIMENSIONS BEFORE COMMENCING WORK AND TO REPORT ANY DISCREPANCIES TO THE DESIGNER.
 DO NOT SCALE DRAWINGS.
 ALL CONSTRUCTION TO BE ACCORDING TO BEST COMMON PRACTICE AND CONFORM TO THE ONTARIO BUILDING CODE.



The undersigned has reviewed and takes responsibility for this design, and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.
 QUALIFICATION INFORMATION
 Required unless design is exempt under 2.17.5.1 of the Building Code
 ROLAND TRACY 30982
 REG. NO. 30982
 REG. DATE 11 JULY 2024
 Required unless design is exempt under 2.17.4.1 of the Building Code
 TRACON SERVICES INC. 23348
 REG. NO. 23348



No.	REVISION / ISSUE	DATE
8		
7		
6	SHOW HT OF FRONT PORCH	15 JUL/24
5	REV RETAIN WALL	11 JUL/24
4	ISSUED FOR PERMIT	04 JUL/24
3	REVISED PER GRADING PLAN	29 JUN/24
2	REVISED PER ZONING/COA	21 JUN/24
1	ISSUED FOR REVIEW	24 MAR/24

NAPA design
 Napa Design Group Inc.
 47 Loweswater Ave.
 Unionville, Ontario, L3R7W8
 tou@napadg.com
 e 905-477-3653 n 416-930-6337

Project
 PROPOSED NEW
 TWO STOREY RESIDENCE
 67 DAVIDSON DRIVE
 VAUGHAN, ONTARIO
 L4L 1M2

Drawing Name PROPOSED NORTH ELEVATION STUDY OPTION "E"	
Drawing by BA	Project No. 24 - XXX
Date JAN, 2024	Drawing No.
Scale 1/4" = 1' - 0"	A-6
Checked	

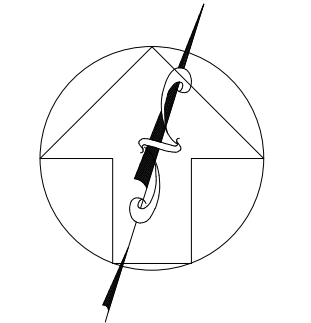
GENERAL NOTES

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CONTRACTOR TO CHECK AND VERIFY ALL DIMENSIONS BEFORE COMMENCING WORK AND TO REPORT ANY DISCREPANCIES TO THE DESIGNER.

DO NOT SCALE DRAWINGS.

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CONSTRUCTION NORTH

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QUALIFICATION INFORMATION
 Required unless design is exempt under 2.17.5.1 of the Building Code
 ROLAND TRACY 30962
 REGISTRATION INFORMATION
 Required unless design is exempt under 2.17.4.1 of the Building Code
 TRACON Services Inc. 23348
 8/1/2024



No.	REVISION / ISSUE	DATE
8		
7		
6		
5	SHOW HT OF REAR PORCH	15 JUL/24
4	REV RETAIN WALL	11 JUL/24
3	ISSUED FOR PERMIT	04 JUL/24
2	RAILINGS REVISED	09 MAY/24
1	ISSUED FOR REVIEW	24 MAR/24

NAPA design

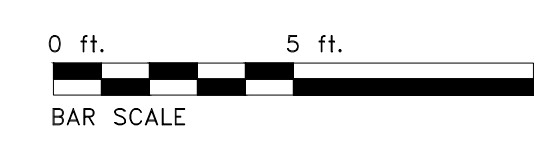
Napa Design Group Inc.
 47 Loweswater Ave.
 Unionville, Ontario, L3R7W8
 lou@napadg.com
 e 905 477 3633 n 416 930 6337

Project

PROPOSED NEW TWO STOREY RESIDENCE

67 DAVIDSON DRIVE
 VAUGHAN, ONTARIO
 L4L 1M2

Drawing Name PROPOSED EAST ELEVATION STUDY OPTION "E"	
Drawing by BA	Project No. 24 - XXX
Date JAN, 2024	Drawing No. A-7
Scale 1/4" = 1' - 0"	
Checked	



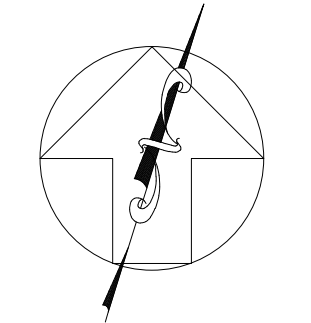
GENERAL NOTES

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QUALIFICATION INFORMATION
 Required unless design is exempt under 2.17.5.1 of the Building Code
 ROLAND TRACY 3092
 REG. NO. 3092
 REG. DATE 14 JULY 2024
 REGISTRATION INFORMATION
 Required unless design is exempt under 2.17.4.1 of the Building Code
 TRACON Services Inc. 2248
 REG. NO. 2248
 REG. DATE 01 JUN 2018



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3	ISSUED FOR PERMIT	04 JUL/24
2	RAILINGS REVISED	09 MAY/24
1	ISSUED FOR REVIEW	24 MAR/24
No.	REVISION / ISSUE	DATE

NAPA design

Napa Design Group Inc.
 47 Loweswater Ave.
 Unionville, Ontario, L3R7W8
 tou@napadg.com
 e 905-477-3633 M 416-930-6337

Project

PROPOSED NEW TWO STOREY RESIDENCE

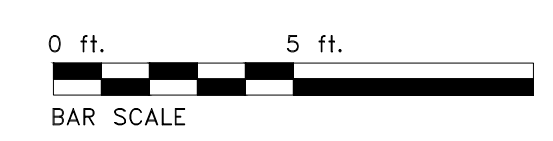
67 DAVIDSON DRIVE
 VAUGHAN, ONTARIO
 L4L 1M2

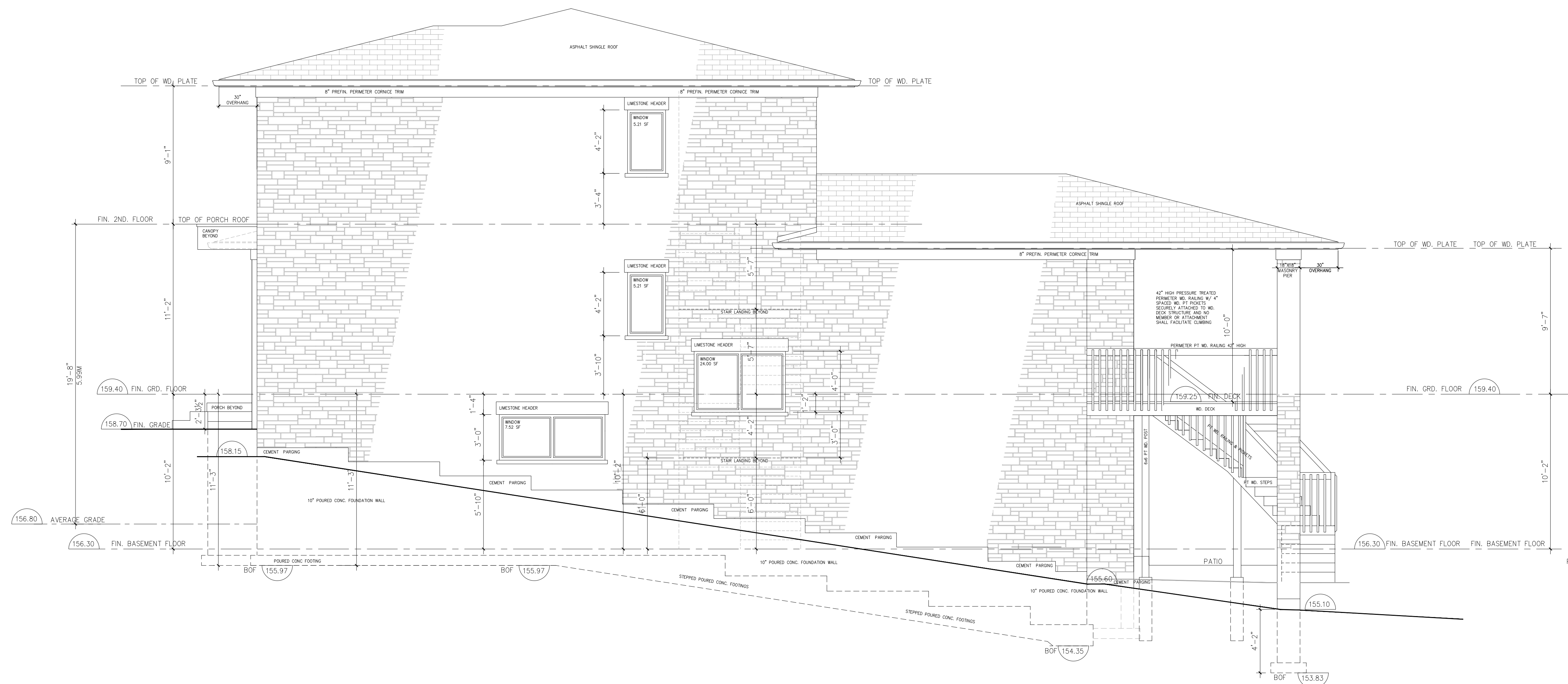
Drawing Name	
PROPOSED SOUTH ELEVATION	
Drawing by	Project No.
BA	24 - XXX
Date	Drawing No.
JAN, 2024	
Scale	A-8
1/4" = 1' - 0"	
Checked	



PROPOSED SOUTH ELEVATION
 SCALE 1/4"=1'-0"

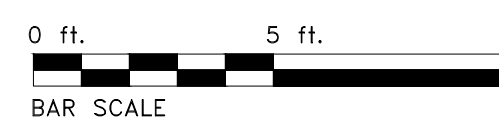
AREA 1950 SF 414.8 SF WINDOWS 21.3%
 WINDOW WALL LIMITING DISTANCE = 31.1 M
 ALLOWABLE GLAZING = 100%





PROPOSED
WEST ELEVATION
SCALE 1/4"=1'-0"

AREA 1402.4 SF 41.94 SF WINDOWS 3.00%
WINDOW WALL LIMITING DISTANCE = 1.47 M
ALLOWABLE GLAZING = 7.7%



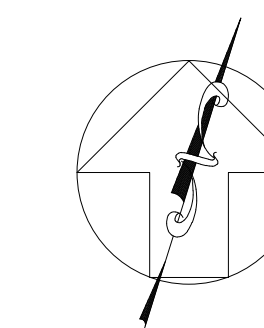
GENERAL NOTES

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QUALIFICATION INFORMATION
Required unless design is exempt under 2.17.5.1 of the Building Code
ROLAND TRACY 30962
REGISTRATION INFORMATION
Required unless design is exempt under 2.17.4.1 of the Building Code
TRACON Services Inc. 22388
30962
30962



No.	REVISION / ISSUE	DATE
8		
7		
6	WINDOW GLAZING OPENING REV.	18 JUL/24
5	SHOW HT OF FRONT PORCH	15 JUL/24
4	ISSUED FOR PERMIT	04 JUL/24
3	REVISED PER GRADING PLAN	29 JUN/24
2	RAILINGS REVISED	09 MAY/24
1	ISSUED FOR REVIEW	24 MAR/24



Napa Design Group Inc.
47 Loweswater Ave.
Unionville, Ontario, L3R7W8
lou@napadg.com
e 905-477-3633 n 416-930-6337

Project

PROPOSED NEW
TWO STOREY RESIDENCE

67 DAVIDSON DRIVE
VAUGHAN, ONTARIO
L4L 1M2

Drawing Name
PROPOSED
WEST ELEVATION
STUDY OPTION "E"

Drawing by
BA
Project No.
24 - XXX

Date
JAN, 2024
Drawing No.

Scale
1/4" = 1' - 0"

Checked

A-9

GENERAL NOTES

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QUALIFICATION INFORMATION
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 ROLAND TRACY / *[Signature]* 30962
 REGISTRATION INFORMATION
 Required unless design is exempt under 2.17.4.1 of the Building Code
 TRACON Services Inc. 22348
 REGISTRATION INFORMATION
 TRACON Services Inc. 22348



8		
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3	ISSUED FOR PERMIT	04 JUL/24
2	REVISED	21 JUNE/24
1	ISSUED FOR REVIEW	24 MAR/24
No.	REVISION / ISSUE	DATE

NAPA design

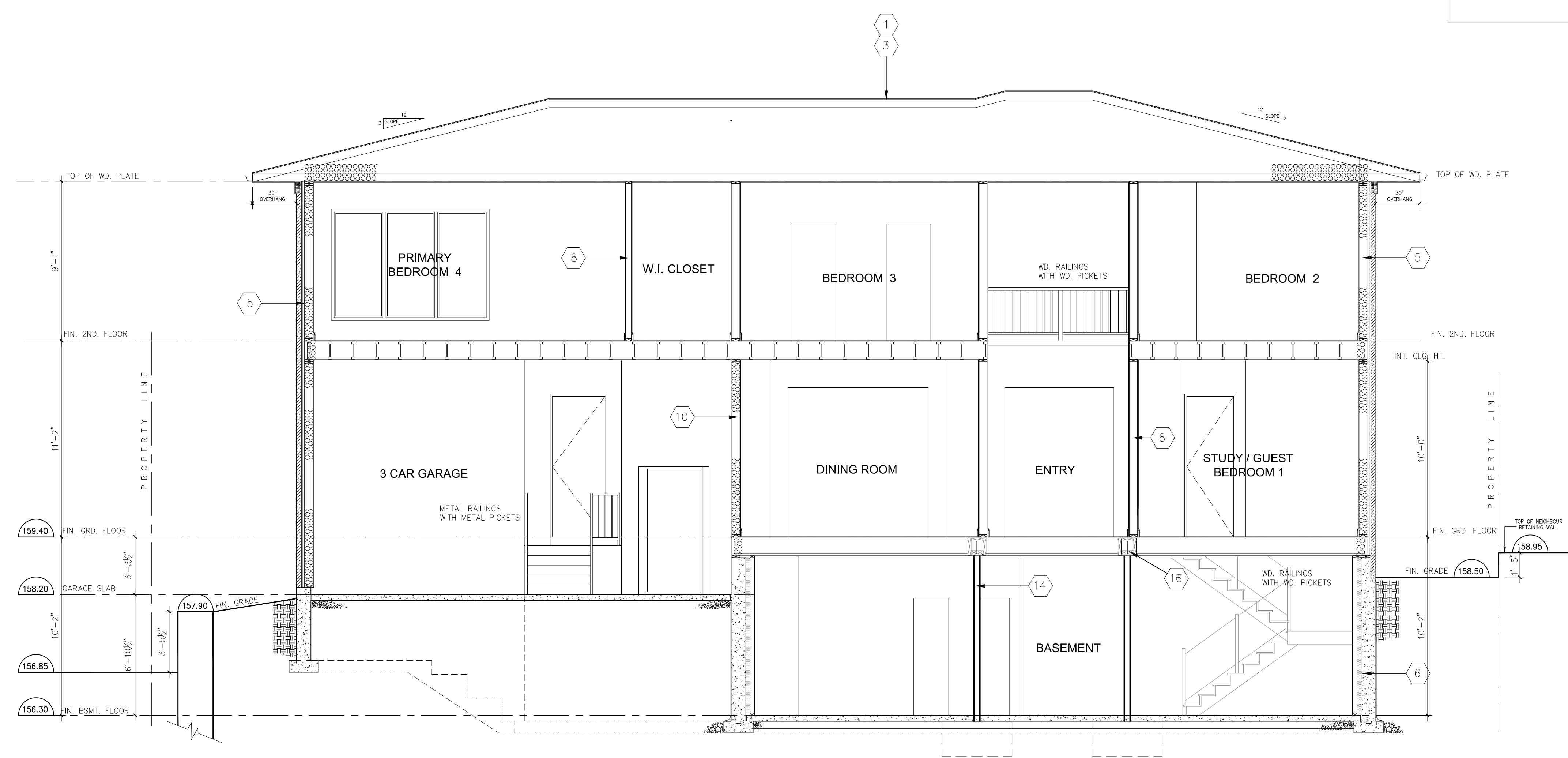
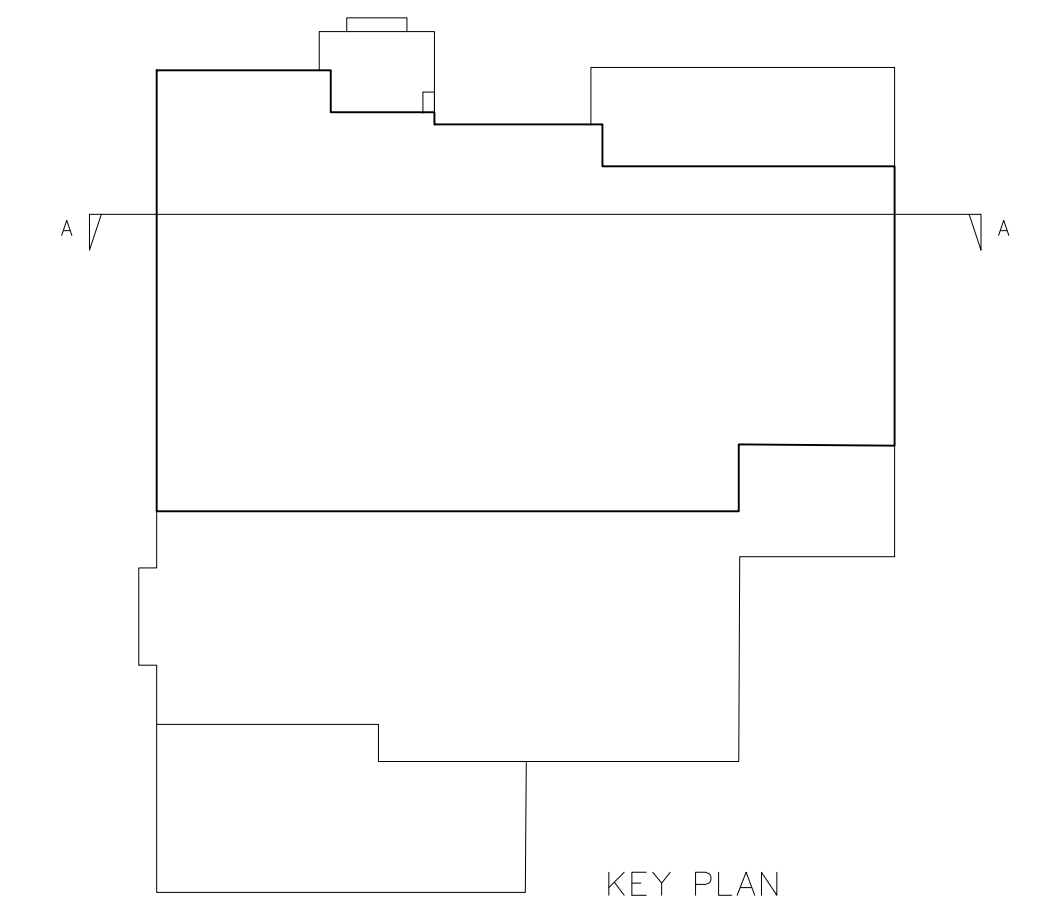
Napa Design Group Inc.
 47 Loweswater Ave.
 Unionville, Ontario, L3R7W8
 lou@napadg.com
 e 905-477-3653 | n 416-930-6337

Project

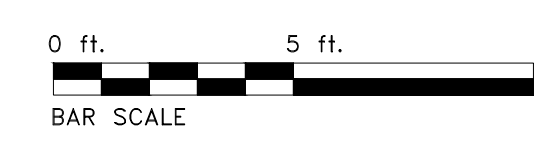
PROPOSED NEW TWO STOREY RESIDENCE

67 DAVIDSON DRIVE
 VAUGHAN, ONTARIO
 L4L 1M2

Drawing Name	
BUILDING SECTION	
Drawing by	Project No.
BA	24 - XXX
Date	Drawing No.
MAR, 2024	A-10
Scale	
1/4" = 1' - 0"	
Checked	



SECTION A-A
 SCALE 1/4" = 1'-0"



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 ROLAND TRACY 3092
 REGISTRATION INFORMATION
 Required unless design is exempt under 2.17.4.1 of the Building Code
 TRACON Services Inc. 22488
 8/1/2024



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2	ISSUED FOR PERMIT	04 JUL/24
1	ISSUED FOR REVIEW	24 MAR/24
No.	REVISION / ISSUE	DATE

NAPA design

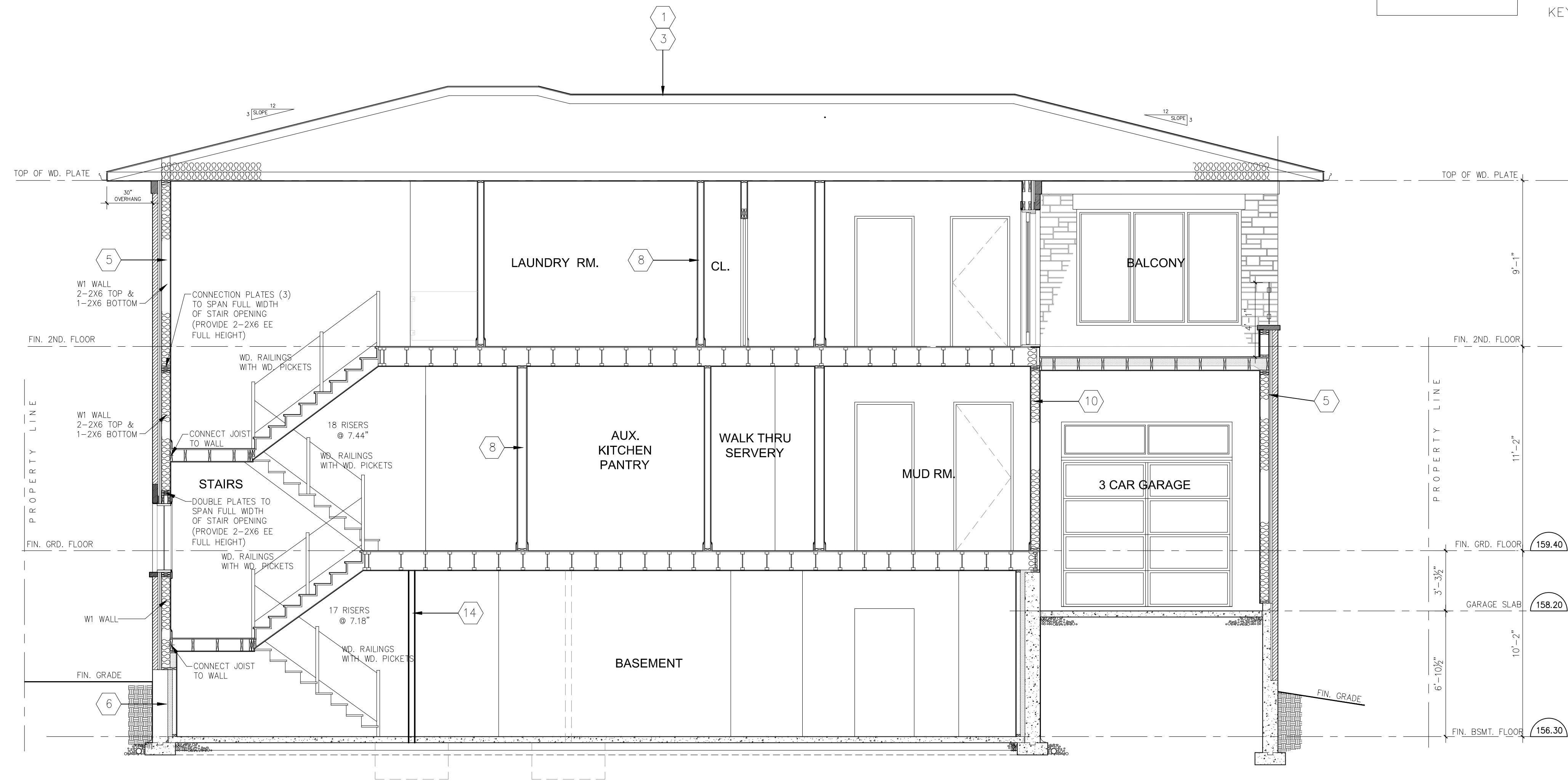
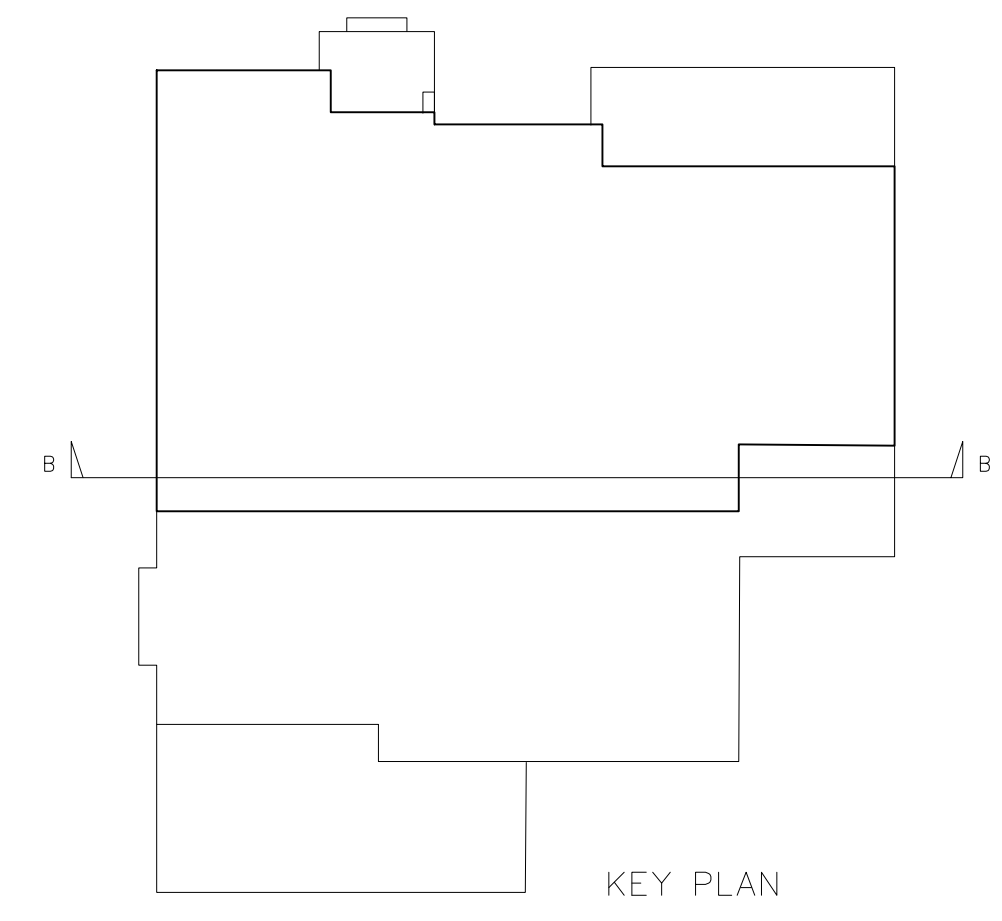
Napa Design Group Inc.
 47 Loweswater Ave.
 Unionville, Ontario, L3R7W8
 lou@napadg.com
 e 905-477-3653 | f 416-930-6337

Project

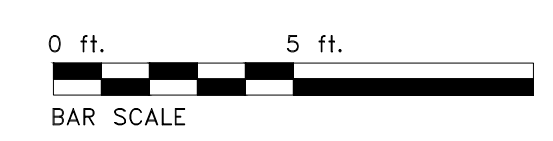
PROPOSED NEW TWO STOREY RESIDENCE

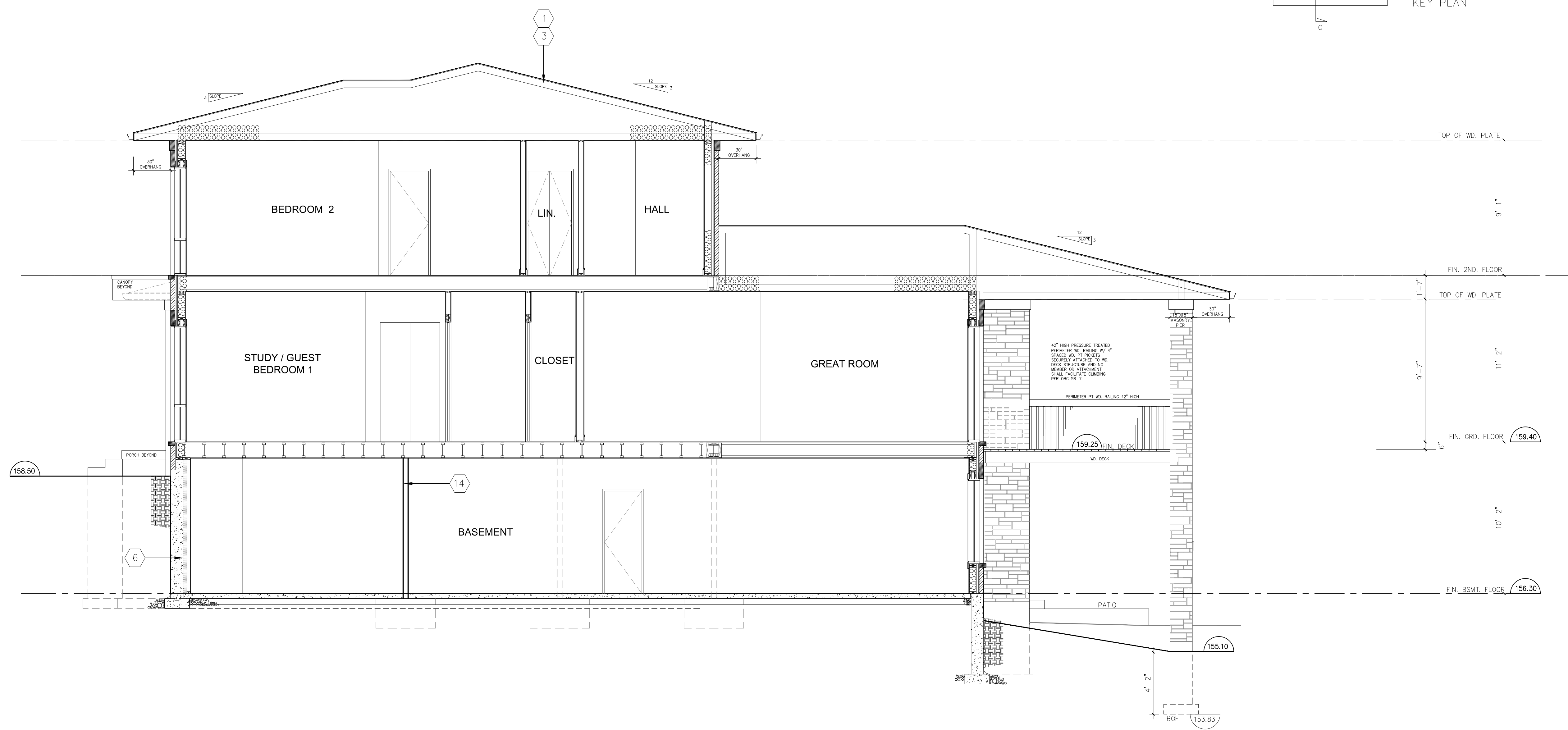
67 DAVIDSON DRIVE
 VAUGHAN, ONTARIO
 L4L 1M2

Drawing Name BUILDING SECTION	
Drawn by BA	Project No. 24 - XXX
Date MAR, 2024	Drawing No.
Scale 1/4" = 1' - 0"	A-11
Checked	

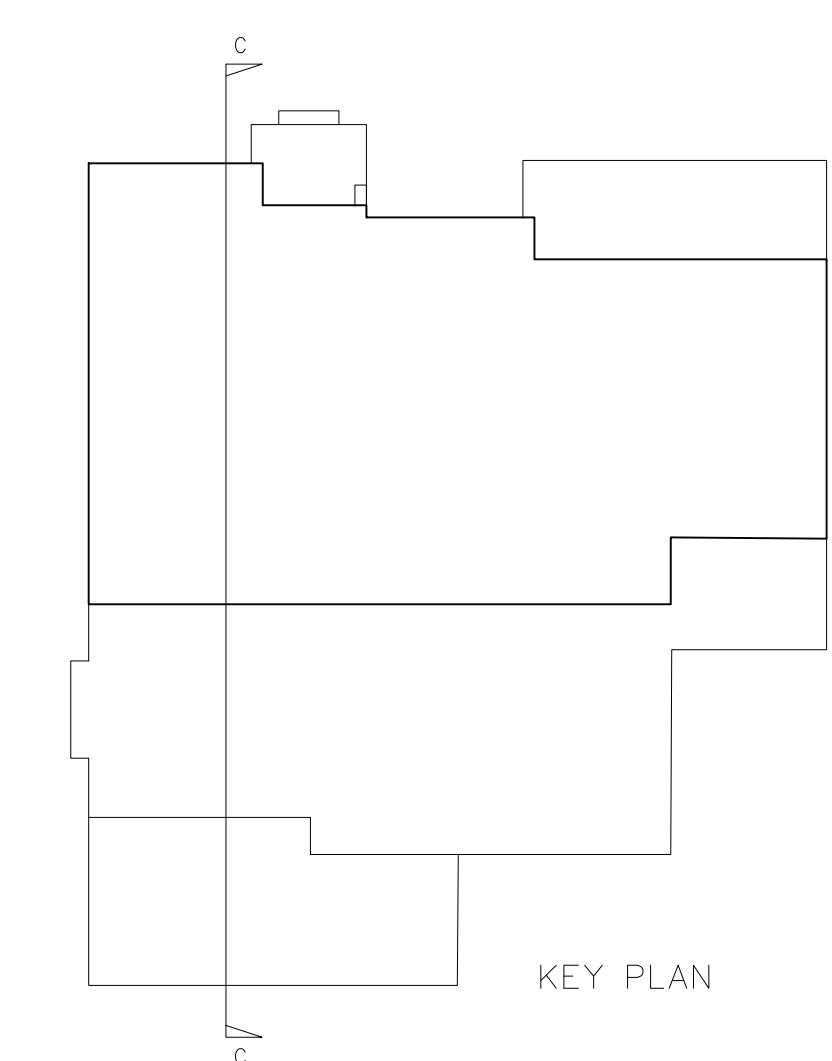


SECTION B-B
 SCALE 1/4" = 1'-0"





SECTION C-C
SCALE 1/4" = 1'-0"



KEY PLAN

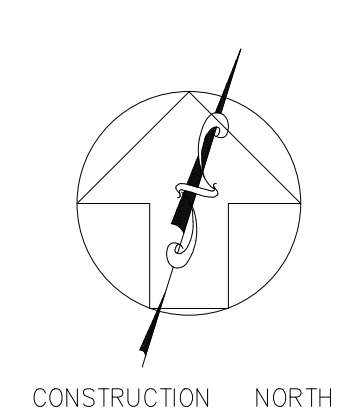
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QUALIFICATION INFORMATION
Required unless design is exempt under 2.17.5.1 of the Building Code

ROLAND TRACY
PROFESSIONAL ENGINEER
REG. NO. 30962
DATE 24 JULY 2024

REGISTRATION INFORMATION
Required unless design is exempt under 2.17.4.1 of the Building Code

TRACON Services Inc.
REG. NO. 23348
DATE 24 MAR 2024



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3	ISSUED FOR PERMIT	04 JUL/24
2	REVISED	21 JUN/24
1	ISSUED FOR REVIEW	24 MAR/24
No.	REVISION / ISSUE	DATE

NAPA design

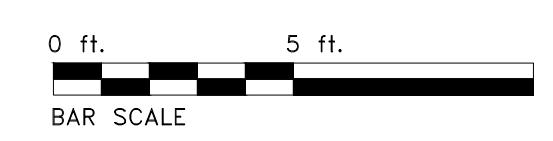
Napa Design Group Inc.
47 Loweswater Ave.
Unionville, Ontario, L3R7W8
lou@napadg.com
e 905-477-3633 | 416-930-6337

Project

PROPOSED NEW TWO STOREY RESIDENCE

67 DAVIDSON DRIVE
VAUGHAN, ONTARIO
L4L 1M2

Drawing Name	
BUILDING SECTION	
Drawing by BA	Project No. 24 - XXX
Date MAR, 2024	Drawing No. A-12
Scale 1/4" = 1' - 0"	
Checked	



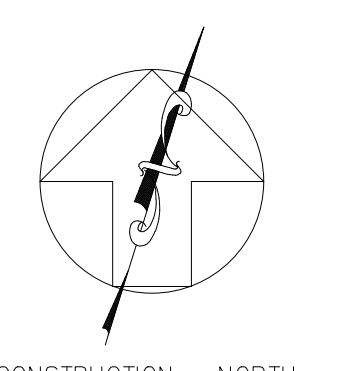
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CONSTRUCTION NORTH

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QUALIFICATION INFORMATION
 Required unless design is exempt under 2.17.5.1 of the Building Code

ROLAND TRACY 30962
 ARCHITECT

REGISTRATION INFORMATION
 Required unless design is exempt under 2.17.4.1 of the Building Code

TRACON Services Inc. 23348
 ENGINEER



8		
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2	ISSUED FOR PERMIT	04 JUL/24
1	ISSUED FOR REVIEW	24 MAR/24
No.	REVISION / ISSUE	DATE

NAPA design

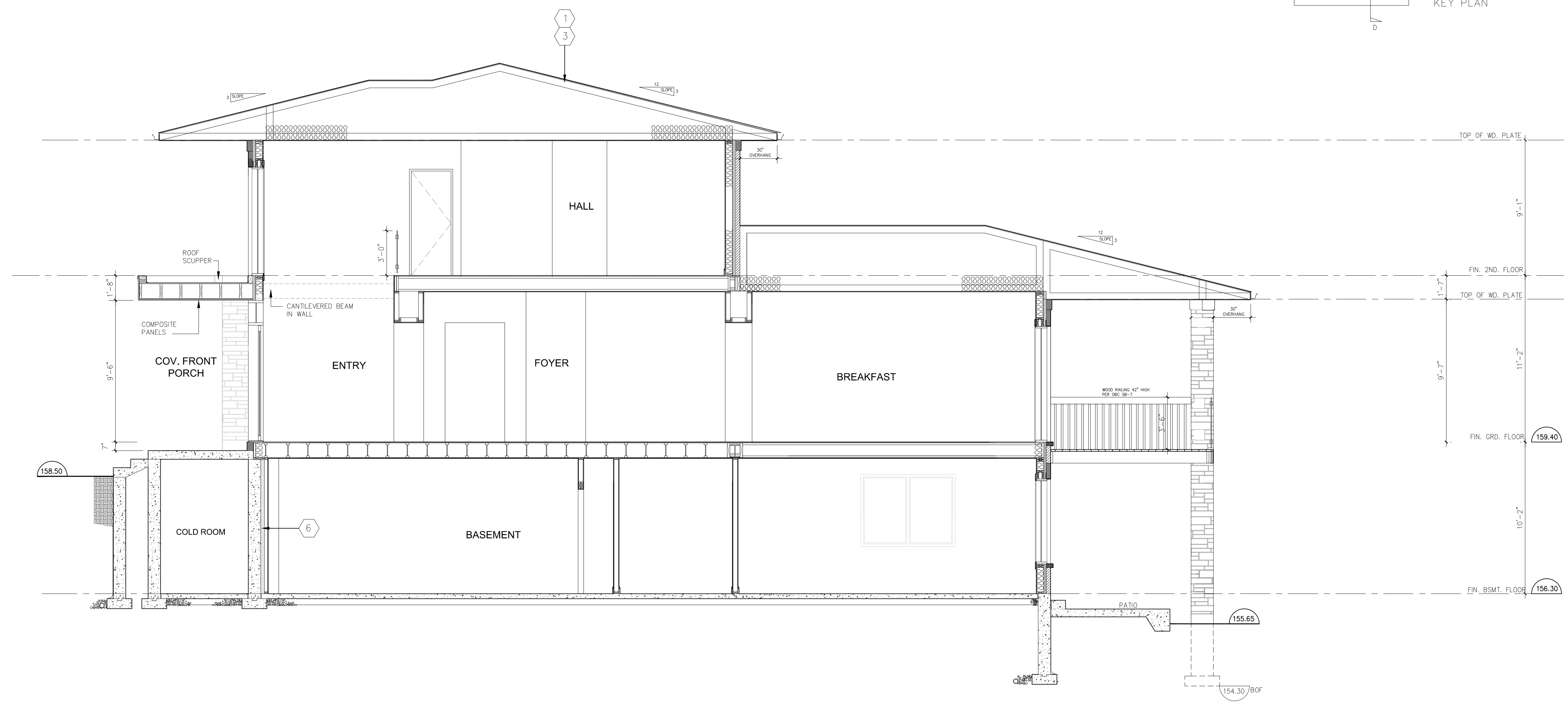
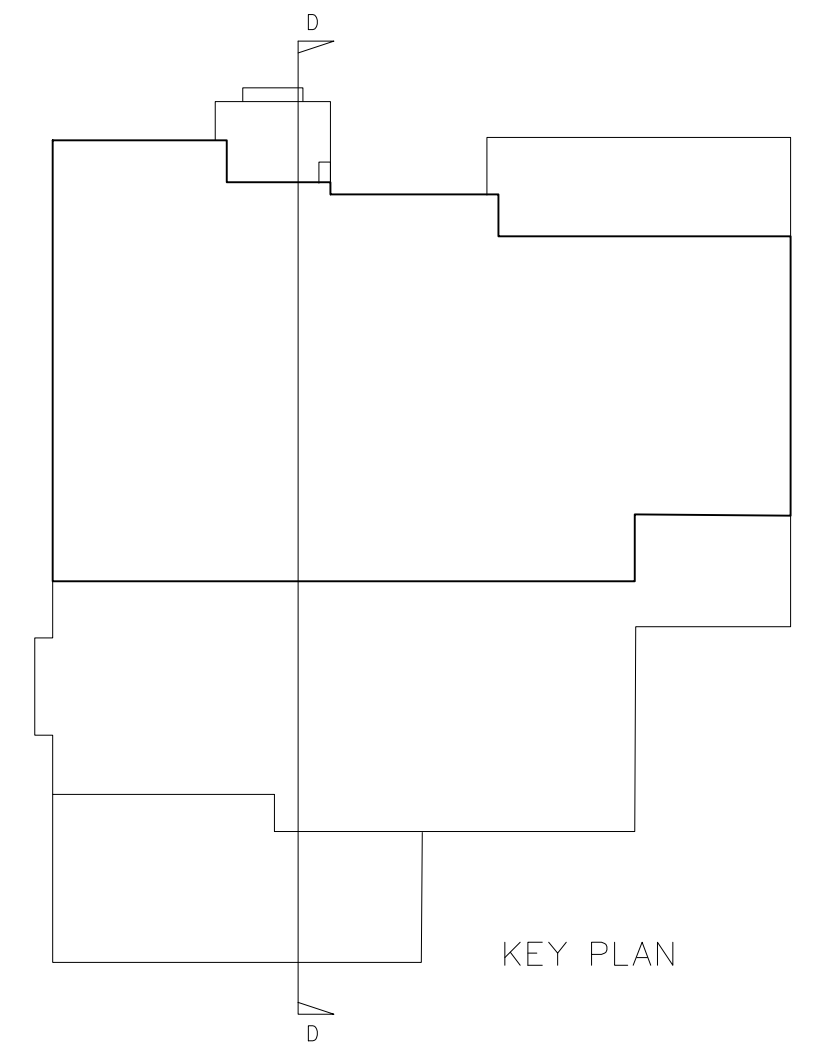
Napa Design Group Inc.
 47 Loweswater Ave.
 Unionville, Ontario, L3R7W8
 lou@napadg.com
 e 905-477-3633 M 416-930-6337

Project

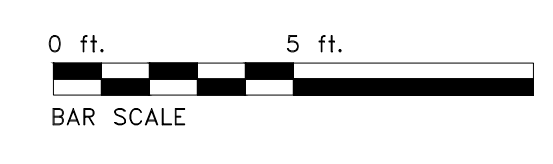
PROPOSED NEW TWO STOREY RESIDENCE

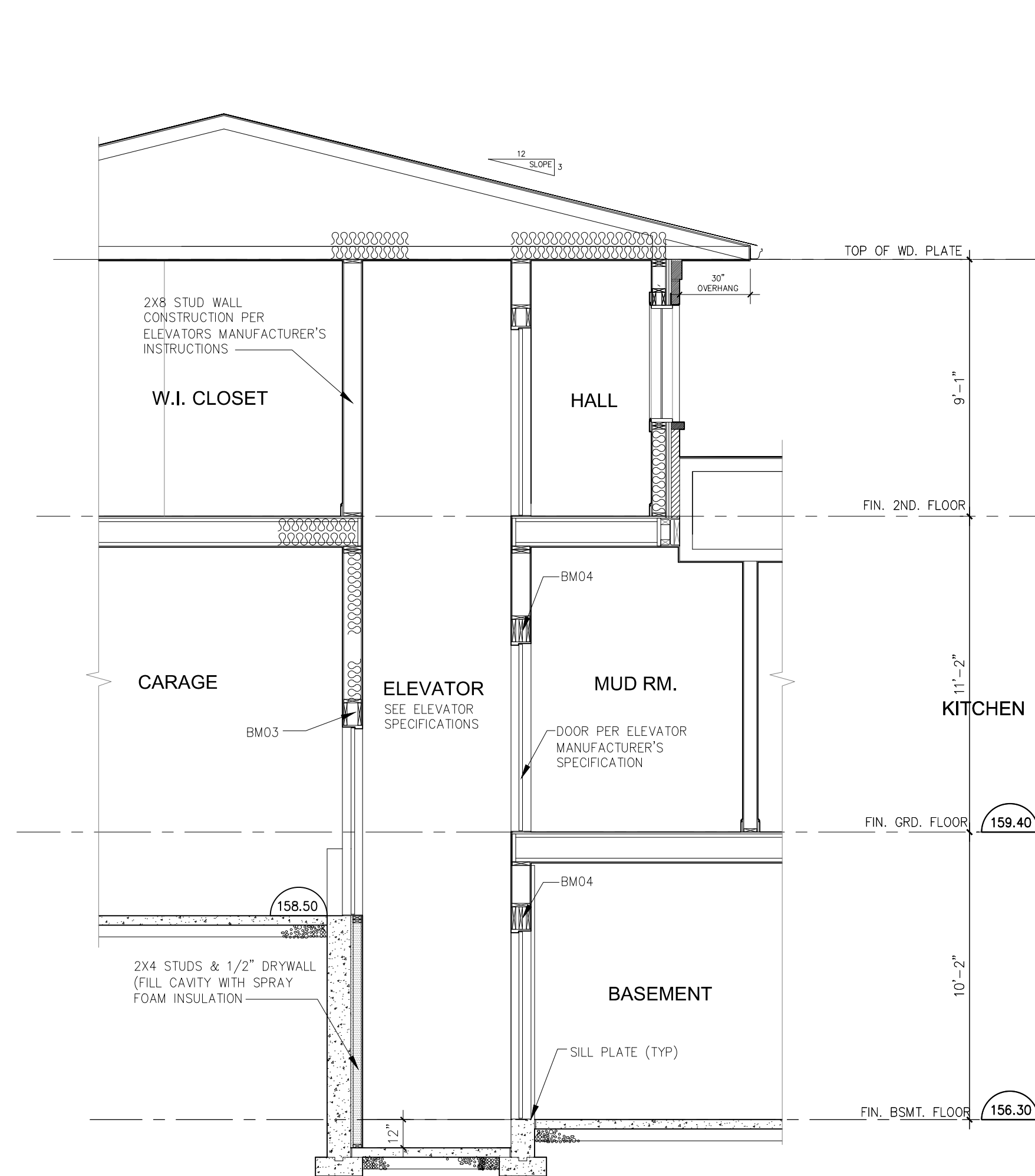
67 DAVIDSON DRIVE
 VAUGHAN, ONTARIO
 L4L 1M2

Drawing Name	
BUILDING SECTION	
Drawing by BA	Project No. 24 - XXX
Date MAR, 2024	Drawing No. A-13
Scale 1/4" = 1' - 0"	
Checked	

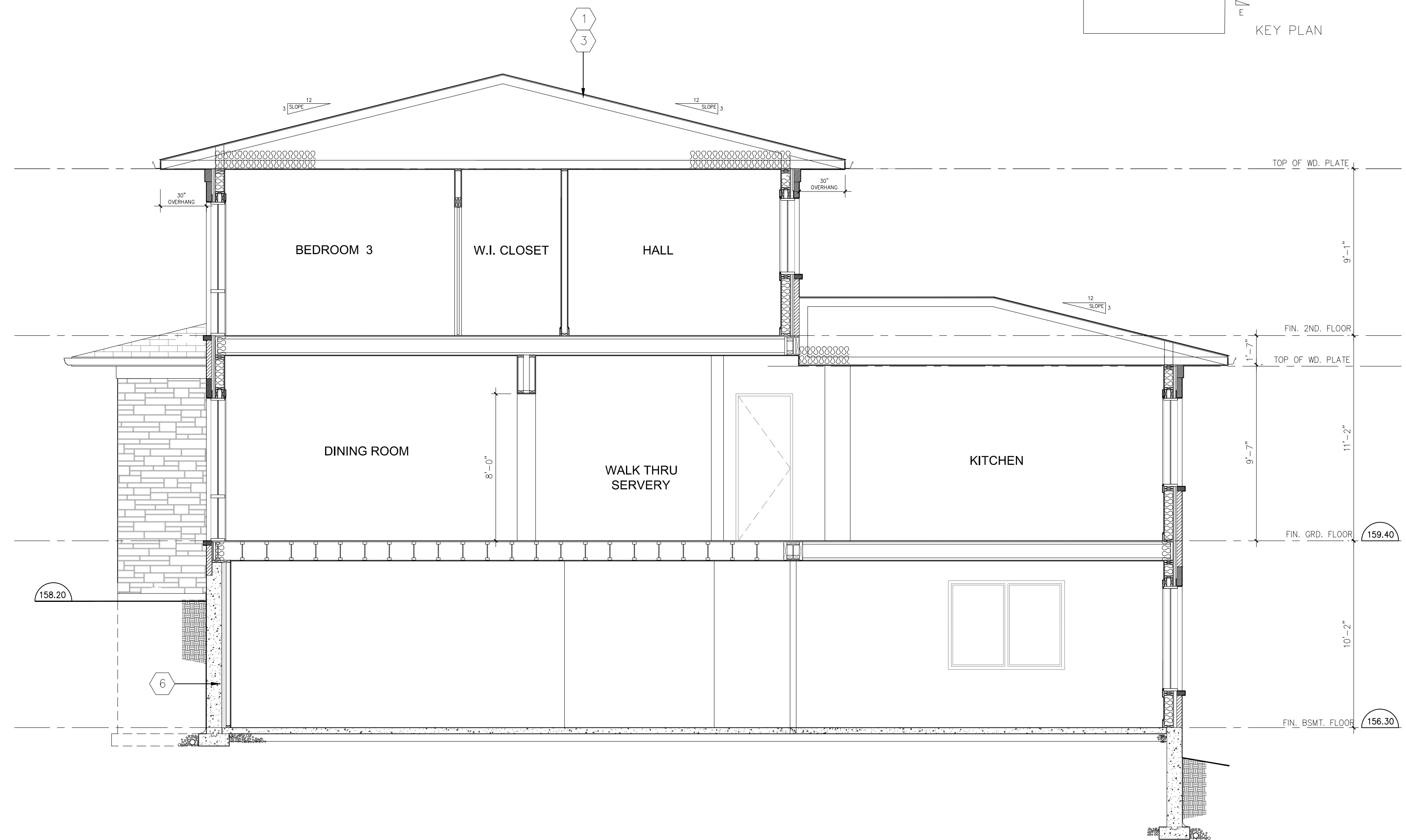


SECTION D-D
 SCALE 1/4" = 1'-0"

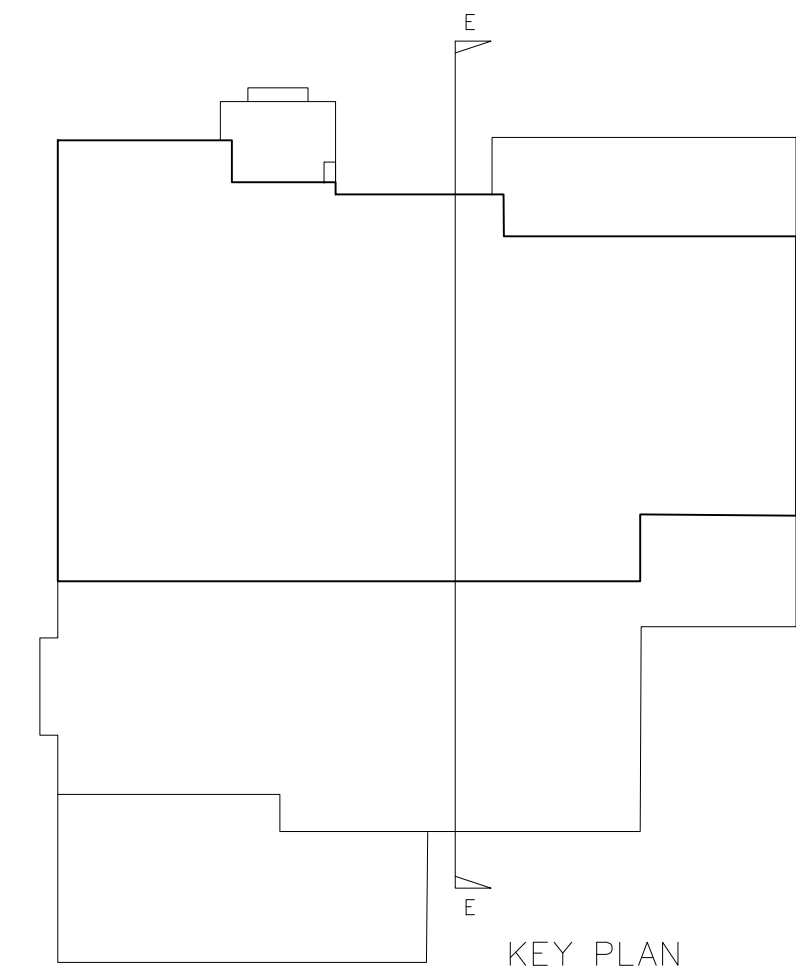




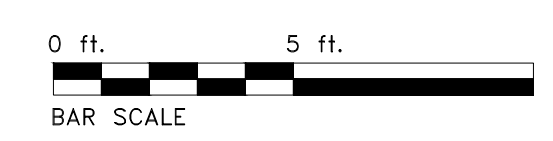
NORTH-SOUTH
ELEVATOR SECTION
SCALE 1/4" = 1'-0"



SECTION E-E
SCALE 1/4" = 1'-0"



KEY PLAN



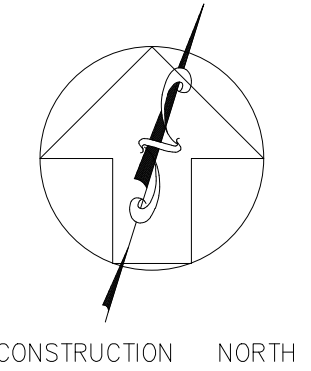
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QUALIFICATION INFORMATION
Required unless design is exempt under 2.17.5.1 of the Building Code

ROLAND TRACY / 3092
Architect / AIA
REGISTRATION INFORMATION
Required unless design is exempt under 2.17.4.1 of the Building Code

TRACON Services Inc. / 22488
Architect / RIA



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2	ISSUED FOR PERMIT	04 JUL/24
1	ISSUED FOR REVIEW	24 MAR/24
No.	REVISION / ISSUE	DATE

NAPA design

Napa Design Group Inc.
47 Loweswater Ave.
Unionville, Ontario, L3R7W8
lou@napadg.com
e 905-477-3653 | 416-930-6337

Project

**PROPOSED NEW
TWO STOREY RESIDENCE**

67 DAVIDSON DRIVE
VAUGHAN, ONTARIO
L4L 1M2

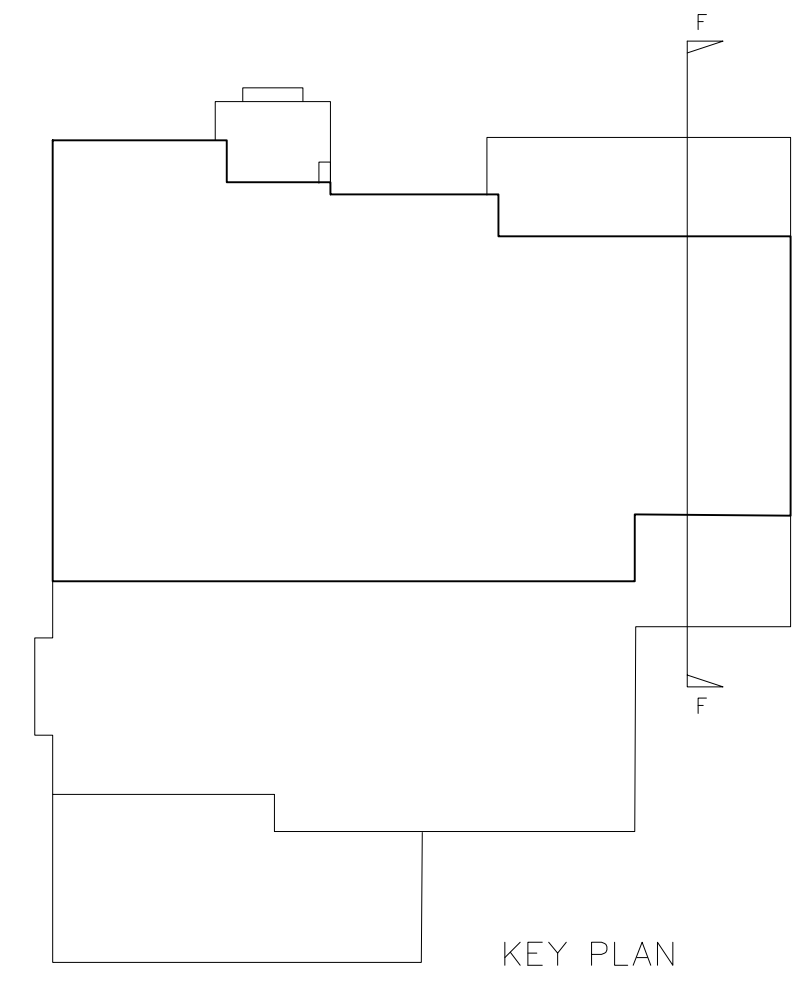
Drawing Name

BUILDING SECTION

Drawing by	Project No.
BA	24 - XXX
Date	Drawing No.
MAR, 2024	
Scale	A-14
1/4" = 1'-0"	
Checked	

ELEVATOR SPECIFICATIONS

FEDERAL ELEVATOR
 MODEL - RENAISSANCE, TYPE B
 Platform Cab Size - 48" wide x 60" deep
 Hoistway Size Required - 65.5" wide x 63.5" deep minimum required
 Cab Height - 84" (Other Cab Heights available)
 Travel - Approx. 21' - 6" (or 258'); Approx. Cylinder Stroke Length (ft): 11;
 Number of Stops - 4 stops, Serving 3 floors and 1 floor opening
 Cab Gates - 2 x Automatic Stainless Steel Bi-Fold 82 1/2" tall, Nominal Width 35"
 Landing Entrances - Landing Doors - by Others; We recommend using 3/4" solid
 core hall landing doors with Bi-Fold
 gates; Standard issue elevator interlocks provided and installed by Federal Elevator
 Control Panel Finish - Brushed Stainless Steel with DSI Matrix DPI Display;
 Illuminated Red Buttons
 Handrail - 1" x Flat Stainless Steel (22" long)
 Rated Load Capacity - 1000 lbs. (454 kg) (Other Capacities available including 1500
 lbs. (680 kg))
 Pump Unit - 4 HP (3 kW) (Other Capacities available)
 Floor - Plywood subfloor with 3/4" recess, ready to accept materials by others
 Pump Unit Area - Type 1 with Slim Tank, adjacent to hoistway (within 10ft).
 ELEVATOR CLOSET ENCLOSURE (pump
 unit area size TBD), Min. 24"x48" area is required with sufficient clearances as per
 Electrical Code
 Pit Depth - 10" (254 mm) as shown min
 Overhead Clearance - 109" (2769 mm) as shown
 Additional Standard Features - Automatic Times ON/OFF Cab Lighting • Stainless
 Steel Illuminated Hall Buttons • Stainless
 Steel Control Panel in cab with Digital Floor Indicator • Emergency Battery Powered
 Lowering &
 Lighting • Emergency Stop Button and Alarm in Cab • Interlocks at all door landings
 • Door Ajar
 Alarm
 Drive System - 1:2 Cable Hydraulic
 Control System - Automatic Push Button
 Lighting Supply - 110 volt, 60 cycles, 15 amps
 Valve Coil and Rated Speed - 4 Coil Valve (for softer starts & stops) - Maximum
 Speed (Approx.) 40 fpm; (Other Speeds
 available up to 100 fpm)
 Power Supply - 220V Single Phase, 40 amp fuses



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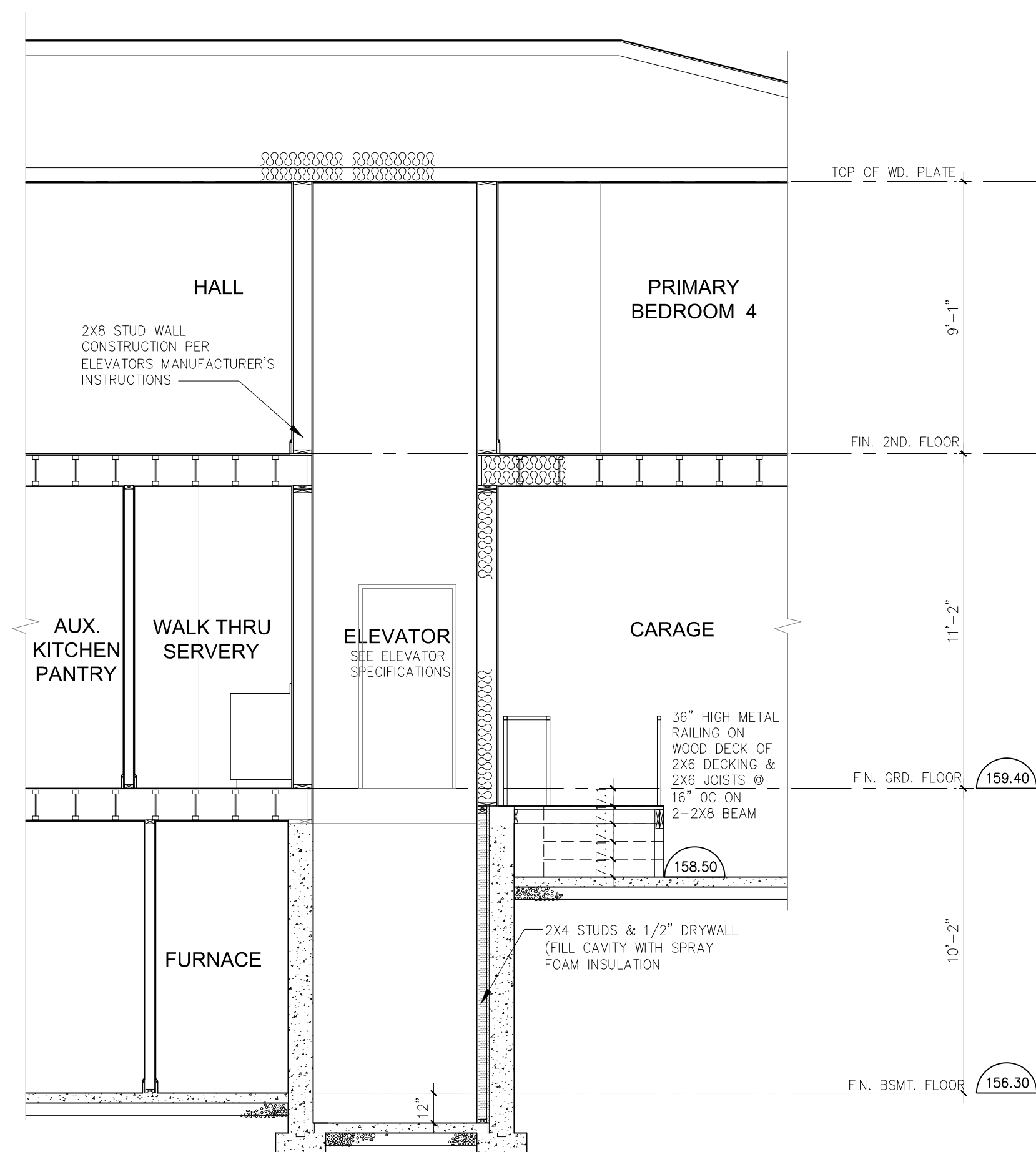
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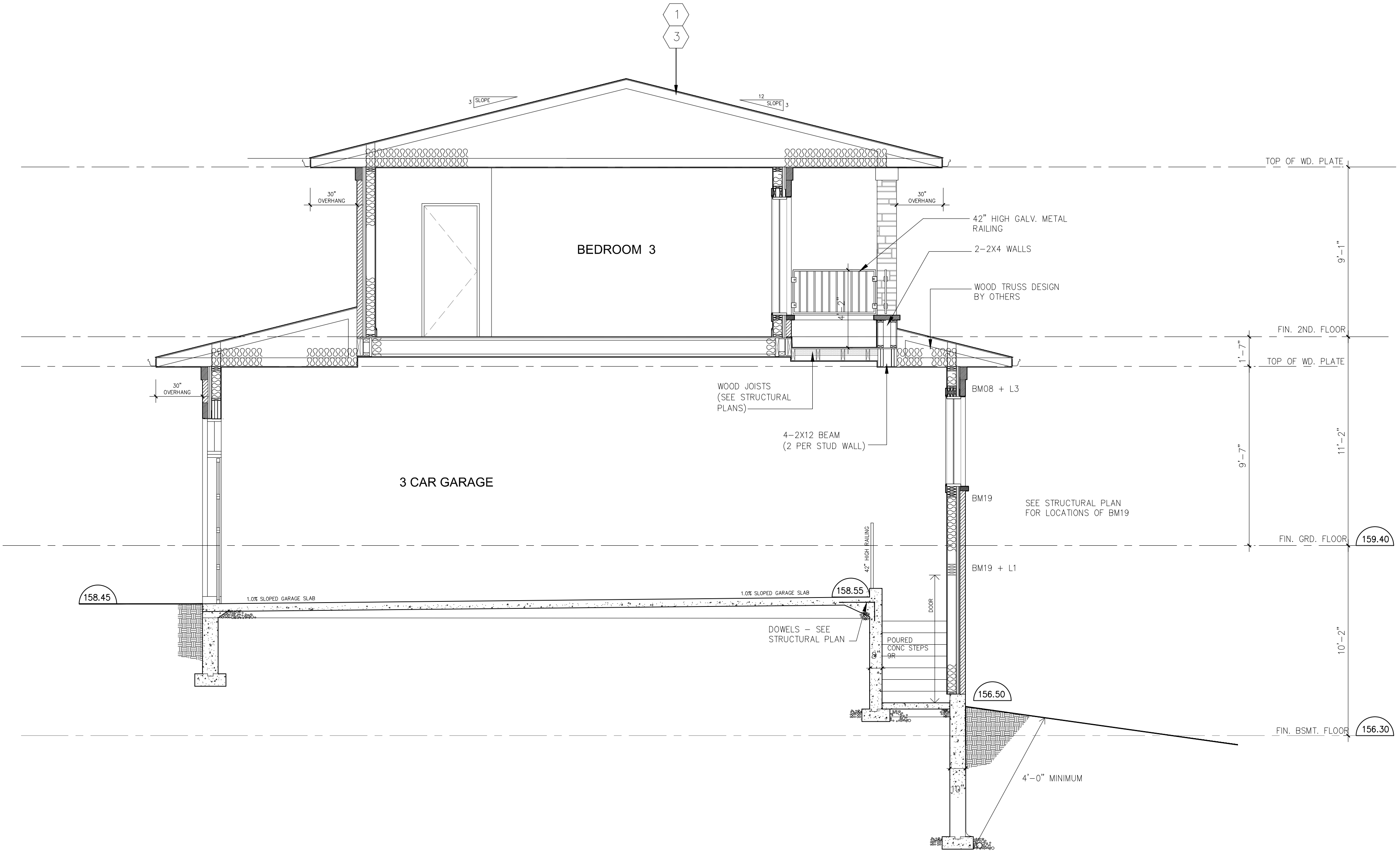
REGISTRATION INFORMATION
 Required unless design is exempt under 2.17.4.1 of the Building Code

NAME: K.R. TRACY
 REG. NO.: 30962
 EXP. DATE: 04 JULY 2024
 COMPANY: TRACON Services Inc.
 REG. NO.: 33388
 EXP. DATE: 03/01/2025

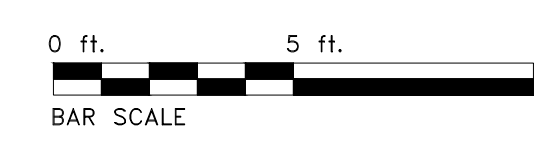
8		
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3	ISSUED FOR PERMIT	04 JUL/24
2	ISSUED FOR PERMIT SUB	26 APR/24
1	ISSUED FOR REVIEW	24 MAR/24
No.	REVISION / ISSUE	DATE



EAST-WEST
 ELEVATOR SECTION
 SCALE 1/4" = 1'-0"



SECTION F-F
 SCALE 1/4" = 1'-0"



NAPA design

Napa Design Group Inc.
 47 Loweswater Ave.
 Unionville, Ontario, L3R7W8
 lou@napadg.com
 e 905-477-3633 | 416-930-6337

Project

**PROPOSED NEW
 TWO STOREY RESIDENCE**

67 DAVIDSON DRIVE
 VAUGHAN, ONTARIO
 L4L 1M2

Drawing Name

BUILDING SECTION

Drawing by	Project No.
BA	24 - XXX
Date	Drawing No.
MAR, 2024	A-15
Scale	
1/4" = 1' - 0"	
Checked	

CONSTRUCTION NOTES:

- DESIGN LOADING (UNFACTORED)
 - LL = 40 PSF U.N.O.
 - DL = 15 PSF
 - DL IN TILED AREAS = 30 PSF
 - (SEE FLOOR PLANS)
- ALL EXTERIOR AND INTERIOR LOAD BEARING WALLS SHOWN SHALL BE 2x6@16" O.C. WOOD STUD WALLS (UNLESS NOTED OTHERWISE) c/w DOUBLE TOP PLATE AND BLOCKING AT MIDHEIGHT
- ALL BUILT UP WOOD POSTS TO BE CONTINUOUS TO FOUNDATION WALL OR SUPPORTING LINTEL.
- PROVIDE SOLID BLOCKING BETWEEN JOISTS AT ALL LOAD BEARING WALL LOCATIONS. PROVIDE DOUBLE JOIST UNDER NON-LOAD BEARING PARTITIONS ABOVE LOCATED IN PARALLEL TO DIRECTION OF JOISTS. PROVIDE CONTINUOUS ROW OF BLOCKING UNDER NON-LOAD BEARING PARTITIONS ABOVE LOCATED IN DIRECTION NON-PARALLEL TO DIRECTION OF JOISTS.
- ALL WOOD FRAMING SHALL BE S.P.F. No. 2 OR BETTER.
- SEE STRUCTURAL DRAWINGS FOR LINTEL SIZES
TYPICAL POSTS FOR WOOD LINTELS & BEAMS TO BE 3-2x6 (S.P.F. #2) U.N.O.
- "PA" ON PLAN DENOTES POST ABOVE.
- SEE STRUCTURAL DRAWINGS FOR STONE VENEER LINTEL SIZES
PROVIDE 6" MIN. BEARING EA. END
- 3/4" D. FIR PLYWOOD SUBFLOOR TO BE GLUED AND SCREWED TO JOISTS.
- PROVIDE FABRICATED BM/BM HANGERS AS PER MFR INSTRUCTIONS.
- ALL LOAD BEARING WALLS IN THE BASEMENT SHALL BE 2x6@12"o.c. WOOD STUD WALLS c/w DOUBLE TOP PLATE AND BLOCKING AT MIDHEIGHT
- PROVIDE SOLID BLOCKING BETWEEN JOISTS AT ALL LOAD BEARING WALL LOCATIONS. PROVIDE DOUBLE JOIST UNDER NON-LOAD BEARING PARTITIONS ABOVE LOCATED IN PARALLEL TO DIRECTION OF JOISTS. PROVIDE CONTINUOUS ROW OF BLOCKING UNDER NON-LOAD BEARING PARTITIONS ABOVE LOCATED IN DIRECTION NON-PARALLEL TO DIRECTION OF JOISTS.
- PROVIDE MIN. 8" LONG BEARING FOR STEEL BEAMS BEARING ON CONCRETE WALLS.
- TJI JOISTS (COMPOSITE WOOD JOISTS) & LVL (LAMINATED VENEER LUMBER) TO BE IN ACCORDANCE WITH MANUFACTURER SPECIFICATIONS.
- SHOP DRAWINGS FOR ALL STRUCTURAL ELEMENTS INCLUDING STRUCTURAL STEEL, PRE-ENGINEERED FLOOR JOISTS & BEAMS AND ROOF TRUSSES SHALL BE SUBMITTED TO NAPA DESIGN GROUP FOR REVIEW.
- ALL STEEL TO BE GRADE 350W.

ALL STAIRS/EXTERIOR STAIRS -OBC 9.8-

MAX. RISE	= 200 (7'-7/8")
MIN. RUN	= 255 (10')
MIN. TREAD	= 255 (10')
MAX. NOSING	= 25 (1")
MIN. HEADROOM	= 1950 (6'-5")
RAIL @ LANDING	= 900 (2'-11")
RAIL @ STAIR	= 800 (2'-8")
MIN. STAIR WIDTH FOR CURVED STAIRS	= 860 (2'-10")
MIN. RUN	= 150 (6")
MIN. AVG. RUN	= 200 (8")

FINISHED RAILING ON PICKETS SPACED MAXIMUM 100mm (4") BETWEEN PICKETS.
GUARDS -OBC 9.8.8-
INTERIOR GUARDS: 900mm (3'-0") MIN.
EXTERIOR GUARDS: 1070mm (3'-6") MIN.

ALL STEPS, HANDRAILS & GUARDS TO MEET ALL REQUIREMENTS OUTLINED IN O.B.C. SECTION 9.8

SA

SMOKE ALARM (REFER TO OBC 9.10.18)

PROVIDE 1 PER FLOOR, NEAR THE STAIRS CONNECTING THE FLOOR LEVEL. ALARMS TO BE CONNECTED TO AN ELECTRICAL CIRCUIT AND INTERCONNECTED TO ACTIVATE ALL ALARMS IF 1 SOUNDS.

CMD

CARBON MONOXIDE DETECTOR (OBC 9.32.3.8)

* CHECK LOCAL BYLAWS FOR REQUIREMENTS *
A CARBON MONOXIDE DETECTOR CONFORMING TO CAN./CGA-6.19, SHALL BE INSTALLED ON OR NEAR THE CEILING IN EACH ROOM IN WHICH THERE IS INSTALLED A SOLID FUEL-BURNING APPLIANCE. CARBON MONOXIDE DETECTOR(S) SHALL BE WIRED SO THAT ITS ACTIVATION WILL ACTIVATE THE SMOKE ALARMS.

NOTE:
2500 PSF SOIL BEARING CAPACITY ASSUMED & TO BE VERIFIED BY A SOILS ENGINEER.

- SLOPED ROOF**
 - NO. 210 (10.25kg/m²) HIGH PROFILE ASPHALT SHINGLES
 - 13mm (1/2") PLYWOOD SHEATHING WITH "H" CLIPS
- FLAT ROOF**
 - SBS MODIFIED BITUMEN ROOFING MEMBRANE OR FIRESTONE ULTRAPLY TPO 80 MIL MEMBRANE ROOFING
 - 20mm (5/8") PLYWOOD SHEATHING WITH "H" CLIPS
 - PROVIDE SLOPE TO ROOF EDGES
 - PROVIDE PREFINISHED CAP FLASHING AT EDGES OVERLAPPING SHINGLE ROOFING AT SLOPES
- ROOF CONSTRUCTION**
 - EITHER APPROVED WOOD TRUSSES OR CONVENTIONAL WOOD RAFTERS
 - EAVE PROTECTION TO EXTEND 900mm (3'-0") FROM EDGE OF ROOF AND MIN. 300mm (12") BEYOND INNER FACE OF EXTERIOR WALL
 - IF TRUSSES ARE BEING USED 38x89 (2"x4") TRUSS BRACING @ 1830mm (6'-0") O.C. AT BOTTOM CHORD
 - IF WOOD RAFTERS ARE BEING USED SEE PLANS FOR RAFTER SIZES, TIES & RIDGE BOARD
 - COPPER EAVESTROUGH, FASCIA, RVL, CLIPS & VENTED STUCCO SOFFIT
 - ATTIC VENTILATION - 1:300 OF INSULATED CEILING AREA WITH 50% AT EAVES.
- CEILING JOISTS**
 - CEILING TO BE INSULATED WITH RSI 10.56 (R60) BATT INSULATION WITH 6 MIL POLY VAPOUR BARRIER TO WARM SIDE
 - 16mm (5/8") DRYWALL TAPED, SEALED, PRIMED AND PAINTED
- STONE VENEER WALL CONSTRUCTION**
 - 90mm (3.5") STONE VENEER MASONRY
 - 12.5mm (1/2") AIR SPACE
 - 22x180x0.76mm (7/8"x7"x0.03") GALV. METAL TIES @ 400mm (16") O.C. HORIZONTAL & 600mm (24") O.C. VERTICAL
 - 0.88 RSI (R5) CONTINUOUS RIGID INSULATION
 - BLUESKIN OR APPROVED EQUAL AIR BARRIER
 - 1/2" EXTERIOR PLYWOOD OR DENSGLASS SHEATHING
 - 36x140 (2"x6") WD. STUDS @ 400mm (16") O.C. WITH SINGLE SILL PLATE & DOUBLE TOP PLATE
 - BOTTOM SILL PLATE ST FOUNDATION WALL TO HAVE 13mm (1/2") DIA. ANCHOR BOLTS 300 mm (12") LONG MIN. 199 mm (4") INTO CONCRETE @ 2400mm (7'-11") O.C. MAX. WITH GASKET BETWEEN SILL PLATE & POURED CONCRETE
 - 3.87 RSI (R22) OWENS CORNING R-22 PINK NEXT GEN FIBREGLASS INSULATION BETWEEN STUDS
 - 6 MIL VAPOUR BARRIER & 13mm (1/2") DRYWALL
 - COMP PACKAGE A4 -ZONE 1 TABLE 3.1.1.2.A(SI)(IP)
- FOUNDATION WALLS**
 - 10" 25 MPa CONCRETE REINFORCED (SEE STRUCTURAL DWGS) FOOTING SIZE - 24"x8"(6510x200)mm (TYPICAL FOR ALL BASEMENT & GARAGE FOOTINGS)
 - PARGE & DAMPPROOF WITH HEAVY COAT OF BITUMEN SOLUTION COVE AT FOOTING & ALSO COVER FOOTING
 - INSIDE FOUNDATION WALLS - 3.52 RSI (R20) SPRAY-FOAM CONTINUOUS INSULATION ALONG THE PERIMETER 2X3 STUDS @ 400mm (16") OC ON FACE OF INSULATION WITH 13mm (1/2") DRYWALL FINISH
 - 0.05mm POLYETHYLENE OR NO.15 ASPHALT SATURATED FELT PAPER LAPPED 100mm (4") AT UNDERSIDE OF SILL PLATE
 - CAULK UNDERSIDE OF 38mmx140mm (2"x6") SILL PLATE ANCHORED TO CONC. FOUNDATION WALL WITH 13mm (1/2") DIA. ANCHOR BOLTS 200mm (8") LONG, EMBEDDED MIN. 100mm (4") INTO CONC. @ 1220mm (4'-0") O.C.
 - USE NON-SHRINK GROUT TO LEVEL SILL PLATE WHEN REQUIRED
 - STEP FOOTINGS - VERTICAL MAX 610mm (2'-0") STEP & HORIZONTAL 610mm (2'-0") MIN. STEP
- INTERIOR BEARING STUD PARTITIONS**
 - 38x140 (2"x6") @ 400mm (16") O.C.
 - 38x140 (2"x6") @ 300mm (12") O.C. FOR 2 STOREYS
 - USE SINGLE BOTTOM PLATE AND DOUBLE TOP PLATE FINISH STUD WALL WITH 13mm (1/2") INT. DRYWALL BOTH SIDES
- INTERIOR NON BEARING STUD PARTITIONS**
 - 38x90 (2"x4") OR 38x140 (2"x6") @ 400mm (16") O.C. UNLESS NOTED OTHERWISE USE SINGLE BOTTOM PLATE & DOUBLE TOP PLATE
 - 13mm (1/2") INT. DRYWALL BOTH SIDES OF STUDS WHERE APPLICABLE
- BASEMENT BEARING STUD PARTITION**
 - 38mmx140mm (2"x6") STUDS @ 400mm (16") O.C. SILL PLATE TO BE ON DAMPPROOFING MATERIAL WITH 13mm (1/2") DIA. ANCHOR BOLTS 200mm (8") LONG, EMBEDDED MIN. 100mm (4") INTO CONC. @ 2400mm (7'-10") O.C.
 - 100mm (4") HIGH CONC. CURB ON 350mmx155mm (14"x8") CONC. FOOTING WITH HORIZONTAL BLOCKING AT MID-HEIGHT
- GARAGE INTERIOR WALL/CEILING**
 - 2 LAYERS - 16mm (5/8") DRYWALL ON GARAGE SIDE OF WALL & AT CEILING WITH STAGGERED JOINTS BETWEEN HOUSE AND GARAGE
 - RSI 4.25 (R24) IN WALLS, RSI 10.57 (R60) IN CEILING TAPE AND SEAL ALL JOINTS GAS TIGHT

- WOOD JOIST FLOORS**
 - SUBFLOOR TO BE 20mm (3/4") PLYWOOD GLUED & SCREWED TO JOISTS (SEE PLANS FOR JOIST SIZES & SPACING)
 - ALL JOISTS TO BE BRIDGED WITH CONTINUOUS CROSS BRIDGING OR SOLID BLOCKING @ 2100mm (7'-0") ON CENTERS
 - LOAD BEARING INTERIOR WALLS PARALLEL TO FLOOR JOISTS SHALL BE SUPPORTED BY BEAMS OR BEARING WALLS WHERE THE LOAD IS TRANSFERRED SAFELY TO VERTICAL SUPPORTS LEADING TO BASEMENT LOAD BEARING MEMBERS
 - LOAD BEARING INTERIORS WALLS AT RIGHT ANGLES TO FLOOR JOISTS SHALL NOT BE LOCATED NOT MORE THAN 900mm (2'-11") FROM THE JOIST SUPPORT
- BASEMENT SLAB**
 - 100mm (4") MIN. 25MPa CONC. SLAB REINFORCED WITH 6X6-W2.9XW2.9 MESH PLACED NEAR MID-DEPTH OF SLAB
 - 125mm (5") COMPACTED COARSE GRANULAR FILL WITH DAMPPROOFING BELOW SLAB
 - SAWCUT SLAB AT 4570 mm (15'-0") O.C. MAXIMUM
- GARAGE SLAB**
 - GARAGE SLAB TO BE 150mm (6") 32MPa CONCRETE WITH 5-8% AIR ENTRAINMENT ON 150 mm (6") COARSE GRANULAR FILL WITH COMPACTED SUB-BASE OR COMPACTED NATIVE FILL
 - SLOPE TO FRONT AT 2% MINIMUM
 - REINFORCE CONCRETE WITH 6X6X6/6 WELDED WIRE MESH
- STEEL BASEMENT COLUMNS**
 - 89mm (3.5") SQUARE STEEL COLUMNS WITH STEEL TOP & BOTTOM PLATES ON CONCRETE FOOTING ON UNDISTURBED SOIL OR ENGINEERED FILL CAPABLE OF SUSTAINING A PRESSURE OF 3,000 PSF. MIN. (SEE STRUCTURAL DWGS.)
- WOOD POST**
 - 150mmx150mm (6"x6") BUILT-UP POST ON METAL BASE SHOE ANCHORED TO CONCRETE WITH 12.7mm (1/2") DIA. BOLTS
- STEEL BASEMENT BEAMS**
 - SEE STRUCTURAL DWGS. FOR BEAM SIZES SET IN PICK POCKETS WITH MIN. BEARING 90mm (3 1/2")
 - 19x64 (1"x3") CONTINUOUS WD. STRAPPING BOTH SIDES OF STEEL BEAM.
- GAS PROOF DOOR**
 - DOOR TO BE 914mmX2032mm (3'-0"x6'-8")
 - MUST BE A SOLID CORE DOOR WITH GAS PROOF STANDARDS
 - USE GAS PROOF FRAME ASSEMBLY WITH OVER HEAD AUTOMATIC CLOSER & WEATHERSTRIPPING
- ATTIC ACCESS**
 - ATTIC ACCESS HATCH 500mmx700mm (19.5"x27.5") WITH WEATHERSTRIPPING
 - RSI 10.57 (R60) RIGID INSULATED BACKING
 - PROVIDE AT GARAGE ATTIC & SECOND FLOOR ATTIC
- ALL STAIRS/EXTERIOR STAIRS**
 - MAX. RISE = 200 (7 7/8")
 - MIN. RUN = 255 (10')
 - MIN. HEADROOM = 1950 (6'-5")
 - RAIL @ LANDING = 900 (2'-11")
 - RAIL @ STAIR = 800 (2'-8")
 - MIN. STAIR WIDTH = 860 (2'-10")
- WOOD RAILINGS & PICKETS**
 - MAXIMUM 100mm (4") BETWEEN PICKETS. INTERIOR GUARDS: 900mm (3'-0") MIN. EXTERIOR GUARDS: 1070mm (3'-6") MIN.
 - ALL WOOD RAILINGS TO BE CONSTRUCTED & ANCHORED TO THE SUBSTRATA IN ACCORDANCE WITH SB-7.
- ELEVATOR**
 - ELEVATOR IS FEDERAL ELEVATOR SMALL CAB TYPE B

GENERAL NOTES:

- PROTECT ALL FOOTINGS, WALLS, SLABS ON GRADE AND ADJACENT SOIL AGAINST FROST ACTIONS AND FREEZING AT ALL TIMES DURING CONSTRUCTION.
- ALL EXTERIOR FOOTINGS AND FOOTINGS SUBJECT TO FREEZING WHEN THE CONSTRUCTION IS COMPLETED SHALL BE FOUNDED AT STRATA SAFELY SUPPORTING THE DESIGN BEARING PRESSURE (3,000 PSF ALLOWABLE) BUT NOT LESS THAN 4'-0" BELOW FINISHED GRADE. ALL OTHER FOOTINGS SHOULD BE FOUNDED ON SOIL AS DESCRIBED ABOVE BUT NOT LESS THAN 2'-0" BELOW THE ORIGINAL GRADE.
- THE LINE OF SLOPE BETWEEN ADJACENT EXCAVATIONS FOR FOOTINGS OR ALONG STEPPED FOOTINGS OR TRENCHES SHALL NOT EXCEED A RISE OF 7 IN A RUN OF 10. MAXIMUM STEP TO BE 2'-0".
- KEEP EXCAVATIONS CONTINUOUSLY DRY BEFORE CONCRETE IS PLACED. REMOVE ANY LOSE MATERIAL OR SOIL SOFTENED BY WATER PRIOR TO PLACING CONCRETE.
- DO NOT BACKFILL AGAINST WALLS RETAINING EARTH UNTIL ELEMENTS PROVIDING LATERAL SUPPORT ARE COMPLETE. PLACE BACKFILL SIMULTANEOUSLY ON BOTH SIDES OF OTHER WALLS BELOW GRADE.
- THESE DRAWINGS SHOW THE COMPLETE STRUCTURE. THE CONTRACTOR IS TO PROVIDE ALL NECESSARY BRACING AND SHORING REQUIRED DURING CONSTRUCTION. THE CONTRACTOR SHALL ALSO PROVIDE ALL NECESSARY BRACING, SHORING AND OTHER TEMPORARY SUPPORT TO PROTECT ALL EXISTING AND ADJACENT STRUCTURES AFFECTED BY THIS WORK. THE CONTRACTOR SHALL TAKE FULL RESPONSIBILITY FOR ALL SUCH MEASURES.
- PROVIDE CONTINUOUS GALVANIZED VERTICAL DOVETAIL ANCHOR SLOTS AT 2'-0" IN ALL CONCRETE SURFACES WITH VENEER AND ABUTTING MASONRY WALLS.
- ALL WALL BEARING BEAMS SHALL HAVE A MINIMUM BEARING OF 8" UNLESS OTHERWISE NOTED. CONCRETE SLABS SHALL HAVE A MINIMUM BEARING OF 4". VOIDS IN MASONRY UNITS UNDER BEAMS AND JOISTS SHALL BE PREFILLED WITH 20 MPA CONCRETE OR GROUT TO A MINIMUM DEPTH OF 8" AND A MINIMUM LENGTH OF 8" BEYOND THE BEARING SURFACE UNLESS OTHERWISE NOTED.
- BUILDING FROM THESE DRAWINGS SHALL PROCEED ONLY WHEN MARKED "ISSUED FOR CONSTRUCTION".
- ASSUMED ALLOWABLE FOOTING DESIGN PRESSURE: 3000 PSF U/N. THIS IS TO BE CONFIRMED BY A LICENSED SOILS ENGINEER PRIOR TO FOOTING CONSTRUCTION.

GENERAL NOTES

ALL DRAWINGS ARE THE PROPERTY OF THE DESIGNER AND THEY ARE NOT TO BE REPRODUCED IN WHOLE OR IN PART WITHOUT WRITTEN CONSENT FROM THE DESIGNER.

CONTRACTOR TO CHECK AND VERIFY ALL DIMENSIONS BEFORE COMMENCING WORK AND TO REPORT ANY DISCREPANCIES TO THE DESIGNER.

DO NOT SCALE DRAWINGS.

ALL CONSTRUCTION TO BE ACCORDING TO BEST COMMON PRACTICE AND CONFORM TO THE ONTARIO BUILDING CODE.

The undersigned has reviewed and takes responsibility for this design, and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.

QUALIFICATION INFORMATION
Required unless design is exempt under 2.17.5.1 of the Building Code

ROLAND TRACY
3092
1000
1000

REGISTRATION INFORMATION
Required unless design is exempt under 2.17.4.1 of the Building Code
PROVINCE OF ONTARIO
22488
1000



8		
7		
6		
5		
4		
3		
2	ISSUED FOR PERMIT	04 JUL/24
1	ISSUED FOR REVIEW	24 MAR/24
No.	REVISION / ISSUE	DATE

NAPA design

Napa Design Group Inc.
47 Loweswater Ave.
Unionville, Ontario, L3R7W8
lou@napadg.com
e 905-477-3633 | 416-930-6337

Project

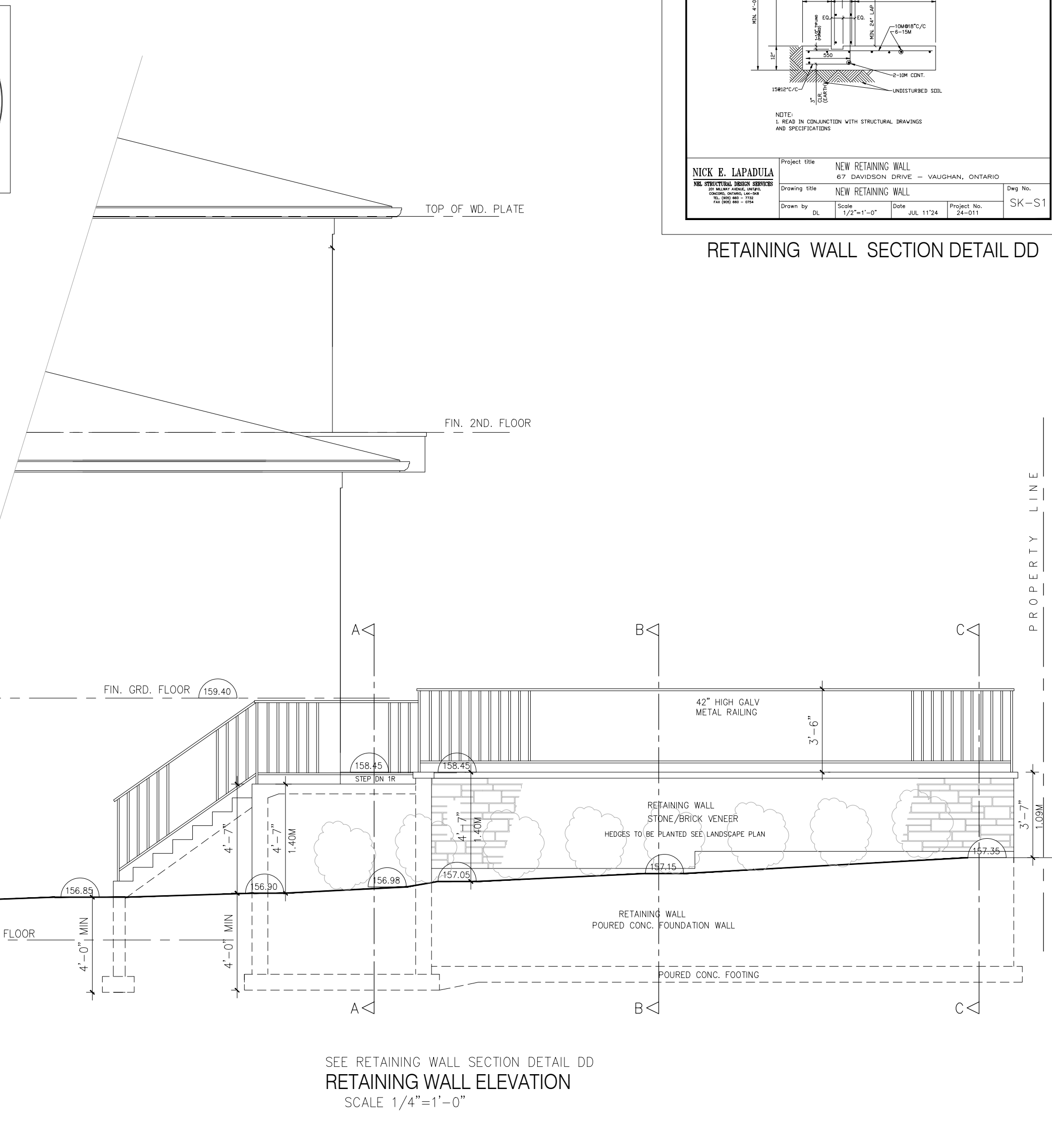
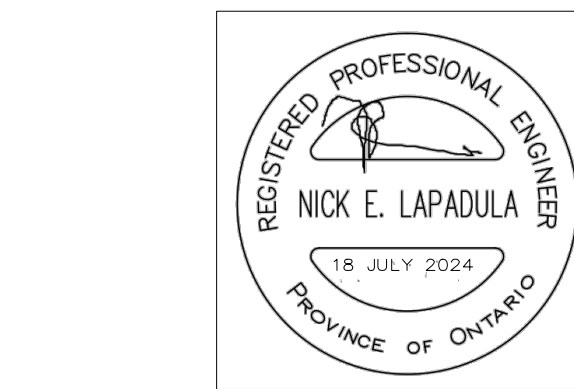
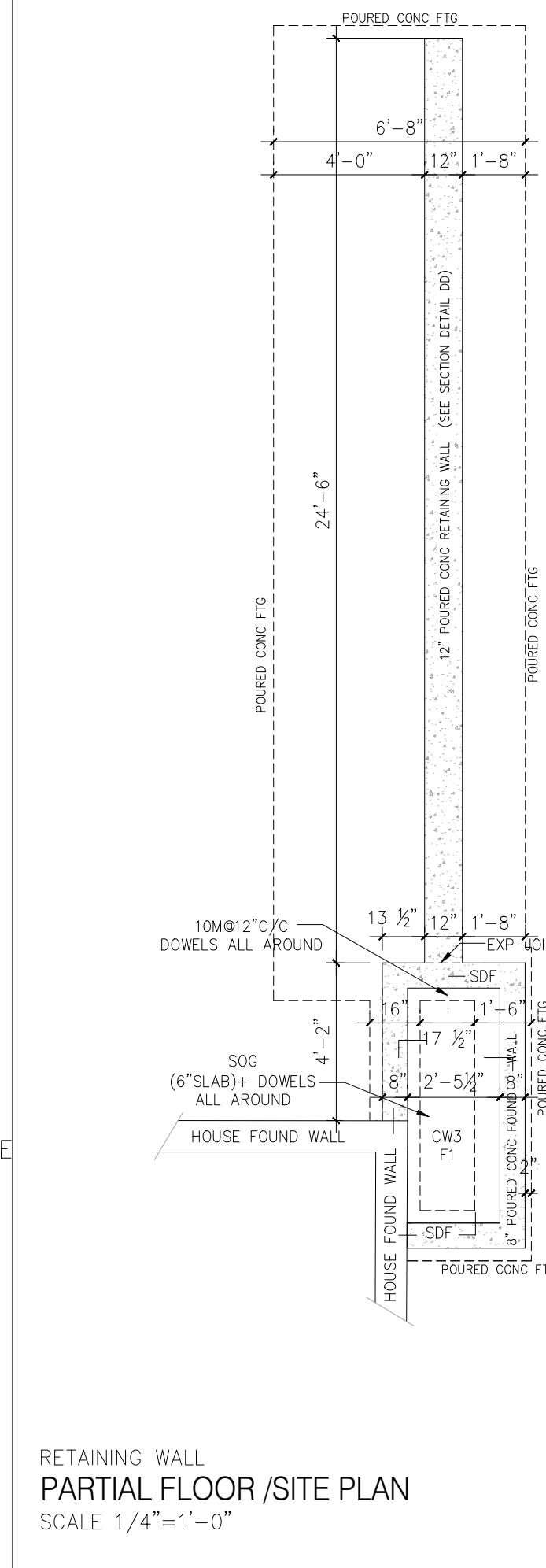
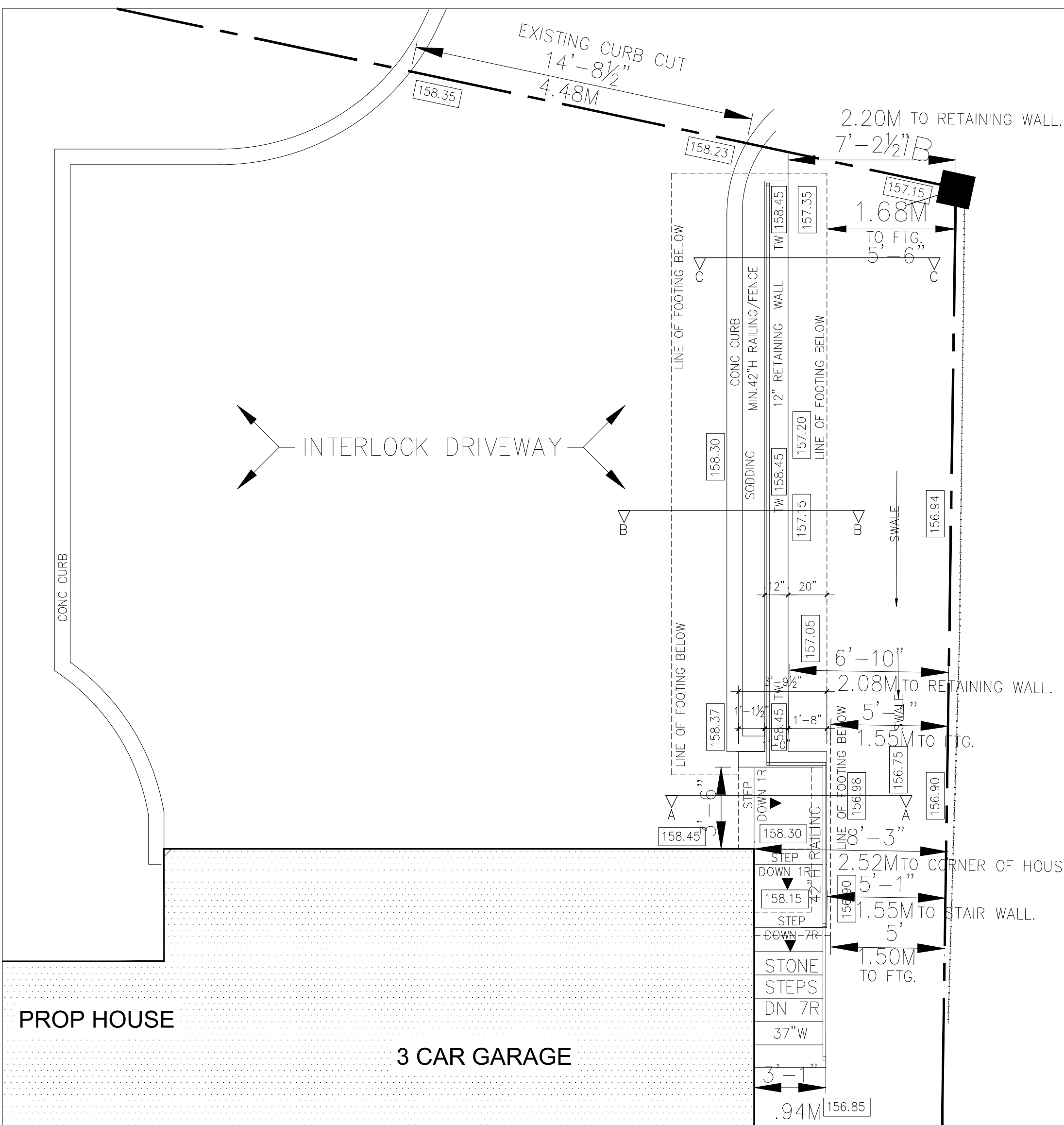
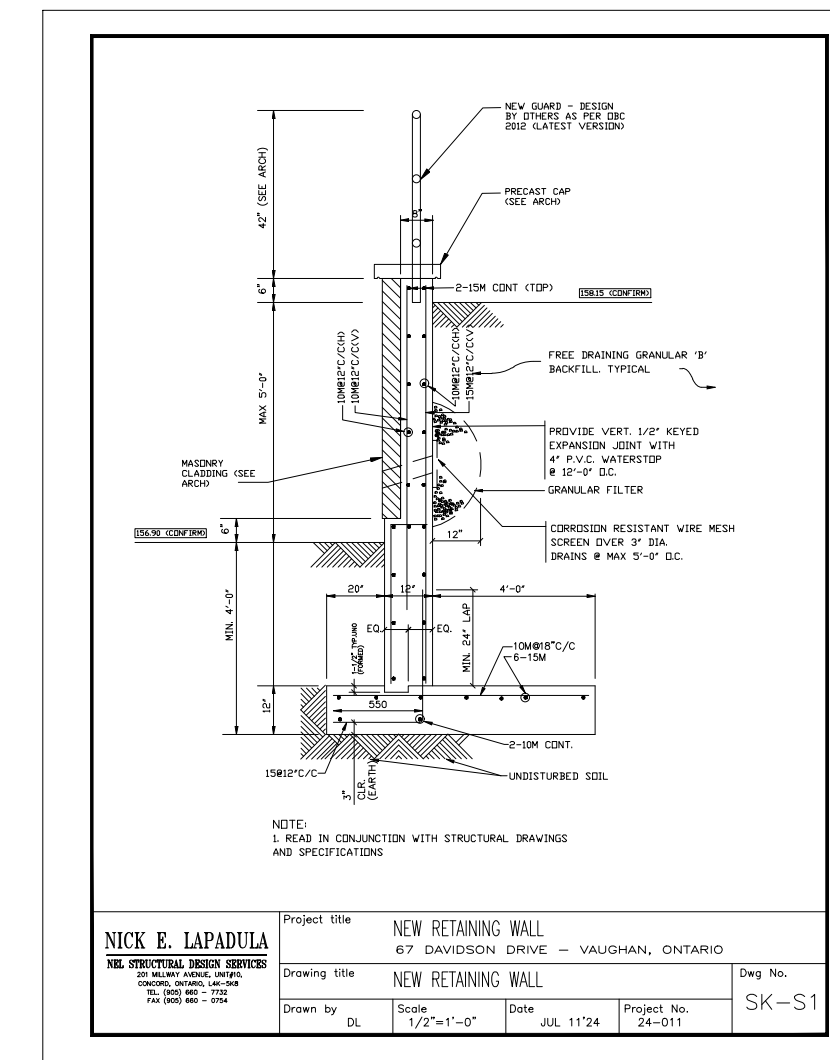
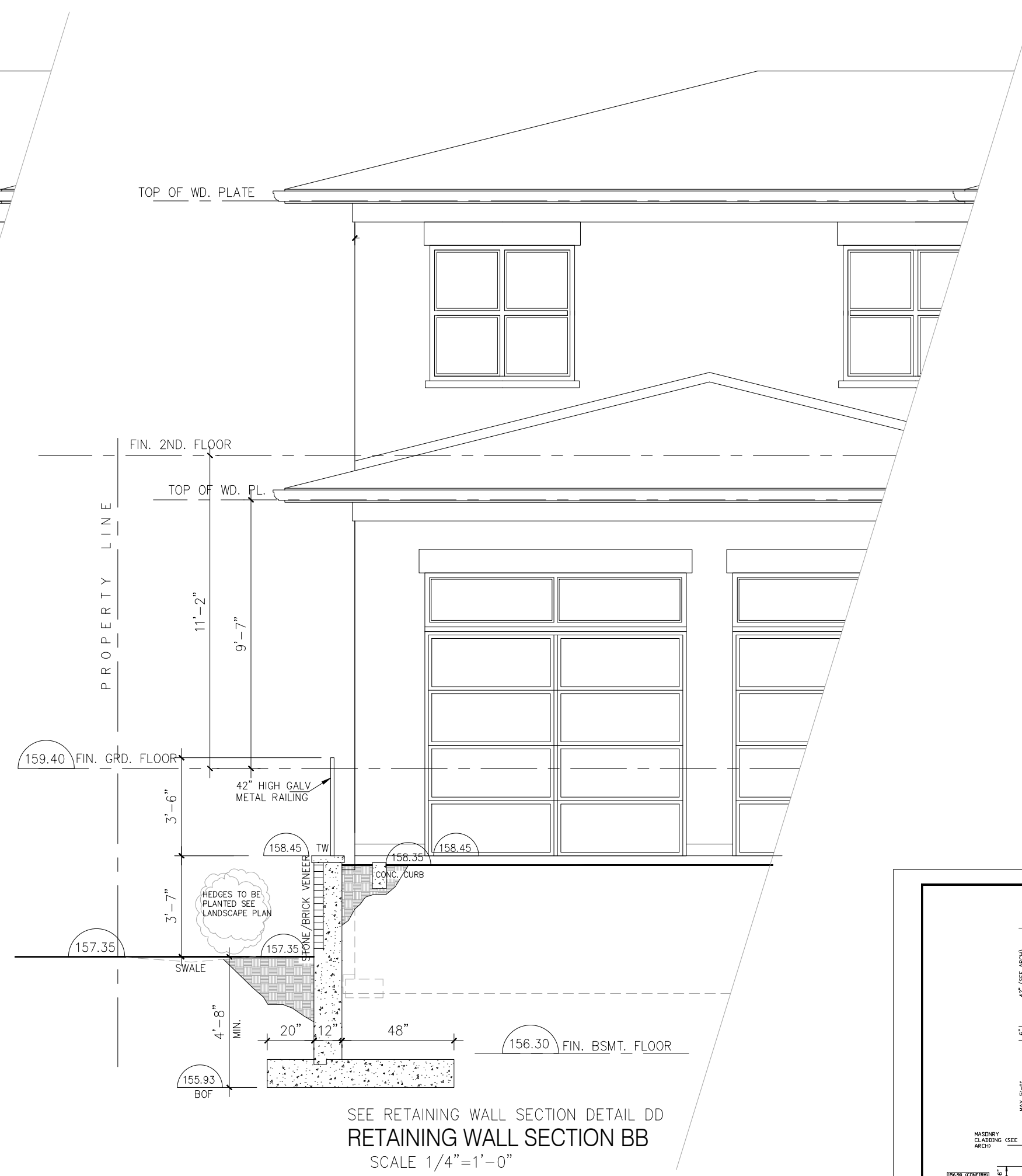
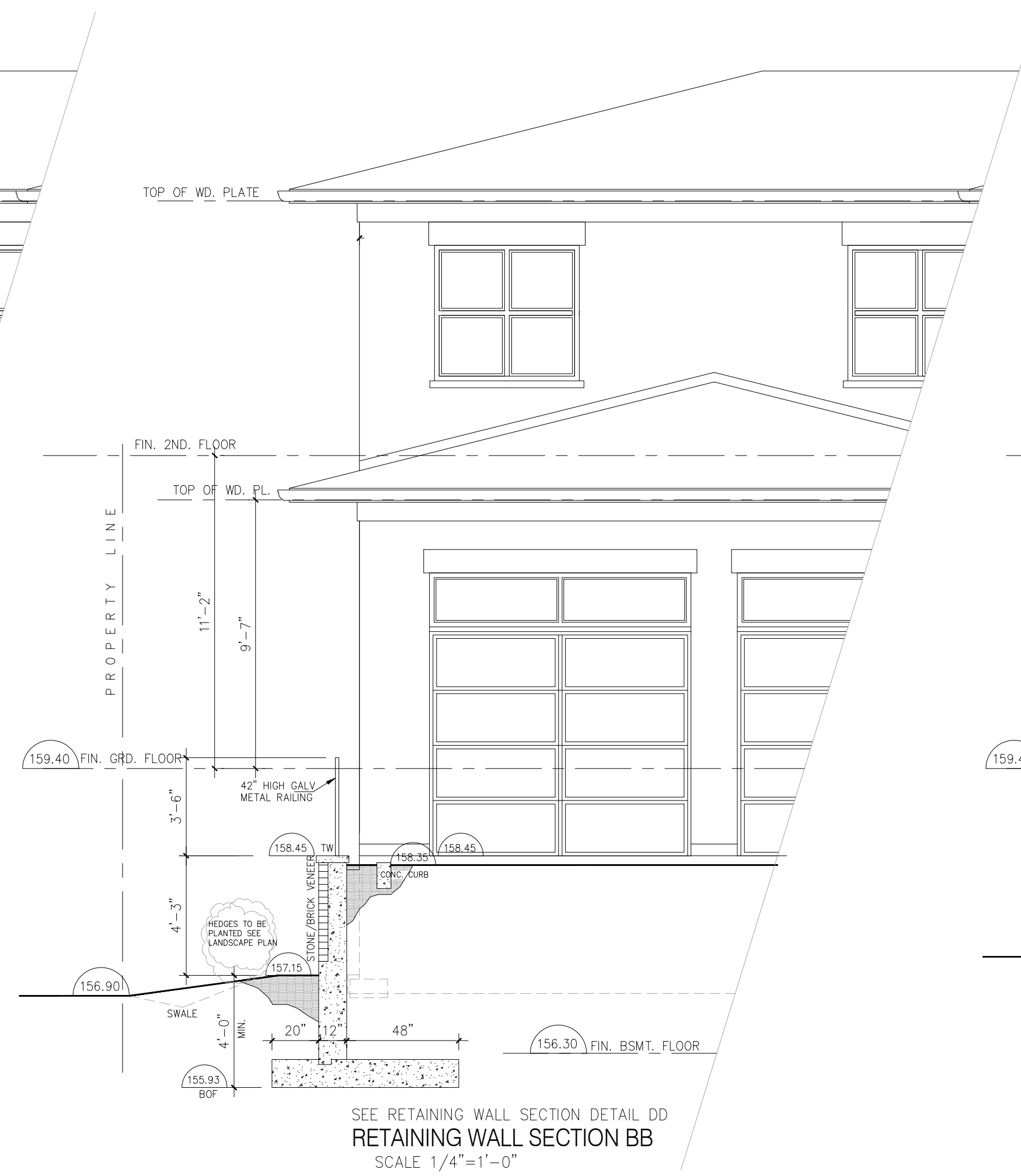
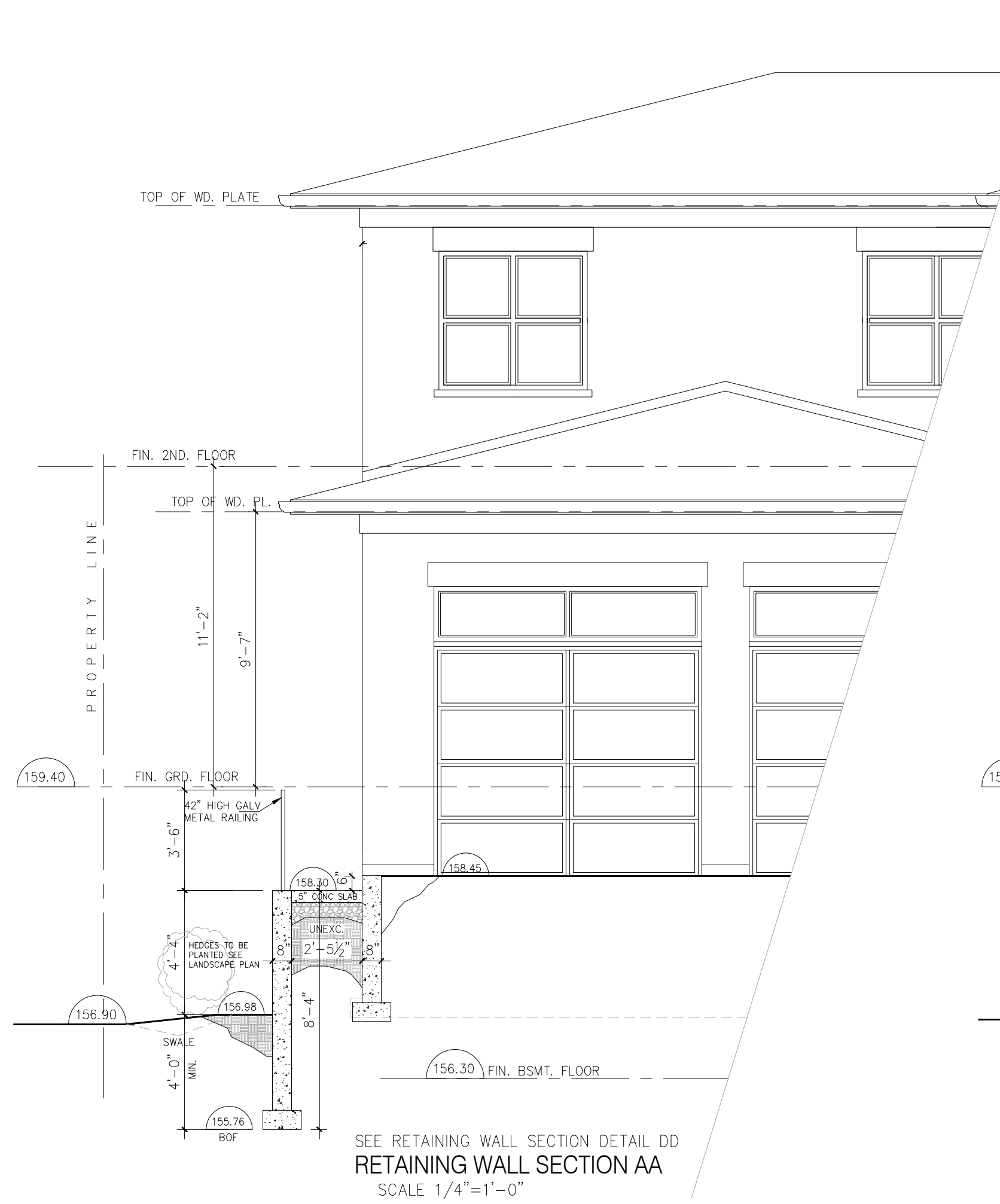
PROPOSED NEW TWO STOREY RESIDENCE

67 DAVIDSON DRIVE
VAUGHAN, ONTARIO
L4L 1M2

Drawing Name

CONSTRUCTION NOTES

Drawing by	Project No.
BA	24 - XXX
Date	Drawing No.
MAR, 2024	
Scale	A-16
1/4" = 1' - 0"	
Checked	



GENERAL NOTES

ALL DRAWINGS ARE THE PROPERTY OF THE DESIGNER AND THEY ARE NOT TO BE REPRODUCED IN WHOLE OR IN PART WITHOUT WRITTEN CONSENT FROM THE DESIGNER.

CONTRACTOR TO CHECK AND VERIFY ALL DIMENSIONS BEFORE COMMENCING WORK AND TO REPORT ANY DISCREPANCIES TO THE DESIGNER.

DO NOT SCALE DRAWINGS.

ALL CONSTRUCTION TO BE ACCORDING TO BEST COMMON PRACTICE AND CONFORM TO THE ONTARIO BUILDING CODE.

The undersigned has reviewed and takes responsibility for this design, and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.

QUALIFICATION INFORMATION
 Required unless design is exempt under 2.17.5.1 of the Building Code
 REGISTRATION INFORMATION
 Required unless design is exempt under 2.17.4.1 of the Building Code

ROLAND TRACY / K.R. TRACY
 REG. NO. 30962
 TRACON SERVICES INC.
 REG. NO. 23348

No.	REVISION / ISSUE	DATE
8		
7		
6		
5	RETAIN. WALL DIM. REV/ZONING	18 JUL/24
4	RETAINING WALL DIMEN REV	15 JUL/24
3	RETAINING WALL SEC-ELEV-DET	11 JUL/24
2	ISSUED FOR PERMIT	04 JUL/24
1	ISSUED FOR REVIEW	24 MAR/24

NAPA design

Napa Design Group Inc.
 47 Loweswater Ave.
 Unionville, Ontario, L3R7W8
 lou@napadg.com
 e 905-477-3633 M 416-930-6337

Project

PROPOSED NEW TWO STOREY RESIDENCE

67 DAVIDSON DRIVE
 VAUGHAN, ONTARIO
 L4L 1M2

Drawing Name RETAINING WALL SECTIONS, ELEVATION & DETAIL	
Drawing By BA	Project No. 24-XXX
Date MAR, 2024	Drawing No.
Scale 1/4" = 1' - 0"	A-17
Checked	

**SCHEDULE B:
COMMENTS FROM AGENCIES, BUILDING STANDARDS &
DEVELOPMENT PLANNING**

Department / Agency <small>*Comments Received</small>	Conditions Required		Nature of Comments
Building Standards (Zoning) *See Schedule B	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>	General Comments
Development Planning	Yes <input type="checkbox"/>	No <input type="checkbox"/>	Application Under Review

External Agencies <small>*Comments Received</small>	Conditions Required		Nature of Comments <small>*See Schedule B for full comments</small>
Alectra	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>	General Comments
Region of York	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>	General Comments
TRCA	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>	General Comments

Date: June 24th 2024

Attention: **Christine Vigneault**

RE:

File No.: **A100-24**

Related Files:

Applicant Napa Design Group Inc.

Location 67 Davidson Drive



Discover the possibilities

COMMENTS:

- We have reviewed the proposed Variance Application and have no comments or objections to its approval.
- We have reviewed the proposed Variance Application and have no objections to its approval, subject to the following comments (attached below).
- We have reviewed the proposed Variance Application and have the following concerns (attached below).

Alectra Utilities (formerly PowerStream) has received and reviewed the proposed Variance Application. This review, however, does not imply any approval of the project or plan.

All proposed billboards, signs, and other structures associated with the project or plan must maintain minimum clearances to the existing overhead or underground electrical distribution system as specified by the applicable standards, codes and acts referenced.

In the event that construction commences, and the clearance between any component of the work/structure and the adjacent existing overhead and underground electrical distribution system violates the Occupational Health and Safety Act, the customer will be responsible for 100% of the costs associated with Alectra making the work area safe. All construction work will be required to stop until the safe limits of approach can be established.

In the event construction is completed, and the clearance between the constructed structure and the adjacent existing overhead and underground electrical distribution system violates the any of applicable standards, acts or codes referenced, the customer will be responsible for 100% of Alectra's cost for any relocation work.

References:

- Ontario Electrical Safety Code, latest edition (Clearance of Conductors from Buildings)
- Ontario Health and Safety Act, latest edition (Construction Protection)
- Ontario Building Code, latest edition (Clearance to Buildings)
- PowerStream (Construction Standard 03-1, 03-4), attached
- Canadian Standards Association, latest edition (Basic Clearances)

If more information is required, please contact either of the following:

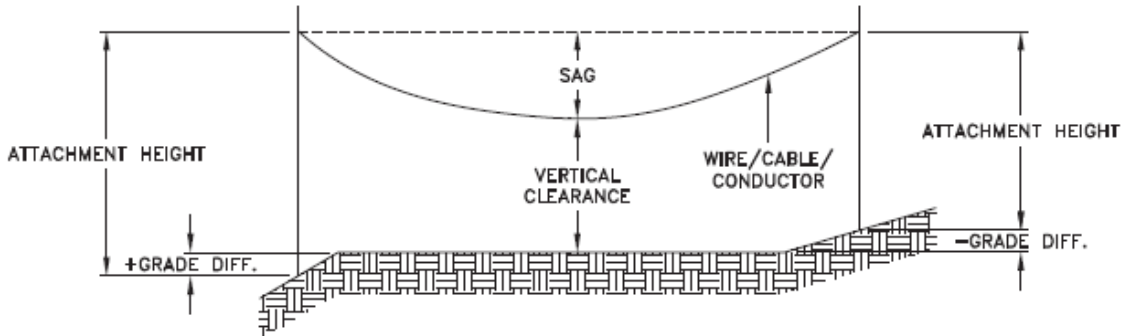
Mr. Stephen Cranley, C.E.T
Supervisor, Distribution Design, ICI & Layouts (North)
Phone: 1-877-963-6900 ext. 31297

E-mail: stephen.cranley@alectrautilities.com

Mitchell Penner
Supervisor, Distribution Design-Subdivisions
Phone: 416-302-6215

Email: Mitchell.Penner@alectrautilities.com

LOCATION OF WIRES, CABLES OR CONDUCTORS	SYSTEM VOLTAGE			
	SPAN GUYS AND COMMUNICATIONS WIRES	UP TO 600V AND NEUTRAL	4.16/2.4kV TO 27.6/16kV (SEE NOTE 1)	44kV
MINIMUM VERTICAL CLEARANCES (SEE NOTE 2)				
OVER OR ALONGSIDE ROADS, DRIVEWAYS OR LANDS ACCESSIBLE TO <u>VEHICLES</u>	442cm	442cm	480cm	520cm
OVER GROUND ACCESSIBLE TO <u>PEDESTRIANS AND BICYCLES ONLY</u>	250cm	310cm	340cm	370cm
ABOVE TOP OF RAIL AT <u>RAILWAY CROSSINGS</u>	730cm	730cm	760cm	810cm



MINIMUM ATTACHMENT HEIGHT = MAXIMUM SAG
 + MINIMUM VERTICAL CLEARANCE (FROM ABOVE TABLE)
 ± GRADE DIFFERENCE
 + 0.3m (VEHICLE OR RAILWAY LOCATION)
 + SNOW DEPTH (PEDESTRIAN LOCATION, SEE NOTE 3)

NOTES:

1. THE MULTIGROUNDED SYSTEM NEUTRAL HAS THE SAME CLEARANCE AS THE 600V SYSTEM.
2. THE VERTICAL CLEARANCES IN THE ABOVE TABLE ARE UNDER MAXIMUM SAG CONDITIONS.
3. REFER TO CSA STANDARD C22.3 No.1, ANNEX D FOR LOCAL SNOW DEPTH VALUES.
4. ALL CLEARANCES ARE IN ACCORDANCE TO CSA STANDARD C22.3.

CONVERSION TABLE

METRIC	IMPERIAL (APPROX)
810cm	27'-0"
760cm	25'-4"
730cm	24'-4"
520cm	17'-4"
480cm	16'-0"
442cm	15'-5"
370cm	12'-4"
340cm	11'-4"
310cm	10'-4"
250cm	8'-4"

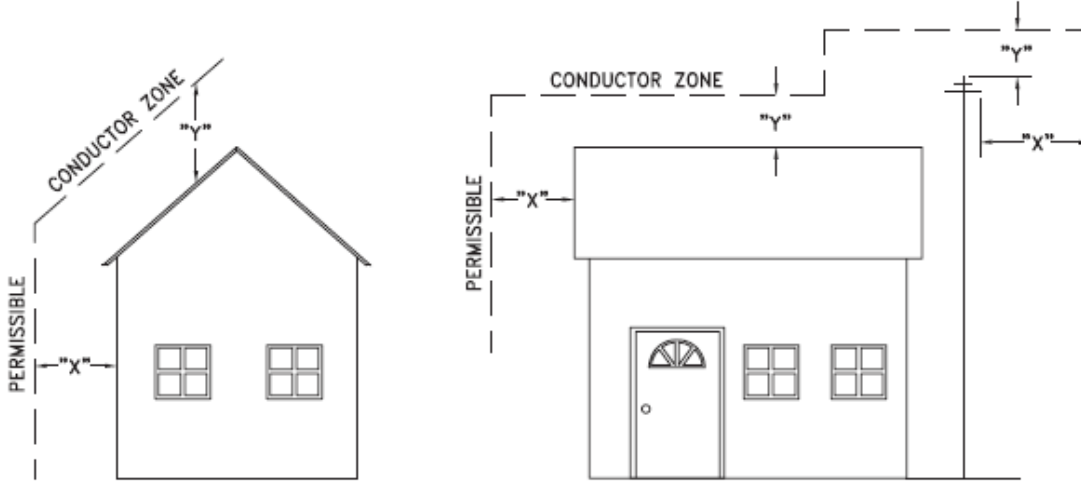
REFERENCES

SAGS AND TENSIONS | SECTION 02

MINIMUM VERTICAL CLEARANCES OF WIRES, CABLES AND CONDUCTORS ABOVE GROUND OR RAILS

ORIGINAL ISSUE DATE: 2010-DEC-24 REVISION NO: R1 REVISION DATE: 2012-JAN-09

Certificate of Approval	
This construction Standard meets the safety requirements of Section 4 of Regulation 22/04	
Joe Crozier, P.Eng.	2012-JAN-09
Name	Date
P.Eng. Approval By:	Joe Crozier



VOLTAGE	MINIMUM HORIZONTAL CLEARANCE UNDER MAXIMUM SWING CONDITIONS DIMENSION "X" (SEE NOTES 1, 3 & 4)	MINIMUM VERTICAL CLEARANCE UNDER MAXIMUM DESIGN SAG CONDITIONS DIMENSION "Y" (SEE NOTES 1, 2, 4 & 5)
0-600V AND NEUTRAL	100cm	250cm
4.16/2.4 TO 44kV	300cm	480cm

NOTES

1. UNDER NO CIRCUMSTANCES SHALL A CONDUCTOR BE PERMITTED TO PENETRATE THE ENVELOPE SHOWN BY THE DOTTED LINE.
2. THE VERTICAL CLEARANCES ARE UNDER CONDITIONS OF MAXIMUM DESIGN SAG.
3. THE HORIZONTAL CLEARANCES ARE UNDER CONDITIONS OF MAXIMUM SWING. WHERE THE CONDUCTOR SWING IS NOT KNOWN A HORIZONTAL CLEARANCE OF 480CM SHALL BE USED.
4. BUILDINGS THAT EXCEED 3 STOREYS OR 15M IN HEIGHT, THE MINIMUM HORIZONTAL CLEARANCE OF THE SECONDARY CONDUCTORS SHOULD BE INCREASED TO 300cm WHERE IT IS NECESSARY TO ALLOW FOR THE RAISING OF LADDERS BY LOCAL FIRE DEPARTMENTS.
5. IN SITUATIONS SUCH AS MULTI-LEVEL GARAGES, WHERE ROOFS ARE NORMALLY USED BY PERSONS AND VEHICLES, THE VERTICAL CLEARANCES OF POWERSTREAM STANDARD 03-1 SHALL APPLY.
6. DISTRIBUTION LINES CONSTRUCTED NEAR BUILDINGS SHALL BE BUILT TO AVOID OVERHANG WHEREVER POSSIBLE. WHERE LINES MUST BE CONSTRUCTED OVER OR ADJACENT TO BUILDINGS THE APPLICABLE HORIZONTAL AND VERTICAL CLEARANCES SHALL BE AT CONDITIONS OF MAXIMUM CONDUCTOR SWING AND MAXIMUM SAG. THE ABOVE CLEARANCES ARE DESIGNED TO PREVENT PERSONS ON OR IN BUILDINGS AS WELL AS EXTERNAL MACHINERY USED IN CONJUNCTION WITH A BUILDING TO COME IN CONTACT WITH CONDUCTORS. EFFORTS SHOULD BE MADE TO INCREASE THESE CLEARANCES WHERE POSSIBLE.
7. ALL CLEARANCES ARE IN ACCORDANCE TO CSA C22.3 NO.1-06 (TABLE-9).

METRIC	IMPERIAL (APPROX)
480cm	16'-0"
300cm	10'-0"
250cm	8'-4"
100cm	3'-4"

MINIMUM VERTICAL & HORIZONTAL CLEARANCES OF CONDUCTORS FROM BUILDINGS OR OTHER PERMANENT STRUCTURES (CONDUCTORS NOT ATTACHED TO BUILDINGS)

Certificate of Approval
This construction Standard meets the safety requirements of Section 4 of Regulation 22/04
Debbie Dadwani, P.Eng. 2010-MAY-05
Name Date
P. Eng. Approval By: *D. Dadwani*

ORIGINAL ISSUE DATE: 2010-MAY-05 REVISION NO: REVISION DATE:
PS:\System Planning and Standards\Standard Design\PowerStream Standards\PowerStream Standards working files\Section 3,3-4\DWG 03-4 R0 May 5, 2010.dwg, 5/5/2010 10:22:02 AM, Adobe PDF

To: Committee of Adjustment
From: Bernd Paessler, Building Standards Department
Date: July 23, 2024
Applicant: Napa Design Group Inc.
Location: 67 Davidson Drive
 CONC 7 Part of Lot 8
File No.(s): A100/24

Zoning Classification:

The subject lands are zoned R1A(EN) – First Density Residential Zone (Established Neighbourhood) and subject to the provisions of Exception 14.983 under Zoning By-law 001-2021, as amended.

#	Zoning By-law 001-2021	Variance requested
1	For any proposed or new replacement dwelling exceeding a height of 9.5m the minimum required interior side yards shall be the greater (more restrictive) <ul style="list-style-type: none"> a. The requirement of the applicable zone b. The existing interior side yard c. 2.2m. The required side yard shall be 3.42m on the west side and 5.92m on the east side. Section 4.5 2	To permit a minimum side yard of 1.52m on the west side and 2.34m on the east side.
2	The maximum building height shall be the least (more restrictive) of: <ul style="list-style-type: none"> a. The requirement of the applicable zone; or b. The existing building height plus 3.0 m, but in no case shall the maximum building height requirement be less than 8.5 m. The maximum building height shall be 8.5m. Section 4.5 1	To permit a maximum building height of 10.33m.
3	The maximum permitted encroachment for eaves, eavestroughs and gutters is 0.50m into the required yard. Section 4.13 Table 4-1	To permit a maximum encroachment of 0.76m for eaves, eavestroughs and gutters into the required interior side yards.

Staff Comments:

Stop Work Order(s) and Order(s) to Comply:

There are no outstanding Orders on file

Building Permit(s) Issued:

Other Comments:

General Comments	
1	The applicant shall be advised that additional variances may be required upon review of detailed drawing for building permit/site plan approval.

Conditions of Approval:

If the committee finds merit in the application, the following conditions of approval are recommended.

* Comments are based on the review of documentation supplied with this application.

Prabhdeep Kaur

From: Cameron McDonald <Cameron.McDonald@trca.ca>
Sent: Wednesday, July 3, 2024 11:15 AM
To: Committee of Adjustment
Subject: [External] RE: A100/24 - 67 Davidson Dr. - REQUEST FOR COMMENTS, CITY OF VAUGHAN

CAUTION! This is an external email. Verify the sender's email address and carefully examine any links or attachments before clicking. If you believe this may be a phishing email, please use the Phish Alert Button.

Good morning,

Based on a review of our screening mapping, I can confirm that the subject property is not located within TRCA's Regulated Area. As such, any site alteration or development on the property would not require a permit from TRCA.

Based on the above, we have no comments/requirements.

Regards,

Cameron McDonald

Planner I

Development Planning and Permits | Development and Engineering Services

T: [\(437\) 880-1925](tel:(437)880-1925)

E: cameron.mcdonald@trca.ca

A: [101 Exchange Avenue, Vaughan, ON, L4K 5R6](https://www.trca.ca) | [trca.ca](https://www.trca.ca)



From: Prabhdeep Kaur <Prabhdeep.Kaur@vaughan.ca>

Sent: Thursday, June 27, 2024 9:30 AM

To: rowcentre@bell.ca; carrie.gordon@bell.ca; developmentservices@york.ca; York Plan <yorkplan@trca.ca>; engineeringadmin@powerstream.ca; TCEnergy@mhbcplan.com

Cc: Committee of Adjustment <CofA@vaughan.ca>; planning.services@yrdsb.ca; developmentplanning@ycdsb.ca

Subject: A100/24 - 67 Davidson Dr. - REQUEST FOR COMMENTS, CITY OF VAUGHAN

EXTERNAL SENDER

Hello,

Please email comments and recommendations on the above noted application to cofa@vaughan.ca. If you wish to be notified of the decision, please confirm in writing.

The deadline to submit comments on this application is **July 5, 2024**.

Should you have any questions or require additional information please contact the undersigned.

Committee of Adjustment, City of Vaughan

Cofa@vaughan.ca

905-832-8504

City of Vaughan | Office of the City Clerk

2141 Major Mackenzie Dr., Vaughan ON L6A 1T1

vaughan.ca

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From: [Development Services](#)
To: [Prabhdeep Kaur](#)
Cc: [Committee of Adjustment](#)
Subject: [External] RE: A100/24 - 67 Davidson Dr. - REQUEST FOR COMMENTS, CITY OF VAUGHAN
Date: Thursday, July 4, 2024 6:07:04 PM
Attachments: [image001.png](#)
[image003.png](#)

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Hi Prabhdeep,

The Regional Municipality of York has completed its review of the minor variance application – A100/24 (67 Davidson Dr.) and has no comment.

Please provide us with a digital copy of the notice of decision for our records.

Many thanks

Our working hours may be different. Please do not feel obligated to reply outside of your scheduled working hours. Let's work together to help foster healthy work-life boundaries.

Niranjan Rajevan, M.Pl. | Associate Planner, Development Planning | Economic and Development Services Branch | Corporate Services Department

The Regional Municipality of York | 17250 Yonge Street | Newmarket, ON L3Y 6Z1
1-877-464-9675 ext. 71521 | niranjan.rajevan@york.ca | www.york.ca

Our Values: Integrity, Commitment, Accountability, Respect, Excellence



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SCHEDULE C: PUBLIC & APPLICANT CORRESPONDENCE

None

SCHEDULE D: BACKGROUND

None