

ITEM: 6.14	REPORT SUMMARY MINOR VARIANCE APPLICATION FILE NUMBER A093/24
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Report Date: July 26, 2024

**THIS REPORT CONTAINS COMMENTS FROM THE FOLLOWING
DEPARTMENTS & AGENCIES (SEE SCHEDULE B):**

Additional comments from departments and agencies received after the publication of the report will be made available on the City's [website](#).

Internal Departments <small>*Comments Received</small>	Conditions Required		Nature of Comments
Committee of Adjustment	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>	General Comments
Building Standards (Zoning)	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>	General Comments
Development Planning	Yes <input type="checkbox"/>	No <input type="checkbox"/>	Application Under Review
Development Engineering	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>	Recommend Approval/No Conditions
Development Finance	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>	General Comments
By-law & Compliance	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>	General Comments

External Agencies <small>*Comments Received</small>	Conditions Required		Nature of Comments <small>*See Schedule B for full comments</small>
Alectra	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>	General Comments
Region of York	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>	General Comments
TRCA	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>	General Comments

PUBLIC & APPLICANT CORRESPONDENCE (SEE SCHEDULE C)

All personal information collected because of this public meeting (including both written and oral submissions) is collected under the authority of the Municipal Act, the Municipal Freedom of Information and Protection of Privacy Act (MFIPPA), the Planning Act and all other relevant legislation, and will be used to assist in deciding on this matter. All personal information (as defined by MFIPPA), including (but not limited to) names, addresses, opinions and comments collected will become property of the City of Vaughan, will be made available for public disclosure (including being posted on the internet) and will be used to assist the Committee of Adjustment and staff to process this application.

Correspondence Type	Name	Address	Date Received <small>(mm/dd/yyyy)</small>	Summary
Applicant			06/18/2024	Application Cover Letter

BACKGROUND (SCHEDULE D, IF REQUIRED)

* Background Information contains historical development approvals considered to be related to this file.
This information should not be considered comprehensive.

Application No. (City File)	Application Description <small>(i.e. Minor Variance Application; Approved by COA / OLT)</small>
N/A	N/A

ADJOURNMENT HISTORY

* Previous hearing dates where this application was adjourned by the Committee and public notice issued.

Hearing Date	Reason for Adjournment <small>(to be obtained from NOD_ADJ)</small>
N/A	N/A

SCHEDULES

Schedule A	Drawings & Plans Submitted with the Application
Schedule B	Comments from Agencies, Building Standards & Development Planning
Schedule C (if required)	Public & Applicant Correspondence
Schedule D (if required)	Background



MINOR VARIANCE APPLICATION FILE NUMBER A093/24

CITY WARD #:	2
APPLICANT:	York Catholic District School Board
AGENT:	Chris Maves, Nick Swerdfeger & David Bovill
PROPERTY:	7501 Martin Grove Road, Woodbridge
ZONING DESIGNATION:	See below.
VAUGHAN OFFICIAL PLAN (2010) DESIGNATION:	City of Vaughan Official Plan ('VOP 2010'): "Parkway Belt West Lands"
RELATED DEVELOPMENT APPLICATIONS:	DA. 20.018.
PROPOSAL:	Relief from the Zoning By-law is being requested to permit the addition of portable classrooms onsite and to facilitate related Site Plan Application DA. 20.018.

The following variances are being requested from the City's Zoning By-law to accommodate the above proposal:

The subject lands are zoned PB1, Parkway Belt Public Use under Zoning By-law 001-2021, as amended.

#	Zoning By-law 001-2021	Variance requested
1	The permitted maximum coverage for lots on PB1, Parkway Belt public Use zone shall not exceed 20%. [13.3 and Table 13-3 and 4.15]	To permit a maximum lot coverage of 34.49%.

HEARING INFORMATION

DATE OF MEETING: Thursday, August 1, 2024

TIME: 6:00 p.m.

MEETING LOCATION: Vaughan City Hall, Woodbridge Room (2nd Floor), 2141 Major Mackenzie Drive

LIVE STREAM LINK: Vaughan.ca/LiveCouncil

PUBLIC PARTICIPATION

If you would like to speak to the Committee of Adjustment at the meeting, either remotely or in person, please complete the [Request to Speak Form](#) and submit to cofa@vaughan.ca

If you would like to submit written comments, please quote file number above and submit by mail or email to:

Email: cofa@vaughan.ca

Mail: City of Vaughan, Office of the City Clerk, Committee of Adjustment, 2141 Major Mackenzie Drive, Vaughan, ON, L6A 1T1

To speak electronically, pre-registration is required by completing the [Request to Speak Form](#) on-line and submitting it to cofa@vaughan.ca no later than NOON on the last business day before the meeting.

THE DEADLINE TO REGISTER TO SPEAK ELECTRONICALLY OR SUBMIT WRITTEN COMMENTS ON THE ABOVE NOTED FILE(S) IS NOON ON THE LAST BUSINESS DAY BEFORE THE MEETING.

INTRODUCTION

Staff and Agencies act as advisory bodies to the Committee of Adjustment. The comments contained in this report are presented as recommendations to the Committee.

Section 45(1) of the Planning Act sets the criteria for authorizing minor variances to the City of Vaughan's Zoning By-law. Accordingly, review of the application may consider the following:

INTRODUCTION

That the general intent and purpose of the by-law will be maintained.
That the general intent and purpose of the official plan will be maintained.
That the requested variance(s) is/are acceptable for the appropriate development of the subject lands.
That the requested variance(s) is/are minor in nature.

Public written and oral submissions relating to this application are taken into consideration by the Committee of Adjustment as part of its deliberations and final decision on this matter.

COMMITTEE OF ADJUSTMENT

Date Public Notice Mailed:	July 18, 2024
Date Applicant Confirmed Posting of Sign:	July 17, 2024
Applicant Justification for Variances: <small>*As provided in Application Form</small>	The existing property already exceeds the permitted coverage due to previously approved development.
Was a Zoning Review Waiver (ZRW) Form submitted by Applicant: <small>*ZRW Form may be used by applicant in instances where a revised submission is made, and zoning staff do not have an opportunity to review and confirm variances prior to the issuance of public notice.</small>	Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>
COMMENTS:	
None	
Committee of Adjustment Recommended Conditions of Approval:	None

BUILDING STANDARDS (ZONING)

**See Schedule B for Building Standards (Zoning) Comments	
Building Standards Recommended Conditions of Approval:	None

DEVELOPMENT PLANNING

**See Schedule B for Development Planning Comments. Application under Review.	
Development Planning Recommended Conditions of Approval:	None

DEVELOPMENT ENGINEERING

Link to Grading Permit Link to Pool Permit Link to Curb Curt Permit Link Culvert Installation	
The proposed work by the Owner / Applicant is increasing the lot coverage on the subject property 42%. The added hardscape may have impacts on the City's Storm Water management system. Development Engineering strongly encourages the Owner / Applicant introduce Low-Impact Development (LID) measures (e.g., bioswales, permeable pavers, rain gardens, rain barrels etc.) to reduce the impacts to the stormwater system. Should further information be required, please contact the Development Engineering COA reviewer.	
Development Engineering Recommended Conditions of Approval:	None

PARKS, FORESTRY & HORTICULTURE (PFH)

No comments received to date.	
PFH Recommended Conditions of Approval:	None

DEVELOPMENT FINANCE

No comment no concerns	
Development Finance Recommended Conditions of Approval:	None

BY-LAW AND COMPLIANCE, LICENSING AND PERMIT SERVICES

No comments.	
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BY-LAW AND COMPLIANCE, LICENSING AND PERMIT SERVICES

BCLPS Recommended Conditions of Approval:	None
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BUILDING INSPECTION (SEPTIC)

No comments received to date.

Building Inspection Recommended Conditions of Approval:	None
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FIRE DEPARTMENT

No comments received to date.

Fire Department Recommended Conditions of Approval:	None
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RECOMMENDED CONDITIONS OF APPROVAL SUMMARY

Should the Committee find it appropriate to approve this application in accordance with request and the sketch submitted with the application, as required by Ontario Regulation 200/96, the following conditions have been recommended:

#	DEPARTMENT / AGENCY	CONDITION
1	Development Planning Nicholas.delprete@vaughan.ca	TBC

All conditions of approval, unless otherwise stated, are considered to be incorporated into the approval "if required". If a condition is no longer required after an approval is final and binding, the condition may be waived by the respective department or agency requesting conditional approval. A condition cannot be waived without written consent from the respective department or agency.

IMPORTANT INFORMATION

CONDITIONS: It is the responsibility of the owner/applicant and/or authorized agent to obtain and provide a clearance letter from respective department and/or agency (**see condition chart above for contact**). This letter must be provided to the Secretary-Treasurer to be finalized. All conditions must be cleared prior to the issuance of a Building Permit.

APPROVALS: Making any changes to your proposal after a decision has been made may impact the validity of the Committee's decision.

An approval obtained from the Committee of Adjustment, where applicable, is tied to the building envelope shown on the plans and drawings submitted with the application and subject to the variance approval.

A building envelope is defined by the setbacks of the buildings and/or structures shown on the plans and drawings submitted with the application, as required by Ontario Regulation 200/96. Future development outside of an approved building envelope, where a minor variance was obtained, must comply with the provisions of the City's Zoning By-law.

Elevation drawings are provided to reflect the style of roof (i.e. flat, mansard, gable etc.) to which a building height variance has been applied. Where a height variance is approved, building height is applied to the style of roof (as defined in the City's Zoning By-law) shown on the elevation plans submitted with the application.

Architectural design features that are not regulated by the City's Zoning By-law are not to be considered part of an approval unless specified in the Committee's decision.

DEVELOPMENT CHARGES: That the payment of the Regional Development Charge, if required, is payable to the City of Vaughan before issuance of a building permit in accordance with the Development Charges Act and the Regional Development Charges By-law in effect at the time of payment.

That the payment of the City Development Charge, if required, is payable to the City of Vaughan before issuance of a building permit in accordance with the Development Charges Act and the City's Development Charges By-law in effect at the time of payment.

That the payment of the Education Development Charge if required, is payable to the City of Vaughan before issuance of a building permit in accordance with the Development Charges Act and the Boards of Education By-laws in effect at the time of payment

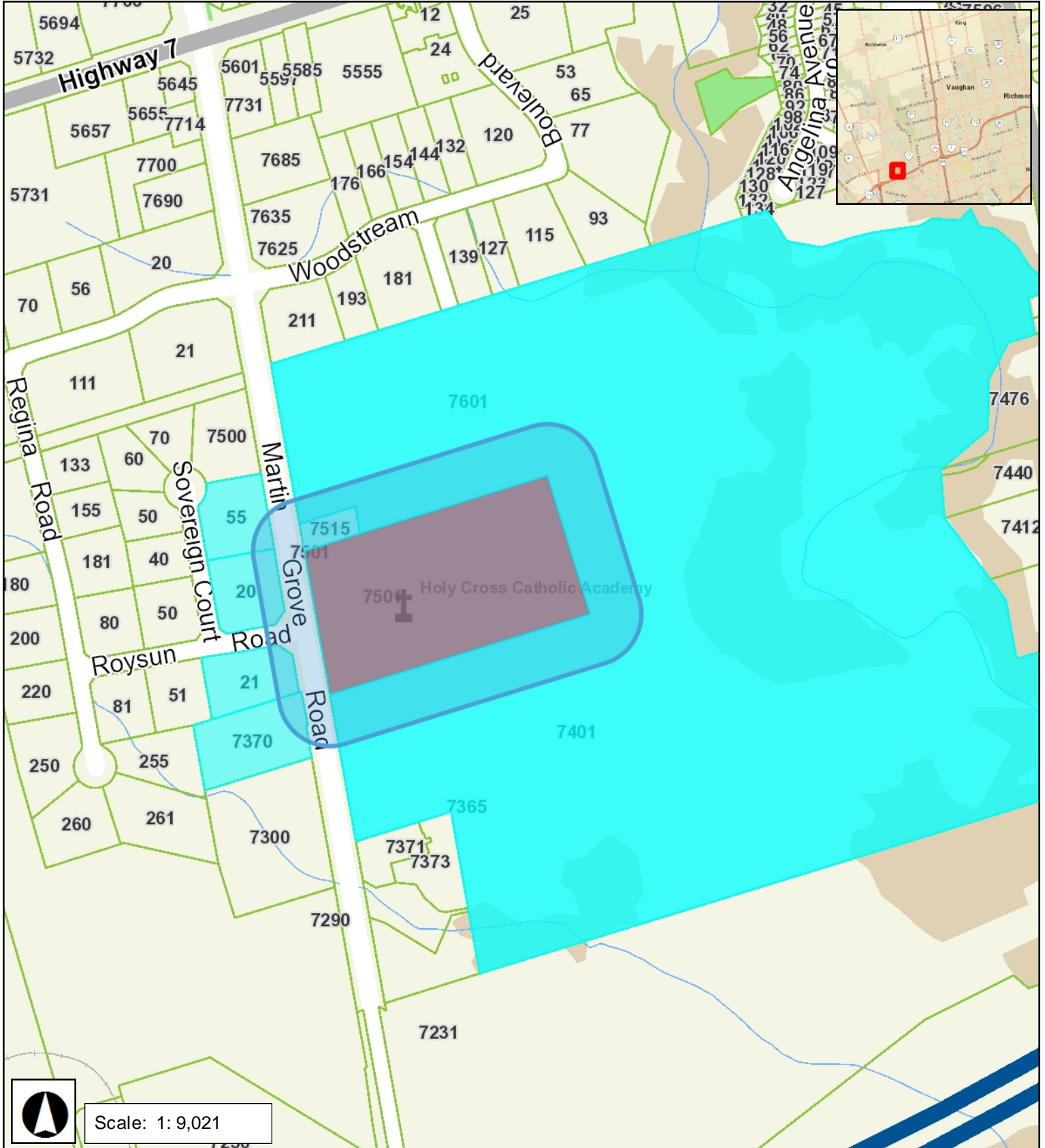
That the payment of Special Area Development charge, if required, is payable to the City of Vaughan before issuance of a building permit in accordance with the Development Charges Act and The City's Development Charge By-law in effect at the time of Building permit issuance to the satisfaction of the Reserves/Capital Department.

IMPORTANT INFORMATION

NOTICE OF DECISION: If you wish to be notified of the decision in respect to this application or a related Ontario Land Tribunal (OLT) hearing you must complete a Request for Decision form and submit to the Secretary Treasurer (ask staff for details). In the absence of a written request to be notified of the Committee's decision you will **not** receive notice.

SCHEDULE A: DRAWINGS & PLANS

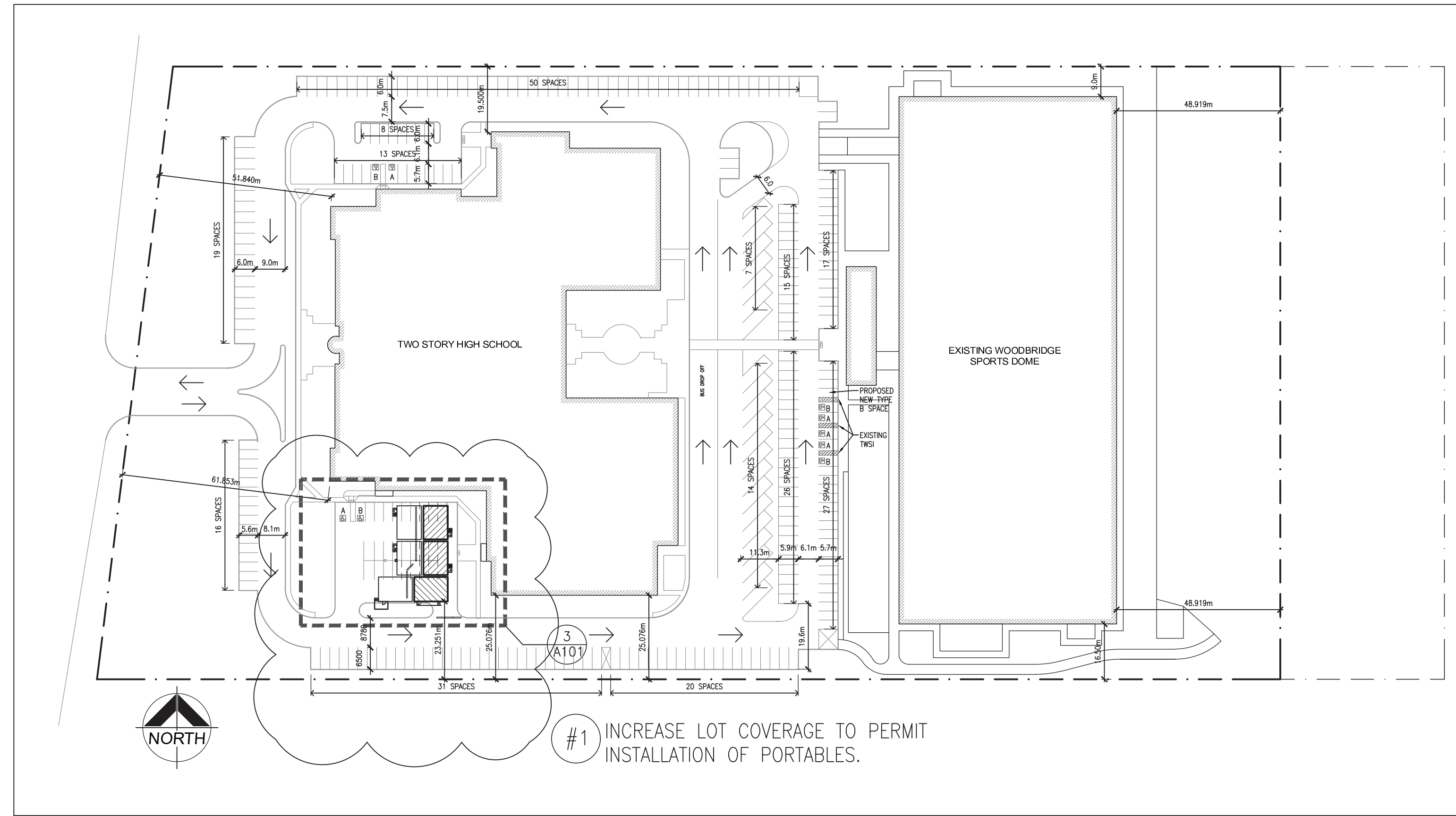
7501 Martin Grove Road, Woodbridge



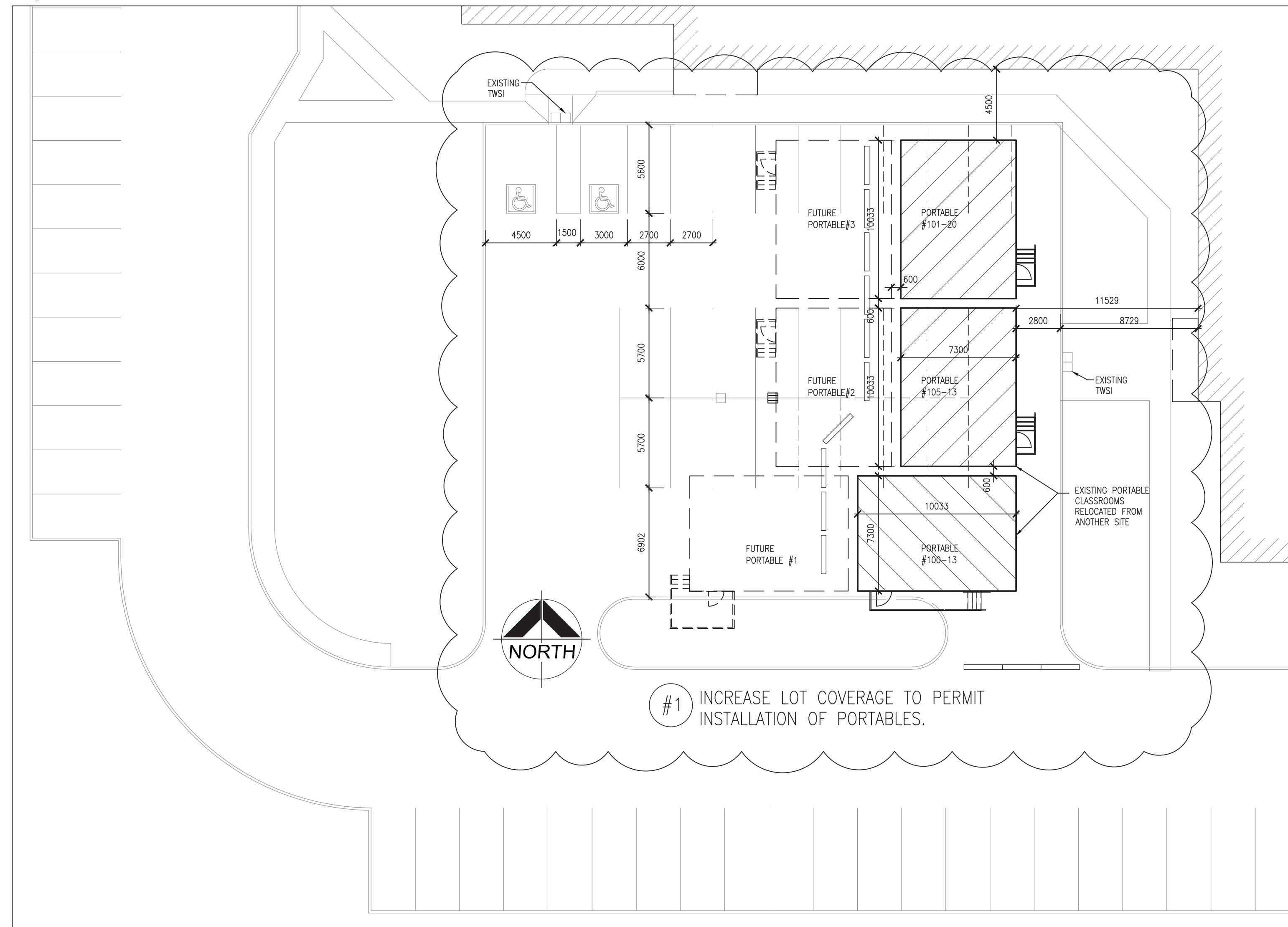
Ontario Building Code Data Matrix Part 11 - Renovation of Existing Building			OBC Reference
11.00	Building Code Version: O.Reg. 332/12 Last Amendment: O.Reg. 191/14		
11.01	Project Type: <input checked="" type="checkbox"/> Addition <input type="checkbox"/> Renovation <input type="checkbox"/> Change of use Description: Secondary School Portable Classrooms		3.9 "PORTABLE CLASSROOMS"
11.02	Major Occupancy Classification: <u>Assembly</u> Use: <u>Portable classrooms</u>		3.9
11.03	Superimposed Major Occupancies: <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No Description: -		3.2.2.7
11.04	Building Area (m ²): Description: EXISTING SCHOOL (FOOT PRINT) NEW PORTABLES (3x74m ²) FUTURE PORTABLES (3x74m ²) Total=	Existing: 10297 New: - Total: 10297 Existing: - New: 222 Total: 222 Existing: - New: 222 Total: 222 Existing: 10297 New: 444 Total: 10741	3.9
11.05	Building Height: 2 (existing) Storeys above grade 18 Storeys below grade	±0.100 (m) Above grade (existing)	[A] 1.4.1.2 & 3.2.1.1
11.06	Number of streets/ fire fighter access: 1 streets		3.9.3.4
11.07	Building Size: <input checked="" type="checkbox"/> Small <input type="checkbox"/> Medium <input type="checkbox"/> Large <input type="checkbox"/> > Large (PORTABLE ONLY)		T.11.2.1.1.B.-N.
11.08	Existing Building Classification: <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No Change in Major Occupancy: <input type="checkbox"/> Yes <input checked="" type="checkbox"/> Not Applicable (no change of major occupancy) Construction Index: 4 Hazard Index: 3 Importance Category: <input type="checkbox"/> Low <input checked="" type="checkbox"/> Normal <input type="checkbox"/> High <input type="checkbox"/> Post-disaster		11.2.1 11.2.1.1A 11.2.1.1B to N. 4.2.1(3) & 5.2.2.1(2)
11.09	Renovation Type: <input checked="" type="checkbox"/> Basic Renovation <input type="checkbox"/> Extensive Renovation		11.3.3.1 & 11.3.3.2
11.10	Occupant Load: Floor Level/Area: 3 Portables Occupancy Type: classroom Based On: 3x30=90 Occup. Load: -		3.1.17
11.11	Plumbing Fixture Requirements: Ratio: Male/Female = 50:50 Except as noted otherwise Floor level/Area: EXIST. SCHOOL NEW PORTABLES Occupant Load: 90 OBC Reference: - Fixtures Required: - Fixtures Provided: 0		3.7.4 NA 3.8.3.8
11.12	Barrier-free Design: <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No Explanation: Portable building is existing, relocated from other site.		11.3.3.2(2) 3.8.3.9
11.13	Reduction in Performance Level: Structural: <input checked="" type="checkbox"/> No <input type="checkbox"/> Yes By increase in occupant load: <input checked="" type="checkbox"/> No <input type="checkbox"/> Yes By change of major occupancy: <input checked="" type="checkbox"/> No <input type="checkbox"/> Yes Plumbing: <input checked="" type="checkbox"/> No <input type="checkbox"/> Yes Sewage - system: <input checked="" type="checkbox"/> No <input type="checkbox"/> Yes		11.4.2.1 11.4.2.2 11.4.2.3 11.4.2.4 11.4.2.5
11.14	Compensating Construction: <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No Structural: <input checked="" type="checkbox"/> No <input type="checkbox"/> Yes By increase in occupant load: <input checked="" type="checkbox"/> No <input type="checkbox"/> Yes By change of major occupancy: <input checked="" type="checkbox"/> No <input type="checkbox"/> Yes Plumbing: <input checked="" type="checkbox"/> No <input type="checkbox"/> Yes Sewage - system: <input checked="" type="checkbox"/> No <input type="checkbox"/> Yes Extension of Combustible Construction: <input checked="" type="checkbox"/> No <input type="checkbox"/> Yes		11.4.2.1 11.4.2.2 11.4.2.3 11.4.2.4 11.4.2.5 11.4.2.6 11.4.2.7
11.15	Compliance Alternatives Proposed: <input checked="" type="checkbox"/> No <input type="checkbox"/> Yes		11.5.1.
11.16	Notes: - PORTABLE BUILDING IS EXISTING AND HAS BEEN USED BY THE BOARD IN OTHER LOCATIONS. - EXISTING WOOD PLATFORM AND STAIR IS FROM PREVIOUS PORTABLE LOCATION. - PORTABLE IS TO BE CONNECTED TO THE SCHOOLS EXISTING FIRE ALARM. - EXISTING PORTABLE IS NOT SPRINKLERED.		11.5.1 3.9

SITE STATISTICS

Site Area: (Based on Site Development DA.20.018)	61,060m ²	Zoning: Parkway Bell Public Use Zone (PBI)
Existing Building Area (School Footprint):	±10,297m ²	Existing on site ±298 including 98F parking
Existing Building Area (Woodbridge Sports dome): (based DA.20.018)	±9,290m ²	Required Parking: Existing School 1.5 spaces/ classroom or gym: =59 (includes chapel, stage & cafeteria) Gymnasiums (includes gyms, weight/exercise room) = 4 Total rooms =63
Existing Building Area (Sports Dome Admin.): (based on DA.20.018)	±334m ²	Existing School: 63x1.5= 94.5 spaces
Total Existing Buildings:	±19,921m ²	3 New Portables 1.5 spaces/ portable: 1.5x3 = 4.5
New Building Area (3 Portables):	222m ²	3 Future Portables 1.5 spaces/ portable: 1.5x3 = 4.5
Future Building Area (3 Future Portables):	222m ²	Total Parking required (school only) =103.5
Total Building Area: (Existing, New & Future Portables)	±20,365m ²	New parking count: 196 existing spaces =10 spaces due to 3 portables =286 includes 9 Existing BF spaces
Existing Building Coverage: ±32.6%		Existing BF parking spaces: Type A=5, Type B=4 (+1 TYPE B)
Proposed Building Coverage: ±34.49% (including future portables)		Proposed: ±48,919m (to Sports Dome) ±51840m (to School) ±9,000m (to Sports Dome) ±16,500m (to Sports Dome) ±23,251m (to portable)
Setbacks Required:		11.2.1 11.2.1.1A 11.2.1.1B to N. 4.2.1(3) & 5.2.2.1(2)
Front (East)	15.0m	±48,919m (to Sports Dome) ±51840m (to School)
Rear (West)	15.0m	±9,000m (to Sports Dome) ±16,500m (to Sports Dome)
Side (North, Int.)	15.0m	±23,251m (to portable)
Side (South, Int.)	15.0m	
Side (South, Int.)	15.0m	
Existing Female WC:	±40	
Existing Male WC:	±41	
Total Existing: (school only)	±81	



1 A101 PART EXISTING SITE PLAN N.T.S.



3 A101 PART SITE PLAN 1:200

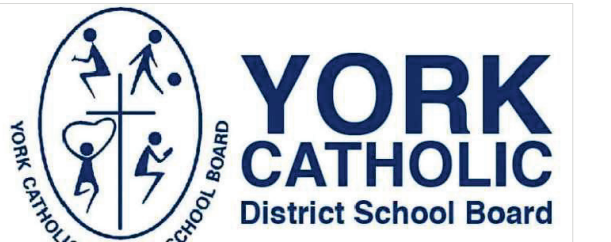
RECEIVED
By Christine Vigneault at 9:13 am, Jul 17, 2024



2 A101 SITE LOCATION PLAN N.T.S.

*Plan no reviewed by zoning updated lot coverage to be consistent with zoning comments.

DO NOT SCALE THE DRAWINGS.
CHECK AND VERIFY ALL DIMENSIONS AT THE SITE.
ALL DRAWINGS, SPECIFICATIONS AND RELATED DOCUMENTS ARE THE COPYRIGHT PROPERTY OF THE CONSULTANT AND MUST BE RETURNED UPON REQUEST. REPRODUCTION OF DRAWINGS IN PART OR WHOLE WITHOUT THE PERMISSION OF THE CONSULTANT IS FORBIDDEN.
DRAWINGS ARE NOT TO BE USED FOR CONSTRUCTION UNTIL SIGNED AND SEALED BY THE CONSULTANT.

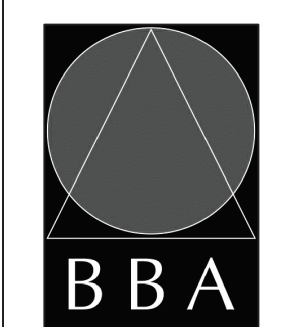


NO.	ISSUES	DATE	BY
1	ISSUED FOR PERMIT	NOV. 30, 2023	BBA
2	ISSUED FOR ELECTRICAL TENDER	DEC. 8, 2023	BBA
3	REVISED SITE PLAN	FEB. 26, 2024	BBA
4	ISSUED FOR CoA APPLICATION	MAY 16, 2024	BBA
5	REISSUED FOR CoA APPLICATION	JUNE 17, 2024	BBA
6	REISSUED FOR CoA APPLICATION	JUNE 25, 2024	BBA
7	REISSUED FOR CoA APPLICATION	JULY 8, 2024	BBA

NO.	REVISIONS	DATE	BY

PROJECT:
NEW PORTABLES AT HOLY CROSS CATHOLIC ACADEMY
7501 MARTIN GROVE ROAD
WOODBIDGE, ON
YORK CATHOLIC DISTRICT SCHOOL BOARD

DRAWING:
PART SITE PLAN AND
OBC MATRIX

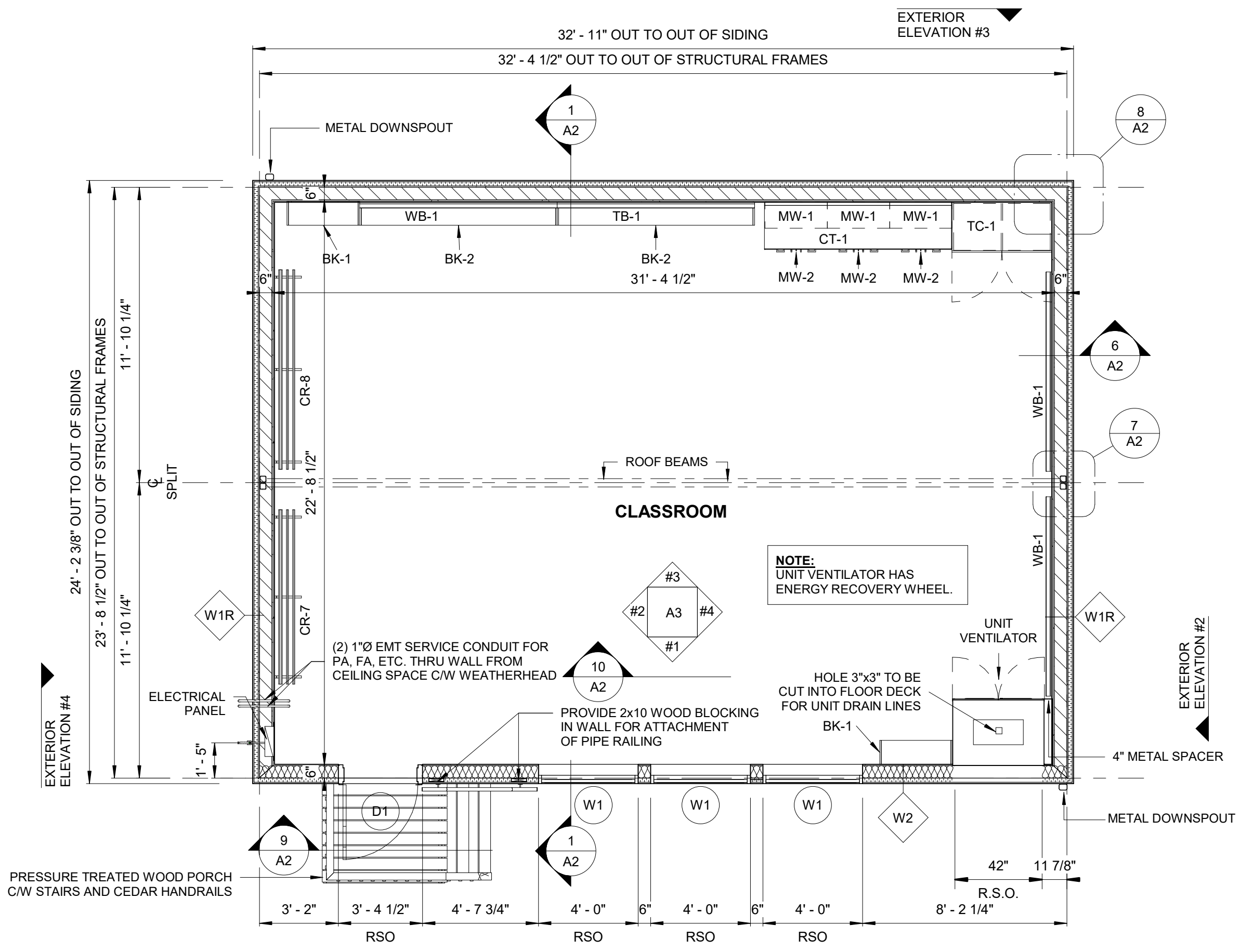


BARRY BRYAN ASSOCIATES
Architects
Engineers
Project Managers
250 Water Street
Suite 201
Whitby, Ontario
L1N 0G5
Tel: (905) 666-5252
Fax: (905) 666-5256
e-mail: bba@bba-archeng.com



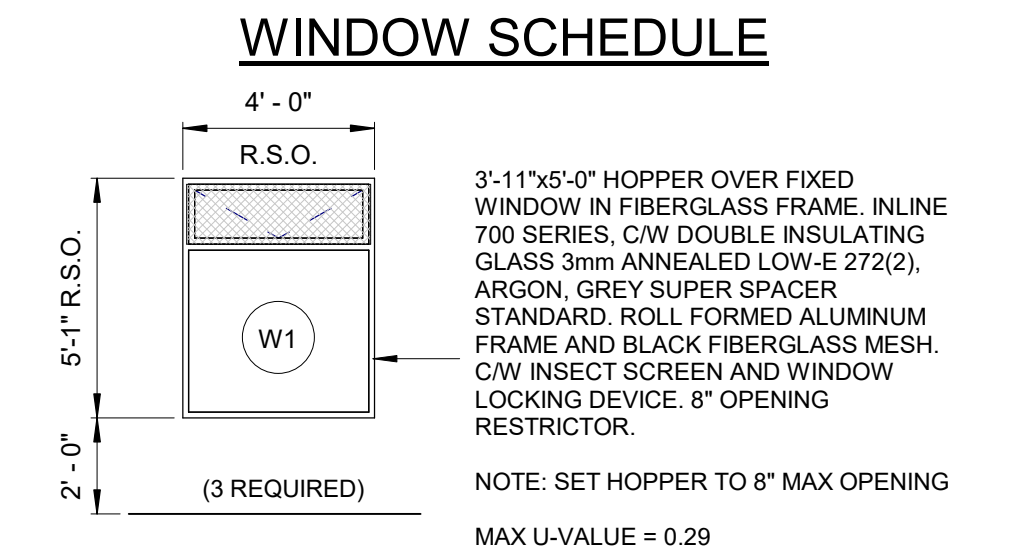
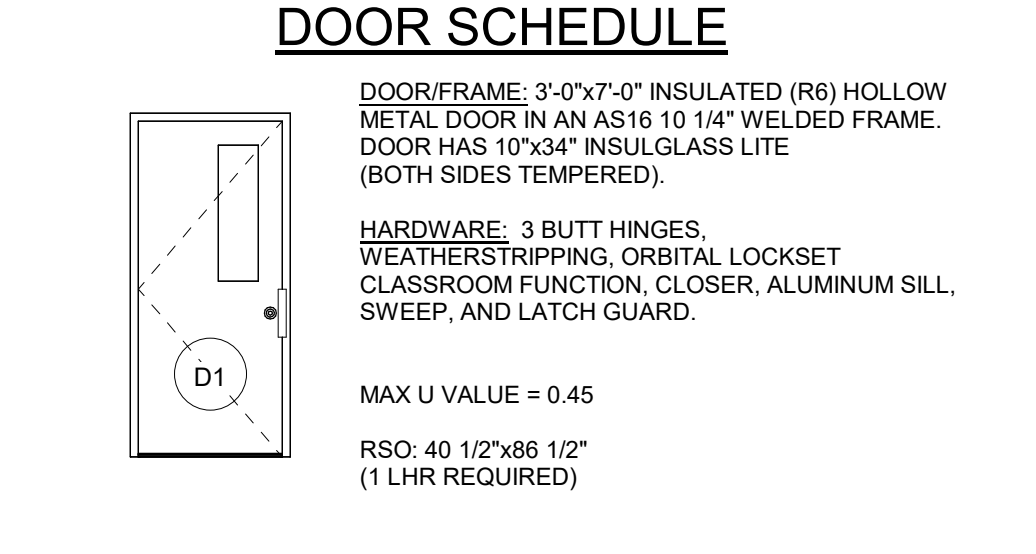
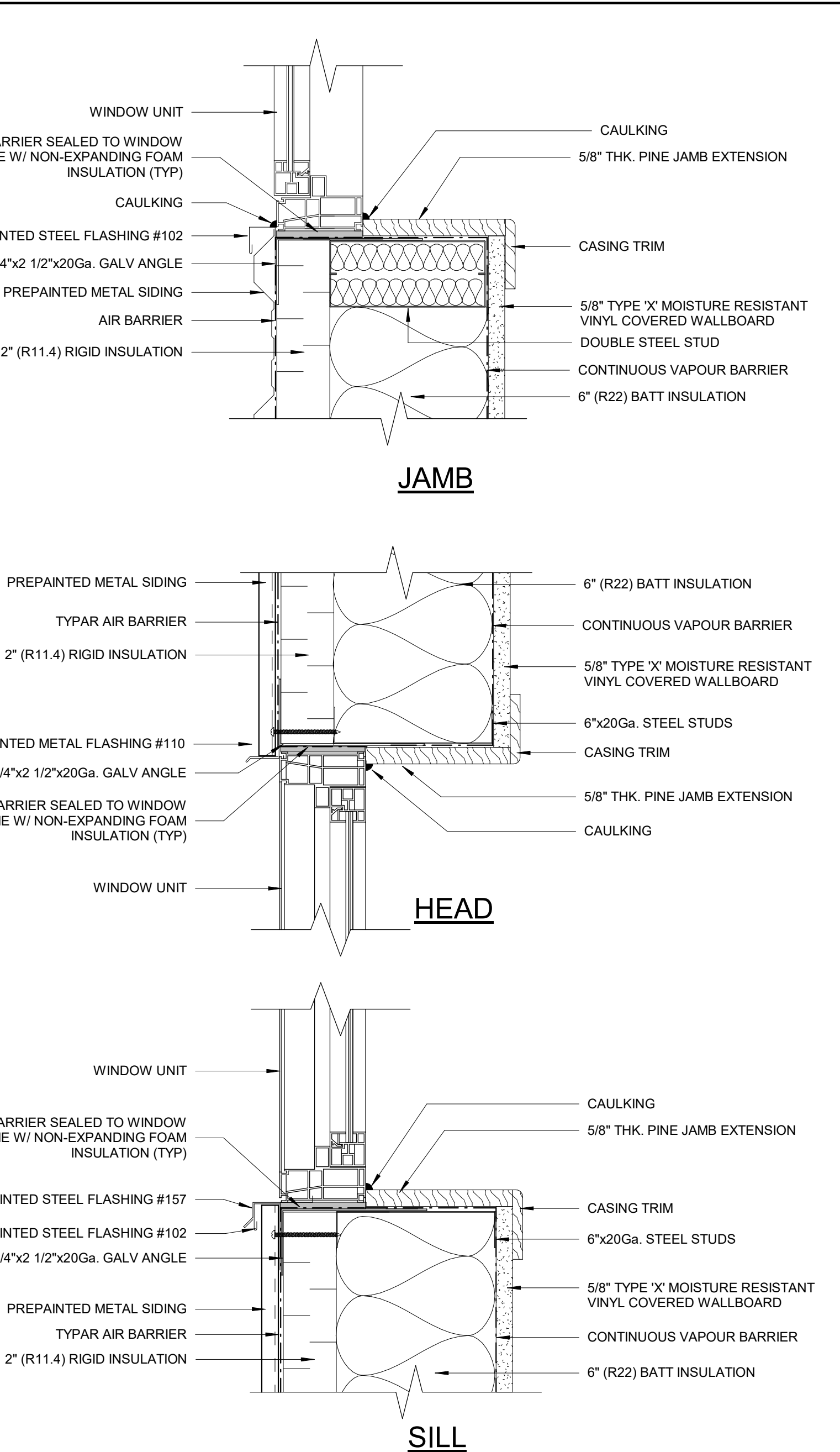
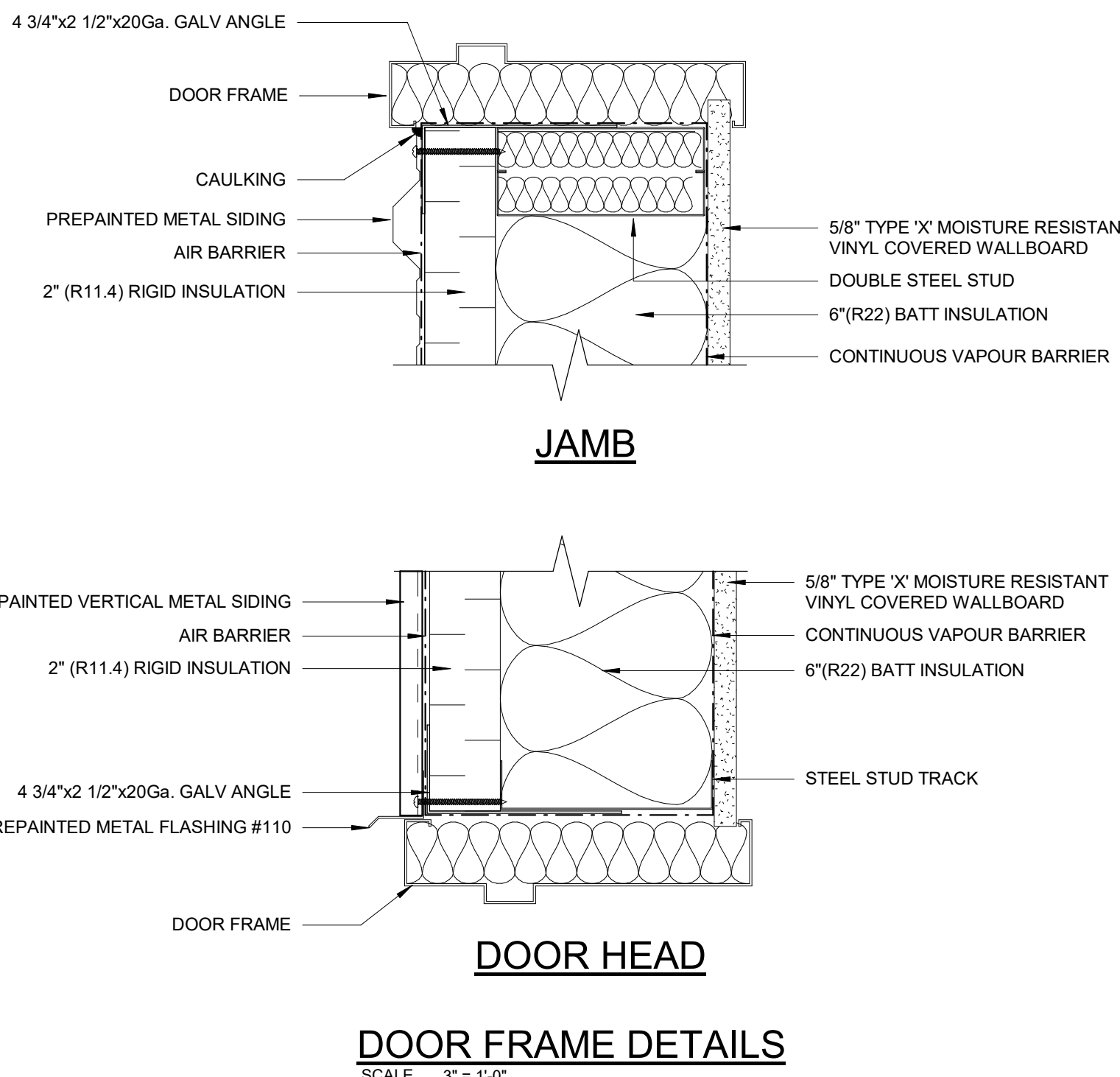
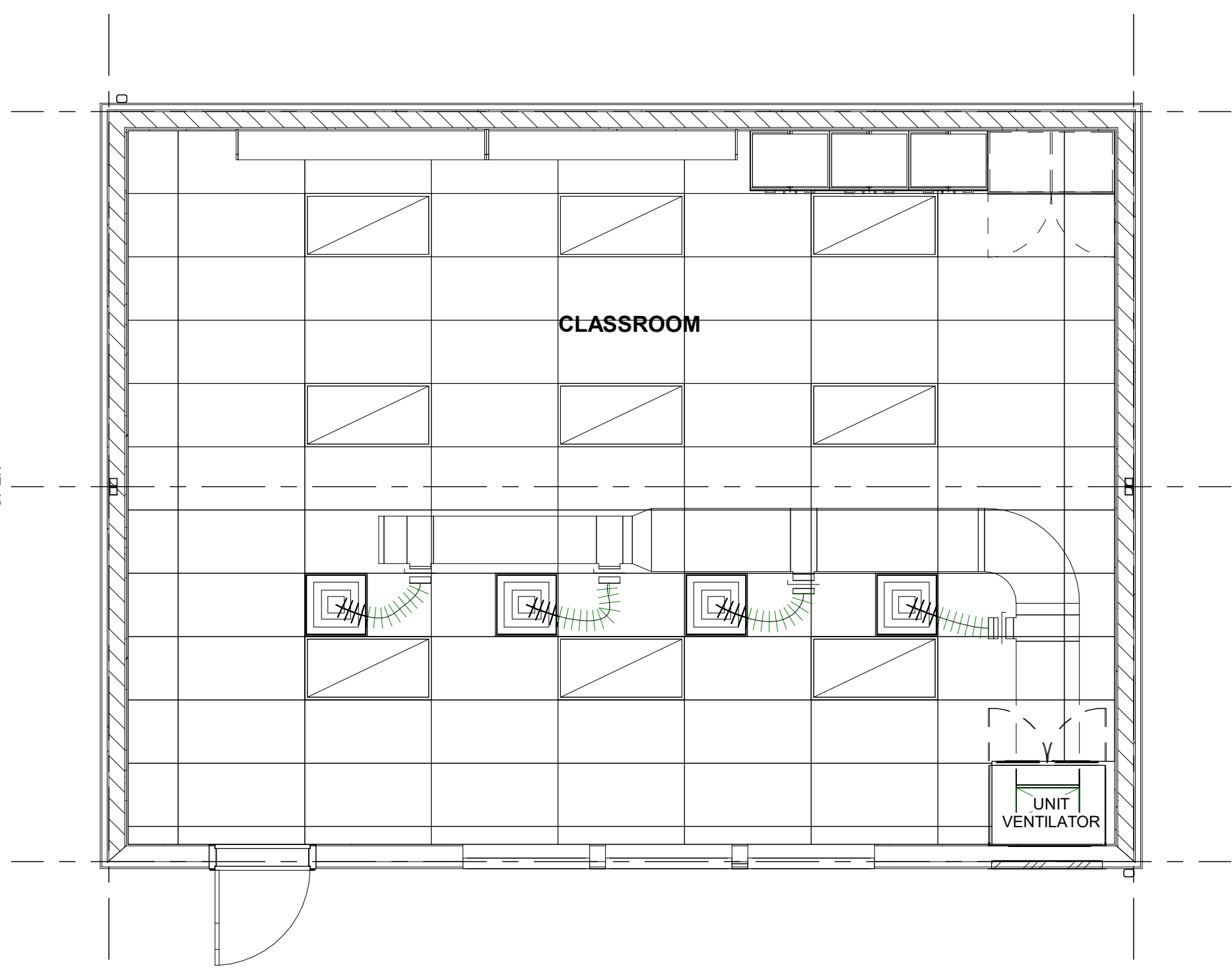
DESIGN BY: BBA
DRAWN BY: CM
CHECKED BY: INTAL
DATE: NOV. 2023
SCALE: AS NOTED
FILE:

PROJECT NO: **23226A**
DRAWING NO: **A101**



- NOTES:**
- EXTERIOR WALL DIMENSION TAKEN FROM OUT TO OUT OF STUD FRAMING UNLESS OTHERWISE NOTED.
 - WINDOWLESS WALL AND EACH END WALL TO RATED AS A 1 HR. FIRE SEPARATION.
 - SEE EXTERIOR ELEVATIONS (A3) FOR LOCATION AND ORIENTATION OF 3"x20Ga. "WIND BRACING".

FLOOR PLAN
SCALE 1/4" = 1'-0"



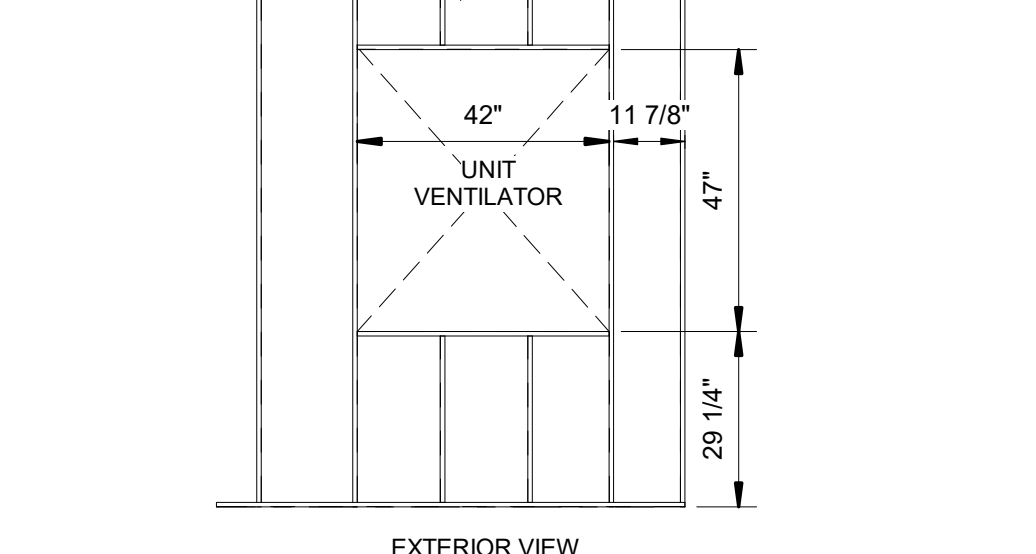
- MILLWORK SCHEDULE**
- WB-1 7'-11" X 4'-0" WHITEBOARD CW SINGLE WEB TRAY, MAPRAIL AND 2 MAP HOOKS. SET 31 1/4" FROM BOTTOM OF TRAY TO TOP OF FINISHED FLOOR OR AS NOTED ON A3
 - TB-1 7'-11" X 4'-0" TACKBOARD SET 31 1/4" ABOVE FINISHED FLOOR.
 - CR-7 'A.S.P.' COAT RACK CW 13 HOOKS, SET @ 5'-0" TO TOP FROM FINISHED FLOOR. 7'-6" LONG
 - CR-8 'A.S.P.' COAT RACK CW 15 HOOKS, SET @ 5'-0" TO TOP FROM FINISHED FLOOR. 8'-0" LONG
 - TC-1 48"x84"x24" TEACHER'S CLOSET MADE OF 3/4" BIRCH OR MAPLE VENEER CORE PLYWOOD w/ 1/8" SOLID WOOD EDGE. CW 1'-3/8" SOLID CORE DOOR AND RIM DEADBOLT LOCK
 - BK-1 35"x84"x11 1/2" VERTICAL BOOKCASE MADE OF 3/4" BIRCH OR MAPLE VENEER CORE PLYWOOD w/ 1/8" SOLID WOOD EDGE AND FULL BACK
 - BK-2 95"x31"x11 1/2" LOWER BOOKCASE MADE OF 3/4" BIRCH OR MAPLE VENEER CORE PLYWOOD w/ 1/8" SOLID WOOD EDGE AND FULL BACK
 - MW-1 30"x30"x12 1/2" UPPER CABINET MADE OF 3/4" BIRCH OR MAPLE VENEER CORE PLYWOOD w/ 1/8" SOLID WOOD EDGE AND DOORS
 - MW-2 30"x35"x22 3/8" LOWER CABINET MADE OF 3/4" BIRCH OR MAPLE VENEER CORE PLYWOOD w/ 1/8" SOLID WOOD EDGE AND DOORS
 - CT-1 91"x23" COUNTER TOP

- COMPONENT TYPES**
- ROOF** (MAX U = 0.025)
- R1 2 PLY MODIFIED BITUMINOUS ROOFING
 - 1 LAYER OF 4"(R23.6) RIGID INSULATION
 - 1 LAYER OF 3"(R17.4) RIGID INSULATION
 - CONSTOP VAPOUR RETARDER
 - 1 1/2"x22Ga. ROOF DECK
 - STRUCTURAL STEEL FRAME

- WALLS** (MAX U = 0.044)
- W1R 1-HR FIRE SEPARATION AS PER UL C BXJVC.W424 26Ga. PREFINISHED VERTICAL METAL SIDING (DIAMOND RIB) TYPAR AIR BARRIER
 - 2" (R11.4) RIGID INSULATION
 - 3"x20Ga. HORIZONTAL BANDING @ 24" O.C. VERTICALLY
 - 5/8" TYPE 'X' MOISTURE RESISTANT WALL BOARD
 - 6"x20Ga. STEEL STUDS @ 16" O.C.
 - 6" (R22) BATT INSULATION
 - VAPOUR BARRIER
 - 5/8" TYPE 'X' MOISTURE RESISTANT WALL BOARD TO U/S OF DECK BOARD TO RUN VERTICALLY.
 - EAVE WALLS TO U/S OF DECK, TAPE AND FILL ABOVE VINYL BOARD ALL EXPOSED JOINTS.
 - CABLE WALLS TO 9'-0" WITH CASTLE CUT 2ND LAYER INTO ROOF DECK FLUTES, TAPE AND FILL ALL EXPOSED JOINTS.
 - 5/8" VINYL COVERED TYPE 'X' MOISTURE RESISTANT WALL BOARD (8'-0" HIGH).

- W2 26Ga. PREFINISHED VERTICAL METAL SIDING (DIAMOND RIB) TYPAR AIR BARRIER
- 2" (R11.4) RIGID INSULATION
- 2"x1"x20Ga. GALV. ANGLE @ 24" O.C. VERTICALLY
- 6"x20Ga. STEEL STUDS @ 16" O.C.
- 6" (R22) BATT INSULATION
- VAPOUR BARRIER
- 5/8" VINYL COVERED TYPE 'X' MOISTURE RESISTANT WALL BOARD (8'-0" HIGH)

- FLOOR** R30 MAX + R4 (C1) - SEE 5.5.1(7b)
- F1 POLY FLOR 2000 SHEET FLOORING
 - 1/4" UNDERLAY
 - 5/8" T&G PLYWOOD SHEATHING
 - ISOLATION FELT
 - 1 1/2"x20Ga. STEEL FLOOR DECKING
 - R30 (8") BATT INSULATION
 - STRUCTURAL STEEL FLOOR FRAME
 - 1" (R6) RIGID INSULATION
 - 30 Ga GALVANIZED UNDER SHEATHING



- GENERAL NOTES:**
- DESIGN LIVE LOADS: SEE STRUCTURAL DRAWINGS
 - CLEAR, FIRM ACCESS SHALL BE PROVIDED WHERE NRB DELIVERY SERVICE HAS BEEN PURCHASED. CUSTOMER/AGENT IS RESPONSIBLE TO CHECK AND CONFIRM ALL GATES, OBSTRUCTIONS, OVER-HEAD DOORS, AISLES ETC. TO ENSURE MODULAR BUILDING MAY BE MOVED INTO DESIGNATED AREA WITHOUT DELAY TO DELIVERY PERSONNEL.

- COLOUR SCHEDULE:**
"CUSTOMER TO CONFIRM"
- EXTERIOR:**
- SIDING (DIAMOND RIB): WHITE
 - FASCIA: MED. GREEN
 - SOFFIT: MED. GREEN
 - SKIRTING: REGENT GREY
 - WINDOW FRAMES: WHITE
 - DOOR PANEL: MED. GREEN
 - DOOR FRAME: MED. GREEN
- INTERIOR:**
- WALLS - VINYL COVERED GYPSUM BOARD: CLASSIC ICE
 - SHEET FLOORING: POLYFLOR 2000 PUR SHEET
 - RUBBER BASE: 2 1/2" RB-32 GREY
 - CEILING TILE: ARMSTRONG #2310

NRB - Issued for Production
PREVIOUS DRAWINGS TO BE CONSIDERED VOID

REVIEWED BY: Devon Moffatt

PROJECT No. : 216010 DATE : 2021-05-03

NO.	DATE	REVISIONS

DATE	DRAWING STATUS
04/23/21	ISSUED FOR PRODUCTION
04/22/21	ISSUED FOR CUST. APPROVAL
04/22/21	ISSUED FOR PC REVIEW

DRAWN BY	PROJECT COORDINATOR
MA	DRM

SALES REPRESENTATIVE	DATE
LER	04/22/21

SCALE AS SHOWN

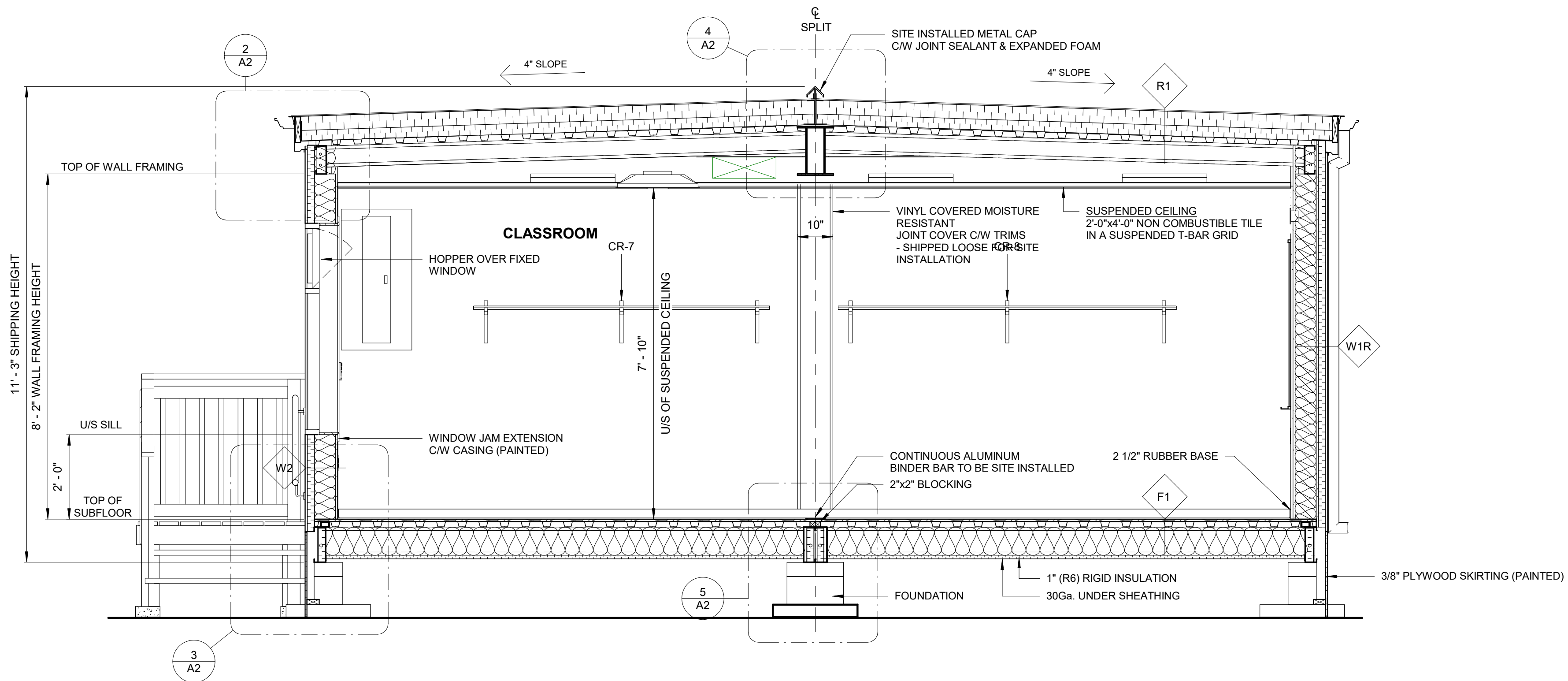
PROJECT YORK CATHOLIC DSB

PC2018 CLASSROOM
24'-2 3/8"x32'-11"
QTY: 11

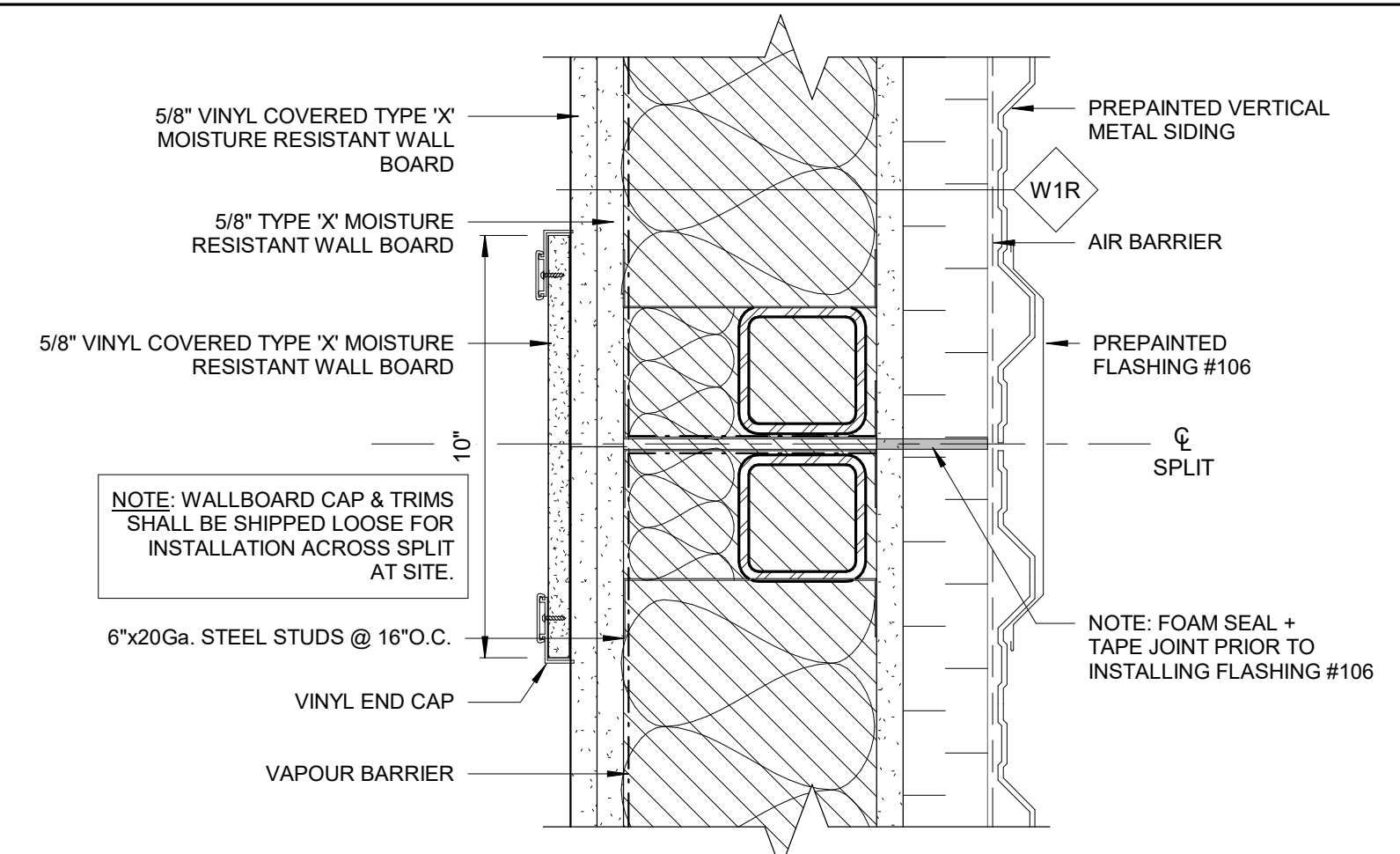
TITLE FLOOR PLAN REFLECTED CEILING PLAN DOOR & WINDOW SCHEDULE COLOUR SCHEDULE NOTES

GENERAL

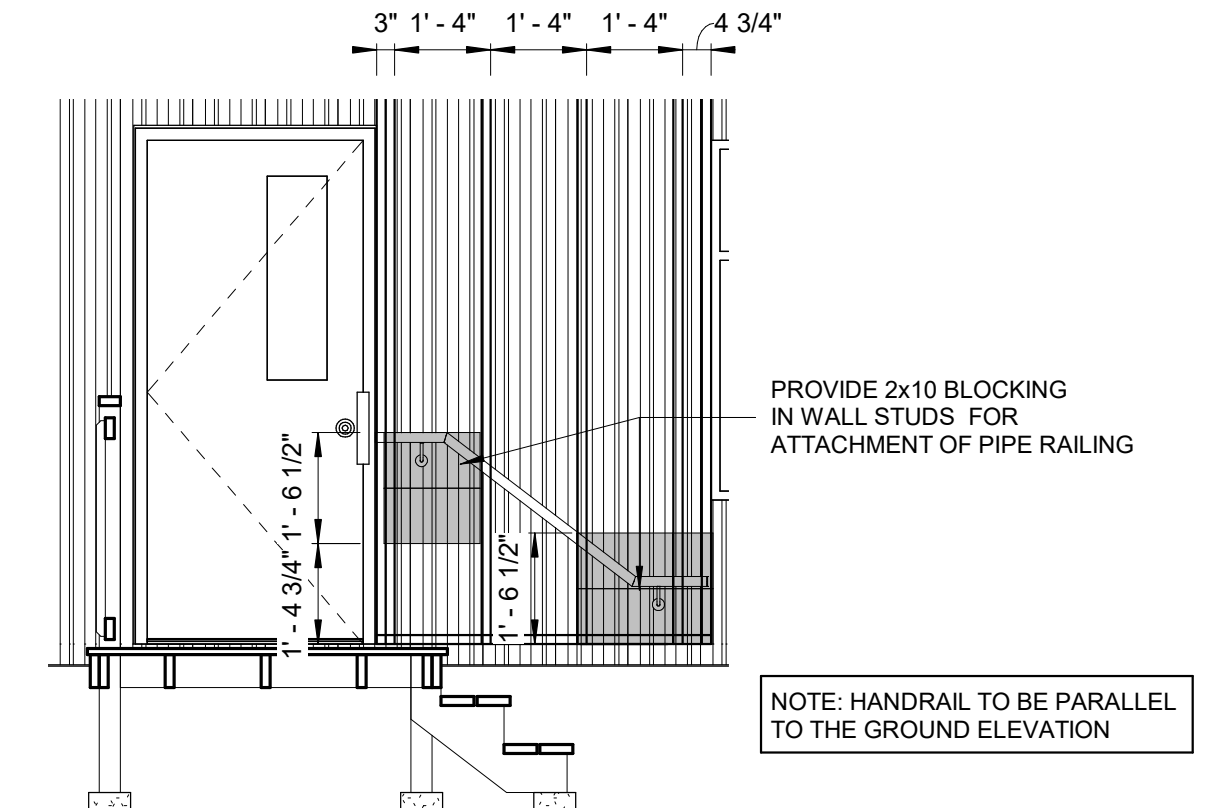
PROJECT #	DRAWING #
216010	A1



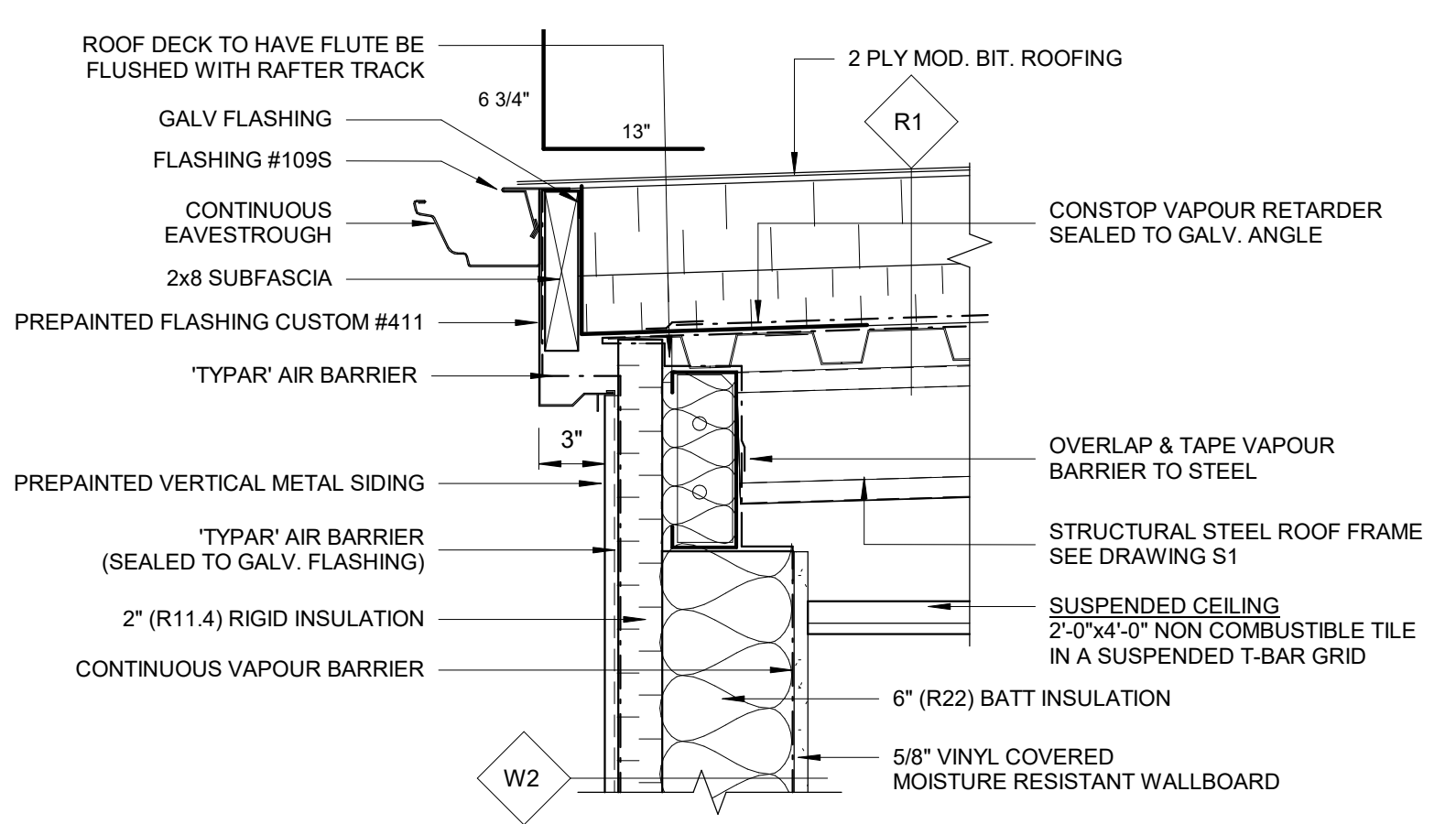
1 CROSS SECTION
SCALE 1/2" = 1'-0"



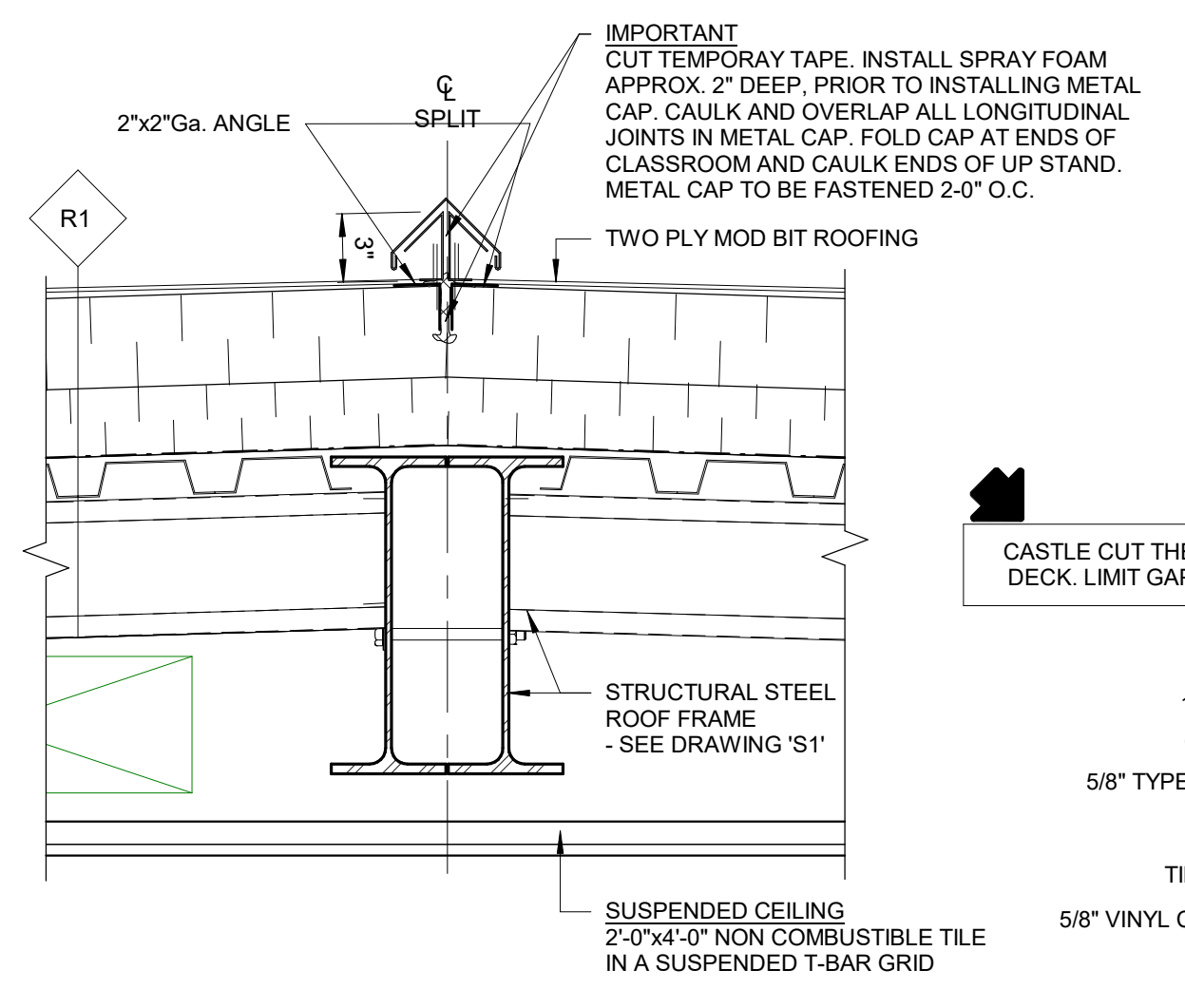
7 PLAN @ SPLIT
SCALE 3" = 1'-0"



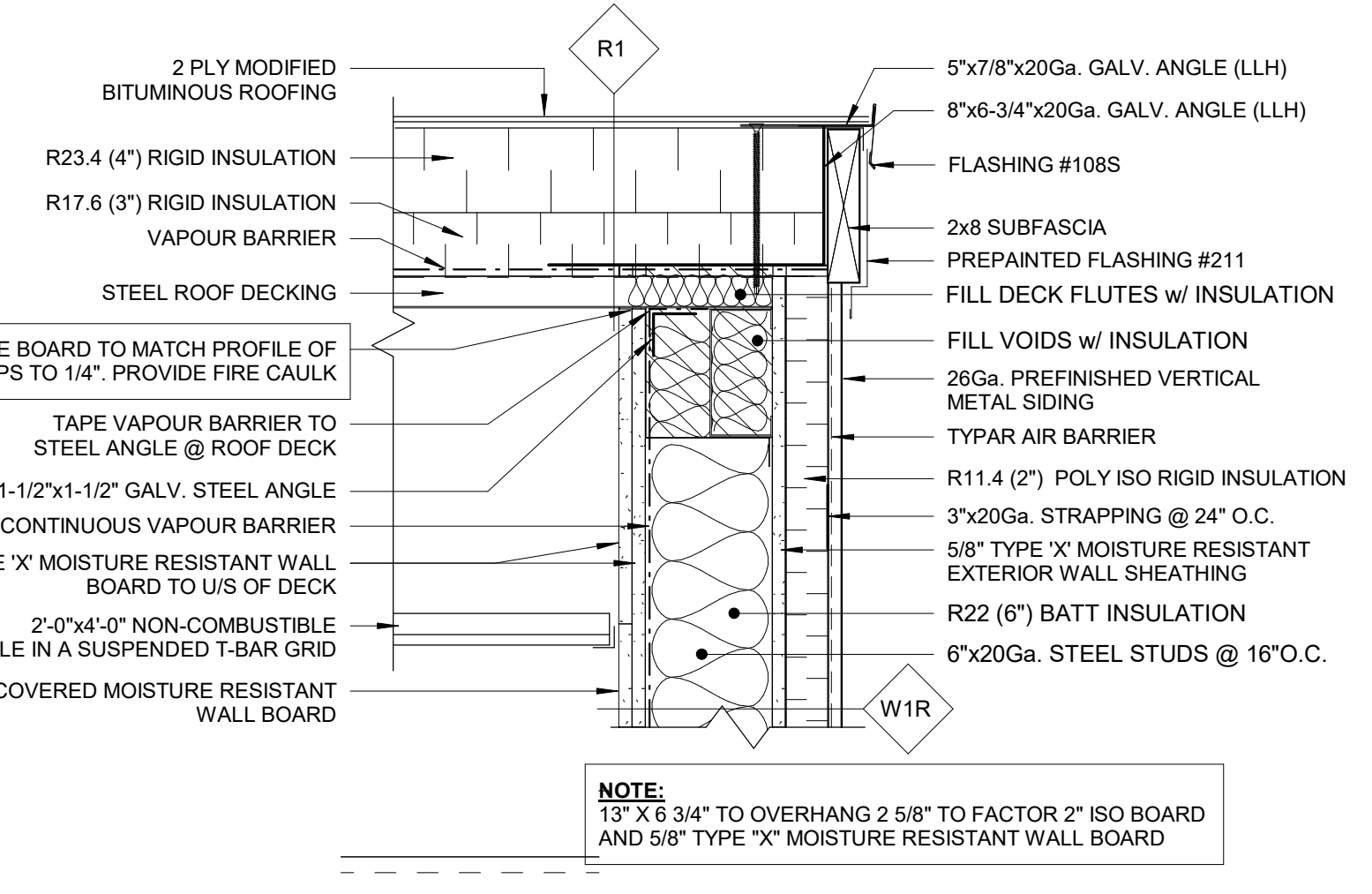
9 HANDRAIL BLOCKING DETAIL
SCALE 3/8" = 1'-0"



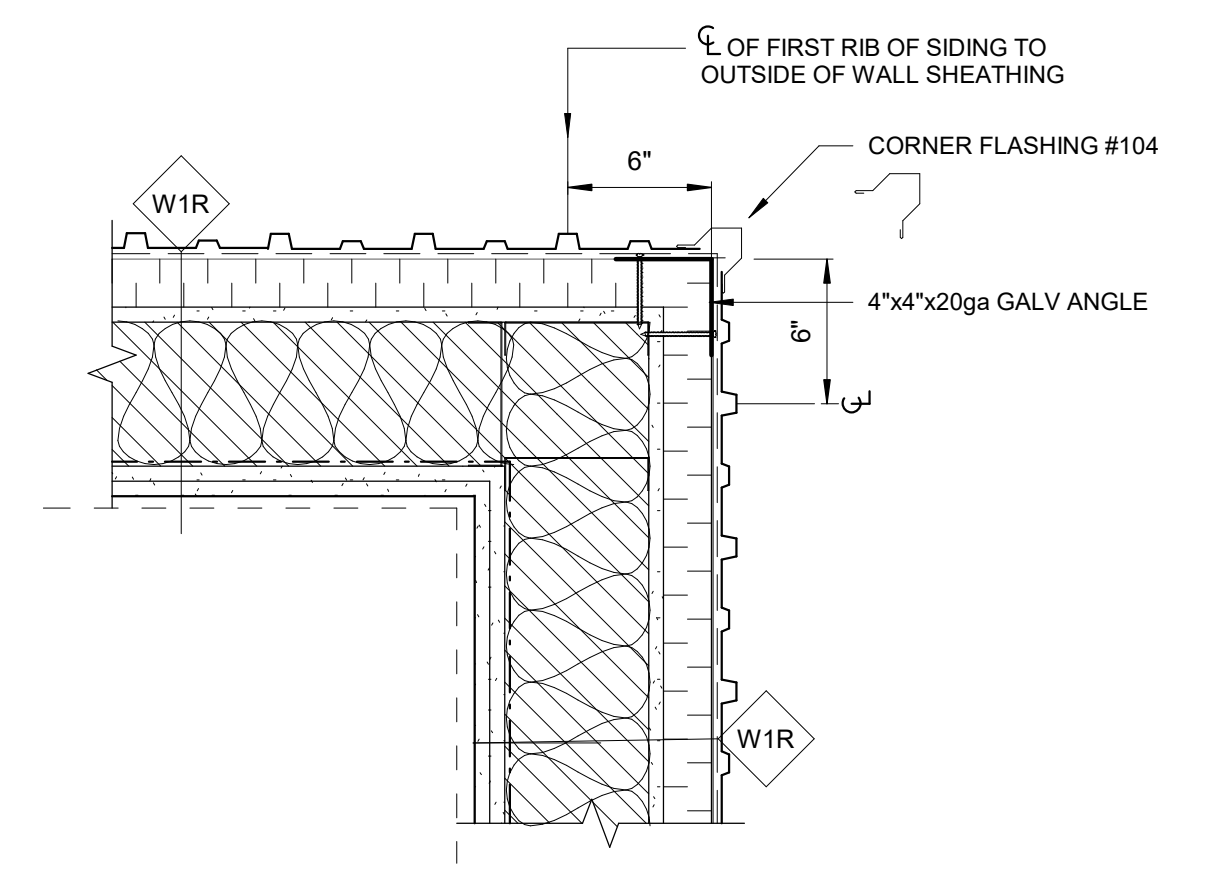
2 DETAIL AT NON RATED WALL (ROOF)
SCALE 1 1/2" = 1'-0"



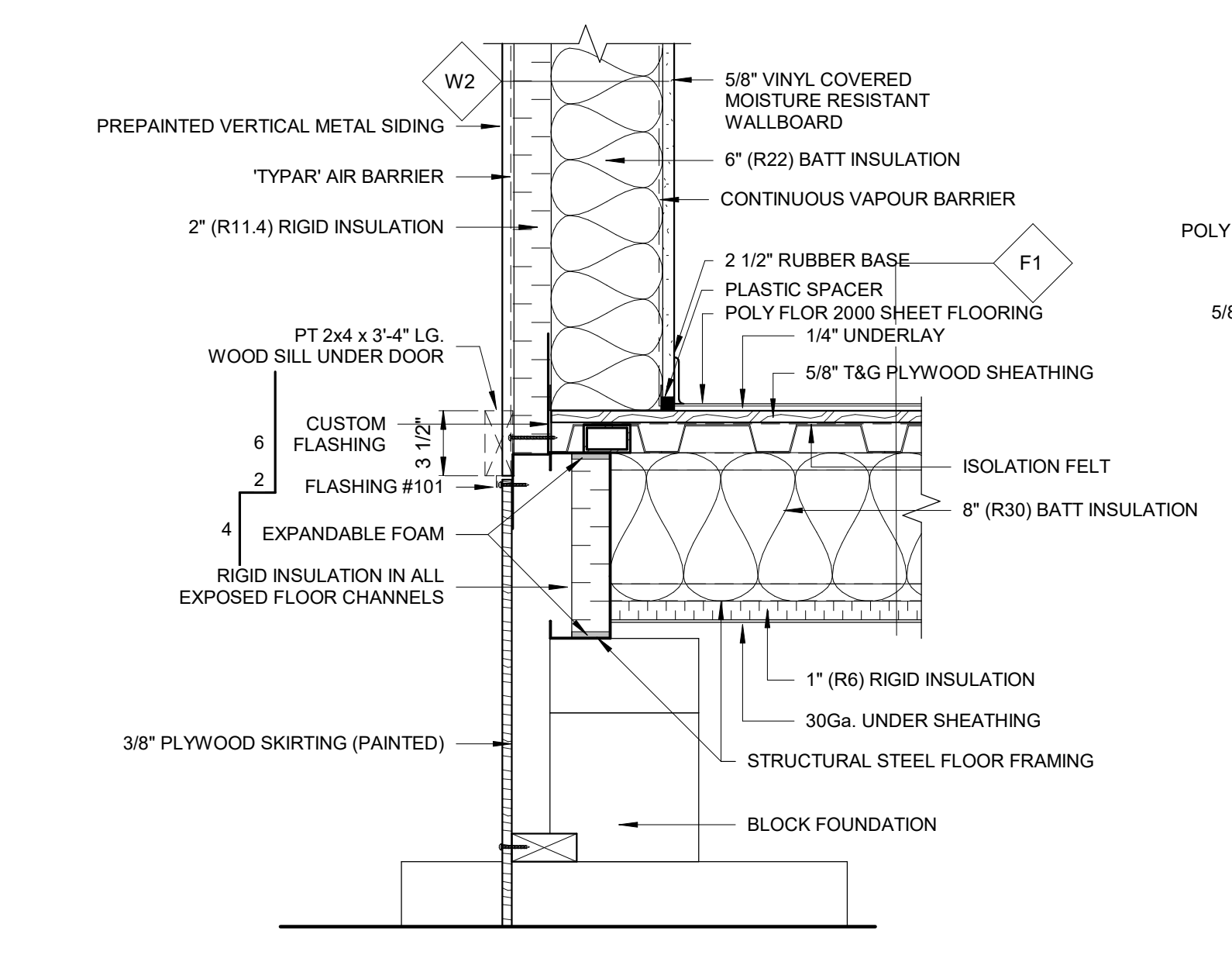
4 DETAIL AT SPLIT (ROOF)
SCALE 1 1/2" = 1'-0"



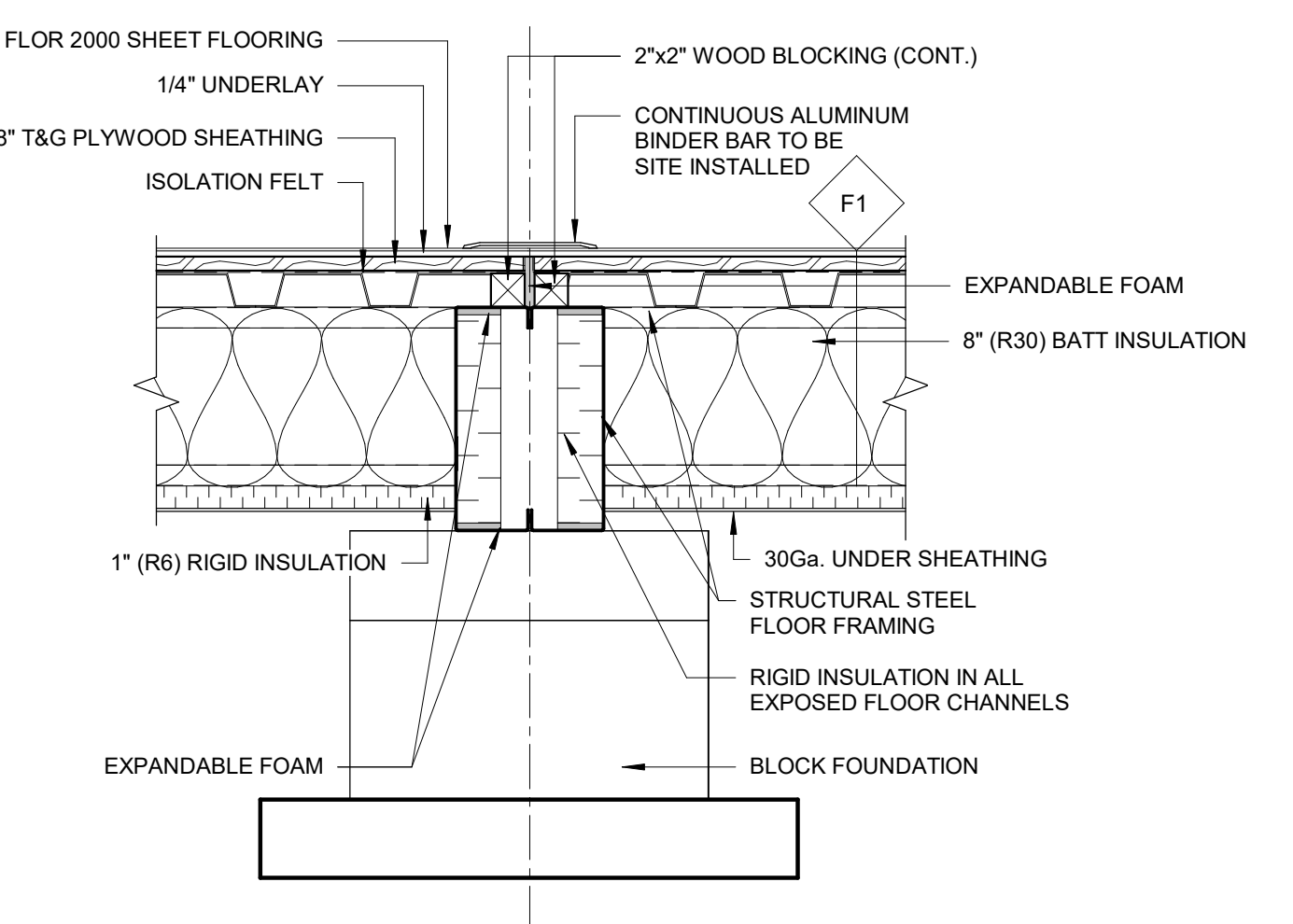
6 DETAIL AT RATED WALL
SCALE 1 1/2" = 1'-0"



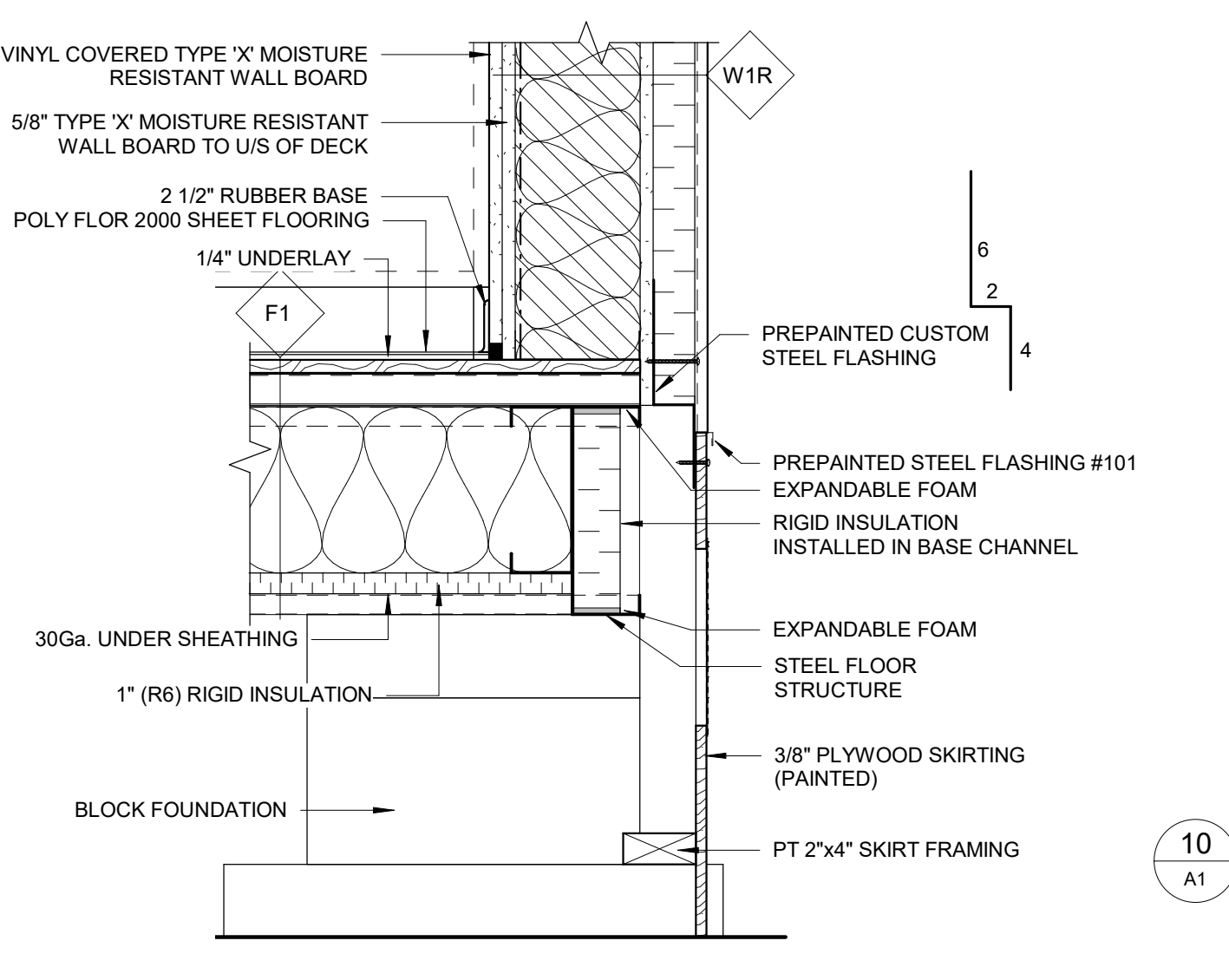
8 CORNER DETAIL
SCALE 1 1/2" = 1'-0"



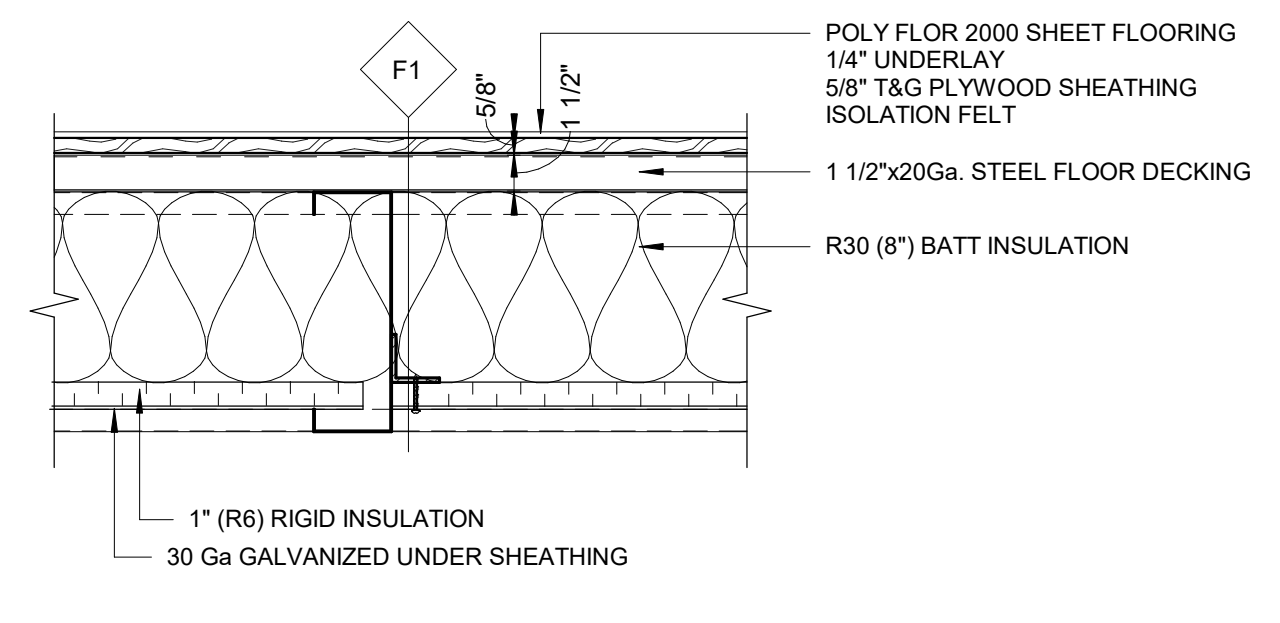
3 DETAIL AT NON RATED WALL (FLOOR)
SCALE 1 1/2" = 1'-0"



5 DETAIL AT SPLIT (FLOOR)
SCALE 1 1/2" = 1'-0"



6 DETAIL AT RATED WALL (FLOOR)
SCALE 1 1/2" = 1'-0"



10 CENTER SUPPORT FLOOR DETAIL
SCALE 1 1/2" = 1'-0"

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REVIEWED BY: Devon Moffatt
PROJECT No.: 216010 DATE: 2021-05-03

NO.	DATE	REVISIONS

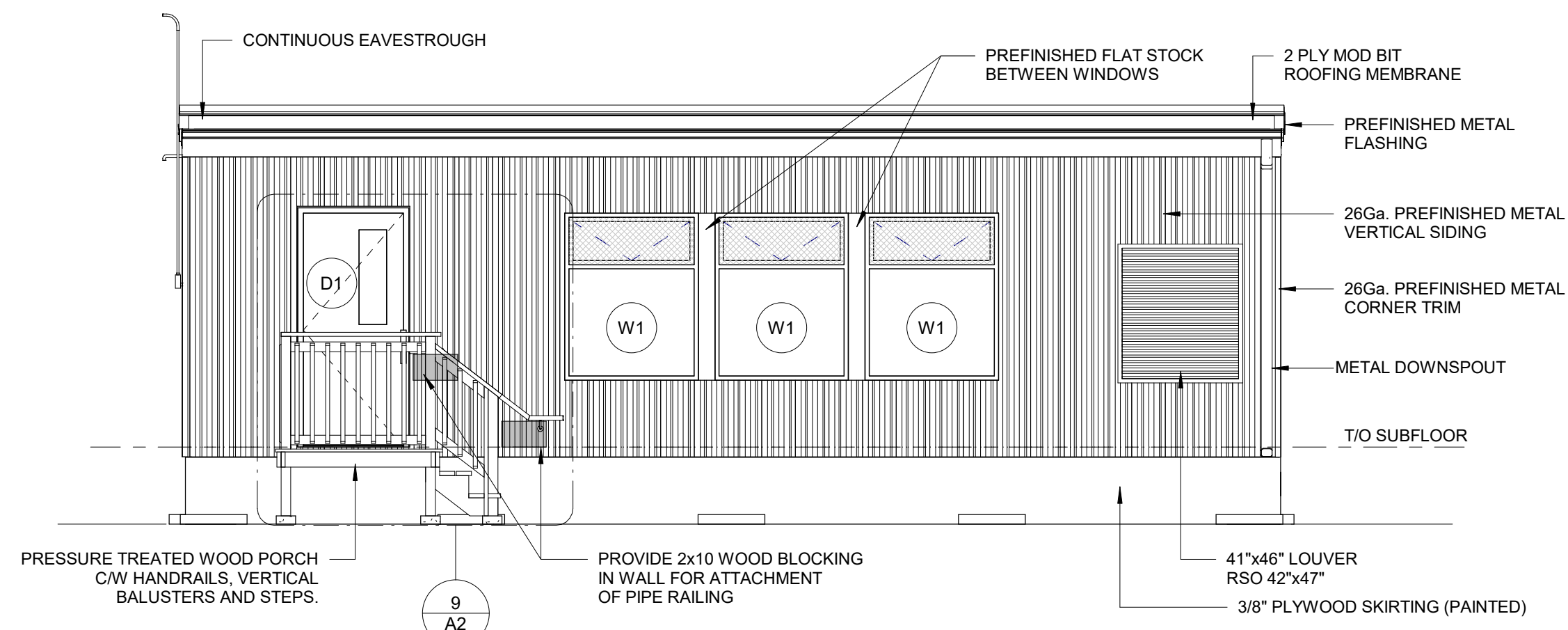
DATE	DRAWING STATUS
04/23/21	ISSUED FOR PRODUCTION
04/22/21	ISSUED FOR CUST. APPROVAL
04/22/21	ISSUED FOR PC REVIEW

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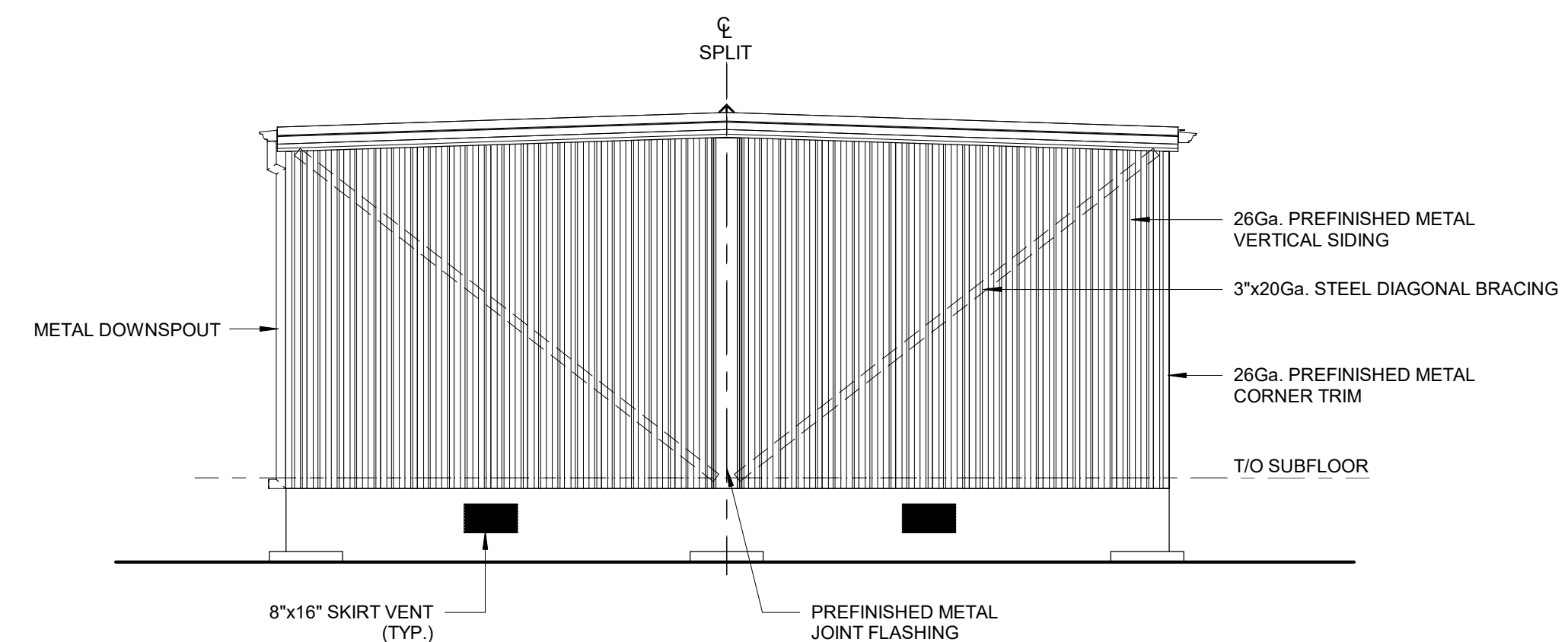
PHONE: 1-800-465-7594	FAX: 1-888-232-9672	WEBPAGE: WWW.NRB-INC.COM
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DRAWN BY: MA	PROJECT COORDINATOR: DRM	
SALES REPRESENTATIVE: LER	DATE: 04/22/21	

SCALE: AS SHOWN
PROJECT: YORK CATHOLIC DSB
PC2018 CLASSROOM
24'-2 3/8" x 32'-11"
QTY: 11

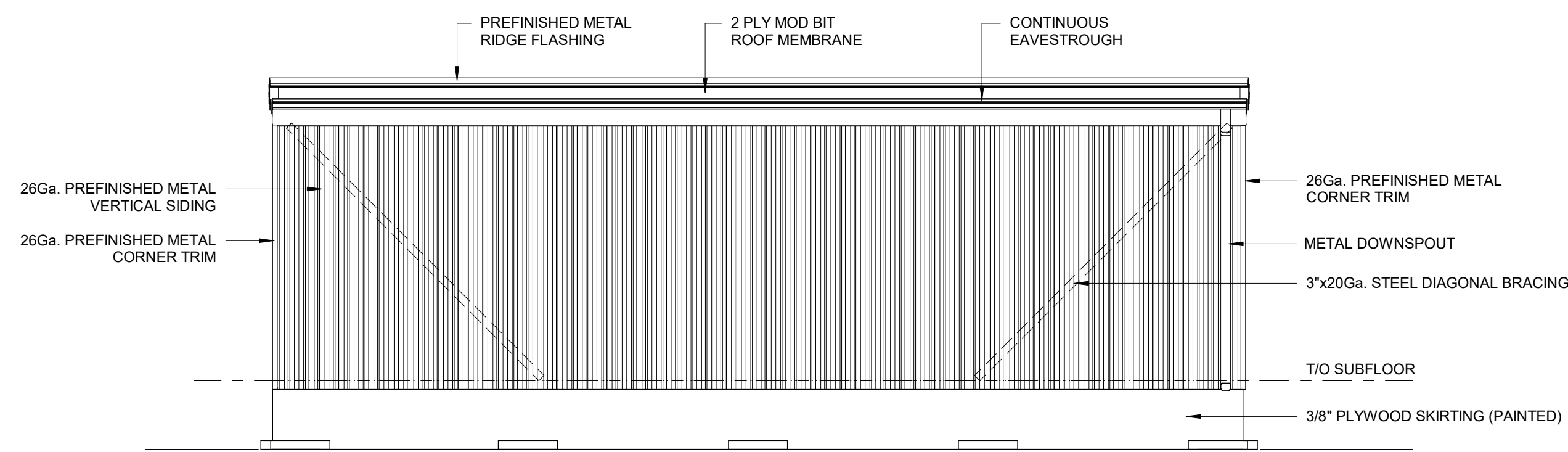
TITLE: CROSS SECTION SECTION DETAILS	
PROJECT #: 216010	DRAWING #: A2



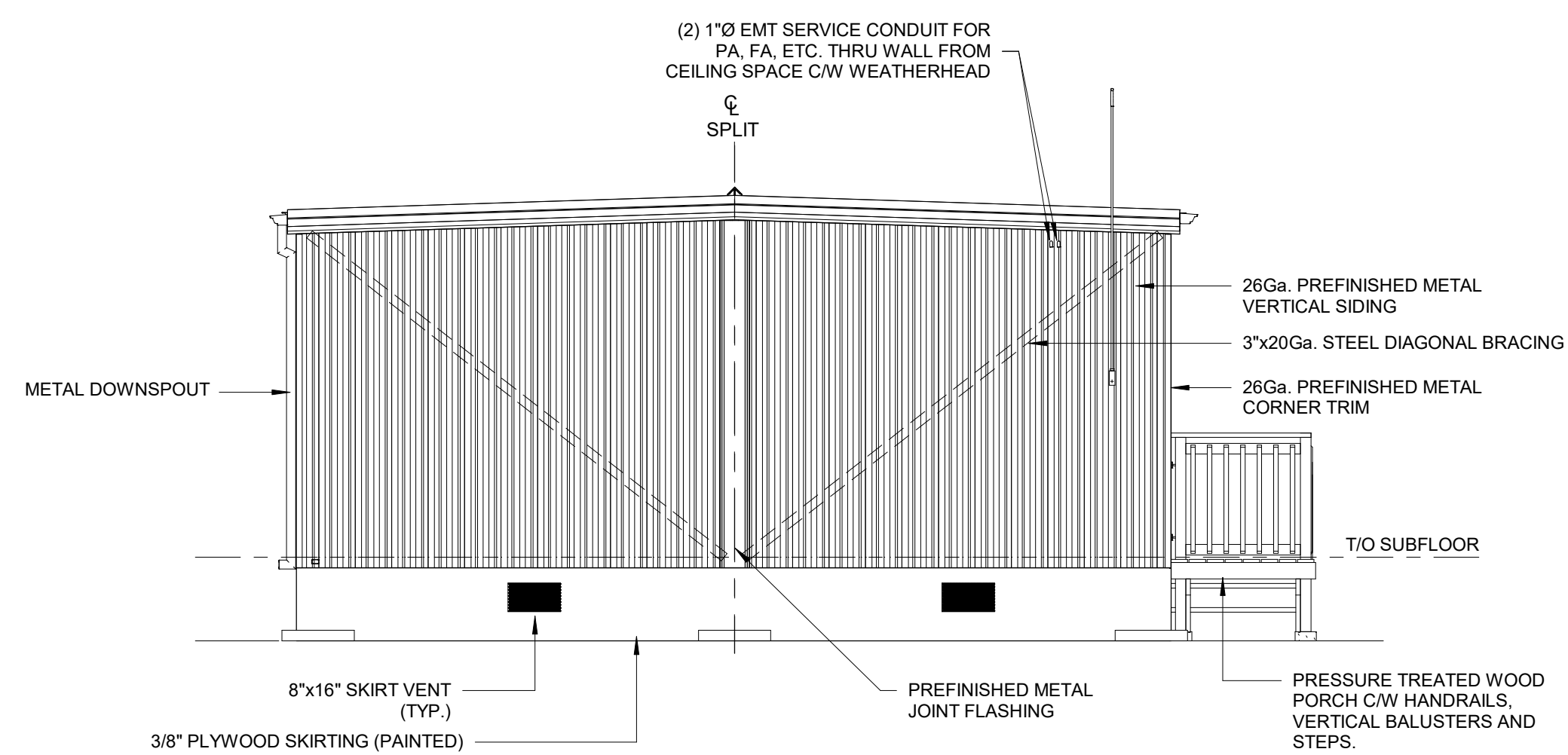
EXTERIOR ELEVATION #1
SCALE 1/4" = 1'-0"



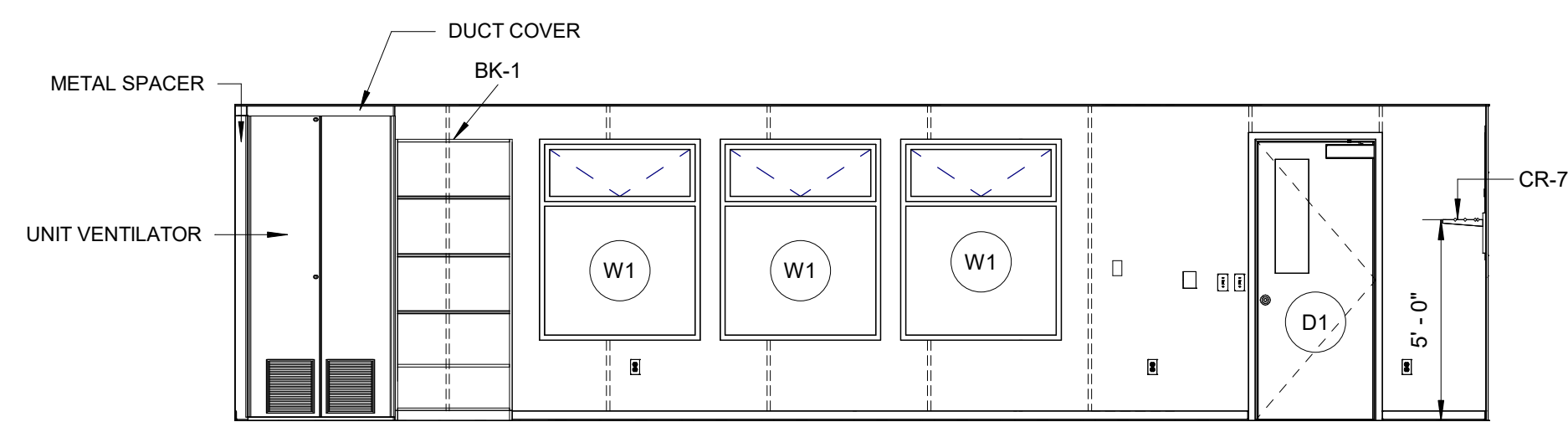
EXTERIOR ELEVATION #2
SCALE 1/4" = 1'-0"



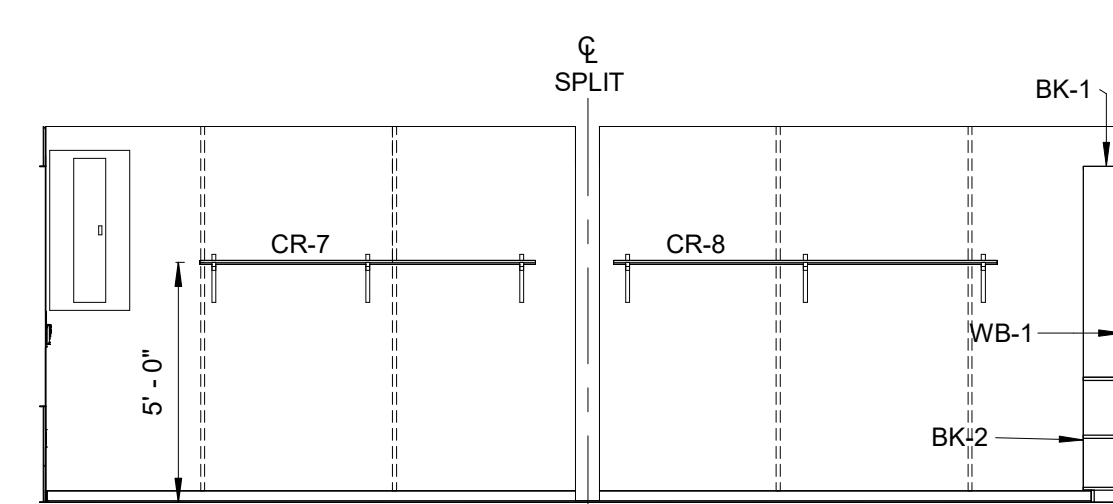
EXTERIOR ELEVATION #3
SCALE 1/4" = 1'-0"



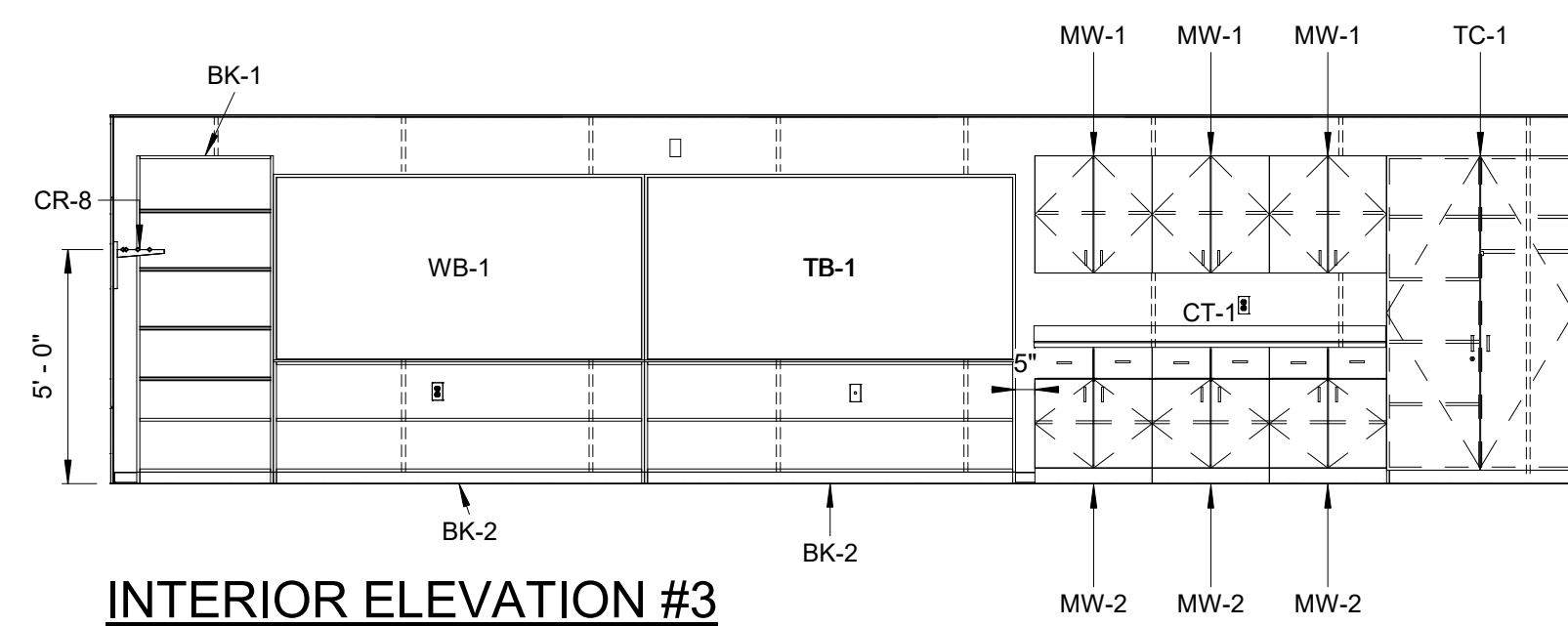
EXTERIOR ELEVATION #4
SCALE 1/4" = 1'-0"



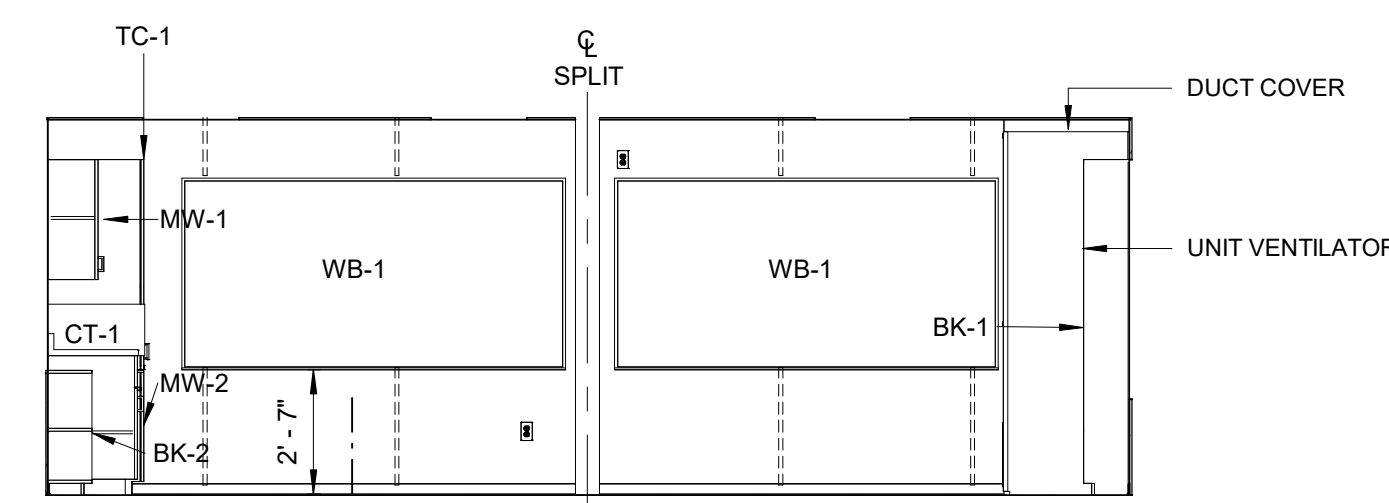
INTERIOR ELEVATION #1
SCALE 1/4" = 1'-0"



INTERIOR ELEVATION #2
SCALE 1/4" = 1'-0"



INTERIOR ELEVATION #3
SCALE 1/4" = 1'-0"



INTERIOR ELEVATION #4
SCALE 1/4" = 1'-0"

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REVIEWED BY: Devon Moffatt
PROJECT No. : 216010 DATE : 2021-05-03

NO.	DATE	REVISIONS
DATE	DRAWING STATUS	
	ISSUED FOR PRODUCTION	
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SALES REPRESENTATIVE	DATE	
LER	04/22/21	

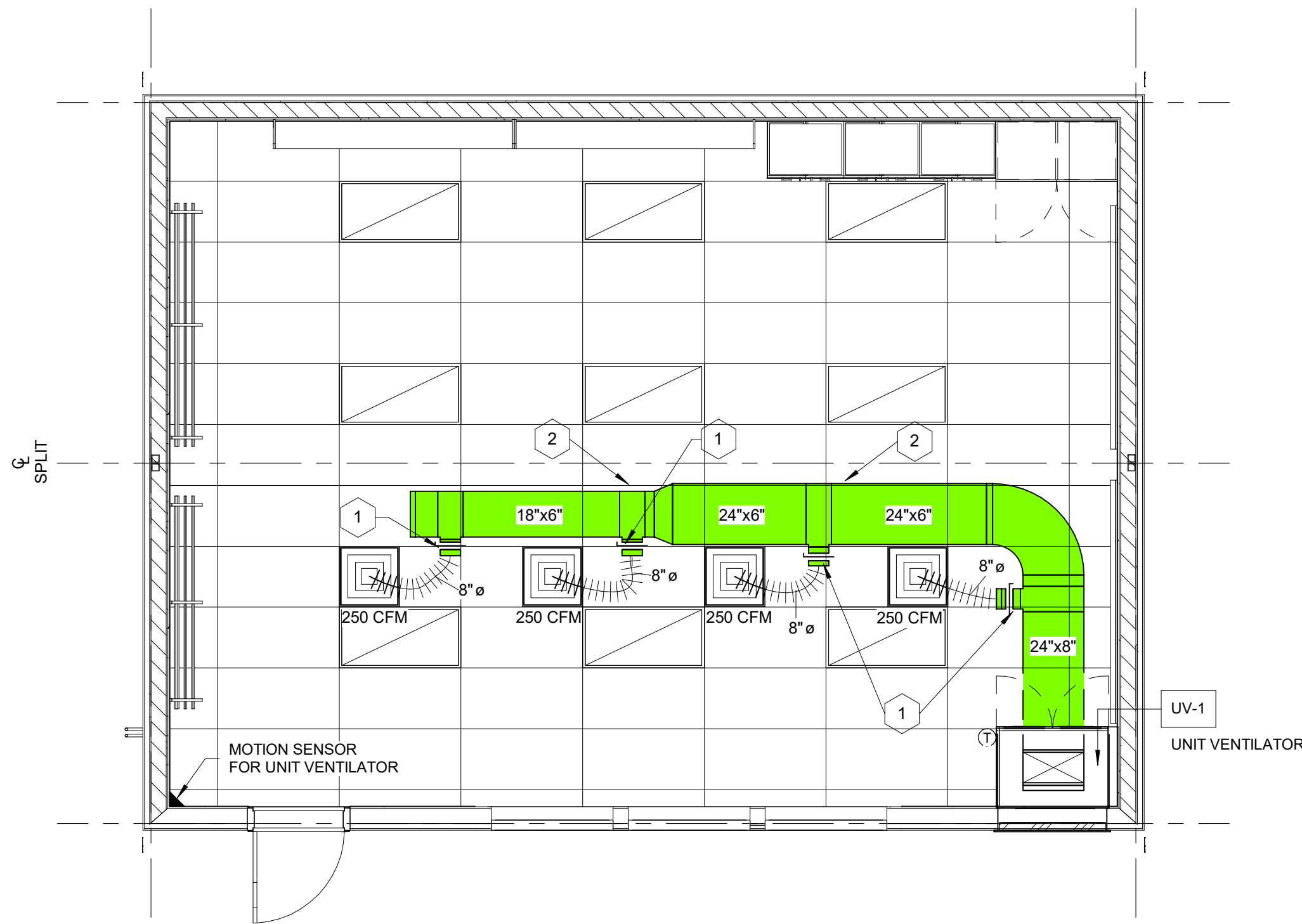
SCALE
AS SHOWN

PROJECT
YORK CATHOLIC DSB

PC2018 CLASSROOM
24'-2 3/8"x32'-11"
QTY: 11

TITLE
ELEVATIONS

PROJECT #	DRAWING #
216010	A3



HVAC PLAN
SCALE 1/4" = 1'-0"

HVAC DRAWING NOTES

- 1 PROVIDE 8" Ø COLLAR, 8" TO 8" TRANSITION PIECE AND BALANCING DAMPER
- 2 APPLY EXTERNAL THERMAL INSULATION.

HVAC GENERAL NOTES

1. DUCTWORK IS TO BE FABRICATED TO A.S.H.R.A.E. OR S.M.A.C.N.A. STANDARDS. ALL DUCT TRANSITIONS ARE TO BE PROPERLY CONSTRUCTED WITH MAXIMUM 30 deg. ANGLE TO THE DUCT AXIS. ABRUPT EXPANSIONS OR CONTRACTIONS ARE NOT ACCEPTABLE. SEAL ALL DUCTWORK SEAMS WITH APPROVED FLEXIBLE SEALANT, LISTED AND LABELED IN ACCORDANCE WITH UL 181A OR UL 181B.
2. PROVIDE THE REQUIRED DUCT TRANSITION TO SUIT THE UNITS SUPPLY OPENING.
3. DUCT DIMENSION SHOWN ON THE DRAWING REPRESENTS THE INTERNAL WIDTH AND DEPTH OF THE DUCT.
4. SUPPLY DUCT SHALL BE ACOUSTICALLY INSULATED FOR THE FIRST 8'-0". APPLY EXTERIOR INSULATION REMAINDER OF THE DUCT.
5. ALL ACOUSTIC INSULATION SHALL BE 1/2" THICK. ALL ACOUSTIC INSULATION SHALL BE APPLIED ACCORDING TO GOOD COMMERCIAL STANDARD AND MANUFACTURER RECOMMENDATIONS.
6. ADJUST TOTAL AIR FLOW OF THE UNITS INTO 1000 CFM. BALANCE MINIMUM FRESH AIR SETTING OF ECONOMIZER TO ADMIT 15 CFM PER PERSON.
7. PROVIDE FLEX CONNECTORS AT SUPPLY AIR DUCT CONNECTION TO AC UNIT.
8. DUCT WITH THERMAL INSULATION SHALL NOT BE INSTALLED CLOSER THAN 3" TO THE LUMINAIRE.
9. PROVIDE SPIN-ON COLLARS WITH BALANCING DAMPER, (TYPICAL).
10. PROVIDE BALANCING DAMPER AT EACH DUCT TAKE OFF.
11. FLEXIBLE DUCTS SHALL BE SUPPORTED TO THE ROOF STRUCTURE AT 5 FEET INTERVALS.

HVAC LEGEND

SYMBOL	DESCRIPTION
	SUPPLY AIR DIFFUSER, E.H. PRICE 24X24/SCD/31/3C/B12 OR EQUAL, SUITABLE FOR T BAR, NECK SIZE 8"Ø.
	BALANCING DAMPER.
	THERMALLY INSULATED FLEXIBLE DUCT.
	DUCTWORK WITH 1/2" ACOUSTIC INSULATION LINER.

UNIT VENTILATOR SCHEDULE

MARK	DESCRIPTION	MANUFACTURER	MODEL	COOLING CAPACITY	HEATING CAPACITY	SUPPLY AIR	VOLTAGE/PHASE	MAX C.B. SIZE	REFRIGERANT	REMARKS
UV-1	UNIT VENTILATOR	CHANGE'AIR	SOPHOMORE ERC1 36 1000 O C	3 TON	12 kW	1000 CFM	208/240V - 1 PHASE	80A	R410A	1. FAN MOTOR SHALL BE 1/2HP ECM C/W 3 SPEED BOARD TO SUPPLY 1000 CFM. 2. 41"x46" EXTERIOR STEEL LOUVER C/W 22Ga. WALL SLEEVE. 3. EXTERIOR LOUVER PREPAINTED TO MATCH EXTERIOR METAL SIDING. 4. UNIT WITH E.S. PROGRAMMABLE THERMOSTAT FIXED ON UNIT. 5. MOTION SENSOR MOUNTED IN CORNER OF CLASSROOM.



LIGHTING & POWER PLAN
SCALE 1/4" = 1'-0"

ELECTRICAL LEGEND

- 15A, 120V SINGLE POLE LIGHT SWITCH AT 42" A.F.F. (TO BOTTOM OF BOX)
- 2x4' LED LIGHT FIXTURE RECESSED INTO SUSPENDED CEILING C/W ACRYLIC LENS.
- 15A, 120V 50% CONTROLLED DUPLEX RECEPTACLE AT 16" A.F.F. CONTROLLED RECEPTABLES TO BE INTERLOCKED WITH OCCUPANCY SENSOR
- 120V, 15A CLOCK RECEPTACLE AT 84" A.F.F.
- 125A 120/240V/1Ø ELECTRICAL PANEL C/W MAIN BREAKER, MAST & GROUND RODS (MAST & GROUND RODS SUPPLIED BY NRB FOR SITE INSTALL BY OTHERS).
- EMPTY JUNCTION BOX FOR FIRE ALARM PULL STATION AT 47" A.F.F. (TO CENTRE OF BOX) C/W EMPTY CONDUIT STUBBED INTO CEILING SPACE AND BLANK COVER.
- EMPTY JUNCTION BOX FOR FIRE ALARM BELL AT 84" A.F.F. C/W EMPTY CONDUIT STUBBED INTO CEILING SPACE AND BLANK COVER.
- STD SWITCH BOX FOR PA AT 54" A.F.F. C/W EMPTY CONDUIT STUBBED INTO CEILING SPACE C/W BLANK COVER PLATE.
- DATA PULL BOX AT 16" A.F.F. C/W EMPTY CONDUIT STUBBED INTO CEILING SPACE AND BLANK COVER.
- DIRECT EQUIPMENT CONNECTION 240V, 2 POLE.
- OCCUPANT (MOTION) SENSOR FOR LIGHTING CONTROL.
- MOTION SENSOR FOR UNIT VENTILATOR.

1. ELECTRICAL GENERAL REQUIREMENTS

- 1.1 SUPPLY AND INSTALL ALL ITEMS, ARTICLES, MATERIALS, LABOR, EQUIPMENT AND TOOLS NECESSARY TO COMPLETE ALL SYSTEMS AND EQUIPMENT AS SHOWN ON THE DRAWINGS AND AS DESCRIBED IN THIS SPECIFICATION, PROVIDING A COMPLETE AND FULLY OPERATIONAL ELECTRICAL INSTALLATION.
- 1.2 THE DRAWING DOES NOT SHOW ALL ARCHITECTURAL AND STRUCTURAL DETAILS. ANY INFORMATION INVOLVING ACCURATE MEASUREMENT OF THE BUILDING SHALL BE MEASURED ON THE SITE. ANY CHANGES OR ADDITIONS TO ACCOMMODATE THE SITE CONDITIONS SHALL BE MADE WITHOUT CHARGE TO THE OWNER.
- 1.3 THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE COORDINATION BETWEEN THE MECHANICAL AND ELECTRICAL WORK.
- 1.4 ALL WORK SHALL BE DONE IN ACCORDANCE WITH ALL CODES AND AUTHORITIES HAVING JURISDICTION INCLUDING BUT NOT LIMITED TO THE FOLLOWING:
* LATEST EDITION OF THE ONTARIO BUILDING CODE
* ONTARIO ELECTRICAL SAFETY CODE
- 1.5 ALL WORK SHALL BE DONE IN A WORKMAN-LIKE MANNER TO THE SATISFACTION OF THE CONSULTANT. WORK NOT ACCEPTABLE TO THE CONSULTANT SHALL BE REMOVED AND REPLACED WITH SPECIFIED PRODUCTS AT NO COST TO THE OWNER.
- 1.6 WHERE FIRE RATED WALLS, FLOORS, ROOF OR PARTITIONS ARE PIERCED TO ACCOMMODATE CONDUITS, WIREWAYS, RACEWAYS, CABLES, ETC. PROVIDE ALL NECESSARY SEALS, FITTINGS, BARRIERS AND FIRE STOP MATERIALS AND ASSEMBLIES, TO RESTORE THE INSTALLATION TO ITS ORIGINAL OR INTENDED FIRE RATINGS, TO THE SATISFACTION OF THE GOVERNING AUTHORITIES HAVING JURISDICTION.
- 1.7 THE ELECTRICAL CONTRACTOR SHALL NOTIFY THE ENGINEER ABOUT ANY DEVIATION FROM THE ORIGINAL DESIGN.

2. WIRE

- 2.1 ALL WIRING SHALL BE CONCEALED (I.E.) RECESSED BEHIND FINISHED SURFACES IN ALL FINISHED AREAS.
- 2.2 ALL WIRE AND CABLE SHALL BE SIZED AND INSTALLED IN ACCORDANCE THE CODE REQUIREMENTS. NO WIRE SMALLER THAN NO. 14 AWG SHALL BE USED. ALL CONDUCTORS SHALL BE SOLID COPPER.
- 2.3 BX CABLE SHALL BE USED FOR ALL BRANCH CIRCUIT WIRING.

3. LIGHTS SPECIFICATION

- 3.1 ALL RECESSED LED LIGHTING FIXTURES SHALL BE THERMALLY PROTECTED IN ACCORDANCE WITH CODE.
- 3.2 ALL RECESSED LED LIGHT FIXTURES MOUNTED IN TILED CEILING GRID SHALL BE SECURED TO STRUCTURE USING JACK CHAIN. PROVIDE ALL NECESSARY HARDWARE FOR MOUNTING AND INSTALLATION OF FIXTURES.
- 3.3 FIXTURE AND EQUIPMENT LOCATIONS SHOWN ON THE DRAWINGS ARE APPROXIMATE ONLY. CONTRACTOR TO VERIFY SITE CONDITION PRIOR TO INSTALLATION AND REPORT DISCREPANCIES TO ENGINEER. COORDINATE WORK WITH OTHER TRADES.
- 3.4 SUPPLY AND INSTALL NEW CSA APPROVED AND UL LISTED ELECTRICAL EQUIPMENT, SYSTEMS AND ASSOCIATED WIRING AS INDICATED.

Branch Panel: EP-A											
Location: CLASSROOM 1											
Volts: 120/240 1PH											
Phases: 1											
Wires: 3											
Mains Rating: 125 A											
CKT	Circuit Description	Trip	Poles	A		B		Poles	Trip	Circuit Description	CKT
A-1	RECEPTABLES	15 A	1	875 VA	6000 VA					UV-1	A-2
A-3	LIGHTING	15 A	1			450 VA	6000 VA	--	--		A-4
A-5											A-6
A-7											A-8
A-9											A-10
A-11											A-12
				Total Load:		6875 VA		6450 VA			
				Total Amps:		57 A		54 A			
Connected Load			Demand Factor	Estimated Demand		Panel Totals					
450 VA			100.00%	450 VA		Total Est. Demand: 13325 VA					
12875 VA			100.00%	12875 VA		Total Conn. Current: 56 A					
						Total Est. Demand Current: 56 A					

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PREVIOUS DRAWINGS TO BE CONSIDERED VOID
REVIEWED BY: Devon Moffatt
PROJECT No. : 216010 DATE : 2021-05-03

NO.	DATE	REVISIONS
DATE	DRAWING STATUS	
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04/22/21	ISSUED FOR PC REVIEW	



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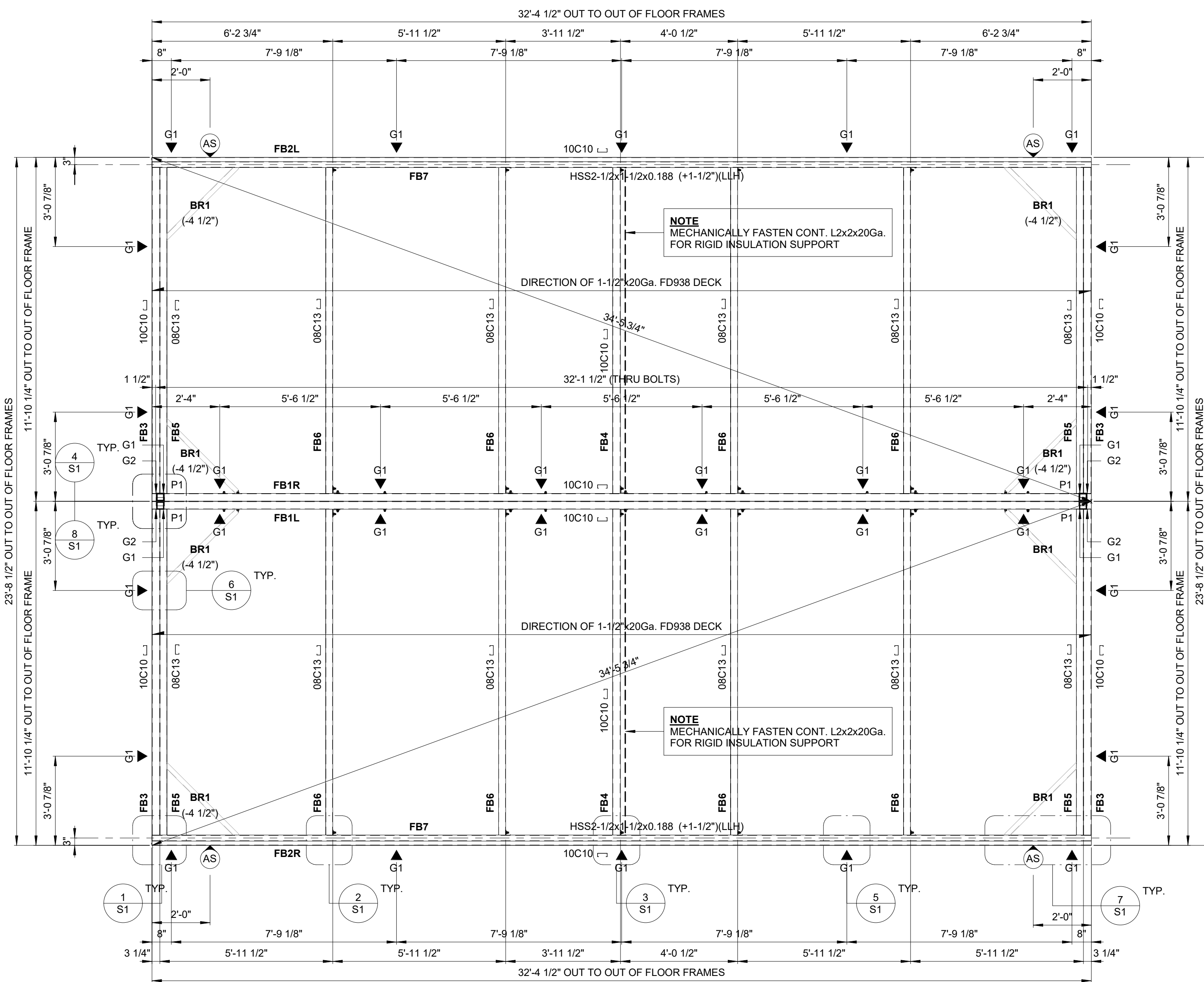
SCALE
AS SHOWN

PROJECT
YORK CATHOLIC DSB
PC2018 CLASSROOM
24'-2 3/8"x32'-11"
QTY: 11

TITLE
ELECTRICAL & HVAC PLAN

PROJECT # 216010 DRAWING # ME1

PRINT DATE: 2021-04-23 11:37:22 AMW:121216010 - York Catholic DSB/STRUCTURAL/216010 - STRUC.rvt



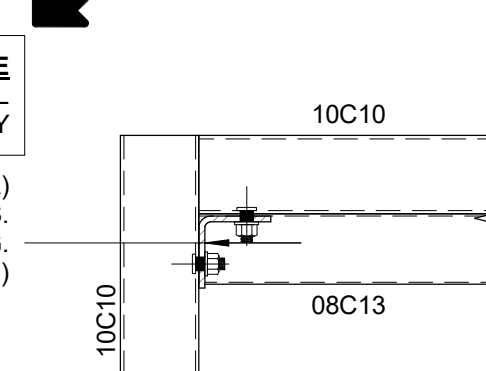
FLOOR FRAMING PLAN/ POST LAYOUT

SCALE: 3/8" = 1'-0"

FLOOR FRAMING PLAN/POST LAYOUT NOTES

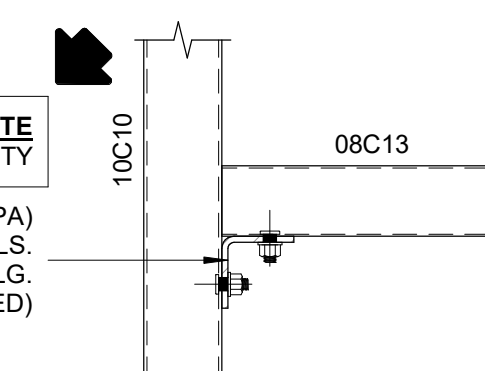
- TOP OF STEEL = +0'-0" (DATUM ELEVATION) UNLESS OTHERWISE NOTED ±X'-X" ON PLAN, WHERE ±X'-X" IS MEASURED W/ RESPECT TO THE REFERENCED ELEVATION.
- G1** DENOTES GUSSET PLATE LOCATIONS. ALL GUSSETS ARE BENT PL2 3/4"x2 3/4"x1/4" x 0'-9 5/8" LG. SEE **DETAIL 5/S1**.
- G2** DENOTES GUSSET PLATE LOCATIONS. ALL GUSSETS ARE BENT PL2 3/4"x2 3/4"x1/4" x 0'-9 5/8" LG. SEE **DETAIL 4/S1 & 8/S1**.
- P1** DENOTES POST LOCATIONS. ALL POSTS ARE HSS3x3x0.188.
- BR1** DENOTES BRACE LOCATIONS. ALL BRACES ARE L2x2x1/8.
- AS** DENOTES ANCHOR SLOT LOCATIONS. SEE **DETAIL 7/S1**.

NOTE
HSS2-1/2x1-1/2x0.188 & BENT STIFFENER PL
NOT SHOWN FOR CLARITY



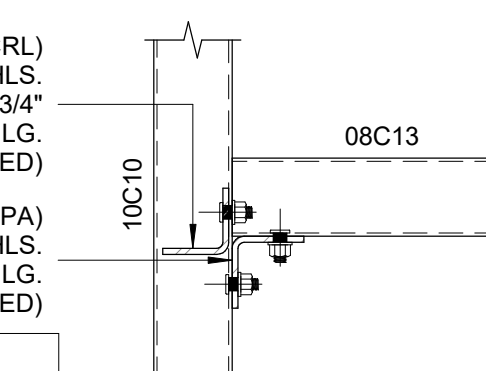
1 TYP. BEAM/BREAM CXN DETAIL - FLOOR
SCALE: 1 1/2" = 1'-0"

NOTE
HSS2-1/2x1-1/2x0.188 NOT SHOWN FOR CLARITY

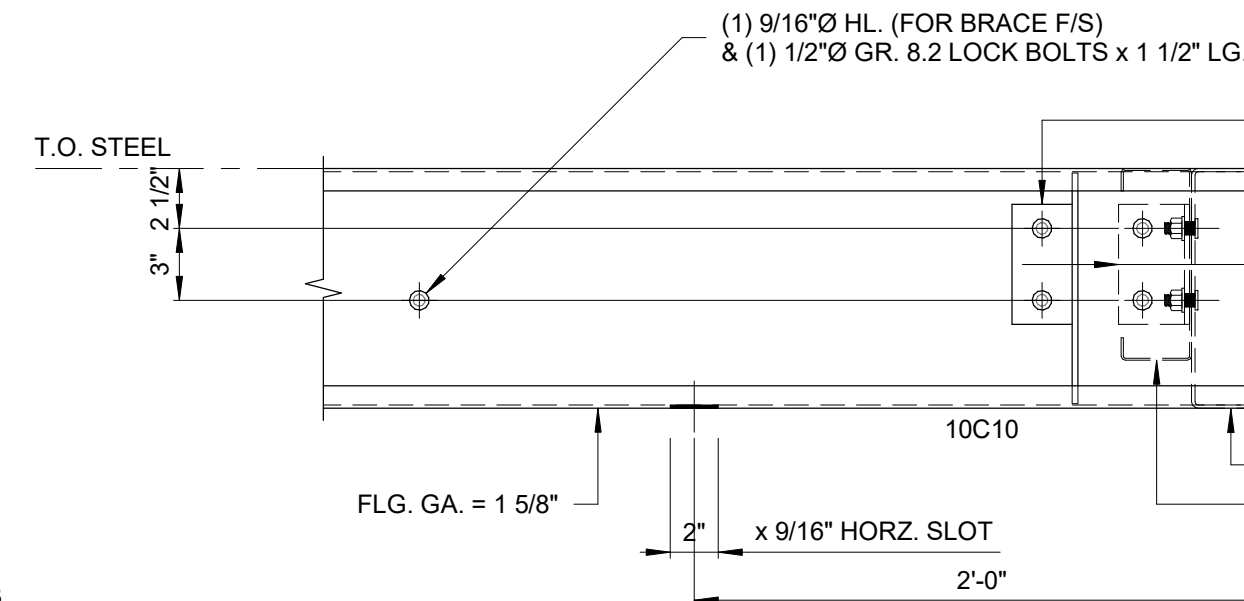


2 TYP. BEAM/BREAM CXN DETAIL - FLOOR
SCALE: 1 1/2" = 1'-0"

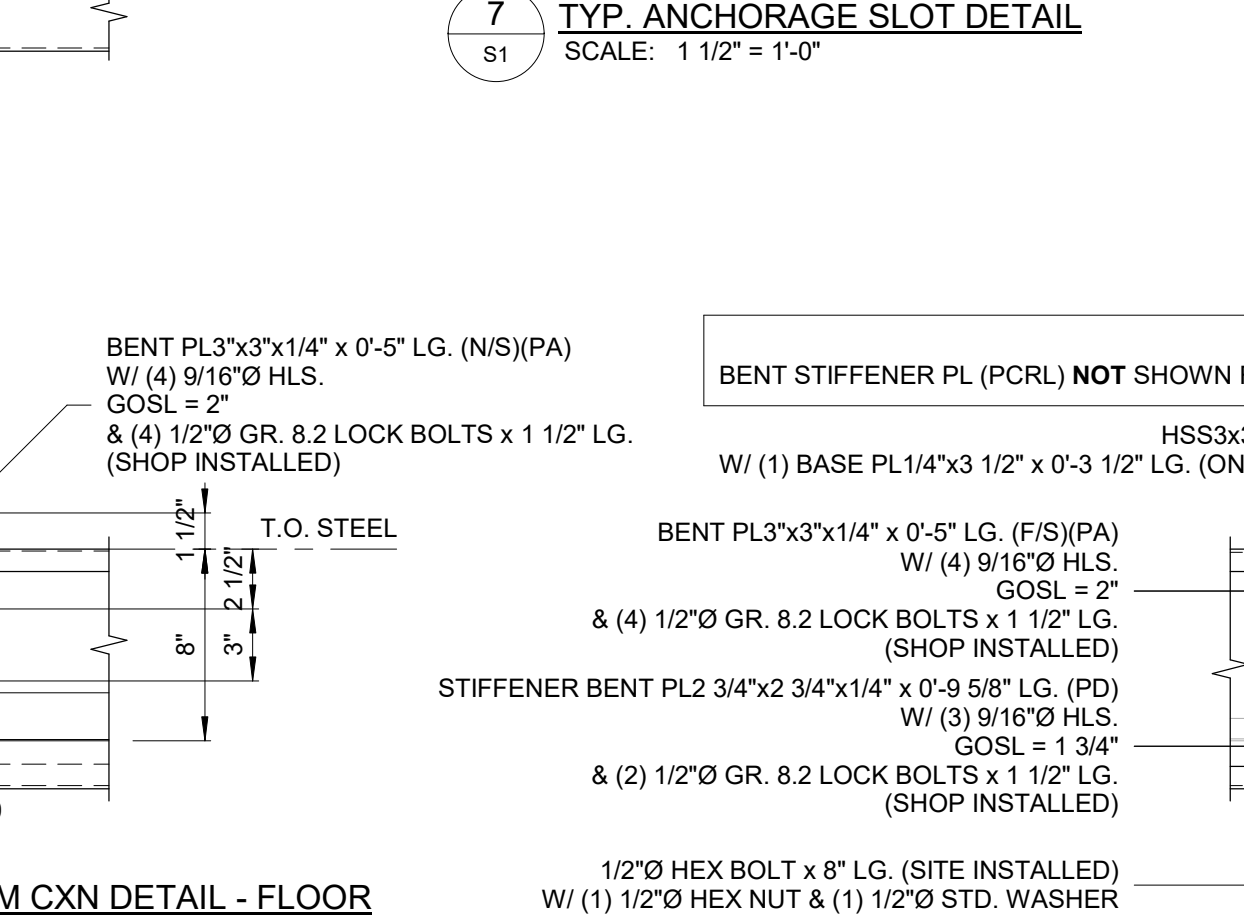
NOTE
HSS2-1/2x1-1/2x0.188 NOT SHOWN FOR CLARITY



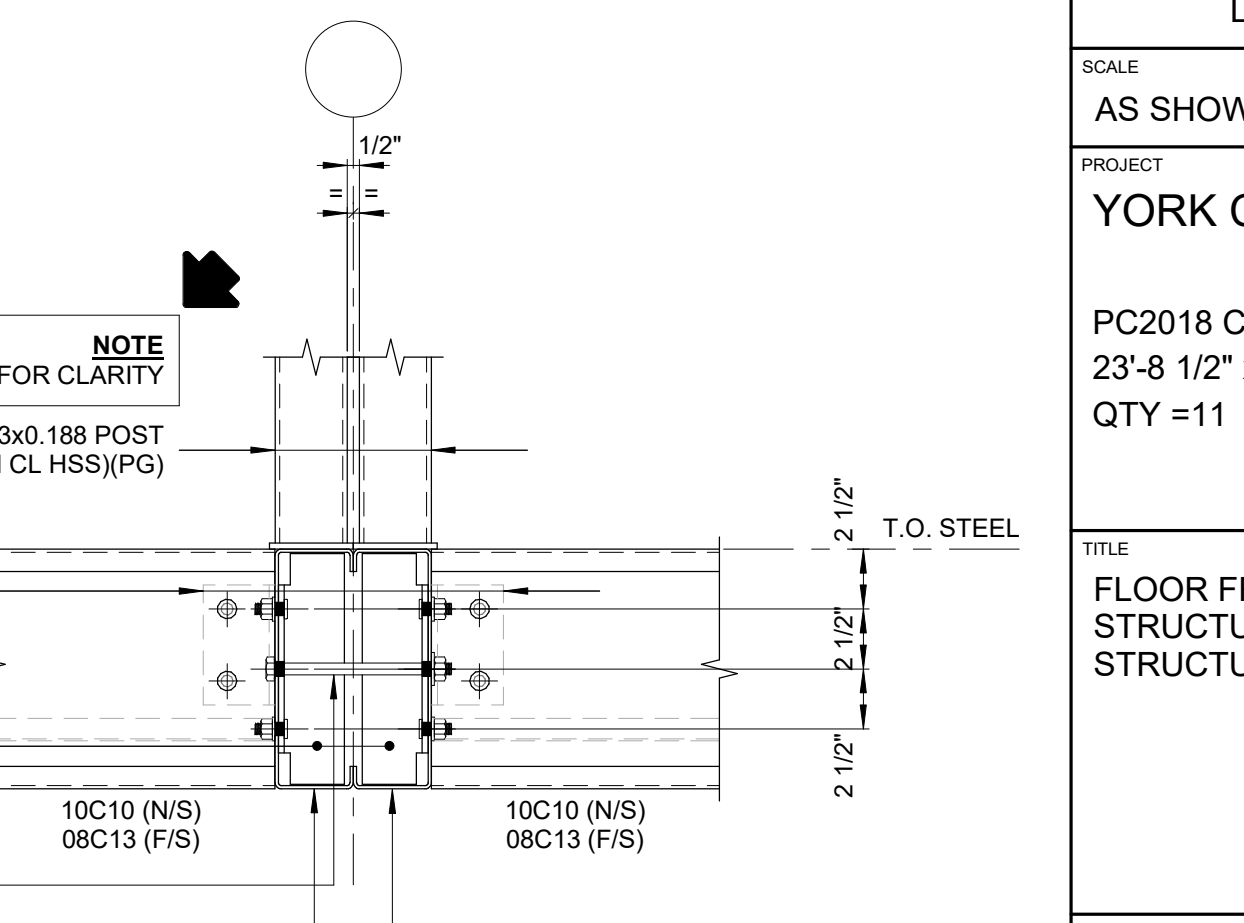
3 TYP. BEAM/BREAM CXN DETAIL - FLOOR
SCALE: 1 1/2" = 1'-0"



4 TYP. ANCHORAGE SLOT DETAIL
SCALE: 1 1/2" = 1'-0"



5 TYP. STIFFENER DETAIL - 10C10
SCALE: 1 1/2" = 1'-0"



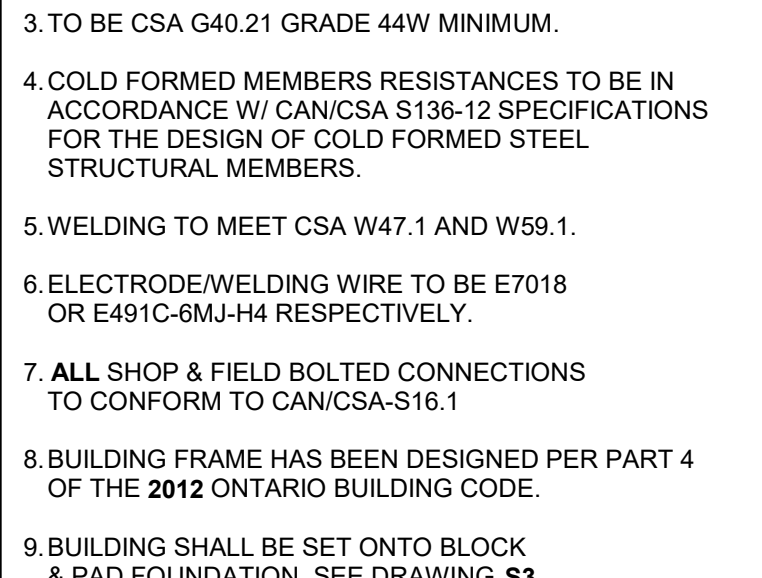
6 TYP. STIFFENER DETAIL - 08C13/10C10
SCALE: 1 1/2" = 1'-0"

DRAWING LIST	
SHEET No.	DESCRIPTION
S1	FLOOR FRAMING PLAN STRUCTURAL DETAILS - FLOOR STRUCTURAL NOTES
S2	ROOF FRAMING PLAN STRUCTURAL DETAILS - ROOF FOUNDATION PLAN ANCHOR DETAIL
S3	STRUCTURAL ELEVATION STRUCTURAL ISOMETRIC STRUCTURAL ABBREVIATIONS

TOTAL No. OF DRAWINGS IN STRUCTURAL SET: 3

STRUCTURAL NOTES

- DESIGN **LIVE** LOADS:
FLOOR = 2.40 kPa
ROOF = 2.4 kPa (MAX)
- CLIMATIC & SEISMIC DATA (AURORA, ON)
SNOW:
Ss = 2.0 kPa
Sr = 0.4 kPa
WIND:
q1/10 = 0.34 kPa
q1/50 = 0.44 kPa
SEISMIC:
Sa(0.2) = 0.138
Sa(0.5) = 0.087
Sa(1.0) = 0.050
Sa(2.0) = 0.026
PGA = 0.085
- TO BE CSA G40.21 GRADE 44W MINIMUM.
- COLD FORMED MEMBERS RESISTANCES TO BE IN ACCORDANCE W/ CAN/CSA S136-12 SPECIFICATIONS FOR THE DESIGN OF COLD FORMED STEEL STRUCTURAL MEMBERS.
- WELDING TO MEET CSA W47.1 AND W59.1.
- ELECTRODE/WELDING WIRE TO BE E7018 OR E491C-6MJ-H4 RESPECTIVELY.
- ALL SHOP & FIELD BOLTED CONNECTIONS TO CONFORM TO CAN/CSA-S16.1
- BUILDING FRAME HAS BEEN DESIGNED PER PART 4 OF THE 2012 ONTARIO BUILDING CODE.
- BUILDING SHALL BE SET ONTO BLOCK & PAD FOUNDATION. SEE DRAWING S3.



MODULAR KEY PLAN

NRB - Issued for Production
PREVIOUS DRAWINGS TO BE CONSIDERED VOID
REVIEWED BY: Devon Moffatt
PROJECT No.: 216010 DATE: 2021-05-03

NO.	DATE	REVISIONS

DATE	DRAWING STATUS
04/23/21	ISSUED FOR PRODUCTION
04/22/21	ISSUED FOR CUST. APPROVAL
04/22/21	ISSUED FOR PC REVIEW

MODULAR SOLUTIONS
PHONE: 1-800-465-7594 FAX: 1-888-232-9672 WEBPAGE: WWW.NRB-INC.COM
1-800-465-7594 | NRB@MODULAR.COM

DRAWN BY	PROJECT COORDINATOR
MA	DRM

SALES REPRESENTATIVE	DATE
LER	04/22/21

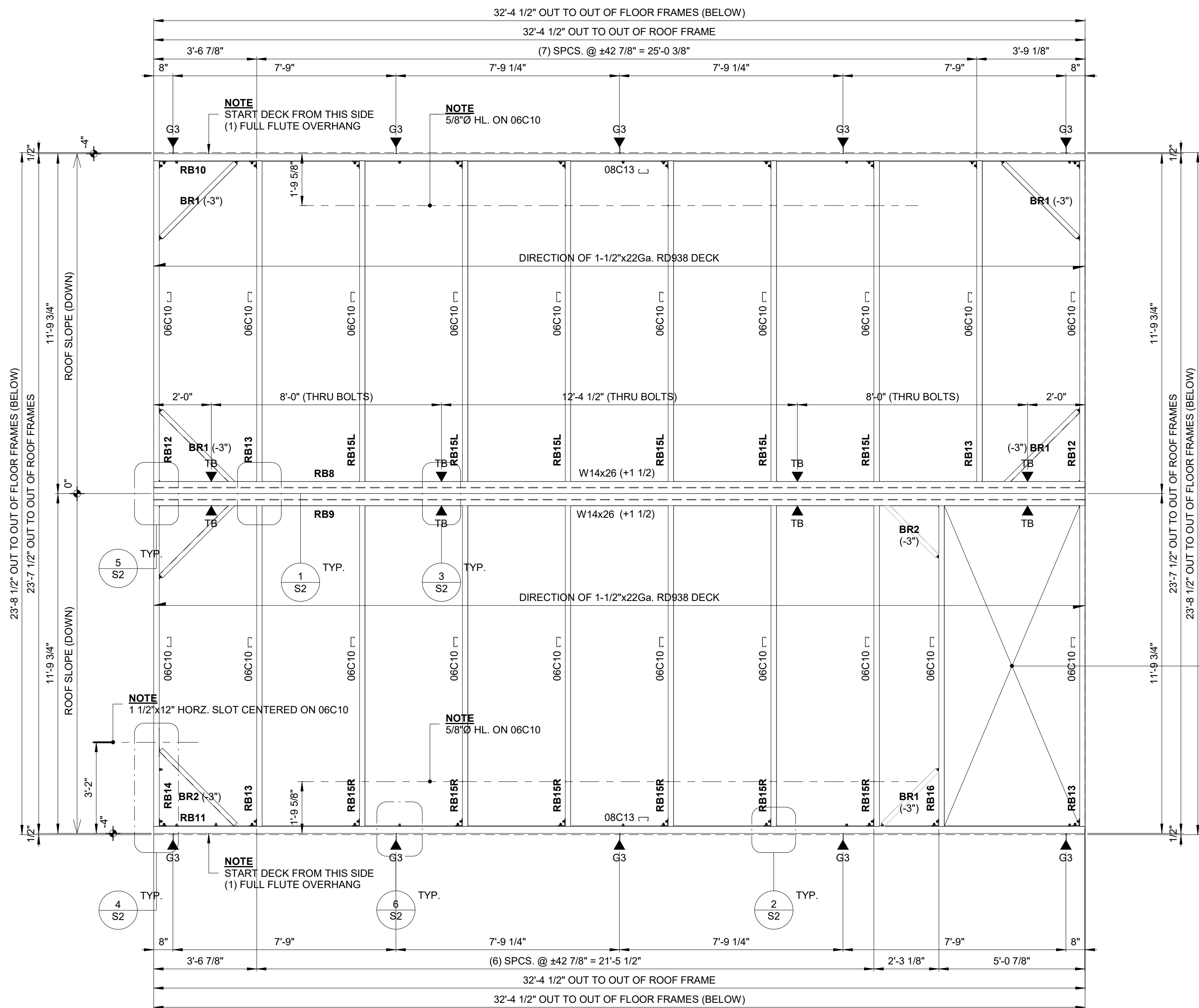
SCALE: AS SHOWN

PROJECT: YORK CATHOLIC DSB

PC2018 CLASSROOM - BOLTED ASSEMBLY
23'-8 1/2" x 32'-4 1/2"
QTY = 11

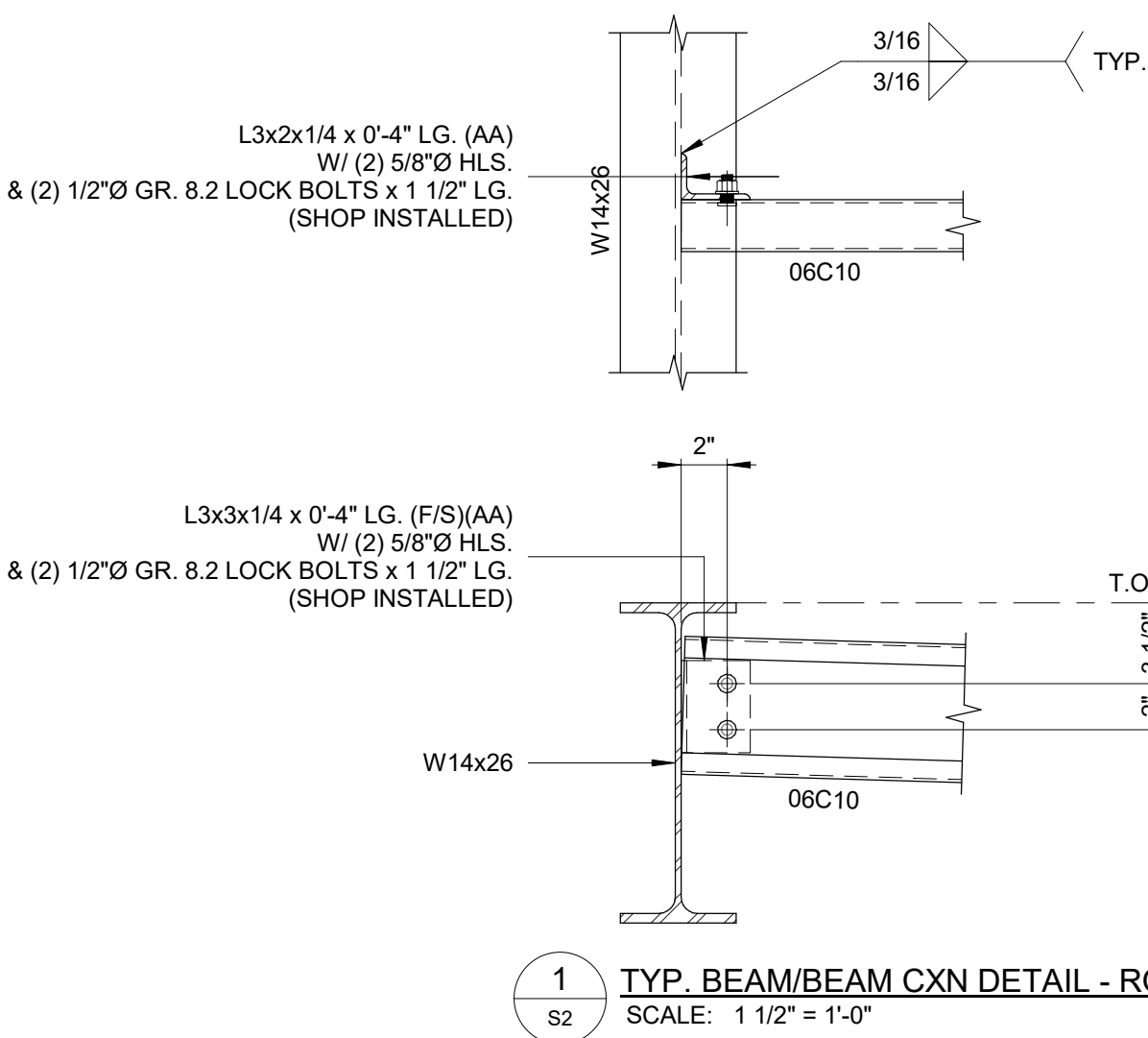
TITLE	PROJECT #	DRAWING #
FLOOR FRAMING PLAN STRUCTURAL DETAILS - FLOOR STRUCTURAL NOTES	216010	S1

PRINT DATE: 2021-04-23 11:37:25 AMW:121216010 - York Catholic DSBSTRUCTURAL216010 - STRUC.rvt

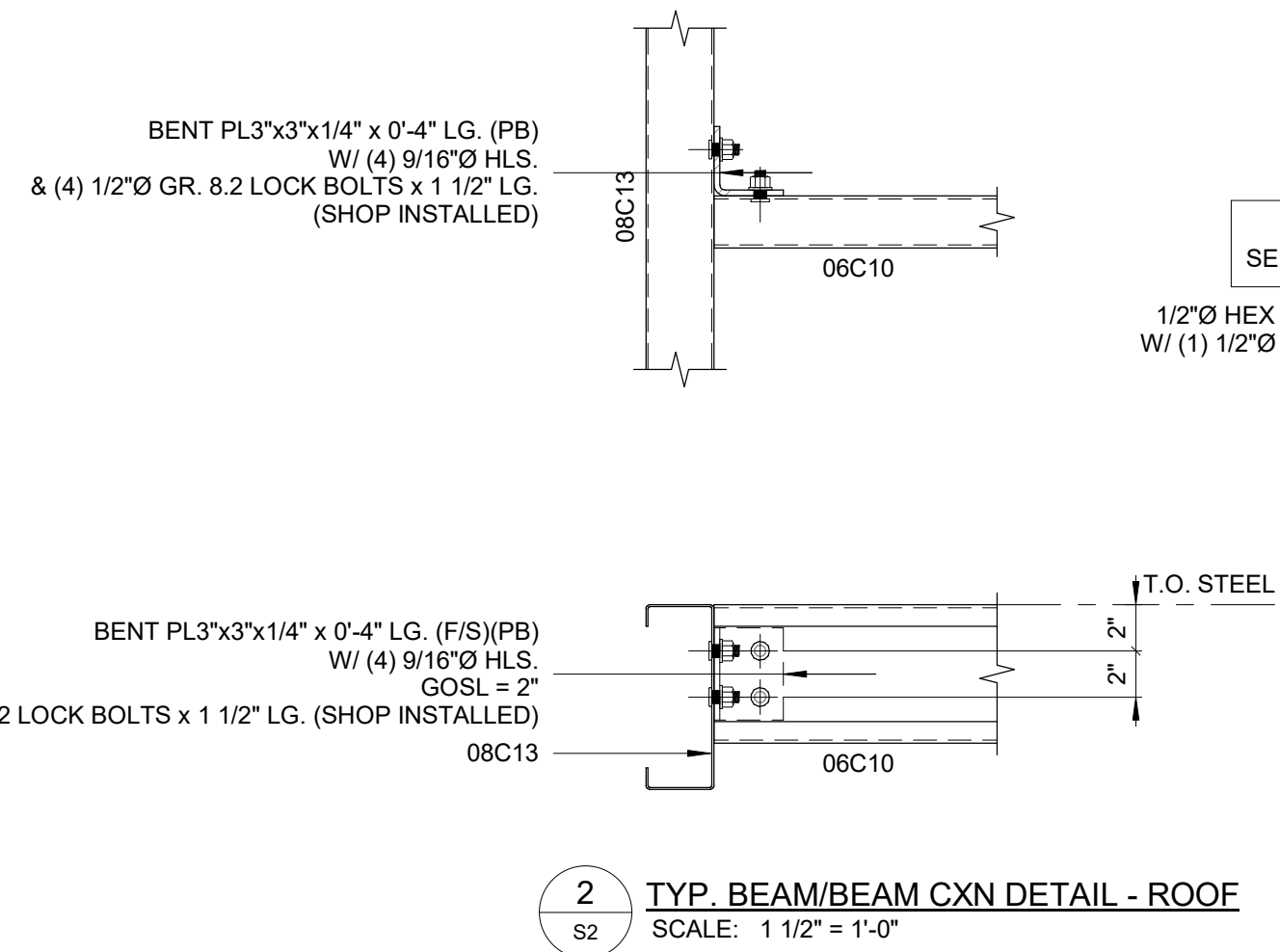


ROOF FRAMING PLAN
SCALE: 3/8" = 1'-0"

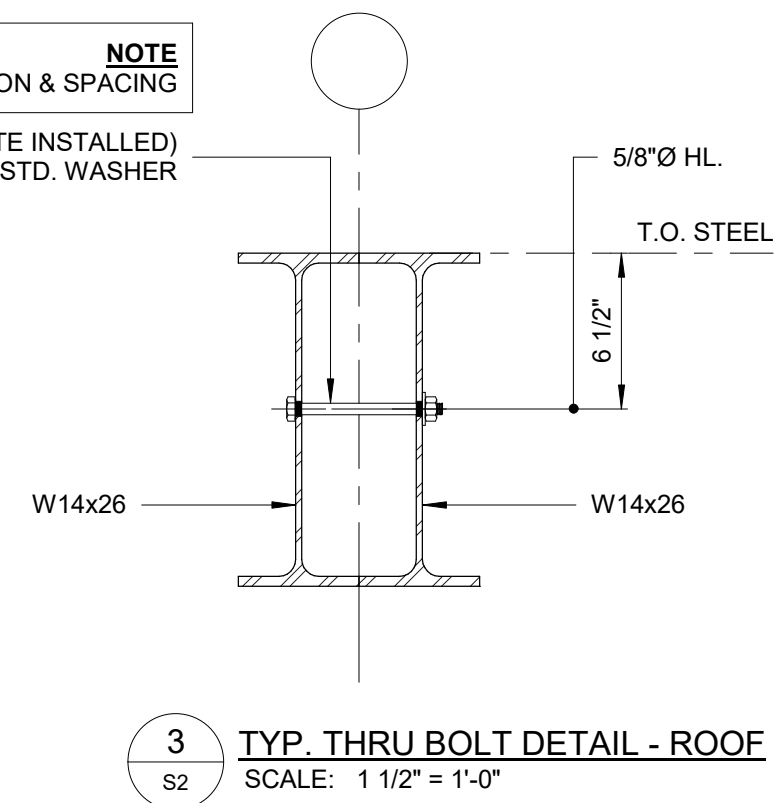
- ROOF FRAMING PLAN NOTES**
- TOP OF FLOOR STEEL = +0'-0" (DATUM ELEVATION).
 - TOP OF STEEL & U/S DECK = +9'-4 1/4" (FROM DATUM ELEVATION) UNLESS OTHERWISE NOTED ±X'-X" ON PLAN, WHERE ±X'-X" IS MEASURED W/ RESPECT TO THE REFERENCED ELEVATION.
 - G3** DENOTES GUSSET PLATE LOCATIONS. ALL GUSSETS ARE BENT PL5 1/2"x2 1/2"x1/4" x 0'-6 1/4" LG. SEE DETAIL 6/S2.
 - TB** DENOTE 5/8"Ø HL. LOCATIONS FOR 1/2"Ø THRU BOLTS (SITE INSTALLED). SEE DETAIL 3/S2.
 - BR1/2** DENOTE BRACE LOCATIONS. ALL BRACES ARE L2x2x1/8.



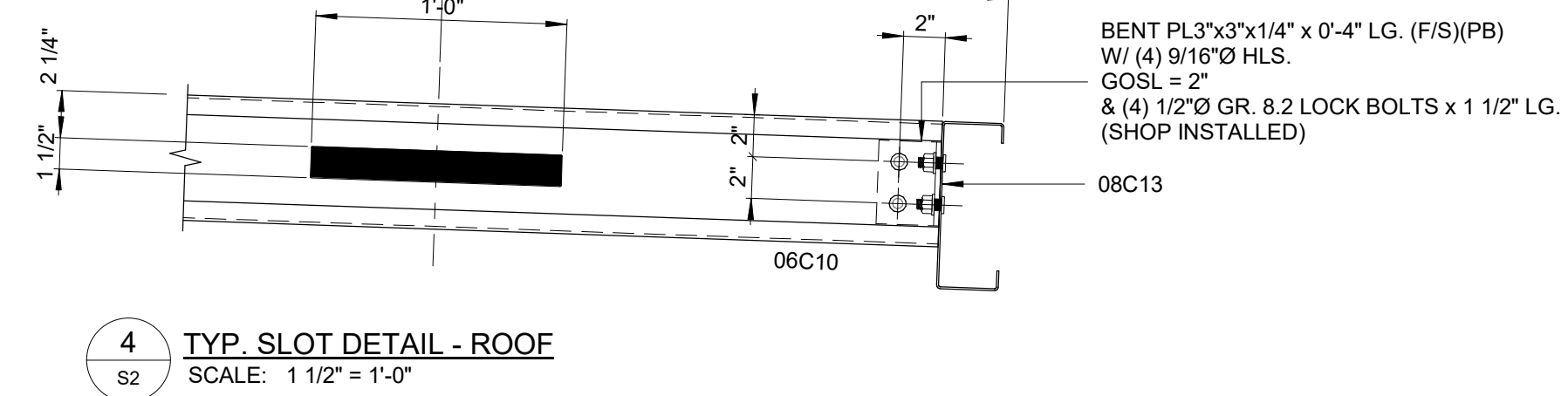
1 TYP. BEAM/BEAM CXN DETAIL - ROOF
SCALE: 1 1/2" = 1'-0"



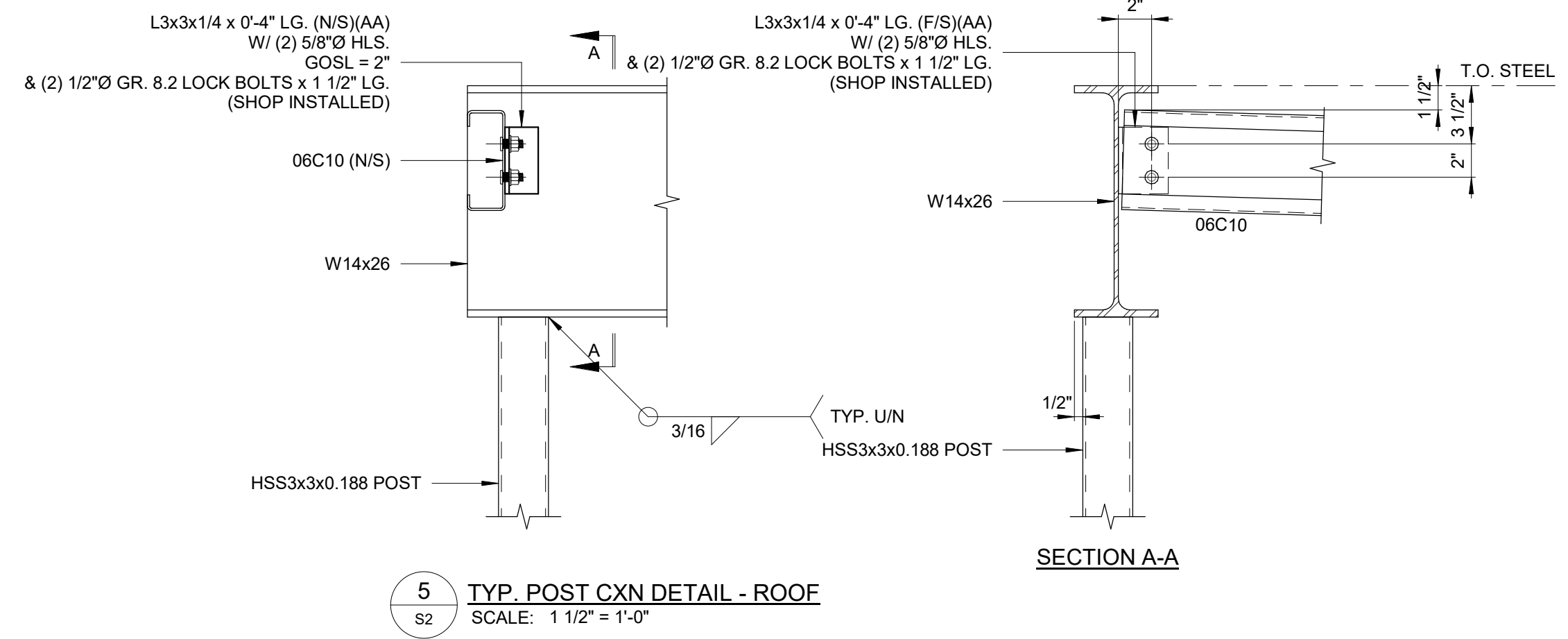
2 TYP. BEAM/BEAM CXN DETAIL - ROOF
SCALE: 1 1/2" = 1'-0"



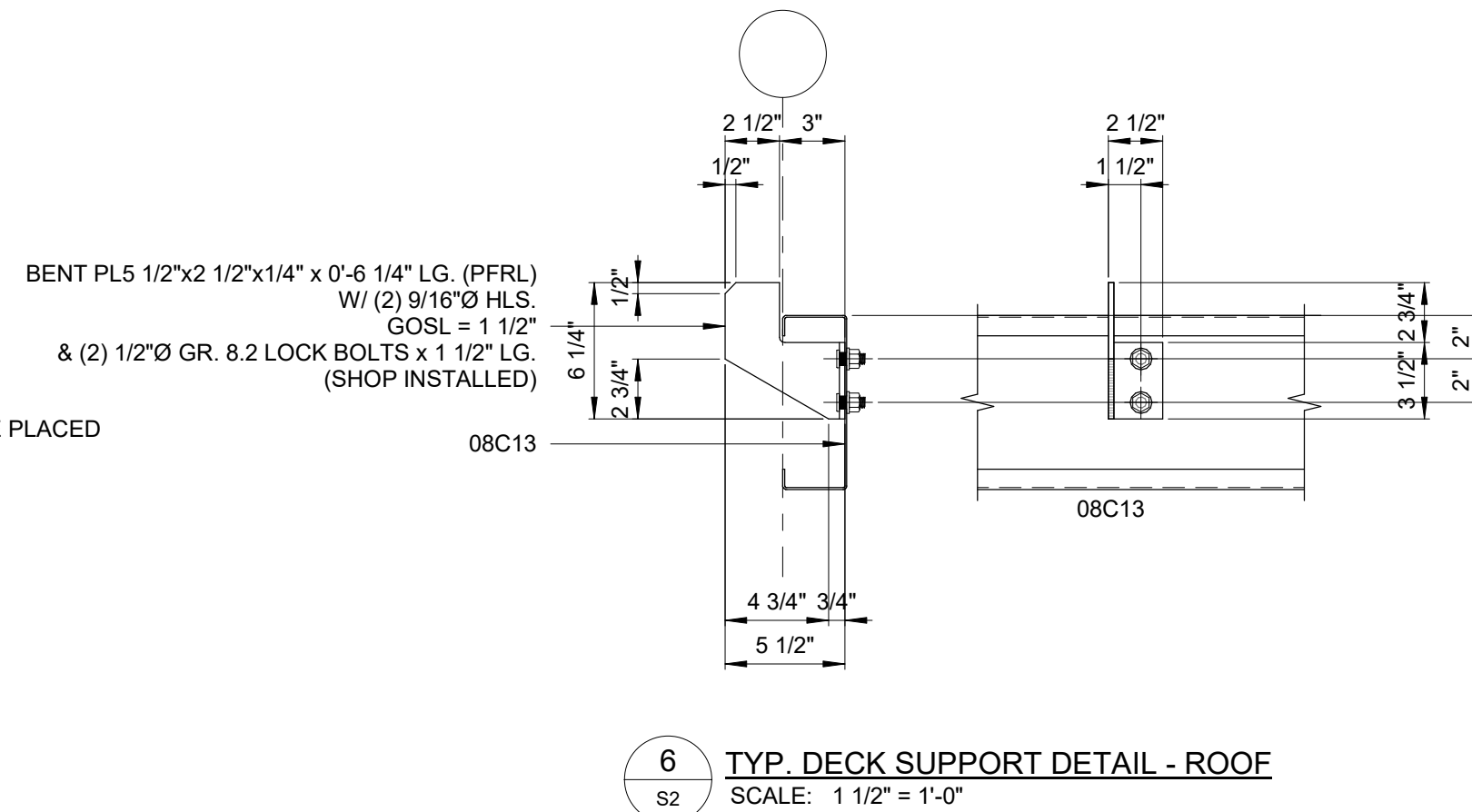
3 TYP. THRU BOLT DETAIL - ROOF
SCALE: 1 1/2" = 1'-0"



4 TYP. SLOT DETAIL - ROOF
SCALE: 1 1/2" = 1'-0"



5 TYP. POST CXN DETAIL - ROOF
SCALE: 1 1/2" = 1'-0"



6 TYP. DECK SUPPORT DETAIL - ROOF
SCALE: 1 1/2" = 1'-0"

1
2

MODULAR KEY PLAN

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REVIEWED BY: Devon Moffatt
PROJECT No. : 216010 DATE : 2021-05-03

NO.	DATE	REVISIONS

DATE	DRAWING STATUS
04/23/21	ISSUED FOR PRODUCTION
04/22/21	ISSUED FOR CUST. APPROVAL
04/22/21	ISSUED FOR PC REVIEW



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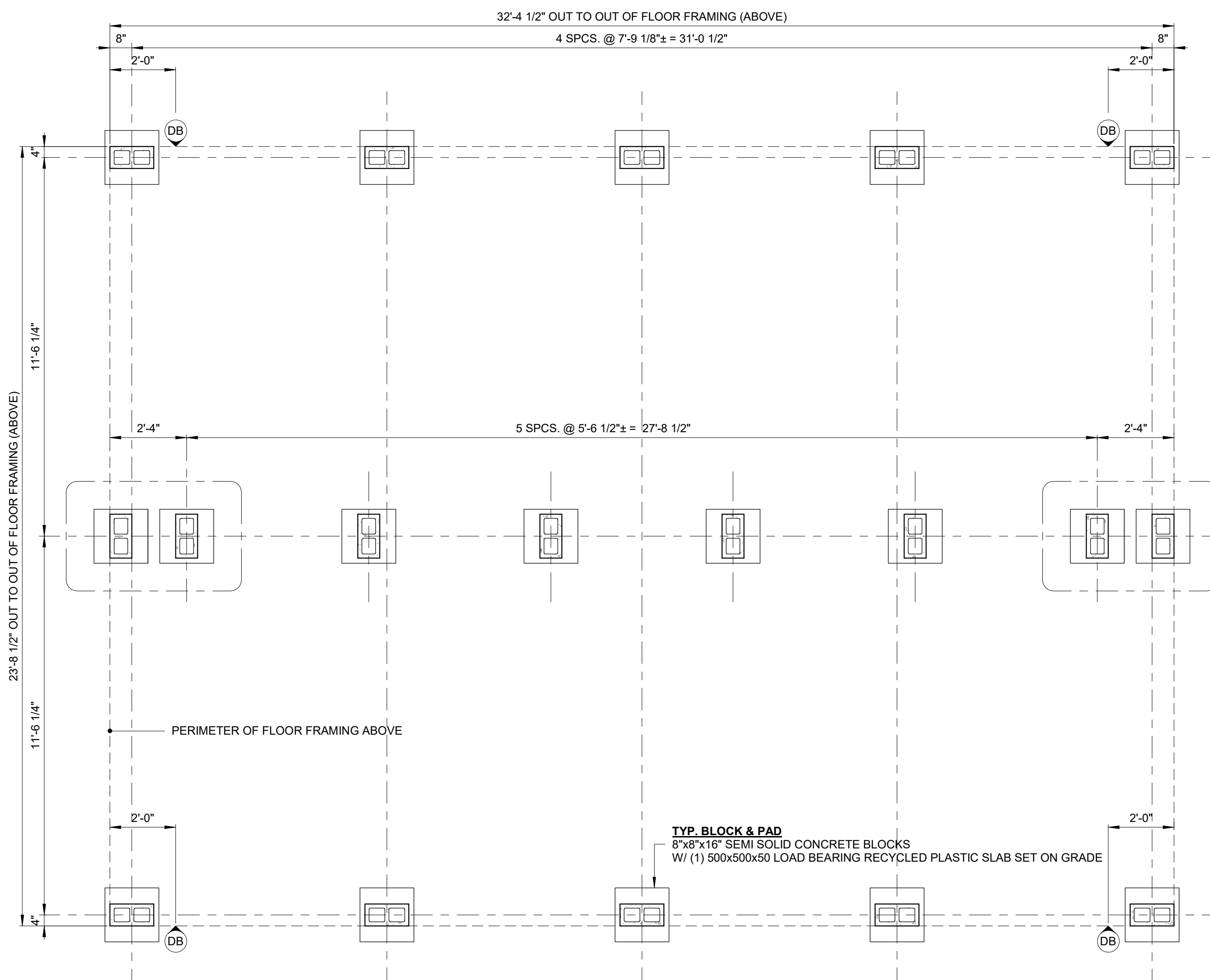
DRAWN BY	PROJECT COORDINATOR
MA	DRM
SALES REPRESENTATIVE	DATE
LER	04/22/21

SCALE: AS SHOWN

PROJECT: YORK CATHOLIC DSB
PC2018 CLASSROOM - BOLTED ASSEMBLY
23'-8 1/2" x 32'-4 1/2"
QTY = 11

TITLE: ROOF FRAMING PLAN
STRUCTURAL DETAILS - ROOF

PROJECT #	DRAWING #
216010	S2

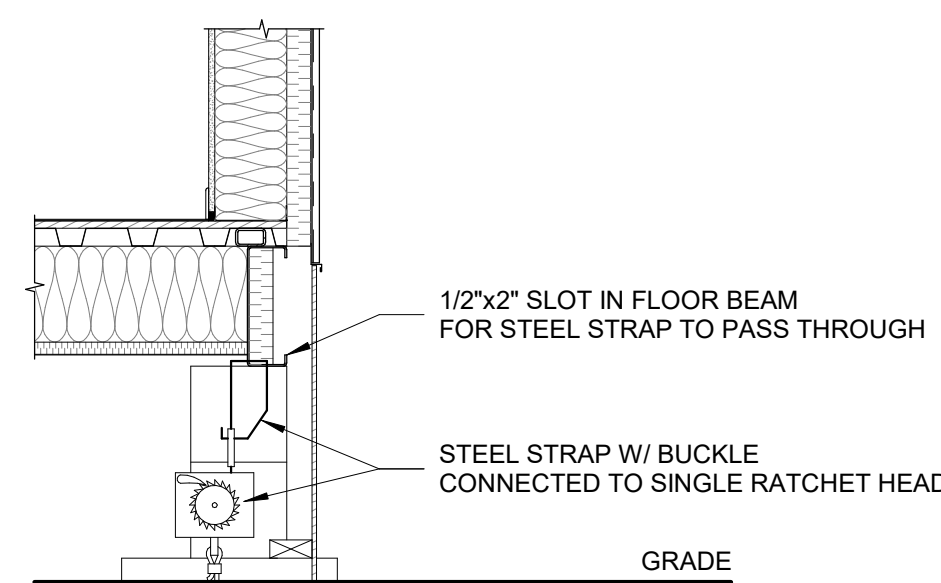


FOUNDATION PLAN

SCALE: 3/8" = 1'-0"

FOUNDATION NOTES:

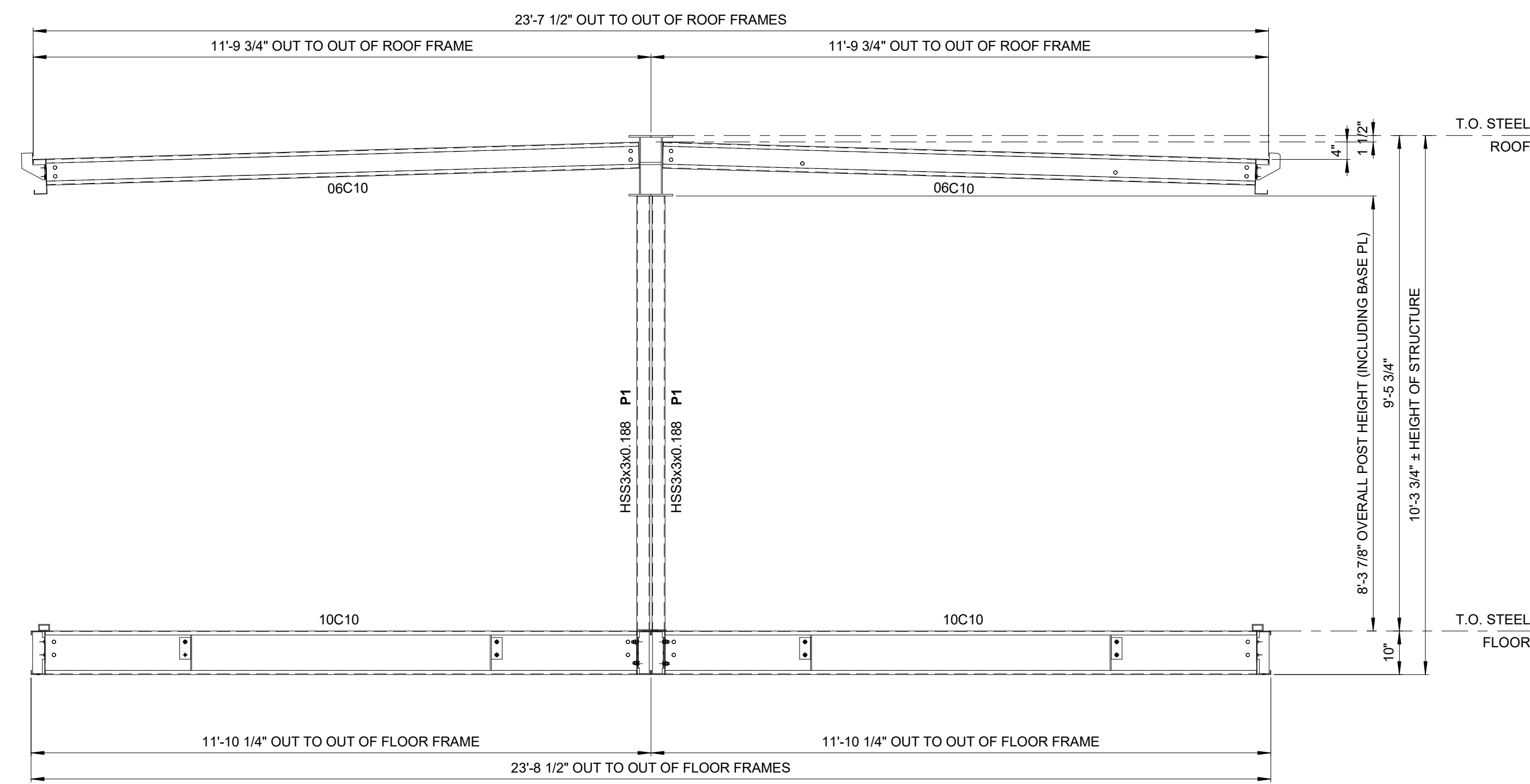
1. CONCRETE BLOCKS SHALL BE SINGLE STACKED UP TO 3 BLOCKS HIGH, OVER 3 BLOCKS HIGH SHALL BE DOUBLE STACKED.
2. FOUNDATION DESIGN IS BASED ON A SOIL BEARING CAPACITY OF 3500 PSF. THE CUSTOMER SHALL BE RESPONSIBLE FOR THE SOIL TO MEET OR EXCEED THIS REQUIREMENT.
3. FOUNDATION & ANCHORAGE SHALL BE PROVIDED IN ACCORDANCE W/ THIS DRAWING.
4. (DB) DENOTES DUCKBILL ANCHOR LOCATION. SEE DETAIL 1/S3.



THE DUCKBILL ANCHOR IS DRIVEN DOWN INTO GROUND A MIN. 3'-0" & CONNECTED TO THE RATCHET HEAD. PRESSURE IS APPLIED TO THE ANCHOR. THE ANCHOR PULLS UP ENOUGH TO TURN SIDWAYS AND TAKE HOLD.

NOTE
STANDARD PULLOUT RESISTANCE RATING EQUALS 5000 LBS. EA.

1 DUCKBILL ANCHOR DETAIL
SCALE: 3/4" = 1'-0"



2 ELEVATION (GABLE END)
SCALE: 1/2" = 1'-0"



ISOMETRIC - STRUCTURAL

DISCLAIMER NOTE
THIS DETAIL IS PROVIDED FOR CONCEPTUAL PURPOSES ONLY.

STEEL ABBREVIATIONS:

ABT CL =	ABOUT CENTERLINE
BC1E =	BEVEL CUT ONE END
BC2E =	BEVEL CUT 2 ENDS
BTM =	BOTTOM
B/B =	BACK TO BACK
B/E =	BOTH ENDS
B/S =	BOTH SIDES
CL =	CENTERLINE
CS1E =	CUT SQUARE ONE END
CS2E =	CUT SQUARE 2 ENDS
CXN =	CONNECTION
C/C =	CENTER TO CENTER
E/O =	END TO END
E/O =	END TO OUT
FLG. =	FLANGE
F/S =	FAR SIDE
Ga =	GAUGE
GOSL =	GAUGE OUTSTANDING LEG
HL./HLS. =	HOLE/HOLES
LG. =	LENGTH
LLH =	LONG LEG HORIZONTAL
LLV =	LONG LEG VERTICAL
mk =	MARK
N/S =	NEAR SIDE
OC =	ON CENTER
O/E =	OUT TO END
O/O =	OUT TO OUT
PL =	PLATE
RD =	RUNNING (ORDINATE) DIMENSION
UN =	UNLESS NOTED
UNO =	UNLESS NOTED OTHERWISE

NRB - Issued for Production
PREVIOUS DRAWINGS TO BE CONSIDERED VOID
REVIEWED BY: Devon Moffatt
PROJECT No. : 216010 DATE : 2021-05-03

NO.	DATE	REVISIONS

DATE	DRAWING STATUS
04/23/21	ISSUED FOR PRODUCTION
04/22/21	ISSUED FOR CUST. APPROVAL
04/22/21	ISSUED FOR PC REVIEW



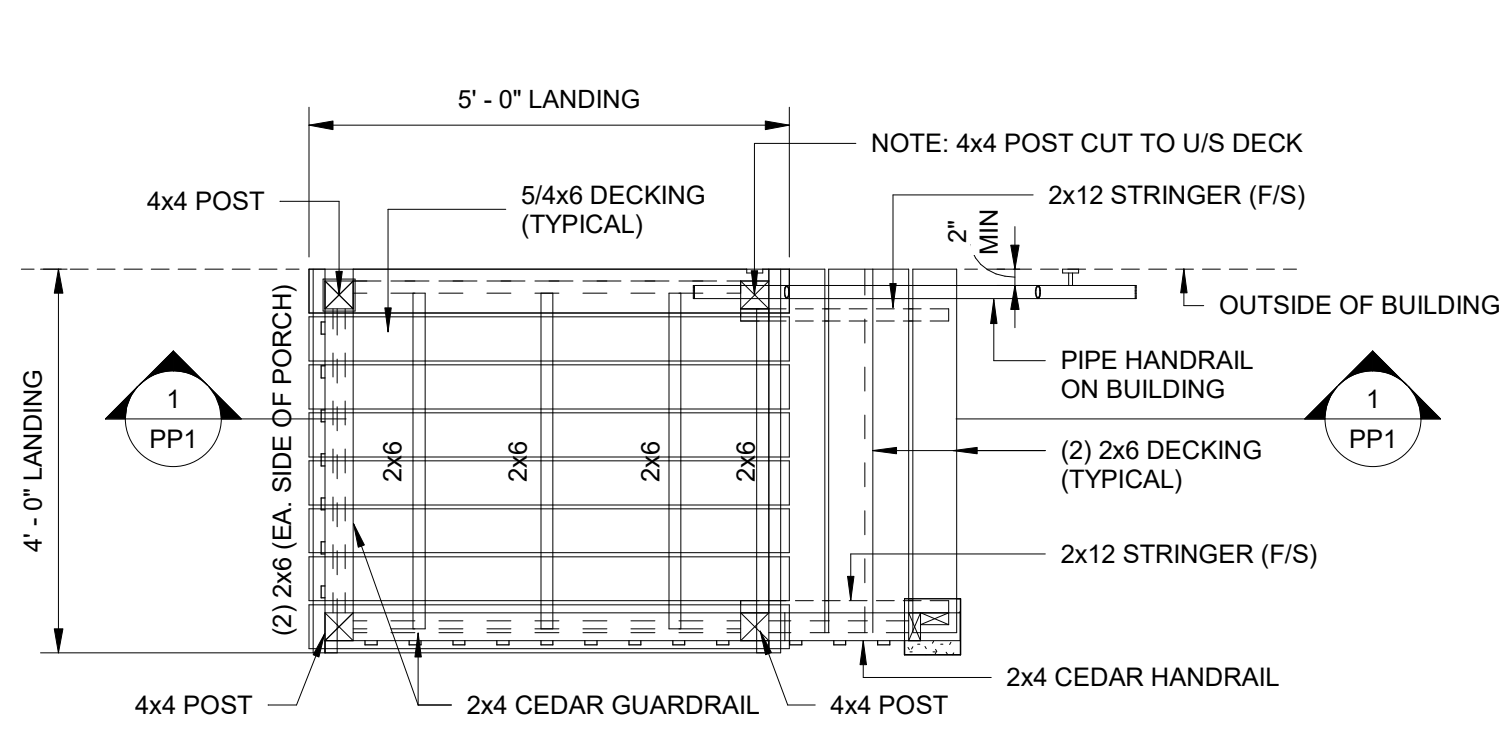
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MA	DRM
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LER	04/22/21

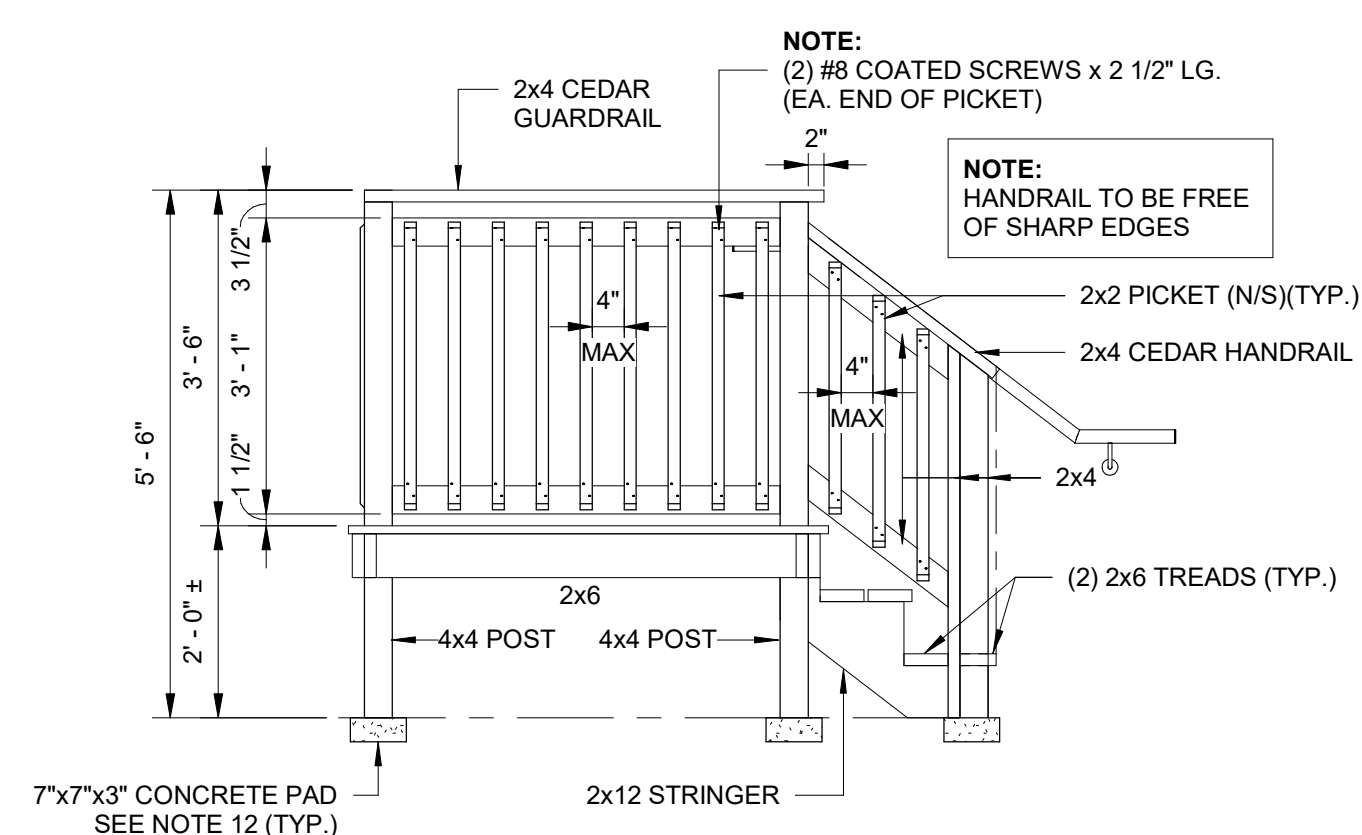
SCALE: AS SHOWN
PROJECT: YORK CATHOLIC DSB
PC2018 CLASSROOM - BOLTED ASSEMBLY
23'-8 1/2" x 32'-4 1/2"
QTY = 11

TITLE: FOUNDATION PLAN
ANCHOR DETAIL
STRUCTURAL ELEVATION
STRUCTURAL ISOMETRIC
STRUCTURAL ABBREVIATIONS

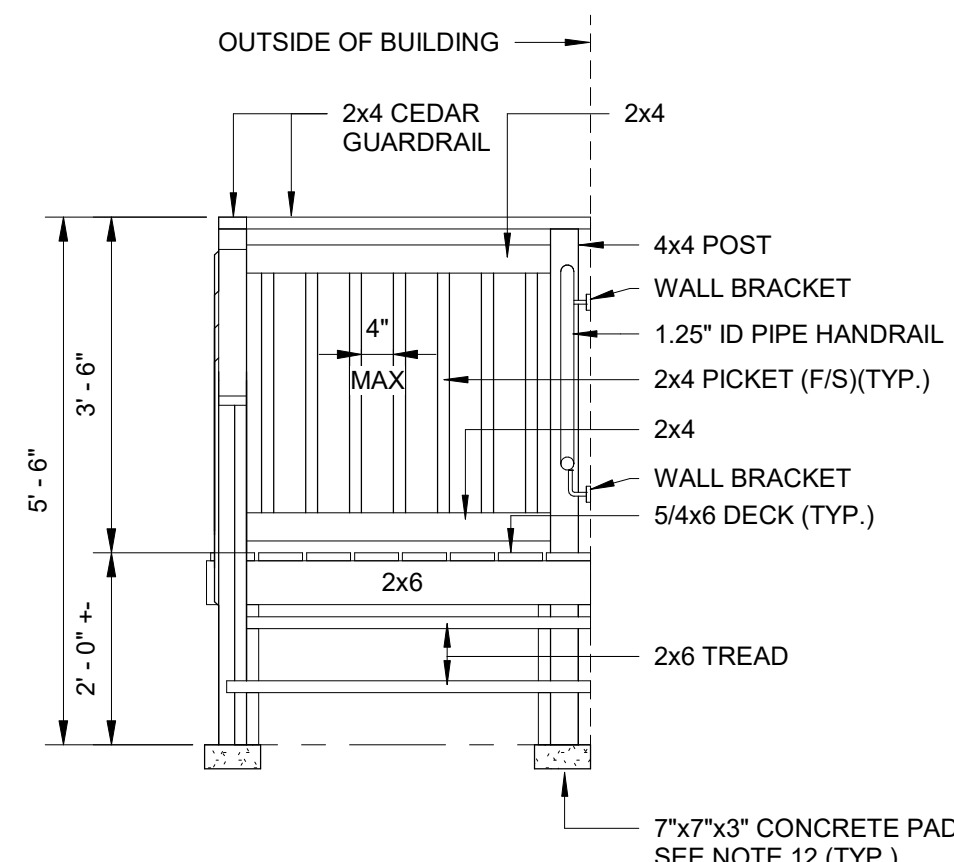
PROJECT #	DRAWING #
216010	S3



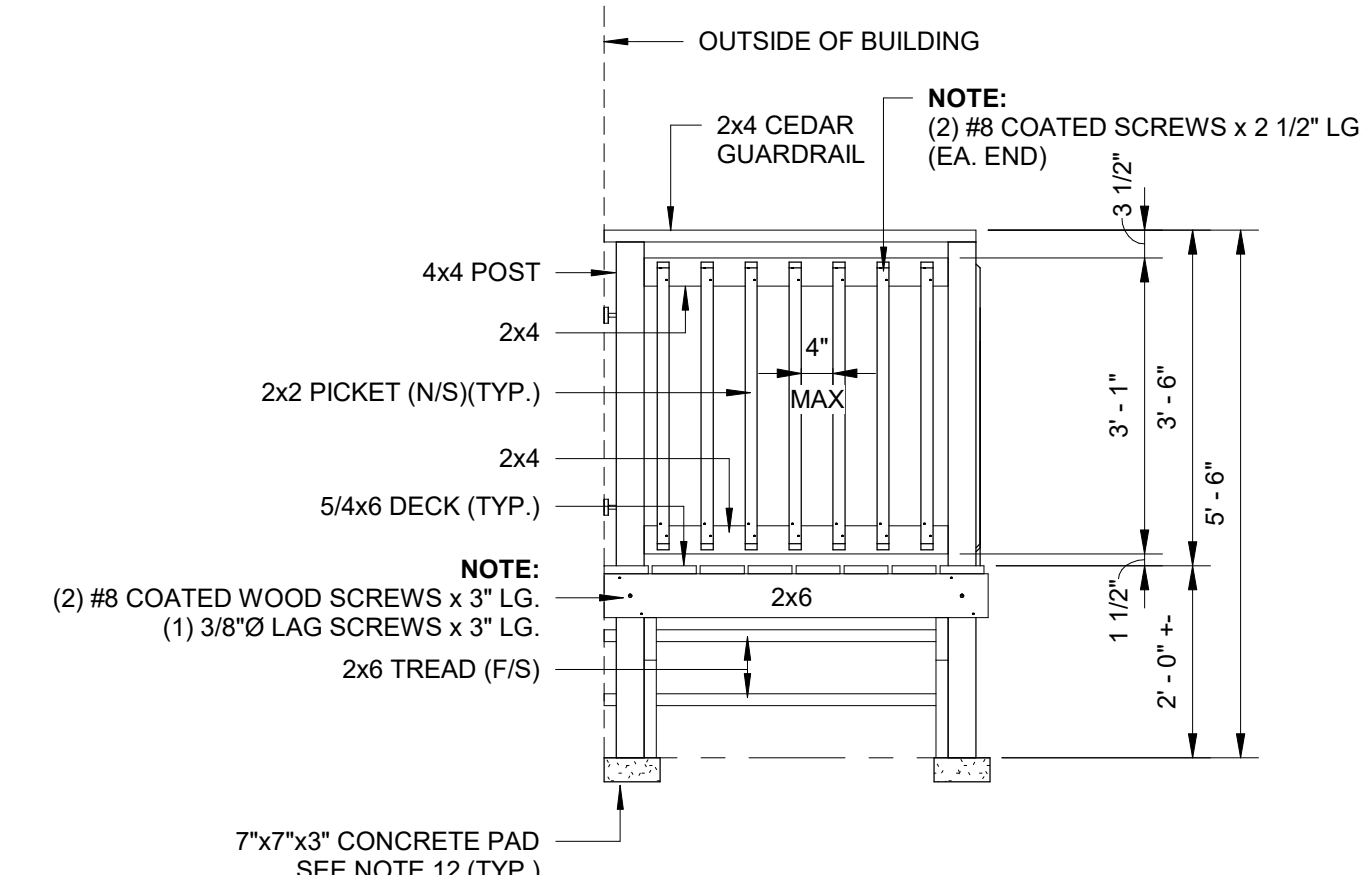
PORCH PLAN
SCALE 1/2" = 1'-0"



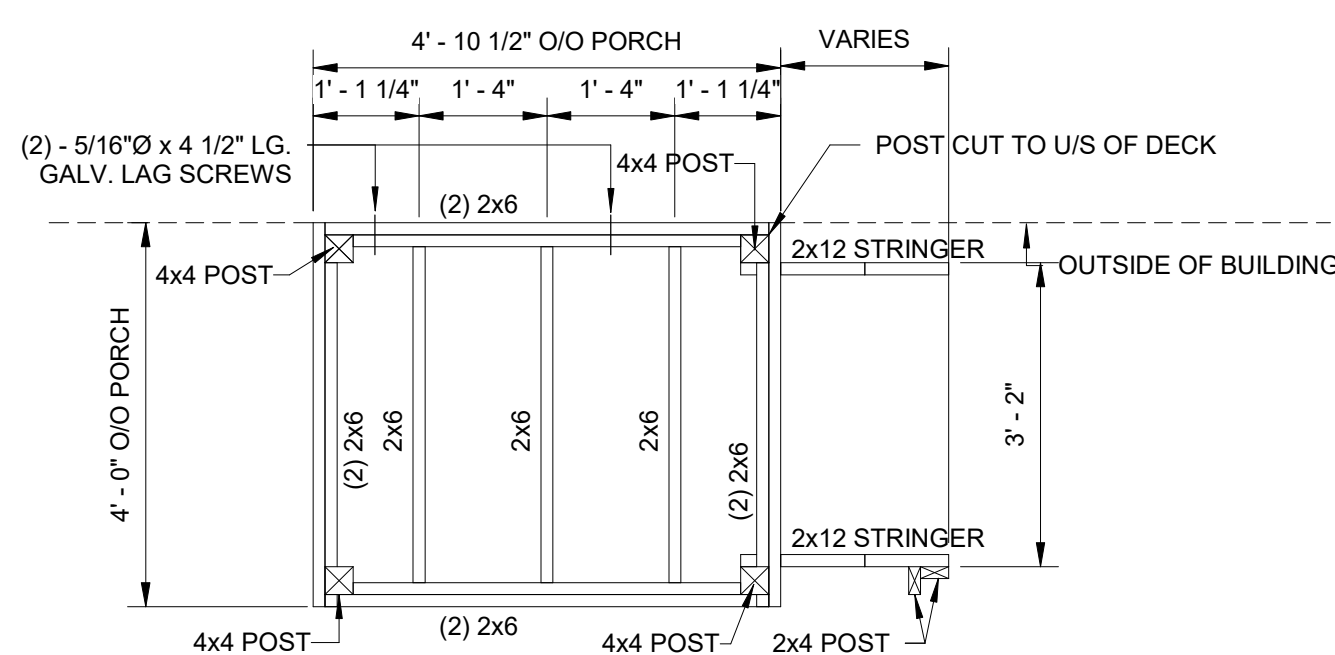
FRONT ELEVATION
SCALE 1/2" = 1'-0"



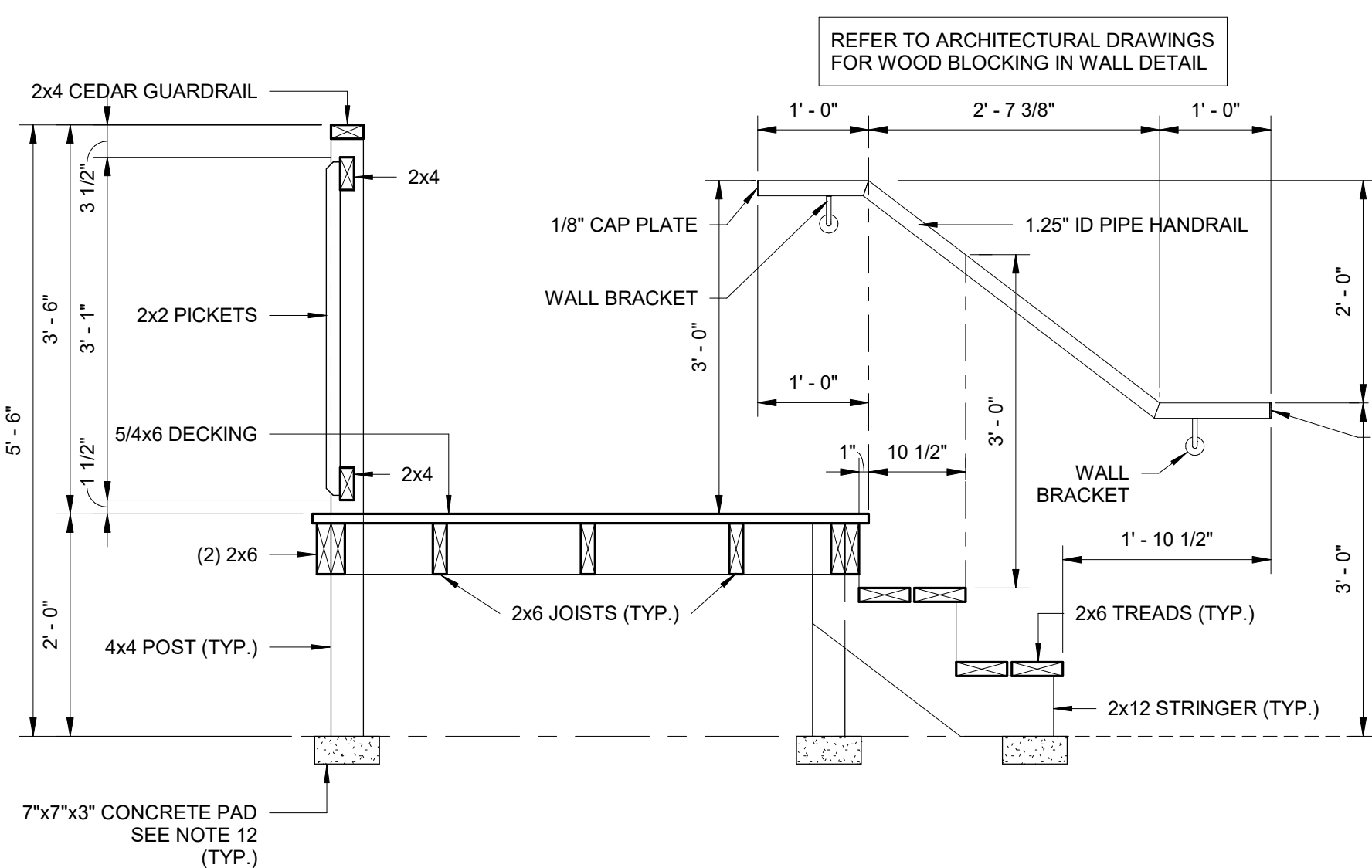
STAIR SIDE ELEVATION
SCALE 1/2" = 1'-0"



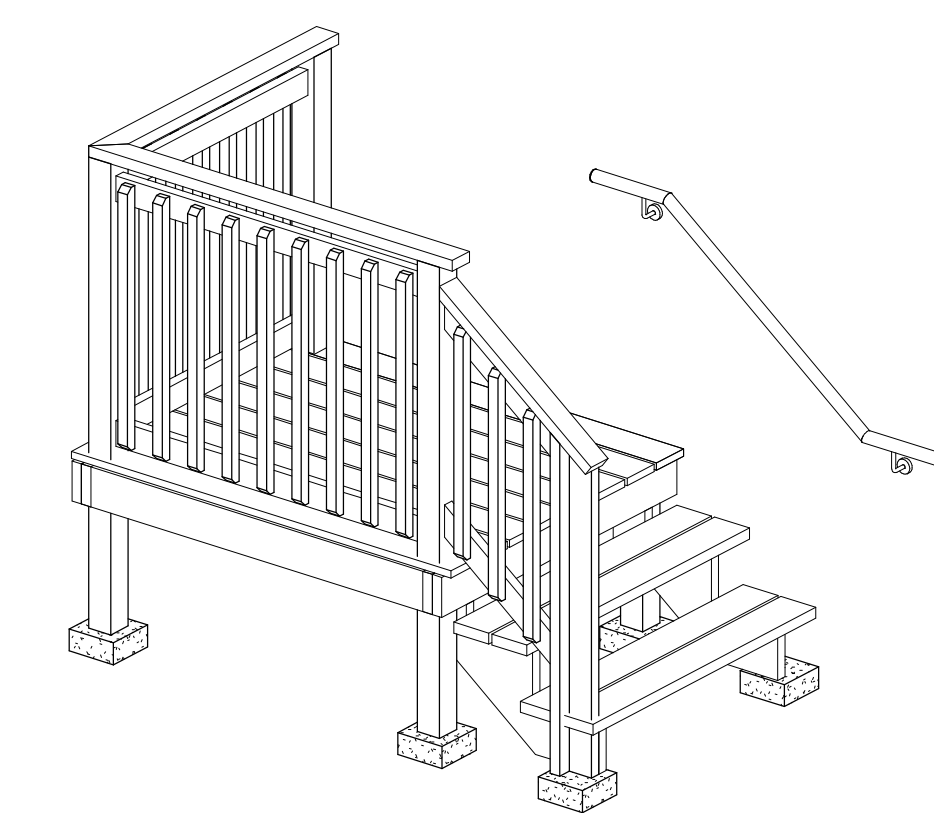
BACK SIDE OF STAIR
SCALE 1/2" = 1'-0"



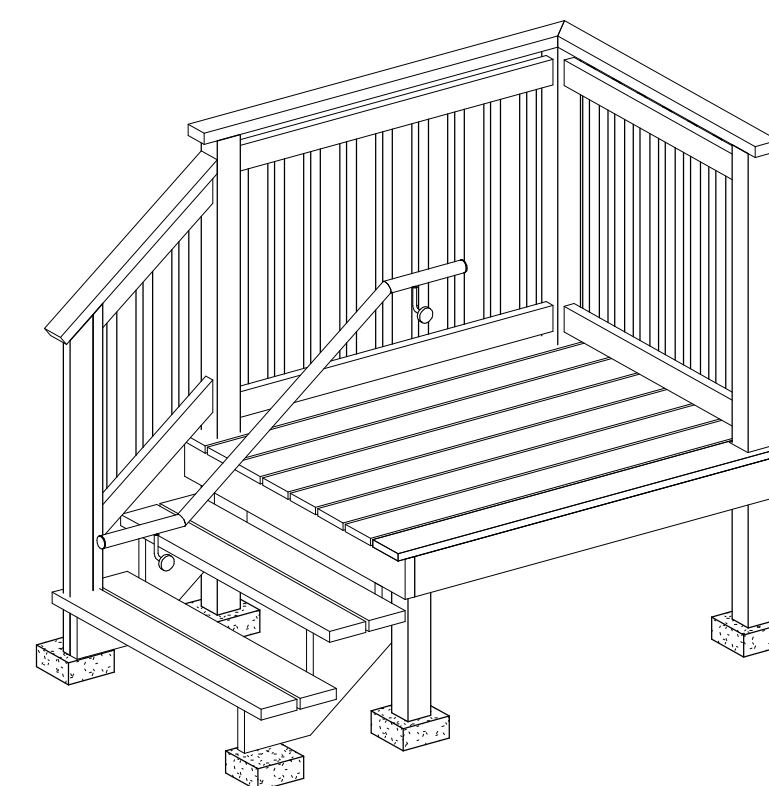
FRAMING PLAN
SCALE 1/2" = 1'-0"



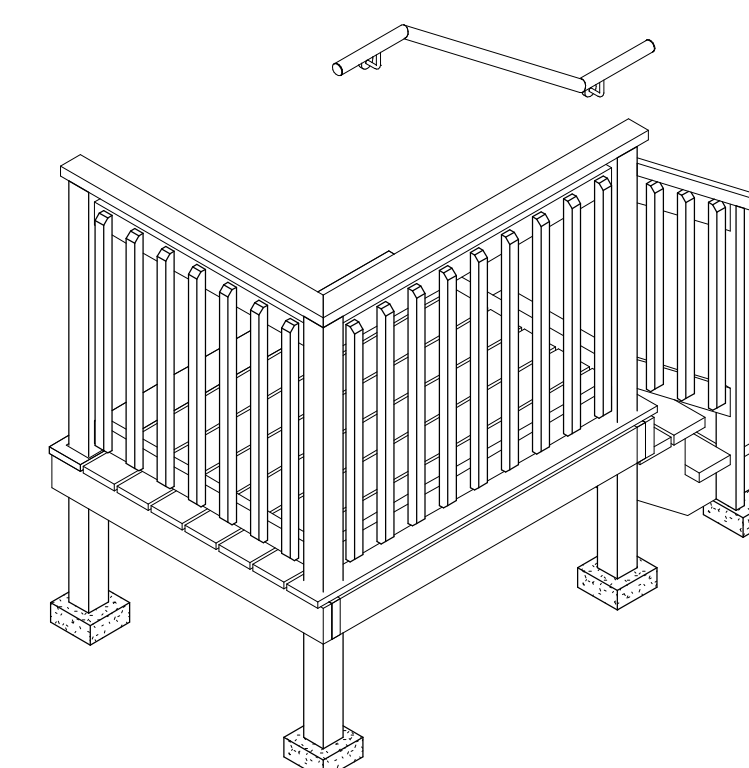
CROSS SECTION
SCALE 3/4" = 1'-0"



ISOMETRIC VIEW



ISOMETRIC VIEW



ISOMETRIC VIEW

PORCH NOTES

1. SCREW PORCH TO POSTS WITH 3" SCREWS.
2. 1/2" SCREWS FOR HANDRAILS, STEPS, AND PICKETS
3. WOOD IS PRESSURE TREATED #2 S.P.F.
4. STAIRS MORE THAN 3'-8" IN WIDTH WILL REQUIRE HANDRAILS ON BOTH SIDES. PROVIDE EXTRA STRINGER MID POINT OF STAIR.
5. STAIR HANDRAIL HEIGHT MUST BE BETWEEN 2'-10" AND 3'-2" MEASURED FROM THE TREAD NOSING.
6. THE LANDING GUARD MUST BE MORE THAN 3'-6" HIGH AND THE STAIR GUARD MUST BE MORE THAN 3'-0" HIGH.
7. THE LANDING GUARD MUST NOT FACILITATE CLIMBING BETWEEN 5 1/2" TO 3'-0" ABOVE THE LANDING.
8. THE RISE BETWEEN STAIRS MUST BE UNIFORM AND BE BETWEEN 5" AND 7 7/8".
9. ENSURE A CLEAR SPACE OF 1'-0" FROM THE DOOR TO THE FIRST RISER.
10. NOTE: FINAL RISE TO BE SITE VERIFIED PRIOR TO CONSTRUCTION.
11. GUARDS AND RAILINGS TO WITHSTAND 0.75 kN/m OR A CONCENTRATED LOAD OF 1.0 kN APPLIED AT ANY POINT.
12. LIVE LOAD STAIR AND LANDING = 4.80 kPa
13. SITE CONDITIONS DETERMINE PORCH AND STAIR FOUNDATION. 7"x7"x3" CONCRETE PADS TO BE USED (AS SHOWN ON DWG) WHERE AFOREMENTIONED STRUCTURE IS PLACED ON GRASS OR DIRT; PT 2x6'S WHERE STRUCTURE IS PLACED ON CONCRETE OR ASPHALT.

NO.	DATE	REVISIONS
DATE	DRAWING STATUS	
	ISSUED FOR PRODUCTION	
04/23/21	ISSUED FOR CUST. APPROVAL	
04/22/21	ISSUED FOR PC REVIEW	



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MA	DRM
SALES REPRESENTATIVE	DATE
LER	04/22/21

SCALE AS SHOWN

PROJECT
YORK CATHOLIC DSB

PC2018 CLASSROOM
24'-2 3/8"x32'-11"
QTY = 11

TITLE
PORCH PLAN ELEVATIONS SECTIONS
PORCH PORCH

PROJECT #	DRAWING #
216010	PP1

**SCHEDULE B:
COMMENTS FROM AGENCIES, BUILDING STANDARDS &
DEVELOPMENT PLANNING**

Department / Agency <small>*Comments Received</small>	Conditions Required		Nature of Comments
Building Standards (Zoning) *See Schedule B	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>	General Comments
Development Planning	Yes <input type="checkbox"/>	No <input type="checkbox"/>	Application Under Review

External Agencies <small>*Comments Received</small>	Conditions Required		Nature of Comments <small>*See Schedule B for full comments</small>
Alectra	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>	General Comments
Region of York	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>	General Comments
TRCA	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>	General Comments

Date: June 24th 2024

Attention: **Christine Vigneault**

RE:

File No.: **A093-24**

Related Files:

Applicant Barry Bryan Associates

Location 7501 Martin Grove Road



Discover the possibilities

COMMENTS:

- We have reviewed the proposed Variance Application and have no comments or objections to its approval.
- We have reviewed the proposed Variance Application and have no objections to its approval, subject to the following comments (attached below).
- We have reviewed the proposed Variance Application and have the following concerns (attached below).

Alectra Utilities (formerly PowerStream) has received and reviewed the proposed Variance Application. This review, however, does not imply any approval of the project or plan.

All proposed billboards, signs, and other structures associated with the project or plan must maintain minimum clearances to the existing overhead or underground electrical distribution system as specified by the applicable standards, codes and acts referenced.

In the event that construction commences, and the clearance between any component of the work/structure and the adjacent existing overhead and underground electrical distribution system violates the Occupational Health and Safety Act, the customer will be responsible for 100% of the costs associated with Alectra making the work area safe. All construction work will be required to stop until the safe limits of approach can be established.

In the event construction is completed, and the clearance between the constructed structure and the adjacent existing overhead and underground electrical distribution system violates the any of applicable standards, acts or codes referenced, the customer will be responsible for 100% of Alectra's cost for any relocation work.

References:

- Ontario Electrical Safety Code, latest edition (Clearance of Conductors from Buildings)
- Ontario Health and Safety Act, latest edition (Construction Protection)
- Ontario Building Code, latest edition (Clearance to Buildings)
- PowerStream (Construction Standard 03-1, 03-4), attached
- Canadian Standards Association, latest edition (Basic Clearances)

If more information is required, please contact either of the following:

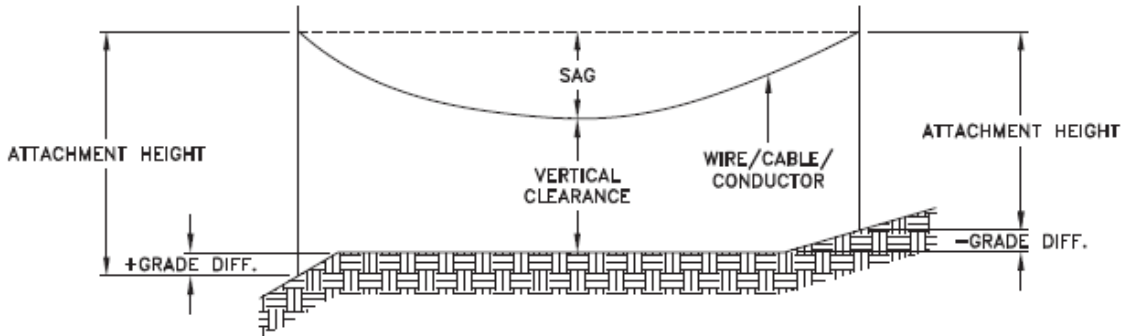
Mr. Stephen Cranley, C.E.T
Supervisor, Distribution Design, ICI & Layouts (North)
Phone: 1-877-963-6900 ext. 31297

E-mail: stephen.cranley@alectrautilities.com

Mitchell Penner
Supervisor, Distribution Design-Subdivisions
Phone: 416-302-6215

Email: Mitchell.Penner@alectrautilities.com

LOCATION OF WIRES, CABLES OR CONDUCTORS	SYSTEM VOLTAGE			
	SPAN GUYS AND COMMUNICATIONS WIRES	UP TO 600V AND NEUTRAL	4.16/2.4kV TO 27.6/16kV (SEE NOTE 1)	44kV
MINIMUM VERTICAL CLEARANCES (SEE NOTE 2)				
OVER OR ALONGSIDE ROADS, DRIVEWAYS OR LANDS ACCESSIBLE TO <u>VEHICLES</u>	442cm	442cm	480cm	520cm
OVER GROUND ACCESSIBLE TO <u>PEDESTRIANS AND BICYCLES ONLY</u>	250cm	310cm	340cm	370cm
ABOVE TOP OF RAIL AT <u>RAILWAY CROSSINGS</u>	730cm	730cm	760cm	810cm



MINIMUM ATTACHMENT HEIGHT = MAXIMUM SAG
 + MINIMUM VERTICAL CLEARANCE (FROM ABOVE TABLE)
 ± GRADE DIFFERENCE
 + 0.3m (VEHICLE OR RAILWAY LOCATION)
 + SNOW DEPTH (PEDESTRIAN LOCATION, SEE NOTE 3)

NOTES:

1. THE MULTIGROUNDED SYSTEM NEUTRAL HAS THE SAME CLEARANCE AS THE 600V SYSTEM.
2. THE VERTICAL CLEARANCES IN THE ABOVE TABLE ARE UNDER MAXIMUM SAG CONDITIONS.
3. REFER TO CSA STANDARD C22.3 No.1, ANNEX D FOR LOCAL SNOW DEPTH VALUES.
4. ALL CLEARANCES ARE IN ACCORDANCE TO CSA STANDARD C22.3.

CONVERSION TABLE

METRIC	IMPERIAL (APPROX)
810cm	27'-0"
760cm	25'-4"
730cm	24'-4"
520cm	17'-4"
480cm	16'-0"
442cm	15'-5"
370cm	12'-4"
340cm	11'-4"
310cm	10'-4"
250cm	8'-4"

REFERENCES

SAGS AND TENSIONS | SECTION 02

MINIMUM VERTICAL CLEARANCES OF WIRES, CABLES AND CONDUCTORS ABOVE GROUND OR RAILS

ORIGINAL ISSUE DATE: 2010-DEC-24 REVISION NO: R1 REVISION DATE: 2012-JAN-09

Certificate of Approval	
This construction Standard meets the safety requirements of Section 4 of Regulation 22/04	
Joe Crozier, P.Eng.	2012-JAN-09
Name	Date
P.Eng. Approval By:	Joe Crozier



VOLTAGE	MINIMUM HORIZONTAL CLEARANCE UNDER MAXIMUM SWING CONDITIONS DIMENSION "X" (SEE NOTES 1, 3 & 4)	MINIMUM VERTICAL CLEARANCE UNDER MAXIMUM DESIGN SAG CONDITIONS DIMENSION "Y" (SEE NOTES 1, 2, 4 & 5)
0-600V AND NEUTRAL	100cm	250cm
4.16/2.4 TO 44kV	300cm	480cm

NOTES

1. UNDER NO CIRCUMSTANCES SHALL A CONDUCTOR BE PERMITTED TO PENETRATE THE ENVELOPE SHOWN BY THE DOTTED LINE.
2. THE VERTICAL CLEARANCES ARE UNDER CONDITIONS OF MAXIMUM DESIGN SAG.
3. THE HORIZONTAL CLEARANCES ARE UNDER CONDITIONS OF MAXIMUM SWING. WHERE THE CONDUCTOR SWING IS NOT KNOWN A HORIZONTAL CLEARANCE OF 480CM SHALL BE USED.
4. BUILDINGS THAT EXCEED 3 STOREYS OR 15M IN HEIGHT, THE MINIMUM HORIZONTAL CLEARANCE OF THE SECONDARY CONDUCTORS SHOULD BE INCREASED TO 300cm WHERE IT IS NECESSARY TO ALLOW FOR THE RAISING OF LADDERS BY LOCAL FIRE DEPARTMENTS.
5. IN SITUATIONS SUCH AS MULTI-LEVEL GARAGES, WHERE ROOFS ARE NORMALLY USED BY PERSONS AND VEHICLES, THE VERTICAL CLEARANCES OF POWERSTREAM STANDARD 03-1 SHALL APPLY.
6. DISTRIBUTION LINES CONSTRUCTED NEAR BUILDINGS SHALL BE BUILT TO AVOID OVERHANG WHEREVER POSSIBLE. WHERE LINES MUST BE CONSTRUCTED OVER OR ADJACENT TO BUILDINGS THE APPLICABLE HORIZONTAL AND VERTICAL CLEARANCES SHALL BE AT CONDITIONS OF MAXIMUM CONDUCTOR SWING AND MAXIMUM SAG. THE ABOVE CLEARANCES ARE DESIGNED TO PREVENT PERSONS ON OR IN BUILDINGS AS WELL AS EXTERNAL MACHINERY USED IN CONJUNCTION WITH A BUILDING TO COME IN CONTACT WITH CONDUCTORS. EFFORTS SHOULD BE MADE TO INCREASE THESE CLEARANCES WHERE POSSIBLE.
7. ALL CLEARANCES ARE IN ACCORDANCE TO CSA C22.3 NO.1-06 (TABLE-9).

METRIC	IMPERIAL (APPROX)
480cm	16'-0"
300cm	10'-0"
250cm	8'-4"
100cm	3'-4"

MINIMUM VERTICAL & HORIZONTAL CLEARANCES OF CONDUCTORS FROM BUILDINGS OR OTHER PERMANENT STRUCTURES (CONDUCTORS NOT ATTACHED TO BUILDINGS)

Certificate of Approval
This construction Standard meets the safety requirements of Section 4 of Regulation 22/04
Debbie Dadwani, P.Eng. 2010-MAY-05
Name Date
P. Eng. Approval By: *D. Dadwani*

ORIGINAL ISSUE DATE: 2010-MAY-05 REVISION NO: REVISION DATE:
PS:\System Planning and Standards\Standard Design\PowerStream Standards\PowerStream Standards working files\Section 3-1-02\WG 03-4 R0 May 5, 2010.dwg, 5/5/2010 10:22:02 AM, Adobe PDF

To: Committee of Adjustment
From: Sean Fitzpatrick, Building Standards Department
Date: June 20, 2024
Applicant: Barry Bryan Associates
Location: 7501 Martin Grove Road
 CONC 8 Lot 4
File No.(s): A093/24

Zoning Classification:

The subject lands are zoned PB1, Parkway Belt Public Use under Zoning By-law 001-2021, as amended.

#	Zoning By-law 001-2021	Variance requested
1	The permitted maximum coverage for lots on PB1, Parkway Belt public Use zone shall not exceed 20%. [13.3 and Table 13-3 and 4.15]	To permit a maximum lot coverage of 34.49%.

Staff Comments:

Stop Work Order(s) and Order(s) to Comply:

There are no outstanding Orders on file

Building Permit(s) Issued:

Building Permit No. 13-002939 for Secondary School - Interior Unit Alteration, Issue Date: Aug 28, 2013
 Building Permit No. 23-144818 for Portable Classroom - New, Issue Date: (Not Yet Issued)

General Comments	
1	The applicant shall be advised that additional variances may be required upon review of detailed drawing for building permit/site plan approval.

Conditions of Approval:

If the committee finds merit in the application, the following conditions of approval are recommended.

* Comments are based on the review of documentation supplied with this application.

From: [Cameron McDonald](#)
To: [Committee of Adjustment](#)
Subject: [External] RE: A093/24 (7501 Martin Grove Road) - REQUEST FOR COMMENTS, CITY OF VAUGHAN
Date: Wednesday, June 26, 2024 8:52:32 AM
Attachments: [image002.png](#)

CAUTION! This is an external email. Verify the sender's email address and carefully examine any links or attachments before clicking. If you believe this may be a phishing email, please use the Phish Alert Button.

Good morning,

Based on a review of our screening mapping, I can confirm that the subject property is not located within TRCA's Regulated Area. As such, any site alteration or development on the property would not require a permit from TRCA.

Based on the above, we have no comments/requirements.

Regards,

Cameron McDonald

Planner I

Development Planning and Permits | Development and Engineering Services

T: [\(437\) 880-1925](tel:437-880-1925)

E: cameron.mcdonald@trca.ca

A: [101 Exchange Avenue, Vaughan, ON, L4K 5R6](https://www.trca.ca) | [trca.ca](https://www.trca.ca)



From: [Development Services](#)
To: [Christine Vigneault](#)
Cc: [Committee of Adjustment](#)
Subject: [External] RE: A093/24 (7501 Martin Grove Road) - REQUEST FOR COMMENTS, CITY OF VAUGHAN
Date: Friday, July 5, 2024 5:04:36 PM
Attachments: [image001.png](#)
[image003.png](#)

CAUTION! This is an external email. Verify the sender's email address and carefully examine any links or attachments before clicking. If you believe this may be a phishing email, please use the Phish Alert Button.

Hi Christine,

The Regional Municipality of York has completed its review of the minor variance application – A093/24 (7501 Martin Grove Road) and has no comment.

Please provide us with a digital copy of the notice of decision for our records.

Many thanks

Our working hours may be different. Please do not feel obligated to reply outside of your scheduled working hours. Let's work together to help foster healthy work-life boundaries.

Niranjan Rajevan, M.Pl. | Associate Planner, Development Planning | Economic and Development Services Branch | Corporate Services Department

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SCHEDULE C: PUBLIC & APPLICANT CORRESPONDENCE

Correspondence Type	Name	Address	Date Received (mm/dd/yyyy)	Summary
Applicant			06/18/2024	Application Cover Letter



**BARRY BRYAN
ASSOCIATES**

Architects
Engineers
Project Managers

June 10, 2024

Committee of Adjustment
Vaughan City Hall
2141 Major Mackenzie Drive
Vaughan, ON L6A 1T1

Attention: Committee of Adjustment Members

Re: **Holy Cross Catholic Academy, 7501 Martin Grove Road, Woodbridge, ON L4L 9E4**
BBA Project No.: 23226A

Dear Members:

Thank you for your time in reviewing and considering our application for a minor adjustment to the permitted building coverage at 7501 Martin Grove Road.

Barry Bryan Associates (BBA) is submitting this Committee of Adjustment Application on behalf of York Catholic District School Board (YCDSB). York Catholic District School Board is the registered owner of Holy Cross Catholic Academy at 7501 Martin Grove Road.

The property at 7501 Martin Grove Road has been a secondary school for many years. In 2020, YCDSB collaborated with a developer to construct an indoor sports facility on the rear portion of the property. Site-specific zoning requirements were approved by Vaughan to permit this site development. Refer to development file DA.20.018. Although the construction of the sports dome caused the actual site coverage to exceed the permitted coverage by approximately 12.6%, no zoning amendments to permitted coverage were included in the decisions to permit the sports dome construction.

Today, the school property is in an existing state of zoning non-conformance. The permitted coverage is 20%, but the actual coverage is approximately 32.6%, due to the sports dome construction.

As a school population fluctuates, school boards often need to add/remove temporary portable classrooms to the site to accommodate these changes to population. Holy Cross Academy is in this position now. Portable classrooms are needed on site to accommodate a school population increase. Unfortunately, the current zoning requirements do not permit the addition of structures to the site because the existing site coverage already exceeds the permitted amount of 20%. We respectfully request that the permitted coverage on this property be increased from its current 20% to 33.4% to allow the installation of temporary portables to deal with the school population fluctuations. This is an increase of only 0.8% from its existing coverage.

Thank you for your consideration. If you should have any questions, please contact our office.

Yours very truly,

Barry Bryan Associates
Architects, Engineers, Project Managers

Chris Maves, OAA

CM/lw



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SCHEDULE D: BACKGROUND

None