

<b>ITEM: 6.10</b>	<b>REPORT SUMMARY MINOR VARIANCE APPLICATION FILE NUMBER A077/24</b>
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Report Date: July 26, 2024

**THIS REPORT CONTAINS COMMENTS FROM THE FOLLOWING  
DEPARTMENTS & AGENCIES (SEE SCHEDULE B):**

Additional comments from departments and agencies received after the publication of the report will be made available on the City's [website](#).

Internal Departments <small>*Comments Received</small>	Conditions Required		Nature of Comments
Committee of Adjustment	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>	General Comments
Building Standards (Zoning)	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>	General Comments
Development Planning	Yes <input checked="" type="checkbox"/>	No <input type="checkbox"/>	General Comments w/Conditions
Development Engineering	Yes <input checked="" type="checkbox"/>	No <input type="checkbox"/>	Recommend Approval w/Conditions
Development Finance	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>	General Comments
By-law & Compliance	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>	General Comments

External Agencies <small>*Comments Received</small>	Conditions Required		Nature of Comments <small>*See Schedule B for full comments</small>
Alectra	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>	General Comments
Region of York	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>	General Comments
TRCA	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>	General Comments
MTO	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>	General Comments

**PUBLIC & APPLICANT CORRESPONDENCE (SEE SCHEDULE C)**

All personal information collected because of this public meeting (including both written and oral submissions) is collected under the authority of the Municipal Act, the Municipal Freedom of Information and Protection of Privacy Act (MFIPPA), the Planning Act and all other relevant legislation, and will be used to assist in deciding on this matter. All personal information (as defined by MFIPPA), including (but not limited to) names, addresses, opinions and comments collected will become property of the City of Vaughan, will be made available for public disclosure (including being posted on the internet) and will be used to assist the Committee of Adjustment and staff to process this application.

Correspondence Type	Name	Address	Date Received <small>(mm/dd/yyyy)</small>	Summary
Applicant			06/11/2024	Planning Justification Letter
Applicant			07/22/2024	Presentation (Plans)

<b>BACKGROUND (SCHEDULE D, IF REQUIRED)</b>	
<small>* Background Information contains historical development approvals considered to be related to this file. This information should not be considered comprehensive.</small>	
Application No. (City File)	Application Description <small>(i.e. Minor Variance Application; Approved by COA / OLT)</small>
N/A	N/A

<b>ADJOURNMENT HISTORY</b>	
<small>* Previous hearing dates where this application was adjourned by the Committee and public notice issued.</small>	
Hearing Date	Reason for Adjournment <small>(to be obtained from NOD_ADJ)</small>
N/A	N/A

<b>SCHEDULES</b>	
<b>Schedule A</b>	Drawings & Plans Submitted with the Application
<b>Schedule B</b>	Comments from Agencies, Building Standards & Development Planning
<b>Schedule C</b> (if required)	Public & Applicant Correspondence
<b>Schedule D</b> (if required)	Background



## MINOR VARIANCE APPLICATION FILE NUMBER A077/24

<b>CITY WARD #:</b>	2
<b>APPLICANT:</b>	Catholic Cemeteries & Funeral Services Archdiocese of Toronto
<b>AGENT:</b>	Augusta National Inc.
<b>PROPERTY:</b>	7300 Hwy 27, Vaughan
<b>ZONING DESIGNATION:</b>	See below.
<b>VAUGHAN OFFICIAL PLAN (2010) DESIGNATION:</b>	Vaughan Official Plan 2010 ('VOP 2010'): "Private Open Spaces" and "Natural Areas" by Schedule 13 – Land Use and subject to Site-Specific Policy 13.46
<b>RELATED DEVELOPMENT APPLICATIONS:</b>	DA.24.023
<b>PROPOSAL:</b>	Relief from the Zoning By-law is being requested to permit a proposed mausoleum and to facilitate related Site Plan Application DA.24.023.

The following variances are being requested from the City's Zoning By-law to accommodate the above proposal:

**The subject lands are currently zoned OS2, Private Open Space Zone and have been reviewed as OS2, Private Open Space Zone subject to *Exception 14.1101* under By-law 001 – 2021 as amended.**

#	Zoning By-law 001-2021	Variance requested
1	The maximum permitted height shall be 11.95 metres. [14.1101.2 #1.]	To permit a maximum height of 26.76 metres.

### HEARING INFORMATION

**DATE OF MEETING:** Thursday, August 1, 2024

**TIME:** 6:00 p.m.

**MEETING LOCATION:** Vaughan City Hall, Woodbridge Room (2<sup>nd</sup> Floor), 2141 Major Mackenzie Drive

**LIVE STREAM LINK:** [Vaughan.ca/LiveCouncil](http://Vaughan.ca/LiveCouncil)

#### PUBLIC PARTICIPATION

If you would like to speak to the Committee of Adjustment at the meeting, either remotely or in person, please complete the [Request to Speak Form](#) and submit to [cofa@vaughan.ca](mailto:cofa@vaughan.ca)

If you would like to submit written comments, please quote file number above and submit by mail or email to:

**Email:** [cofa@vaughan.ca](mailto:cofa@vaughan.ca)

**Mail:** City of Vaughan, Office of the City Clerk, Committee of Adjustment, 2141 Major Mackenzie Drive, Vaughan, ON, L6A 1T1

To speak electronically, pre-registration is required by completing the [Request to Speak Form](#) on-line and submitting it to [cofa@vaughan.ca](mailto:cofa@vaughan.ca) no later than NOON on the last business day before the meeting.

**THE DEADLINE TO REGISTER TO SPEAK ELECTRONICALLY OR SUBMIT WRITTEN COMMENTS ON THE ABOVE NOTED FILE(S) IS NOON ON THE LAST BUSINESS DAY BEFORE THE MEETING.**

### INTRODUCTION

Staff and Agencies act as advisory bodies to the Committee of Adjustment. The comments contained in this report are presented as recommendations to the Committee.

Section 45(1) of the Planning Act sets the criteria for authorizing minor variances to the City of Vaughan's Zoning By-law. Accordingly, review of the application may consider the following:

That the general intent and purpose of the by-law will be maintained.

That the general intent and purpose of the official plan will be maintained.

### INTRODUCTION

That the requested variance(s) is/are acceptable for the appropriate development of the subject lands.  
That the requested variance(s) is/are minor in nature.

Public written and oral submissions relating to this application are taken into consideration by the Committee of Adjustment as part of its deliberations and final decision on this matter.

### COMMITTEE OF ADJUSTMENT

<b>Date Public Notice Mailed:</b>	July 18, 2024
<b>Date Applicant Confirmed Posting of Sign:</b>	July 15, 2024
<b>Applicant Justification for Variances:</b> <small>*As provided in Application Form</small>	Intensification of developable lands in Queen of Heaven Cemetary necessitate a four storey mausoleum.
<b>Was a Zoning Review Waiver (ZRW) Form submitted by Applicant:</b> <small>*ZRW Form may be used by applicant in instances where a revised submission is made, and zoning staff do not have an opportunity to review and confirm variances prior to the issuance of public notice.</small>	Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>
<b>COMMENTS:</b>	
None	
<b>Committee of Adjustment Recommended Conditions of Approval:</b>	None

### BUILDING STANDARDS (ZONING)

<b>**See Schedule B for Building Standards (Zoning) Comments</b>	
<b>Building Standards Recommended Conditions of Approval:</b>	None

### DEVELOPMENT PLANNING

<b>**See Schedule B for Development Planning Comments. Application under Review</b>	
<b>Development Planning Recommended Conditions of Approval:</b>	That all comments on Site Development Application File DA.24.023 be addressed to the satisfaction of the Development Planning Department.

### DEVELOPMENT ENGINEERING

<a href="#">Link to Grading Permit</a> <a href="#">Link to Pool Permit</a> <a href="#">Link to Curb Curt Permit</a> <a href="#">Link Culvert Installation</a>	
Development Engineering Department does not object to the Minor Variance application A077/24, to permit a proposed 26.72m high mausoleum subject to the following condition(s).	
<b>Development Engineering Recommended Conditions of Approval:</b>	The Owner / Applicant shall obtain approval for the related Site Development Application (DA.24.023) from the Development Engineering (DE) Department.

### PARKS, FORESTRY & HORTICULTURE (PFH)

No comments received to date.	
<b>PFH Recommended Conditions of Approval:</b>	None.

### DEVELOPMENT FINANCE

No comment no concerns	
<b>Development Finance Recommended Conditions of Approval:</b>	None.

### BY-LAW AND COMPLIANCE, LICENSING AND PERMIT SERVICES

No comments.	
<b>BCLPS Recommended Conditions of Approval:</b>	None.

### BUILDING INSPECTION (SEPTIC)

No comments received to date.	
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## BUILDING INSPECTION (SEPTIC)

<b>Building Inspection Recommended Conditions of Approval:</b>	None.
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## FIRE DEPARTMENT

No comments received to date.

<b>Fire Department Recommended Conditions of Approval:</b>	
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## RECOMMENDED CONDITIONS OF APPROVAL SUMMARY

Should the Committee find it appropriate to approve this application in accordance with request and the sketch submitted with the application, as required by Ontario Regulation 200/96, the following conditions have been recommended:

#	DEPARTMENT / AGENCY	CONDITION
1	Development Planning <a href="mailto:Nicholas.delprete@vaughan.ca">Nicholas.delprete@vaughan.ca</a>	That all comments on Site Development Application File DA.24.023 be addressed to the satisfaction of the Development Planning Department.
2	Development Engineering <a href="mailto:Rex.bondad@vaughan.ca">Rex.bondad@vaughan.ca</a>	The Owner / Applicant shall obtain approval for the related Site Development Application (DA.24.023) from the Development Engineering (DE) Department.

*All conditions of approval, unless otherwise stated, are considered to be incorporated into the approval "if required". If a condition is no longer required after an approval is final and binding, the condition may be waived by the respective department or agency requesting conditional approval. A condition cannot be waived without written consent from the respective department or agency.*

## IMPORTANT INFORMATION

**CONDITIONS:** It is the responsibility of the owner/applicant and/or authorized agent to obtain and provide a clearance letter from respective department and/or agency (**see condition chart above for contact**). This letter must be provided to the Secretary-Treasurer to be finalized. All conditions must be cleared prior to the issuance of a Building Permit.

**APPROVALS:** Making any changes to your proposal after a decision has been made may impact the validity of the Committee's decision.

An approval obtained from the Committee of Adjustment, where applicable, is tied to the building envelope shown on the plans and drawings submitted with the application and subject to the variance approval.

A building envelope is defined by the setbacks of the buildings and/or structures shown on the plans and drawings submitted with the application, as required by Ontario Regulation 200/96. Future development outside of an approved building envelope, where a minor variance was obtained, must comply with the provisions of the City's Zoning By-law.

Elevation drawings are provided to reflect the style of roof (i.e. flat, mansard, gable etc.) to which a building height variance has been applied. Where a height variance is approved, building height is applied to the style of roof (as defined in the City's Zoning By-law) shown on the elevation plans submitted with the application.

Architectural design features that are not regulated by the City's Zoning By-law are not to be considered part of an approval unless specified in the Committee's decision.

**DEVELOPMENT CHARGES:** That the payment of the Regional Development Charge, if required, is payable to the City of Vaughan before issuance of a building permit in accordance with the Development Charges Act and the Regional Development Charges By-law in effect at the time of payment.

That the payment of the City Development Charge, if required, is payable to the City of Vaughan before issuance of a building permit in accordance with the Development Charges Act and the City's Development Charges By-law in effect at the time of payment.

That the payment of the Education Development Charge if required, is payable to the City of Vaughan before issuance of a building permit in accordance with the Development Charges Act and the Boards of Education By-laws in effect at the time of payment

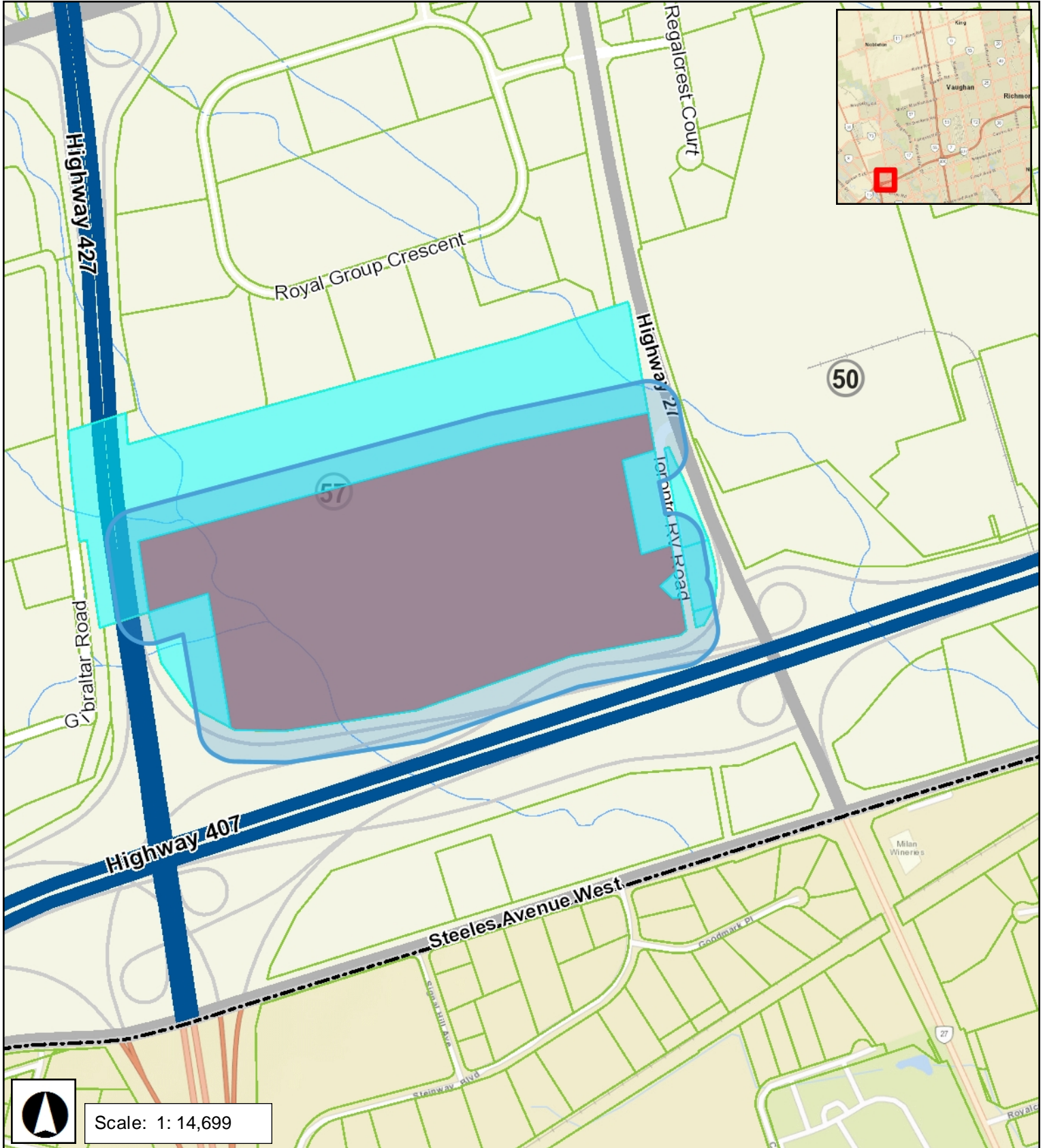
That the payment of Special Area Development charge, if required, is payable to the City of Vaughan before issuance of a building permit in accordance with the Development Charges Act and The City's Development Charge By-law in effect at the time of Building permit issuance to the satisfaction of the Reserves/Capital Department.



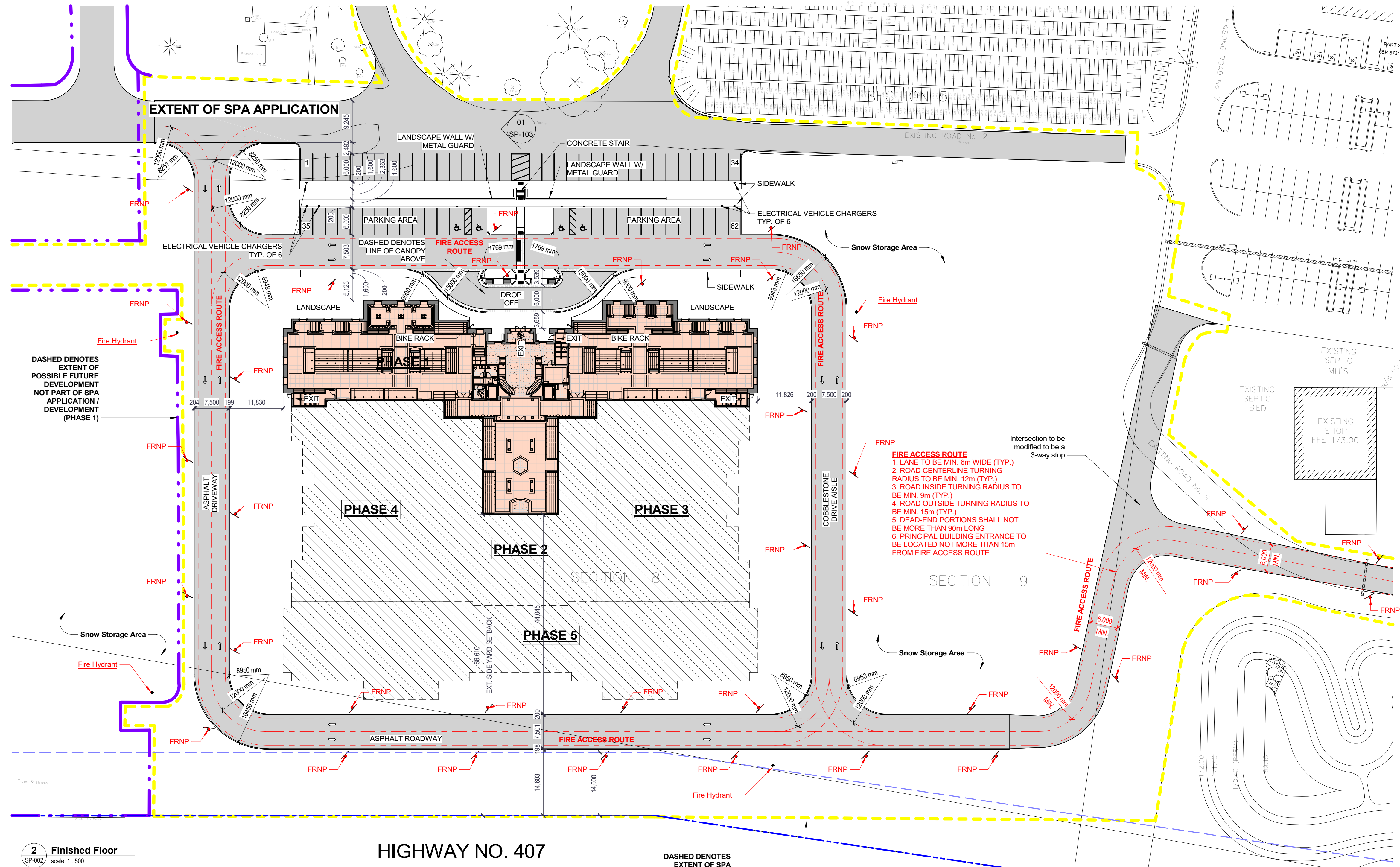
## IMPORTANT INFORMATION

**NOTICE OF DECISION:** If you wish to be notified of the decision in respect to this application or a related Ontario Land Tribunal (OLT) hearing you must complete a Request for Decision form and submit to the Secretary Treasurer (ask staff for details). In the absence of a written request to be notified of the Committee's decision you will **not** receive notice.

**SCHEDULE A: DRAWINGS & PLANS**







2 Finished Floor  
SP-002 scale: 1:500

ZONING INFORMATION		
LOT FRONTAGE	PROP.	461.92
FRONT YARD (EAST)	199.43m	
REAR YARD (WEST)	617.23m	
INT. SIDE YARD (NORTH)	345.37m	
EXT. SIDE YARD (SOUTH)	66.61m	
LOT COVERAGE	4.370%	
BLDG. HEIGHT	26.87M	
HIGHWAY CORRIDOR SETBACK (FROM LOT LINE ABUTTING HIGHWAY CORRIDOR TO ANY BUILDING OR STRUCTURE & PARKING / DRIVE AISLE)	REQ'D	PROP.
	14M	66.61M
SITE STATS		
LOT AREA	450 994 SQ. M.	
EXISTING ST ANTHONY'S MAUSOLEUM	+/- 10667 SQ. M.	2.365%
EXISTING FUNERAL HOME	+/- 3769 SQ. M.	0.836%
EXISTING SERVICE SHOP	+/- 1645 SQ. M.	0.365%
EXISTING ACCESSORY BUILDING	+/- 1000 SQ. M.	0.221%
PROPOSED MAUSOLEUM BLDG. 1 (PHASE 1)	2629.78 SQ. M.	0.583%
TOTAL LOT COVERAGE	19710.78 SQ. M.	4.370%

PARKING STATS	
62 PARKING SPACES PROVIDED FOR MAUSOLEUM PHASE 1	
4 OF 62 SPACES ARE ACCESSIBLE PARKING	
TYPICAL PARKING STALL	= 2.75m WIDE X 6m DEEP
TYPICAL ACCESSIBLE STALL	= 3.4m WIDE W/ 1.5m AISLE X 6.0m DEEP
TYPICAL DRIVE AISLE	= 7.5m WIDE
BUILDING STATS:	
<b>PHASE 1</b>	
BLDG AREA	2464.05 SQ. M.
GROSS FLOOR AREA	9574.44 SQ. M.
<b>FUTURE PHASE 2 (NOT PART OF PHASE 1 SPA)</b>	
BLDG AREA	1044 SQ. M.
GROSS FLOOR AREA	4176 SQ. M.
<b>FUTURE PHASE 3 (NOT PART OF PHASE 1 SPA)</b>	
BLDG AREA	1558 SQ. M.
GROSS FLOOR AREA	5596 SQ. M.
<b>FUTURE PHASE 4 (NOT PART OF PHASE 1 SPA)</b>	
BLDG AREA	1558 SQ. M.
GROSS FLOOR AREA	5596 SQ. M.
<b>FUTURE PHASE 5 (NOT PART OF PHASE 1 SPA)</b>	
BLDG AREA	1894 SQ. M.
GROSS FLOOR AREA	7432 SQ. M.

**RECEIVED**  
By Prabhdeep Kaur at 4:51 pm, Jun 11, 2024

**NOTE:**  
FUTURE PHASES ARE SHOWN ONLY FOR CITY REFERENCE / CLARIFICATION OF FUTURE DEVELOPMENT INTENTS. PHASES 2-10 ARE NOT PART OF PHASE 1 CONSTRUCTION

Issued For SPA  
Issued For SPA Rev. 1

A 12-11-2023  
B 12-29-2024

**RAMONDO + ASSOCIATES ARCHITECTS INC.**  
4897 Queen Street Suite 2, Niagara Falls, Ontario, L2E 2L9  
416-261-9600  
www.ramondosarchitects.com  
EMAIL: mail@ramondosarchitects.com

**QUEEN OF HEAVEN MAUSOLEUM**  
CATHOLIC CEMETERIES & FUNERAL SERVICES  
7300 HWY 27 WOODBRIDGE (VAUGHAN), ONTARIO

**Enlarged Site Plan (Phase 1)**

JJV  
5/29/2024 9:45:11 AM  
As Indicated  
21-024  
ER / BK

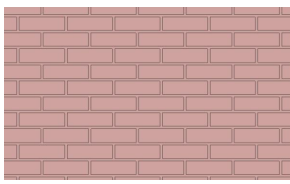
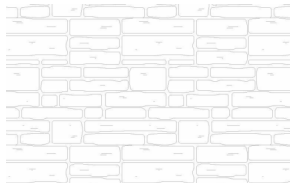
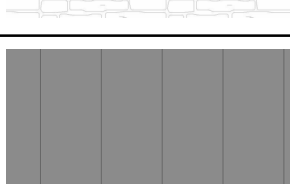
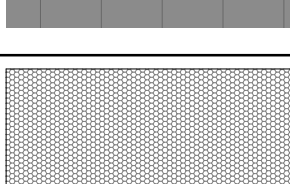
DRAWN BY:  
DATE:  
SCALE:  
PROJECT NO:  
CHECKED:

DRAWINGS ARE NOT VALID FOR CONSTRUCTION UNTIL SEALED AND SIGNED BY THE ARCHITECT.  
DO NOT SCALE DRAWINGS. REPORT ALL DISCREPANCIES TO THE ARCHITECT IMMEDIATELY. DRAWINGS AND DESIGN REMAIN THE PROPERTY OF THE ARCHITECT, AND ARE PROTECTED UNDER COPYRIGHT.  
USE BY THE PARTY WITH WHOM THE DESIGN PROFESSIONAL HAS ENTERED INTO A CONTRACT AND THERE ARE NO OTHER PROFESSIONALS TO ANY PARTY WITH WHOM THE DESIGN PROFESSIONAL HAS NOT ENTERED INTO A CONTRACT.

**SP-002**



**MATERIAL LEGEND**

	BRAMPTON BRICK VENEER COLOUR: RED CLAY Metric Jumbo Brick 10mm Mortar Joints 90mm Brick Height
	BRADSTONE VENEER COLOUR: WHITE 10mm Mortar Joints
	METAL ROOF COLOUR: BLACK
	EIFS / STUCCO RAINSCREEN COLOUR: PRE-CAST GREY

**Bird Friendly Guidelines:**

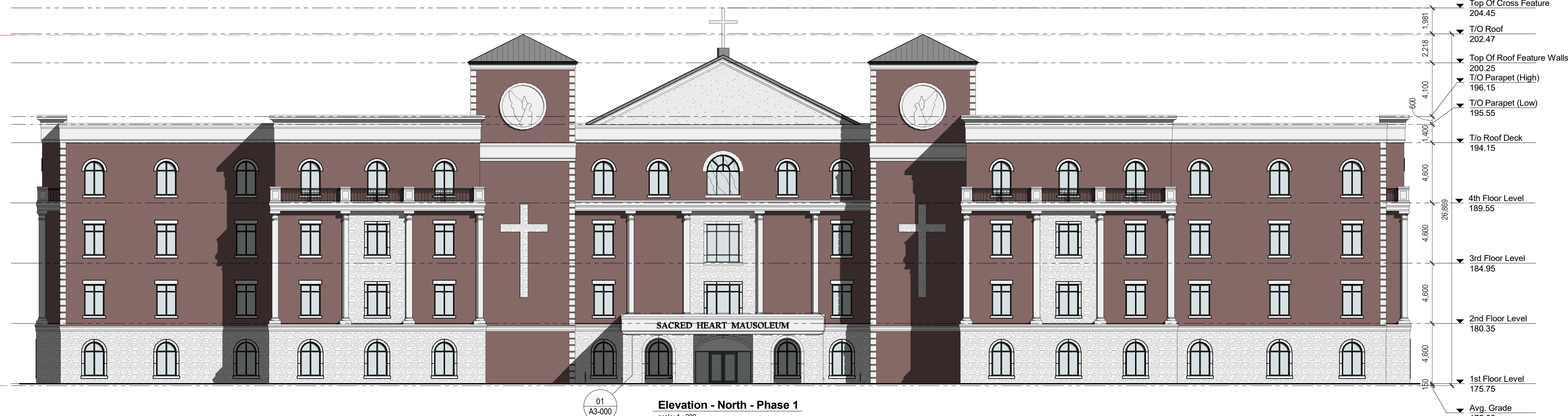
All the windows are subdivided in glazing panels of a maximum of 2.0 sq. m.

All glazed doors have a maximum of 2.0 sq. m. glazed panels.

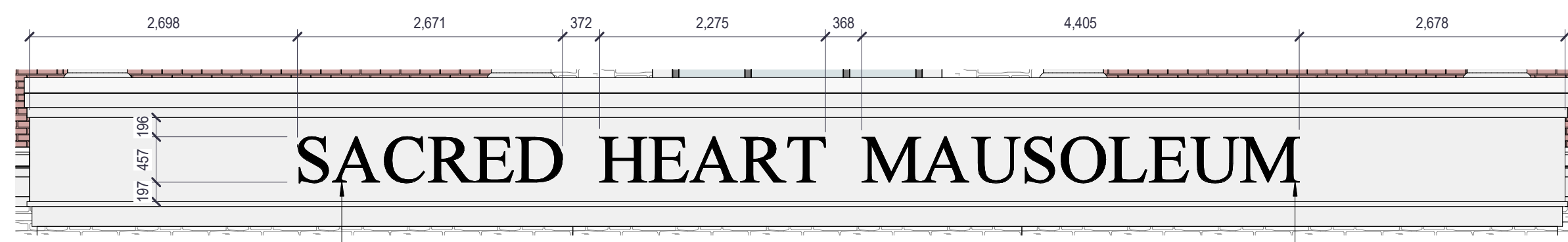
**RECEIVED**

By providel at 4:51 pm, Jun 25, 2024

Minor Variance Request  
PROPOSED BUILDING HEIGHT = 26.76 m  
(MEAN LEVEL OF THE RIDGE & EAVES)



01 A3-000 Elevation - North - Phase 1  
scale: 1 : 200

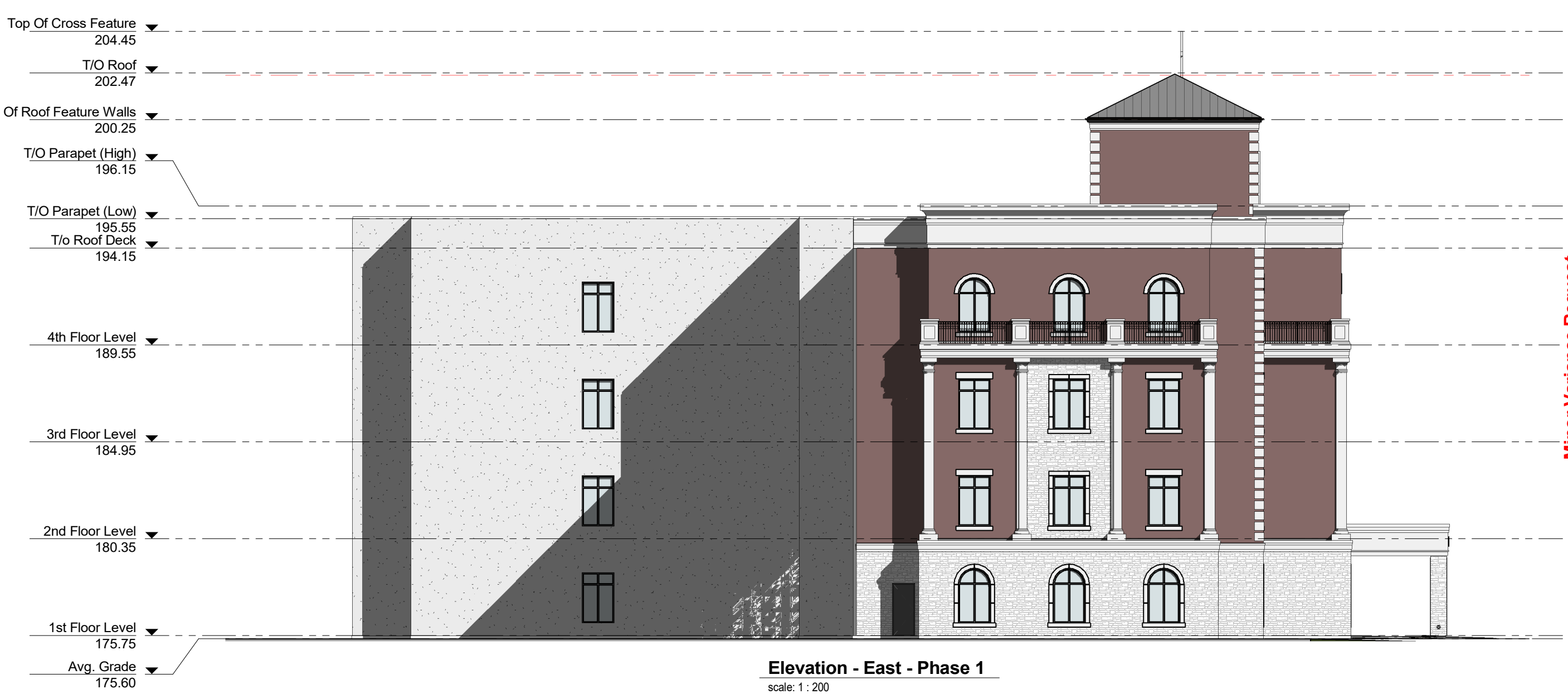


01 A3-000 Enlarged Elevation Detail  
scale: 1 : 50

Minor Variance Request  
PROPOSED BUILDING HEIGHT = 26.76 m  
(MEAN LEVEL OF THE RIDGE & EAVES)



Elevation - South - Phase 1  
scale: 1 : 200



Elevation - East - Phase 1  
scale: 1 : 200

Minor Variance Request  
PROPOSED BUILDING HEIGHT = 26.76 m  
(MEAN LEVEL OF THE RIDGE & EAVES)



Elevation - West - Phase 1  
scale: 1 : 200

12-11-2023  
5-29-2024  
6-18-2024  
Issued For SPA  
Issued For SPA Rev. 1  
Issued For SPA Rev. 2



4687 Queen Street Suite 2,  
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F | 905-357-9203  
W | www.raimondoorchitects.com  
E | mail@raimondoorchitects.com

CLIENT NAME

Queen Of Heaven Catholic Cemetery (QOHCC)

PROJECT NAME

Sacred Heart Mausoleum - Phase 1 (SHM-P1)

PROJECT ADDRESS

7300 HWY 27 WOODBRIDGE (VAUGHAN), ONTARIO

SHEET NAME

Building Elevations (Colour)

DRAWN BY: JJV

DATE: 6/25/2024 2:59:26 PM

SCALE: As Indicated

PROJECT NO.: 21-024

CHECKED: ER

DRAWINGS ARE NOT VALID FOR CONSTRUCTION UNTIL SEALED AND SIGNED BY THE ARCHITECT.  
DO NOT SCALE DRAWINGS. REPORT ALL DISCREPANCIES TO THE ARCHITECT BEFORE PROCEEDING. ALL DRAWINGS AND DESIGNS REMAIN THE PROPERTY OF THE ARCHITECT AND ARE PROTECTED UNDER COPYRIGHT.

THESE DESIGN DOCUMENTS ARE PREPARED SOLELY FOR THE USE BY THE PARTY WITH WHOM THE DESIGN PROFESSIONAL HAS ENTERED INTO A CONTRACT AND THERE ARE NO REPRESENTATIONS OF ANY KIND MADE BY THE DESIGN PROFESSIONAL TO ANY PARTY WITH WHOM THE DESIGN PROFESSIONAL HAS NOT ENTERED INTO A CONTRACT.

SHEET #

A3-000

REV.#

**SCHEDULE B:  
COMMENTS FROM AGENCIES, BUILDING STANDARDS &  
DEVELOPMENT PLANNING**

Department / Agency <small>*Comments Received</small>	Conditions Required		Nature of Comments
Building Standards (Zoning) *See Schedule B	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>	General Comments
Development Planning	Yes <input checked="" type="checkbox"/>	No <input type="checkbox"/>	Recommend Approval w/Conditions

External Agencies <small>*Comments Received</small>	Conditions Required		Nature of Comments <small>*See Schedule B for full comments</small>
Alectra	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>	General Comments
Region of York	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>	General Comments
TRCA	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>	General Comments
MTO	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>	General Comments



**To:** Committee of Adjustment  
**From:** Sean Fitzpatrick, Building Standards Department  
**Date:** June 17, 2024  
**Applicant:** Augusta National Inc.  
**Location:** 7300 Hwy 27  
 CONC 9 Part of Lot 3  
 CONC 9 Part of Lot 2  
**File No.(s):** A077/24

**Zoning Classification:**

The subject lands are currently zoned OS2, Private Open Space Zone and have been reviewed as OS2, Private Open Space Zone subject to *Exception 14.1101* under By-law 001 – 2021 as amended.

#	Zoning By-law 001-2021	Variance requested
1	The maximum permitted height shall be 11.95 metres. [14.1101.2 #1.]	To permit a maximum height of 26.76 metres.

**Staff Comments:**

**Stop Work Order(s) and Order(s) to Comply:**

There are no outstanding Orders on file

**Building Permit(s) Issued:**

A Building Permit has not been issued.

General Comments	
1	The applicant shall be advised that additional variances may be required upon review of detailed drawing for building permit/site plan approval.

**Conditions of Approval:**

If the committee finds merit in the application, the following conditions of approval are recommended.

\* Comments are based on the review of documentation supplied with this application.

**Lenore Providence**

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**Subject:** FW: [External] RE: A077/24 (7300 Hwy 27) -REQUEST FOR COMMENTS, CITY OF VAUGHAN

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**From:** Mulrenin, Colin (MTO) <Colin.Mulrenin@ontario.ca>  
**Sent:** Wednesday, June 19, 2024 2:45 PM  
**To:** Prabhdeep Kaur <Prabhdeep.Kaur@vaughan.ca>; Committee of Adjustment <CofA@vaughan.ca>  
**Cc:** Brown, Francesca (MTO) <Francesca.Brown@ontario.ca>; Kolet, ArieH (MTO) <ArieH.Kolet@ontario.ca>; Singh, Christian (MTO) <Christian.Singh@ontario.ca>  
**Subject:** [External] RE: A077/24 (7300 Hwy 27) -REQUEST FOR COMMENTS, CITY OF VAUGHAN

**CAUTION!** This is an external email. Verify the sender's email address and carefully examine any links or attachments before clicking. If you believe this may be a phishing email, please use the Phish Alert Button.

Good afternoon,

MTO does not have concerns with this minor variance application, but will continue to review development applications for this site.

Please ensure that all future pre-consultations and development applications are sent through our HCMS system: [www.hcms.mto.gov.on.ca](http://www.hcms.mto.gov.on.ca)

Regards,

**Colin Mulrenin (He/Him)**  
Corridor Management Planner (York/Simcoe) | Highway Corridor Management Section  
Ministry Of Transportation | Ontario Public Service  
437-533-9427 | [colin.mulrenin@ontario.ca](mailto:colin.mulrenin@ontario.ca)

7<sup>th</sup> Floor  
159 Sir William Hearst Avenue  
Toronto ON Postal Code M3M 0B7



*Taking pride in strengthening Ontario, its places and its people*

**To:** Christine Vigneault, Committee of Adjustment Secretary Treasurer

**From:** Nancy Tuckett, Director of Development Planning

**Date:** July 25<sup>th</sup>, 2024

**Name of Owner:** John Huys – Catholic Cemeteries & Funeral Services Archdiocese of Toronto

**Location:** 7300 Highway 27

**File No.(s):** A077/24

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**Proposed Variances (By-law 001-2021):**

1. To permit a maximum height of 26.76 metres.

**By-Law Requirements (By-law 001-2021):**

1. The maximum permitted height shall be 11.95 metres.

**Official Plan:**

Vaughan Official Plan 2010 ('VOP 2010'): "Private Open Spaces" and "Natural Areas" by Schedule 13 – Land Use and subject to Site-Specific Policy 13.46

**Comments:**Application History:

The Subject Lands currently contain the Queen of Heaven Cemetery, which includes the St. Anthony's Mausoleum and Queen of Heaven Catholic Funeral Home. St. Anthony's Mausoleum was facilitated by Minor Variance Application file A194/11, approved in 2011 to permit a maximum building height of 13.65 m.

The Owner has submitted a Site Development Application, file DA.24.023 to facilitate the construction of Phase 1 of a new 4-storey mausoleum on the Subject Lands. The proposed Gross Floor Area ('GFA') of Phase 1 is 9,392 m<sup>2</sup>. Phase 1 will have a height of 26.76 meters and accommodate 63 parking spaces.

Proposal:

A new 4-storey mausoleum is proposed to the south of the existing St. Anthony's Mausoleum. The new mausoleum is proposed to be constructed in 5 phases. Phase 1 is the north-facing side of the building. Minor Variance Application, file A077/24 facilitates the construction of Phase 1 by seeking relief for an increased maximum height to facilitate the currently proposed Site Plan design.

The Subject Lands are bordered on 3 sides by highways: Highway 427 to the west, Highway 407 to the south, and Highway 27 to the east. Site access is from Highway 27. On the north side, the Subject Lands border a hydro corridor.

The Development Planning Department has no objection to Variance 1 to permit a maximum building height of 26.76 metres. The full extent of the relief is only being utilized by two columns and a pitched roof with a cross at the front (north side) of the proposed mausoleum. The remainder of the building maintains a maximum height of approximately 20.40 metres. The proposed mausoleum is internal to the expansive Subject Lands, set back well away from the north, east, and west lot lines. The rear of the building is proposed to face Highway 407 with the highest point at the front of the building. The rear of the building will be expanded in subsequent phases. Landscaping for Phase 5, the phase of the full build out that will face Highway 407, will be addressed through a subsequent Development Application. The proposal is an intensification of the current use of the Subject Lands (cemetery) which is permitted in the Zoning By-law and Official Plan. As mentioned above, the Subject Lands are surrounded by highways (Highway 427, Highway 27, and Highway 407) and hydro corridor and the proposed mausoleum is not anticipated to adversely impact these abutting land uses. As such, the

Development Planning Department is of the opinion that the requested increase in the maximum building height front for the Phase 1 mausoleum development will not adversely impact the existing streetscape or neighbouring properties / land uses.

In support of the application, the Owners submitted a Tree Inventory and Arborist Report prepared by The Urban Arborist Inc. dated July 11, 2023. The report inventoried a total of thirty-one (31) trees on the subject property and neighbouring properties, all of which are proposed to be preserved through construction. Urban Design staff have reviewed the report and concur with its recommendations.

Accordingly, the Development Planning Department support the requested variances and are of the opinion that the proposal is minor in nature, maintains the general intent and purpose of the Official Plan and Zoning By-law, and is desirable for the appropriate development of the land.

**Recommendation:**

The Development Planning Department recommends approval of the application with the following condition of approval:

**Condition of Approval:**

If the Committee finds merit in the application, the following condition of approval is recommended:

1. That all comments on Site Development Application File DA.24.023 be addressed to the satisfaction of the Development Planning Department.

**Comments Prepared by:**

Nicholas Del Prete, Planner  
David Harding, Senior Planner

## Lenore Providence

---

**Subject:** FW: [External] RE: A077/24 (7300 Hwy 27) -REQUEST FOR COMMENTS, CITY OF VAUGHAN

---

**From:** Cameron McDonald <Cameron.McDonald@trca.ca>  
**Sent:** Wednesday, June 26, 2024 3:52 PM  
**To:** Committee of Adjustment <CofA@vaughan.ca>  
**Subject:** [External] RE: A077/24 (7300 Hwy 27) -REQUEST FOR COMMENTS, CITY OF VAUGHAN

**CAUTION!** This is an external email. Verify the sender's email address and carefully examine any links or attachments before clicking. If you believe this may be a phishing email, please use the Phish Alert Button.

Good afternoon,

A portion of the subject lands (7300 Highway 27) are located within TRCA's Regulated Area due to a stream corridor associated with a tributary of Humber River and an unelevated wetland feature on the western portion of the property. Any development or site alteration within TRCA's Regulated Area would be subject to a permit pursuant to Section 28.1 of the Conservation Authorities Act and pursuant to Ontario Regulation 41/24. The proposed development is not located within TRCA's Regulated Area.

As such, a permit from TRCA is not required for the subject work and TRCA staff have no objection to Minor Variance Application A077/24.

Thank you,

**Cameron McDonald**  
Planner I  
Development Planning and Permits | Development and Engineering Services

T: [\(437\) 880-1925](tel:4378801925)  
E: [cameron.mcdonald@trca.ca](mailto:cameron.mcdonald@trca.ca)  
A: [101 Exchange Avenue, Vaughan, ON, L4K 5R6](https://www.trca.ca) | [trca.ca](https://www.trca.ca)



**From:** [Development Services](#)  
**To:** [Prabhdeep Kaur](#)  
**Cc:** [Committee of Adjustment](#)  
**Subject:** [External] RE: A077/24 (7300 Hwy 27) -REQUEST FOR COMMENTS, CITY OF VAUGHAN  
**Date:** Thursday, June 27, 2024 6:33:41 PM  
**Attachments:** [image002.png](#)  
[image004.png](#)

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Hi Prabhdeep,

The Regional Municipality of York has completed its review of the minor variance application – A077/24 (7300 Highway 27) and has no comment.

Further comments and conditions will be provided through the related Site Plan (SP.24.V.0063 – DA.24.023).

Please provide us with a digital copy of the notice of decision for our records.

Many thanks

*Our working hours may be different. Please do not feel obligated to reply outside of your scheduled working hours. Let's work together to help foster healthy work-life boundaries.*

**Niranjan Rajevan, M.Pl.** | Associate Planner, Development Services, Planning and Economic Development, Corporate Services

The Regional Municipality of York | 17250 Yonge Street | Newmarket, ON L3Y 6Z1  
1-877-464-9675 ext. 71521 | [niranjan.rajevan@york.ca](mailto:niranjan.rajevan@york.ca) | [www.york.ca](http://www.york.ca)

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## SCHEDULE C: PUBLIC & APPLICANT CORRESPONDENCE

Correspondence Type	Name	Address	Date Received (mm/dd/yyyy)	Summary
Applicant			06/11/2024	Planning Justification Letter
Applicant			07/22/2024	Presentation (Plans)



**RECEIVED**

By Prabhdeep Kaur at 4:49 pm, Jun 11, 2024

**Augusta National Inc.** 178 Main Street, Suite 300, Unionville, Ontario L3R 2G9

Tel: (905) 944-9709

Email: everard@rogers.com

Fax: (905) 944-9710

www.augustanational-inc.ca

Cell: (416) 464-0145

May 29, 2024.

Ms. Christine Vigneault,  
Secretary-Treasurer,  
Committee of Adjustment,  
City of Vaughan.

Re: **Application for Minor Variance**  
**Phase 1, Sacred Heart Mausoleum A077/24**  
**Queen of Heaven Cemetery, 7300 Regional Road 27, Vaughan**

The urban planning consulting firm, Augusta National Inc., acts on behalf of Catholic Cemeteries & Funeral Services-Archdiocese of Toronto, registered owners of Queen of Heaven Cemetery.

Enclosed is a cheque payable to: "Treasurer, City of Vaughan" in the amount of \$6,252.00 for the Institutional Minor Variance Application.

The subject lands, designated "General Complementary Use Area" by the Provincial Parkway Belt West Plan, was adopted by the City as its Official Plan for Parkway Belt Lands. Amendment No. 129, deleted the subject lands from the Parkway Belt West Plan, and was subsequently approved by the Minister of Municipal Affairs on October 23, 1997. The proposed Site Plan Control Application DA.24.023 conforms to the policies in the "General Complimentary Use Area" designation.

The City of Vaughan Official Plan 2010, Volume 1 designates the subject lands as "Private Open Space" and "Natural Area". The proposed Site Plan Control Application DA.24.023 conforms to Section 13.46 policies of the Official Plan. The subject lands are zoned 'OS2', Private Open Space Zone, subject to Exception 14.1101 under By-law 001-2021, as amended, which permits a cemetery and mausoleum.

The proposed 1'st Phase Site Plan Control Application DA.24.023 is located within the most southerly extremity of Queen of Heaven Cemetery, immediately north of Hwy. 407. Proposed is a four (4) storey mausoleum rising 26.72 metres in height to the Roof Top, having a 9,393 sm GFA, 2,604 sm Ground Floor Area, and 63 parking spaces including accessible parking spaces. A total of 126 parking spaces will be constructed commensurate with the last phase of the mausoleum building.

Intensification of developable lands in the Queen of Heaven Cemetery necessitates construction of a four (4) storey mausoleum rising 26.87 metres in height to the Roof Top. To this end, pursuant to Section 45(1) of The Planning Act, relief is required from By-law 001-2021 permitting a maximum building height of 11.95 metres.

The proposed variance is minor in nature and desirable for the appropriate development of the Queen of Heaven Cemetery. The general intent and purpose of By-law 001-2021, as amended, and Official Plan 2010, Volume 1, will be maintained. Intensification of the Queen of Heaven Cemetery is consistent with the PPS 2014 and conforms to the Growth Plan for the Greater Golden Horseshoe 2006 with respect to polices regarding development of whole, complete and sustainable communities.

Attached are two (2) copies of the following, also downloaded on the enclosed USB Flash Drive:

- Planning Consultant cover letter;
- Minor Variance Application;
- Legal Survey and 'As Built' Structures;
- Site Plan, Dwg. No. SP-002, Revision 'B', May 29, 2024;
- Elevation, Dwg. No. A3-000, Revision 'B', May 29, 2024;
- Form-Tree Declaration;
- Form-Sworn Declaration;
- Form-Authorization Statement;
- Chart-Size of Existing Buildings and Structures;
- Chart-Structure Setbacks;
- Chart- Variances.

Thank You for your consideration in this matter.

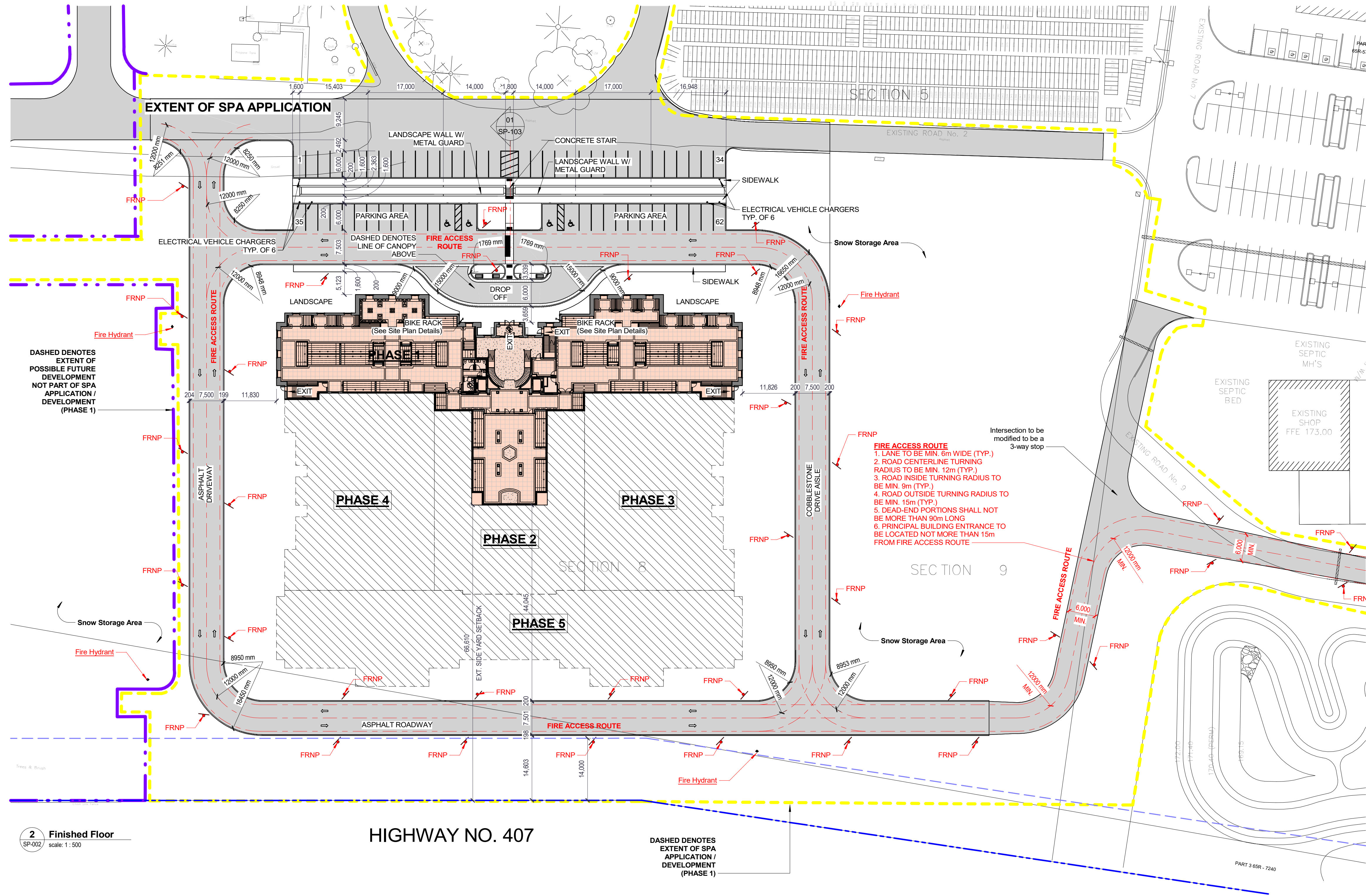
Regards:



Mike Everard, M.Sc., RPP.,  
Principal.

Copy: Mr. L. Martin, CC&FS





2 Finished Floor  
SP-002 scale: 1:500

HIGHWAY NO. 407

DASHED DENOTES  
EXTENT OF SPA  
APPLICATION /  
DEVELOPMENT  
(PHASE 1)

**ZONING INFORMATION**

LOT FRONTAGE	PROP.	461.92
FRONT YARD (EAST)	199.43m	
REAR YARD (WEST)	617.23m	
INT. SIDE YARD (NORTH)	345.37m	
EXT. SIDE YARD (SOUTH)	66.61m	
LOT COVERAGE	4.370%	
BLDG. HEIGHT	26.87M	

HIGHWAY CORRIDOR SETBACK (FROM LOT LINE ABUTTING HIGHWAY CORRIDOR TO ANY BUILDING OR STRUCTURE & PARKING / DRIVE AISLE)	REQ'D	14M	PROP.	66.61M
--	-------	-----	-------	--------

**SITE STATS**

LOT AREA	450 994 SQ. M.	
EXISTING ST ANTHONY'S MAUSOLEUM	+/- 10667 SQ. M.	2.365%
EXISTING FUNERAL HOME	+/- 3769 SQ. M.	0.836%
EXISTING SERVICE SHOP	+/- 1645 SQ. M.	0.365%
EXISTING ACCESSORY BUILDING	+/- 1000 SQ. M.	0.221%
PROPOSED MAUSOLEUM BLDG. 1 (PHASE 1)	2629.78 SQ. M.	0.583%
TOTAL LOT COVERAGE	19710.78 SQ. M.	4.370%

**PARKING STATS**

62 PARKING SPACES PROVIDED FOR MAUSOLEUM PHASE 1  
4 OF 62 SPACES ARE ACCESSIBLE PARKING  
TYPICAL PARKING STALL = 2.75m WIDE X 6m DEEP  
TYPICAL ACCESSIBLE STALL = 3.4m WIDE W/ 1.5m AISLE X 6.0m DEEP  
TYPICAL DRIVE AISLE = 7.5m WIDE

**BUILDING STATS:**

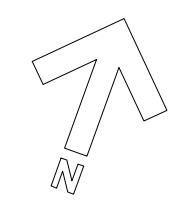
<b>PHASE 1</b>	BLDG AREA	2464.05 SQ. M.	GROSS FLOOR AREA	9574.44 SQ. M.
<b>FUTURE PHASE 2 (NOT PART OF PHASE 1 SPA)</b>	BLDG AREA	1044 SQ. M.	GROSS FLOOR AREA	4176 SQ. M.
<b>FUTURE PHASE 3 (NOT PART OF PHASE 1 SPA)</b>	BLDG AREA	1558 SQ. M.	GROSS FLOOR AREA	5596 SQ. M.
<b>FUTURE PHASE 4 (NOT PART OF PHASE 1 SPA)</b>	BLDG AREA	1558 SQ. M.	GROSS FLOOR AREA	5596 SQ. M.
<b>FUTURE PHASE 5 (NOT PART OF PHASE 1 SPA)</b>	BLDG AREA	1894 SQ. M.	GROSS FLOOR AREA	7432 SQ. M.

**NOTE:**

**FUTURE PHASES ARE SHOWN ONLY FOR CITY REFERENCE / CLARIFICATION OF FUTURE DEVELOPMENT INTENTS. PHASES 2-10 ARE NOT PART OF PHASE 1 CONSTRUCTION**

Autodesk Docs:1/21-024 - Archdiocese of Toronto - Queen of Heaven Mausoleum21-024 - CCFS - Sacred Heart Mausoleum - Phase 1 (Site).rvt

12-11-2023  
5-29-2024  
6-18-2024  
Issued For SPA  
Issued For SPA Rev. 1  
Issued For SPA Rev. 2



**RAIMONDO**  
+ ASSOCIATES  
ARCHITECTS INC.

4687 Queen Street Suite 2,  
Niagara Falls, ON, L2E 2L9  
T | 905-357-4441  
F | 905-357-5203  
W | www.raimondoaarchitects.com  
E | mail@raimondoaarchitects.com

CLIENT NAME  
**CATHOLIC CEMETERIES & FUNERAL SERVICES**

PROJECT NAME  
**QUEEN OF HEAVEN MAUSOLEUM**

PROJECT ADDRESS  
**7300 HWY 27 WOODBRIDGE (VAUGHAN), ONTARIO**

SHEET NAME  
**Enlarged Site Plan**

DRAWN BY: JJV  
DATE: 6/18/2024 1:54:29 PM  
SCALE: As indicated  
PROJECT NO.: 21-024  
CHECKED: ER

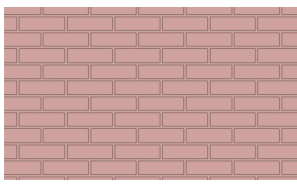
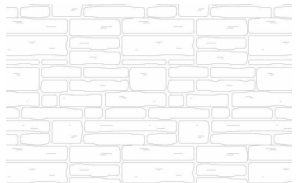
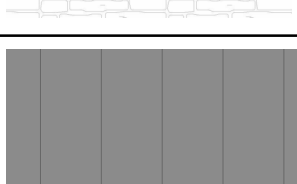
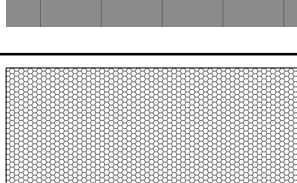
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SHEET #  
**SP-002**  
REV.#



**MATERIAL LEGEND**

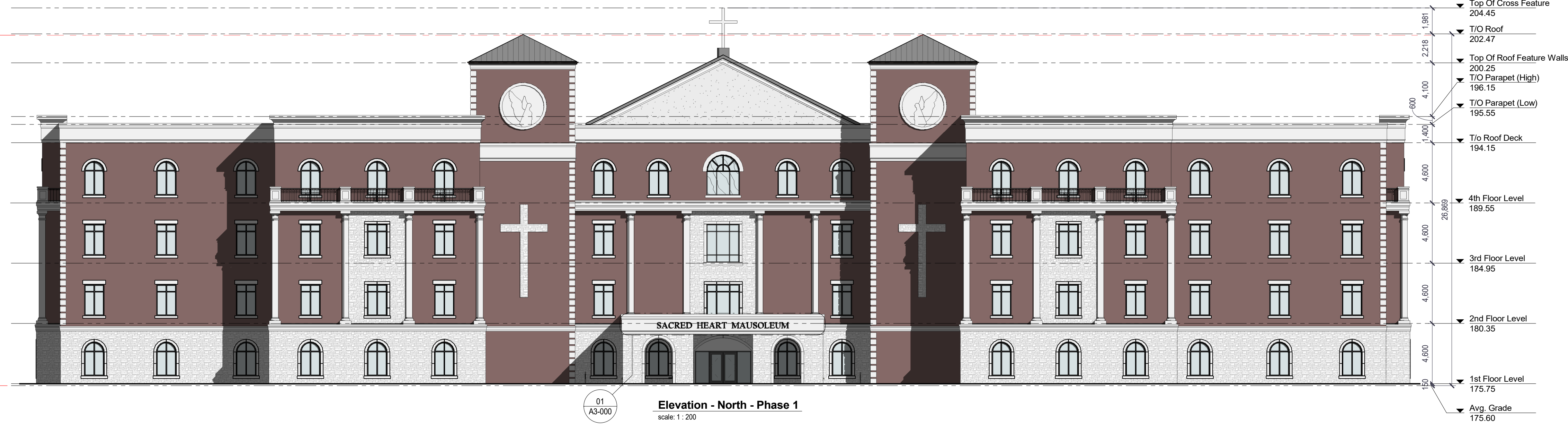
	BRAMPTON BRICK VENEER COLOUR: RED CLAY Metric Jumbo Brick 10mm Mortar Joints 90mm Brick Height
	BRADSTONE VENEER COLOUR: WHITE 10mm Mortar Joints
	METAL ROOF COLOUR: BLACK
	EIFS / STUCCO RAINSCREEN COLOUR: PRE-CAST GREY

**Bird Friendly Guidelines:**

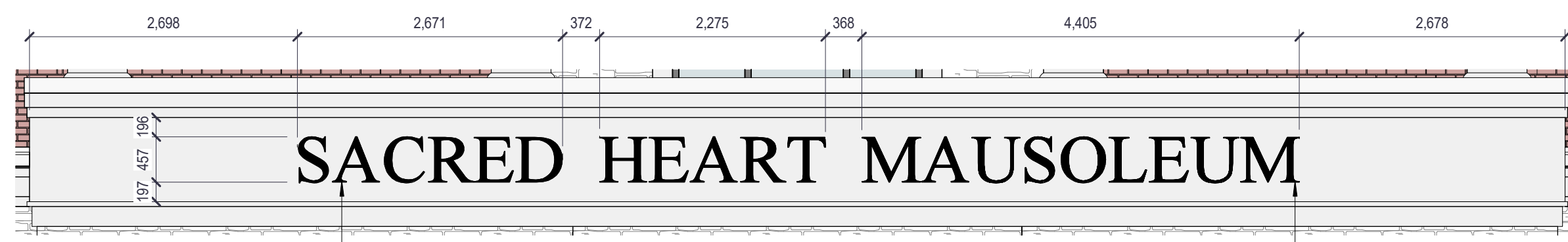
All the windows are subdivided in glazing panels of a maximum of 2.0 sq. m.

All glazed doors have a maximum of 2.0 sq. m. glazed panels.

Minor Variance Request  
PROPOSED BUILDING HEIGHT = 26.76 m  
(MEAN LEVEL OF THE RIDGE & EAVES)



01 A3-000 Elevation - North - Phase 1  
scale: 1 : 200

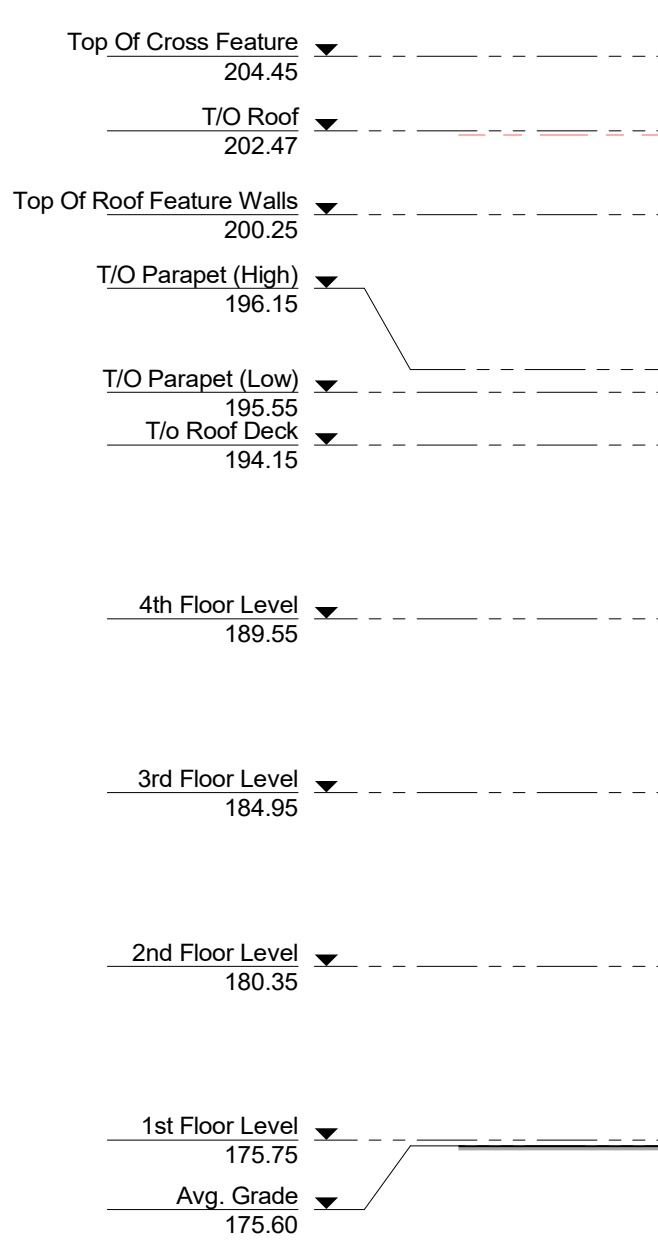


01 A3-000 Enlarged Elevation Detail  
scale: 1 : 50

Minor Variance Request  
PROPOSED BUILDING HEIGHT = 26.76 m  
(MEAN LEVEL OF THE RIDGE & EAVES)



Elevation - South - Phase 1  
scale: 1 : 200



Elevation - East - Phase 1  
scale: 1 : 200

Minor Variance Request  
PROPOSED BUILDING HEIGHT = 26.76 m  
(MEAN LEVEL OF THE RIDGE & EAVES)



Elevation - West - Phase 1  
scale: 1 : 200

A 12-11-2023 Issued For SPA  
B 5-29-2024 Issued For SPA Rev. 1  
C 6-18-2024 Issued For SPA Rev. 2



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F | 905-357-9203  
W | www.raimondooarchitects.com  
E | mail@raimondooarchitects.com

CLIENT NAME

Queen Of Heaven Catholic Cemetery (QOHCC)

PROJECT NAME

Sacred Heart Mausoleum - Phase 1 (SHM-P1)

PROJECT ADDRESS

7300 HWY 27 WOODBRIDGE (VAUGHAN), ONTARIO

SHEET NAME

Building Elevations (Colour)

DRAWN BY: JJV

DATE: 6/25/2024 2:59:26 PM

SCALE: As Indicated

PROJECT NO.: 21-024

CHECKED: ER

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SHEET #

**A3-000**

REV.#

## SCHEDULE D: BACKGROUND

None