

ITEM: 6.7	REPORT SUMMARY MINOR VARIANCE APPLICATION FILE NUMBER A069/24
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Report Date: July 26, 2024

**THIS REPORT CONTAINS COMMENTS FROM THE FOLLOWING
DEPARTMENTS & AGENCIES (SEE SCHEDULE B):**

Additional comments from departments and agencies received after the publication of the report will be made available on the City's [website](#).

Internal Departments <small>*Comments Received</small>	Conditions Required		Nature of Comments
Committee of Adjustment	Yes <input checked="" type="checkbox"/>	No <input type="checkbox"/>	General Comments w/Conditions
Building Standards (Zoning)	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>	General Comments
Development Planning	Yes <input type="checkbox"/>	No <input type="checkbox"/>	Application Under Review
Development Engineering	Yes <input checked="" type="checkbox"/>	No <input type="checkbox"/>	Recommend Approval w/Conditions
Forestry	Yes <input checked="" type="checkbox"/>	No <input type="checkbox"/>	General Comments w/Conditions
Development Finance	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>	General Comments

External Agencies <small>*Comments Received</small>	Conditions Required		Nature of Comments <small>*See Schedule B for full comments</small>
Alectra	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>	General Comments
TRCA	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>	General Comments
Region of York	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>	General Comments

PUBLIC & APPLICANT CORRESPONDENCE (SEE SCHEDULE C)

All personal information collected because of this public meeting (including both written and oral submissions) is collected under the authority of the Municipal Act, the Municipal Freedom of Information and Protection of Privacy Act (MFIPPA), the Planning Act and all other relevant legislation, and will be used to assist in deciding on this matter. All personal information (as defined by MFIPPA), including (but not limited to) names, addresses, opinions and comments collected will become property of the City of Vaughan, will be made available for public disclosure (including being posted on the internet) and will be used to assist the Committee of Adjustment and staff to process this application.

Correspondence Type	Name	Address	Date Received <small>(mm/dd/yyyy)</small>	Summary
None				

BACKGROUND (SCHEDULE D, IF REQUIRED)	
<small>* Background Information contains historical development approvals considered to be related to this file. This information should not be considered comprehensive.</small>	
Application No. (City File)	Application Description <small>(i.e. Minor Variance Application; Approved by COA / OLT)</small>
N/A	N/A

ADJOURNMENT HISTORY	
<small>* Previous hearing dates where this application was adjourned by the Committee and public notice issued.</small>	
Hearing Date	Reason for Adjournment <small>(to be obtained from NOD_ADJ)</small>
July 10, 2024	Minor Variance Application A069/24 was adjourned by the Committee of Adjustment to August 1, 2024 to permit time for staff to review a revised submission.

SCHEDULES	
Schedule A	Drawings & Plans Submitted with the Application
Schedule B	Comments from Agencies, Building Standards & Development Planning
Schedule C (if required)	Public & Applicant Correspondence
Schedule D (if required)	Background



MINOR VARIANCE APPLICATION FILE NUMBER A069/24

CITY WARD #:	5
APPLICANT:	Kang Lin
AGENT:	Ian Robertson, Micheal Fraser & BobbiJo Mackinnon
PROPERTY:	11 Fairlea Avenue, Thornhill
ZONING DESIGNATION:	See below.
VAUGHAN OFFICIAL PLAN (2010) DESIGNATION:	Vaughan Official Plan 2010 ('VOP 2010'): "Low-Rise Residential"
RELATED DEVELOPMENT APPLICATIONS:	None
PROPOSAL:	Relief from the Zoning By-law is being requested to permit a proposed dwelling.

The following variances are being requested from the City's Zoning By-law to accommodate the above proposal:

The subject lands are zoned R1E (EN) First Density Residential Zone and subject to the provisions of Exception 14.403 under Zoning By-law 001-2021, as amended.

#	Zoning By-law 001-2021	Variance requested
1	Where a lot in a Residential Zone is subject to the zone suffix "-EN" as shown on Schedule A, the maximum building height shall be the existing building height plus 3.0 m, but in no case shall the maximum building height requirement be less than 8.5 m. [4.5 #1. b.]	To permit a maximum building height of 10.41 metres.
2	The required minimum exterior side yard shall be 9.0 metres. [14.403 #2. b. & 7.2.2 Table 7 – 3]	To permit a minimum exterior side yard of 5.36 metres.
3	The permitted maximum lot coverage shall not exceed 20% of the lot area. [7.2.2 Table 7 – 3]	To permit a maximum lot coverage of 25.18%.
4	In R1E Zones the maximum cumulative width of both accesses to a circular driveway, as measured at the street line, shall be 9.0 m.	To permit a maximum cumulative width of both accesses to the circular drive of 9.66 metres as measured at the street line.

HEARING INFORMATION

DATE OF MEETING: Thursday, August 1, 2024

TIME: 6:00 p.m.

MEETING LOCATION: Vaughan City Hall, Woodbridge Room (2nd Floor), 2141 Major Mackenzie Drive

LIVE STREAM LINK: [Vaughan.ca/LiveCouncil](https://vaughan.ca/LiveCouncil)

PUBLIC PARTICIPATION

If you would like to speak to the Committee of Adjustment at the meeting, either remotely or in person, please complete the [Request to Speak Form](#) and submit to cofa@vaughan.ca

If you would like to submit written comments, please quote file number above and submit by mail or email to:

Email: cofa@vaughan.ca

Mail: City of Vaughan, Office of the City Clerk, Committee of Adjustment, 2141 Major Mackenzie Drive, Vaughan, ON, L6A 1T1

HEARING INFORMATION

To speak electronically, pre-registration is required by completing the [Request to Speak Form](#) on-line and submitting it to cofa@vaughan.ca no later than NOON on the last business day before the meeting.

THE DEADLINE TO REGISTER TO SPEAK ELECTRONICALLY OR SUBMIT WRITTEN COMMENTS ON THE ABOVE NOTED FILE(S) IS NOON ON THE LAST BUSINESS DAY BEFORE THE MEETING.

INTRODUCTION

Staff and Agencies act as advisory bodies to the Committee of Adjustment. The comments contained in this report are presented as recommendations to the Committee.

Section 45(1) of the Planning Act sets the criteria for authorizing minor variances to the City of Vaughan's Zoning By-law. Accordingly, review of the application may consider the following:

- That the general intent and purpose of the by-law will be maintained.
- That the general intent and purpose of the official plan will be maintained.
- That the requested variance(s) is/are acceptable for the appropriate development of the subject lands.
- That the requested variance(s) is/are minor in nature.

Public written and oral submissions relating to this application are taken into consideration by the Committee of Adjustment as part of its deliberations and final decision on this matter.

COMMITTEE OF ADJUSTMENT

Date Public Notice Mailed:	July 18, 2024
Date Applicant Confirmed Posting of Sign:	July 17, 2024
Applicant Justification for Variances: <small>*As provided in Application Form</small>	Due to the client's needs for space, we cannot comply with the provisions of the City's Zoning By-Law
Was a Zoning Review Waiver (ZRW) Form submitted by Applicant: <small>*ZRW Form may be used by applicant in instances where a revised submission is made, and zoning staff do not have an opportunity to review and confirm variances prior to the issuance of public notice.</small>	Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>
COMMENTS:	
None	
Committee of Adjustment Recommended Conditions of Approval:	That applicant submit adjournment fee for rescheduling the application hearing from the July 10, 2024 Committee of Adjustment hearing.

BUILDING STANDARDS (ZONING)

**See Schedule B for Building Standards (Zoning) Comments	
Building Standards Recommended Conditions of Approval:	None

DEVELOPMENT PLANNING

**See Schedule B for Development Planning Comments. Application under Review	
Development Planning Recommended Conditions of Approval:	TBC

DEVELOPMENT ENGINEERING

[Link to Grading Permit](#) [Link to Pool Permit](#) [Link to Curb Curt Permit](#) [Link Culvert Installation](#)

The proposed work by the Owner/Applicant is increasing the lot coverage on the subject property. The added hardscape may have impacts on the City's Storm Water management system. Development Engineering strongly encourages the Owner / Applicant introduce Low-Impact Development (LID) measures (e.g., bioswales, permeable pavers, rain gardens, rain barrels etc.) to reduce the impacts to the stormwater system. Should further information be required, please contact the Development Engineering COA reviewer. The Owner/Applicant shall contact Transportation and Fleet Management Services if there is any work required related to the driveway culvert. Please visit the Culvert Installation page at City of Vaughan website for more information. The Owner/Applicant shall apply and obtain the necessary 'Curb Cut/Reinstating Permit' through the Transportation and Fleet Management Services. Please visit the Curb Cut Permits page at the City of Vaughan website to learn how to apply for the Curb Cut/ Reinstating Permit. As the proposed dwelling in the subject property is 266.63 m², the Owner/ Applicant needs to obtain a 'Lot Grading Permit' from the Development Inspection and Lot Grading Division of the City's Development Engineering Department. Please note

DEVELOPMENT ENGINEERING

[Link to Grading Permit](#)
 [Link to Pool Permit](#)
 [Link to Curb Curt Permit](#)
 [Link Culvert Installation](#)

any in-ground structure over 10 m² requires a 'Grading Permit'. Please contact the Development Engineering Reviewer after receiving the Grading Permit to clear the condition. (Condition attached)

Development Engineering Recommended Conditions of Approval:	The Owner/Applicant shall submit an application and obtain an approved Grading Permit before initiating any work on the property. The Final Lot Grading and/or Servicing Plan will be required for the Grading Permit Application. Please visit the Permits page of the City of Vaughan's website: Permits City of Vaughan to apply for a Grading Permit. For any inquiries regarding the Grading Permit, please email DEPermits@vaughan.ca
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PARKS, FORESTRY & HORTICULTURE (PFH)

Recommended condition of approval:

PFH Recommended Conditions of Approval:	The applicant will need to apply for a Tree Removal and Protection Permit (Construction or Infill) before beginning any demolition or construction work at this address. For this permit application, a detailed Arborist Report, and Tree Inventory and Protection Plan shall be required.
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DEVELOPMENT FINANCE

That the payment of the City Development Charge is payable to the City of Vaughan prior to issuance of a building permit in accordance with the Development Charges Act and City-wide Development Charge By-law in effect at time of payment.

That the payment of Region of York Development Charge is payable to the City of Vaughan prior to issuance of a building permit in accordance with the Development Charges Act and Regional Development Charges By-laws in effect at time of payment.

That the payment of Education Development Charge is payable to the City of Vaughan prior to issuance of a building permit in accordance with the Education Act and York Region District School Board and York Catholic District School Board Development Charges By-laws in effect at time of payment.

That the payment of applicable Area Specific Development Charges are payable to the City of Vaughan prior to issuance of a building permit in accordance with the Development Charges Act and Area Specific Development Charge By-laws in effect at time of payment.

Demolition development charge credits valid for a period of 48 months from date of demolition permit issuance. After 48 months, full development charges apply as per by-laws.

Development Finance Recommended Conditions of Approval:	None
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BY-LAW AND COMPLIANCE, LICENSING AND PERMIT SERVICES

No comments received to date.

BCLPS Recommended Conditions of Approval:	None
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BUILDING INSPECTION (SEPTIC)

No comments received to date.

Building Inspection Recommended Conditions of Approval:	None
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FIRE DEPARTMENT

No comments received to date.

Fire Department Recommended Conditions of Approval:	None
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RECOMMENDED CONDITIONS OF APPROVAL SUMMARY

Should the Committee find it appropriate to approve this application in accordance with request and the sketch submitted with the application, as required by Ontario Regulation 200/96, the following conditions have been recommended:

#	DEPARTMENT / AGENCY	CONDITION
1	Committee of Adjustment cofa@vaughan.ca	That applicant submit adjournment fee for rescheduling the application from the July 10, 2024 Committee of Adjustment hearing.
2	Development Planning Alyssa.Pangilinan@vaughan.ca	TBC
3	Development Engineering jonal.hall@vaughan.ca	The Owner/Applicant shall submit an application and obtain an approved Grading Permit before initiating any work on the property. The Final Lot Grading and/or Servicing Plan will be required for the Grading Permit Application. Please visit the Permits page of the City of Vaughan's website: Permits City of Vaughan to apply for a Grading Permit. For any inquiries regarding the Grading Permit, please email DEPermits@vaughan.ca
4	Parks, Forestry and Horticulture Operations zachary.quizzetti@vaughan.ca	The applicant will need to apply for a Tree Removal and Protection Permit (Construction or Infill) before beginning any demolition or construction work at this address. For this permit application, a detailed Arborist Report, and Tree Inventory and Protection Plan shall be required.

All conditions of approval, unless otherwise stated, are considered to be incorporated into the approval "if required". If a condition is no longer required after an approval is final and binding, the condition may be waived by the respective department or agency requesting conditional approval. A condition cannot be waived without written consent from the respective department or agency.

IMPORTANT INFORMATION

CONDITIONS: It is the responsibility of the owner/applicant and/or authorized agent to obtain and provide a clearance letter from respective department and/or agency (**see condition chart above for contact**). This letter must be provided to the Secretary-Treasurer to be finalized. All conditions must be cleared prior to the issuance of a Building Permit.

APPROVALS: Making any changes to your proposal after a decision has been made may impact the validity of the Committee's decision.

An approval obtained from the Committee of Adjustment, where applicable, is tied to the building envelope shown on the plans and drawings submitted with the application and subject to the variance approval.

A building envelope is defined by the setbacks of the buildings and/or structures shown on the plans and drawings submitted with the application, as required by Ontario Regulation 200/96. Future development outside of an approved building envelope, where a minor variance was obtained, must comply with the provisions of the City's Zoning By-law.

Elevation drawings are provided to reflect the style of roof (i.e. flat, mansard, gable etc.) to which a building height variance has been applied. Where a height variance is approved, building height is applied to the style of roof (as defined in the City's Zoning By-law) shown on the elevation plans submitted with the application.

Architectural design features that are not regulated by the City's Zoning By-law are not to be considered part of an approval unless specified in the Committee's decision.

DEVELOPMENT CHARGES: That the payment of the Regional Development Charge, if required, is payable to the City of Vaughan before issuance of a building permit in accordance with the Development Charges Act and the Regional Development Charges By-law in effect at the time of payment.

That the payment of the City Development Charge, if required, is payable to the City of Vaughan before issuance of a building permit in accordance with the Development Charges Act and the City's Development Charges By-law in effect at the time of payment.

That the payment of the Education Development Charge if required, is payable to the City of Vaughan before issuance of a building permit in accordance with the Development Charges Act and the Boards of Education By-laws in effect at the time of payment

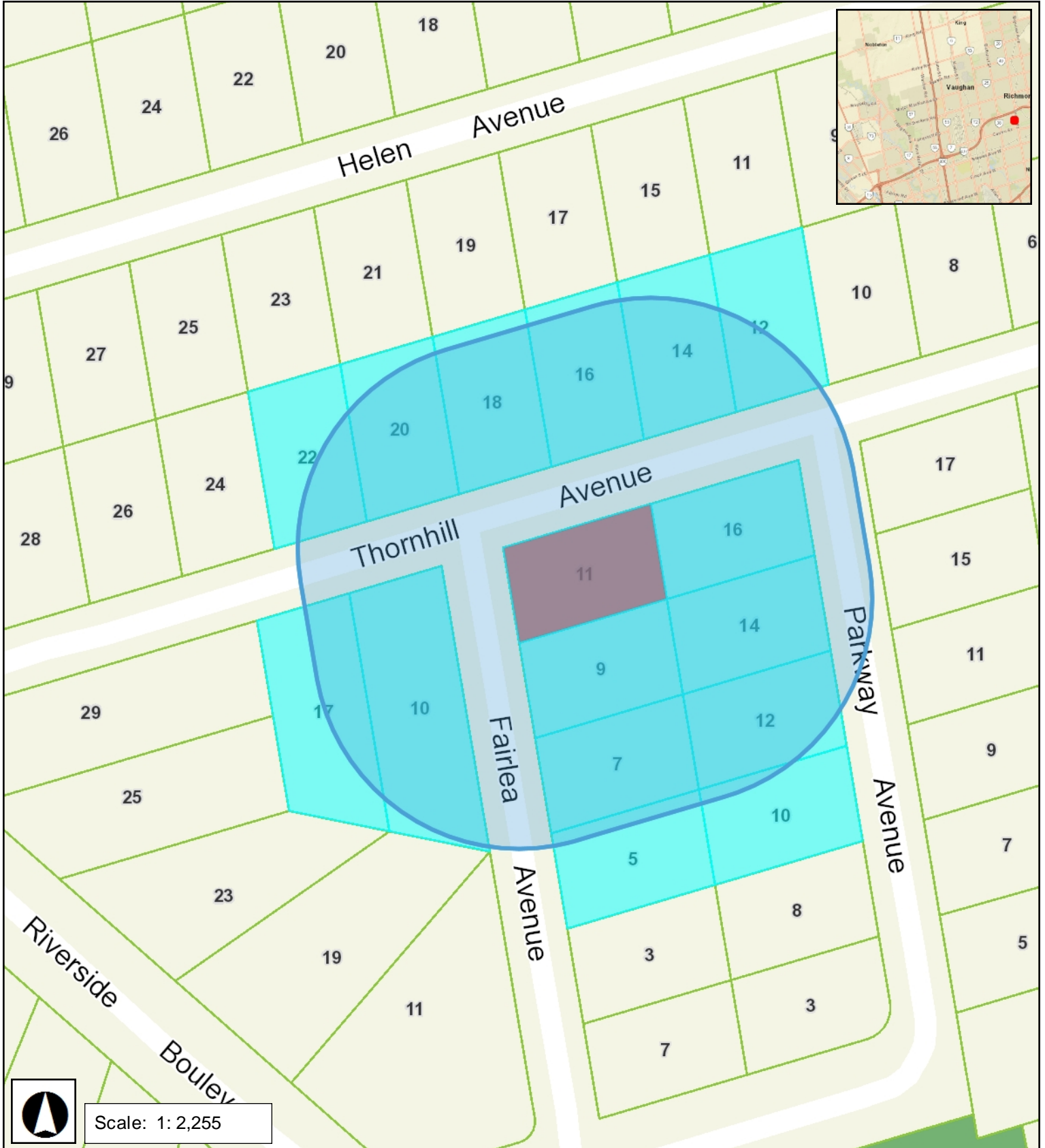
IMPORTANT INFORMATION

That the payment of Special Area Development charge, if required, is payable to the City of Vaughan before issuance of a building permit in accordance with the Development Charges Act and The City's Development Charge By-law in effect at the time of Building permit issuance to the satisfaction of the Reserves/Capital Department.

NOTICE OF DECISION: If you wish to be notified of the decision in respect to this application or a related Ontario Land Tribunal (OLT) hearing you must complete a Request for Decision form and submit to the Secretary Treasurer (ask staff for details). In the absence of a written request to be notified of the Committee's decision you will **not** receive notice.

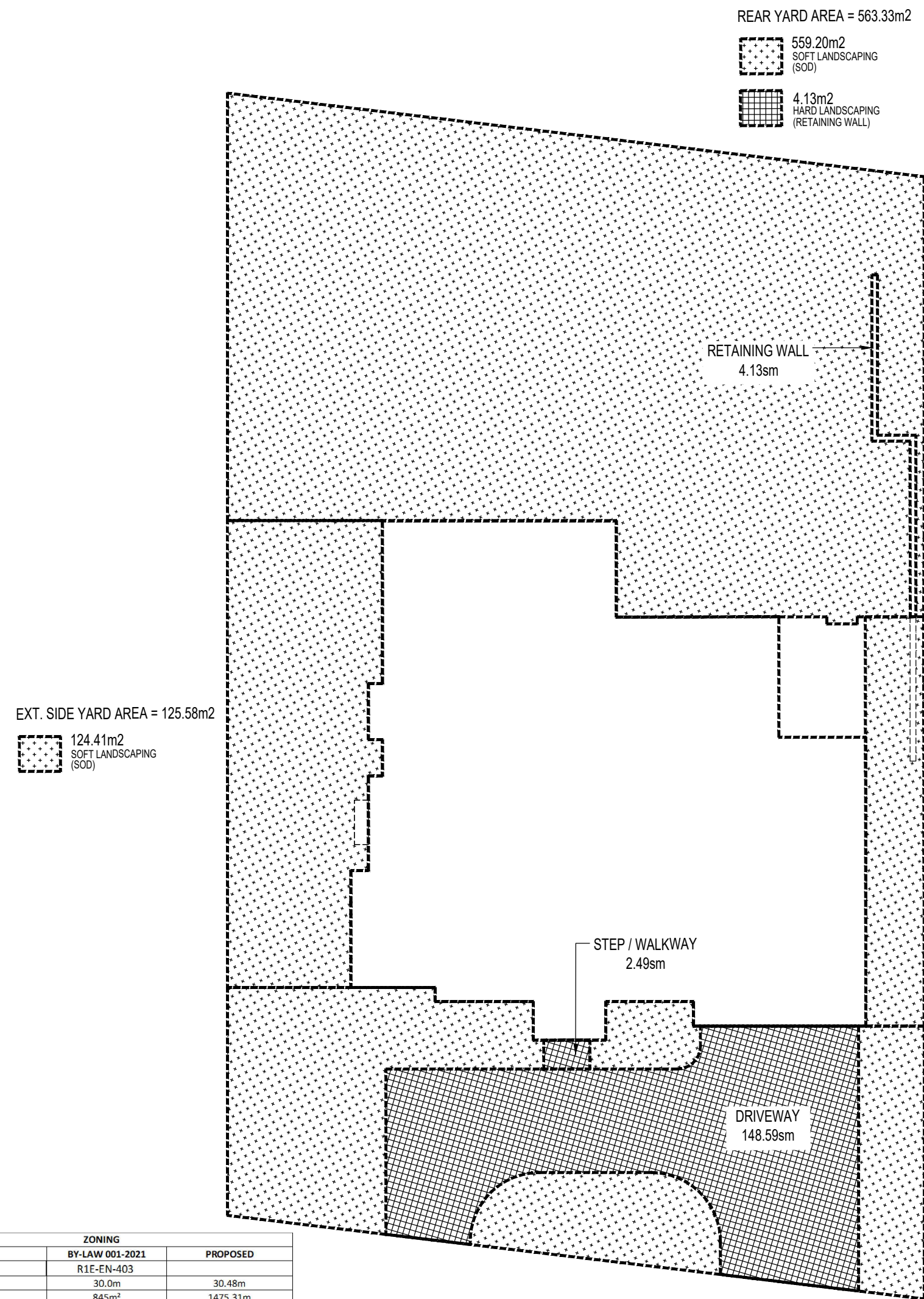
SCHEDULE A: DRAWINGS & PLANS

11 Fairlea Avenue, Thornhill



RECEIVED

By provided at 4:20 pm, Jul 04, 2024



ZONING		
SITE DATA	BY-LAW 001-2021	PROPOSED
ZONE	R1E-EN-403	
LOT FRONTAGE	30.0m	30.48m
LOT AREA	845m ²	1475.31m ²
FRONT YARD SETBACK	9.0m	9.14m (PORCH) 10.30m (HOUSE)
INT. SIDE YARD SETBACK	2.5m	2.55m
EXT. SIDE YARD SETBACK	9.0m	5.36m
REAR YARD SETBACK	9.0m	16.44m (PORCH) 19.72m (HOUSE)
GROUND FLOOR AREA		266.63m ²
GROSS FLOOR AREA		581.11m ²
LOT COVERAGE		22.99% (339.19m ²)
NOT INCL. PORCH		
LOT COVERAGE OF FRONT PORCH		0.43% (6.41m ²)
LOT COVERAGE OF COVERED REAR PORCH		1.76% (26.01m ²)
TOTAL COVERAGE		25.18% (371.61m ²)
BLDG HEIGHT TO PEAK	8.5m	10.41m
BLDG HEIGHT TO MIDPOINT		9.43m
DRIVEWAY WIDTH	9.0m	9.66m CUMULATIVE
CHIMNEY PROJECTION	0.6m	0.51m
FRONT YARD AREA		325.51m ²
DRIVEWAY AREA		148.59m ²
WALKWAY & STEP AREA		2.49m ²
FRONT YARD LANDSCAPING	50% (162.75m ²)	325.51*148.59 =176.92m ² (54.35%)
FRONT YARD SOFT LANDSCAPING	60% (97.65m ²)	176.92-2.49 =174.43m ² (10.7%)
REAR YARD AREA		563.33-135 =428.33m ²
HARDSCAPE AREA (RETAINING WALL)		4.13m ²
REAR YARD SOFT LANDSCAPING	60% (337.99m ²)	428.33-4.13 =424.20m ² (99.03%)

#	Zoning By-law 01-2021	Variance requested
1	Where a lot in a Residential Zone is subject to the zone suffix "-EN" as shown on Schedule A, the maximum building height shall be the existing building height plus 3.0 m, but in no case shall the maximum building height requirement be less than 8.5 m. [4.5 #1. b.]	To permit a maximum building height of 10.41 metres.
2	The required minimum exterior side yard shall be 9.0 metres. [14.403 #2. b. & 7.2.2 Table 7 - 3]	To permit a minimum exterior side yard of 5.36 metres.
3	The permitted maximum lot coverage shall not exceed 20% of the lot area. [7.2.2 Table 7 - 3]	To permit a maximum lot coverage of 25.18%.
4	In R1E Zones the maximum cumulative width of both accesses to a circular driveway, as measured at the street line, shall be 9.0 m.	To permit a maximum cumulative width of both accesses to the circular drive of 9.66 metres as measured at the street line.

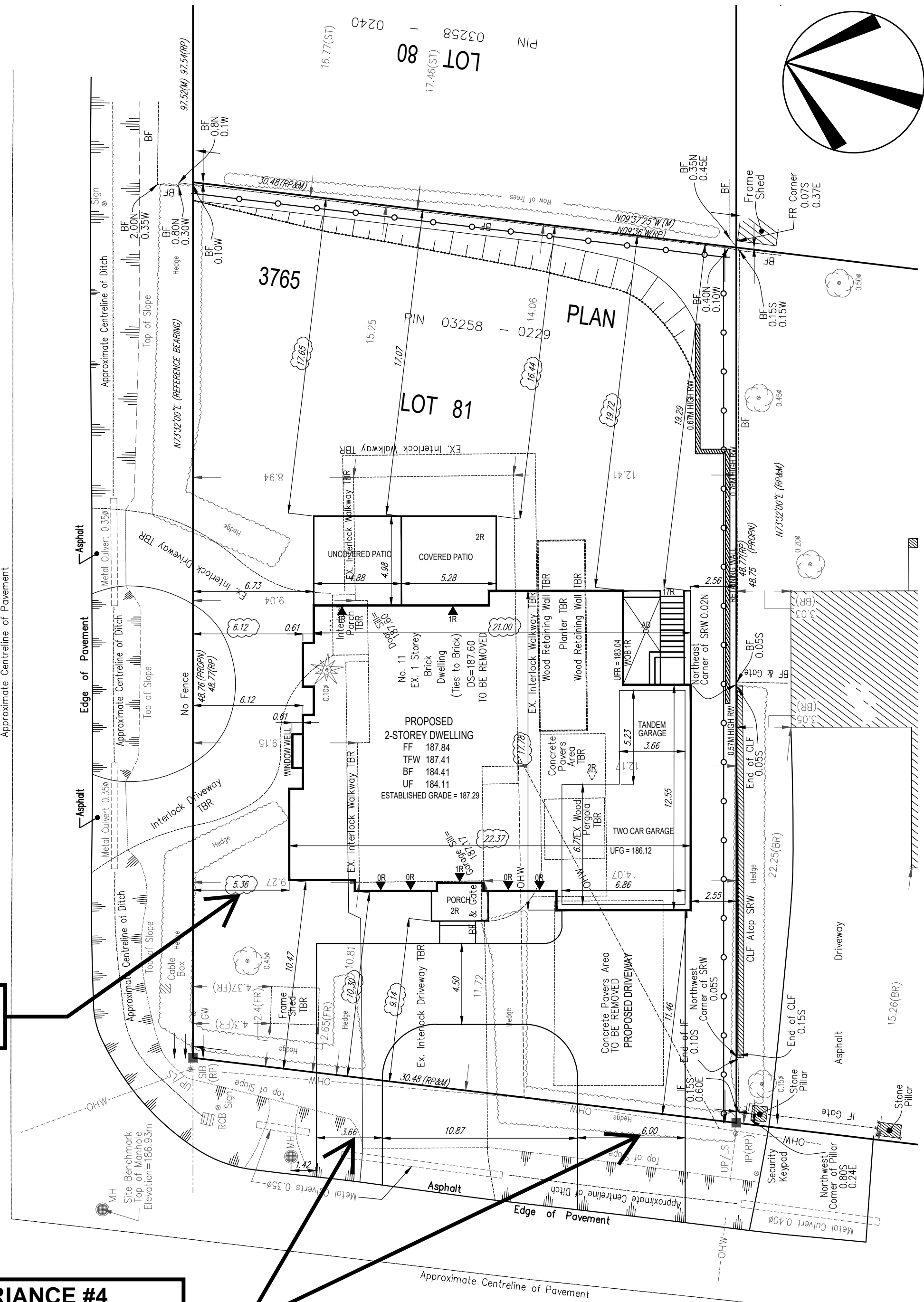
THORNHILL AVENUE

(BY REGISTERED PLAN 3765)
PIN 03258 - 0229

**VARIANCE #2
5.36M**

**VARIANCE #4
9.66M CUMULATIVE
(3.66M+6.0M)**

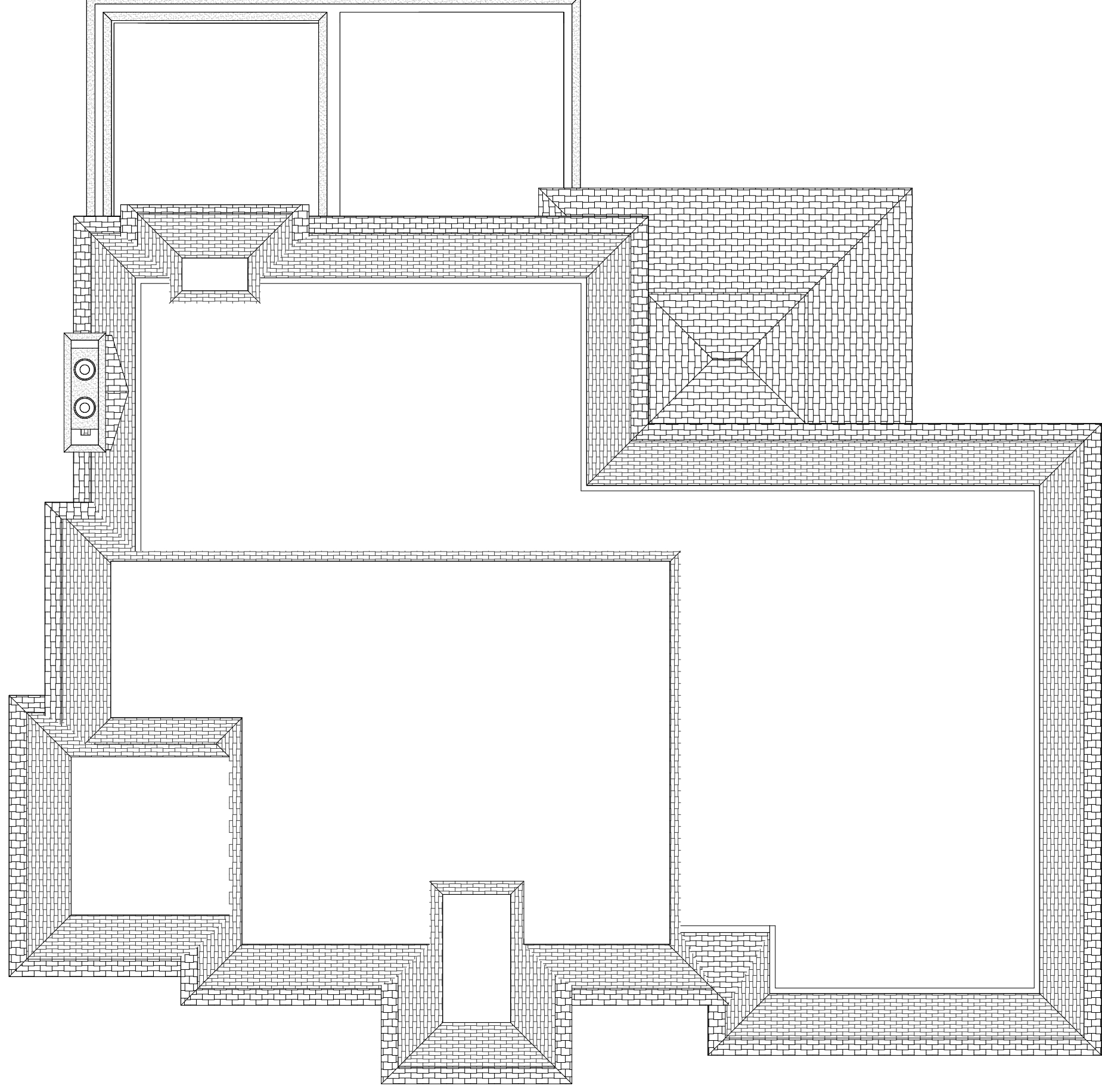
**VARIANCE #3 - LOT COVERAGE = 25.18%
DWELLING=22.99%, FRONT PORCH=0.43% & REAR PORCH=1.76%**



LOT 81
11 FAIRLEA AVENUE
FILE NO. A069/24

SHEET TITLE:	SITE PLAN
CLIENT:	KANG LIN
PROJECT NUMBER:	24-01
SCALE:	1/8" = 1'-0"
DRAWING NO.:	1 OF 1

REVISIONS	ISSUED FOR REVIEW	ISSUED FOR MINOR VARIANCE
1	APR 10/24	APR 10/24
2	APR 12/24	APR 12/24
3	MAY 1/24	MAY 1/24
4	MAY 16/24	MAY 16/24
5	MAY 29/24	MAY 29/24
6	JUNE 21/24	JUNE 21/24
7	JULY 3/24	JULY 3/24



LOT 81
 11 FAIRLEA AVE.
 FILE NO. A069/24

REVISIONS	ISSUED FOR REVIEW
1	APR. 10/24
2	APR. 12/24
3	MAY 1/24
4	MAY 2/24
5	MAY 28/24
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Client: KANG LI

Project: 11 FAIRLEA AVE,
 CITY OF VAUGHAN

Sheet Title: ROOF PLAN

Project Number: 24-01

Drawn By: MG

Scale: 1/8" = 1'-0"
 Drawing No.: 4 OF 6



**VARIANCE #1
10.41M**

#	Zoning By-law 01-2021	Variance requested
1	Where a lot in a Residential Zone is subject to the zone suffix "-EN" as shown on Schedule A, the maximum building height shall be the existing building height plus 3.0 m, but in no case shall the maximum building height requirement be less than 8.5 m. [4.5 #1. b.]	To permit a maximum building height of 10.41 metres.
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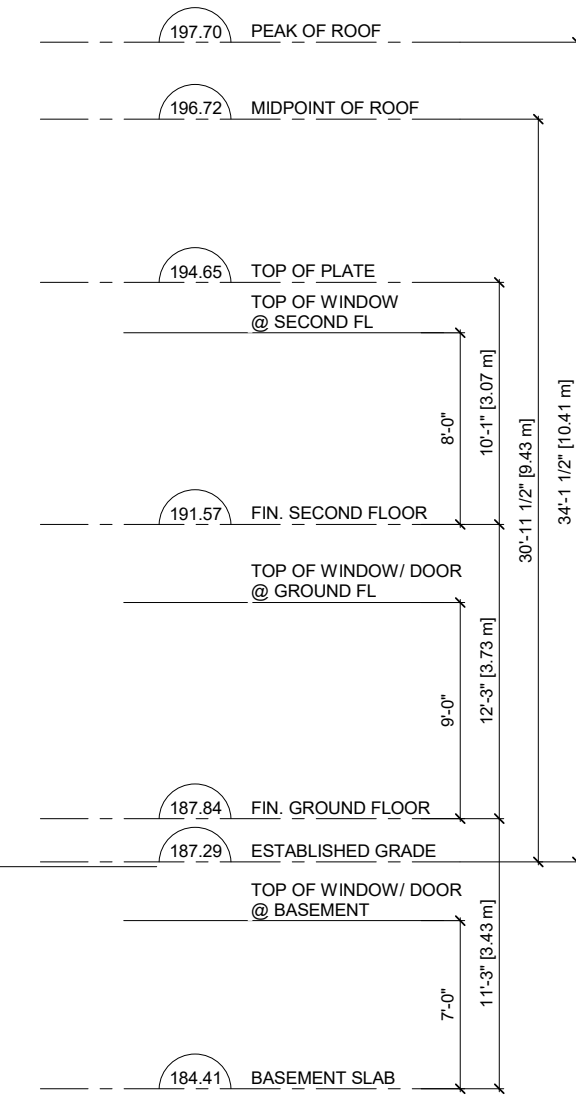


**VARIANCE #1
10.41M**

Sheet Title:	FRONT & REAR ELEVATION
Client:	KANG LI
Project:	11 FAIRLEA AVE, CITY OF VAUGHAN
Project Number:	24-01
Drawn By:	MG
Scale:	1/8" = 1'-0"
Drawing No.:	5 OF 6

REVISIONS	ISSUED FOR REVIEW
1	APR. 10/24
2	APR. 12/24
3	MAY 1/24
4	MAY 2/24
5	MAY 28/24
6	JUNE 21/24
7	JULY 3/24

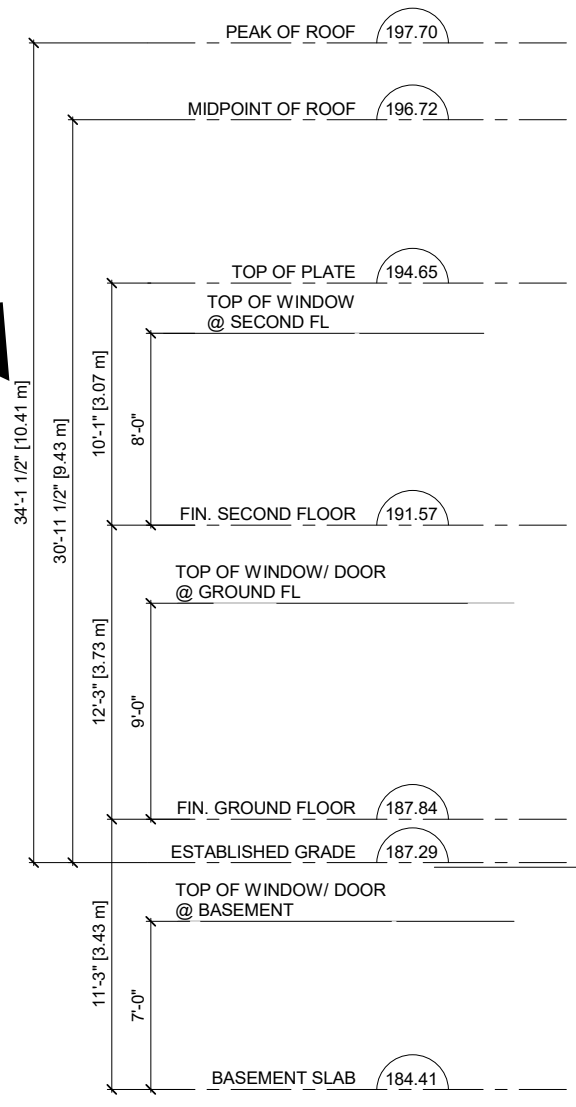
LOT 81
11 FAIRLEA AVE.
FILE NO. A069/24



**VARIANCE #1
10.41M**

#	Zoning By-law 01-2021	Variance requested
1	Where a lot in a Residential Zone is subject to the zone suffix "-EN" as shown on Schedule A, the maximum building height shall be the existing building height plus 3.0 m, but in no case shall the maximum building height requirement be less than 8.5 m. [4.5 #1. b.]	To permit a maximum building height of 10.41 metres.
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**VARIANCE #1
10.41M**



Client: **KANG LI**
 Project: **11 FAIRLEA AVE, CITY OF VAUGHAN**

Sheet Title: **LEFT & RIGHT SIDE ELEVATION**
 Drawn By: **MG**
 Project Number: **24-01**
 Scale: **1/8" = 1'-0"**
 Drawing No.: **6 OF 6**

REVISIONS

1	APR. 10/24	ISSUED FOR REVIEW
2	APR. 12/24	ISSUED FOR MINOR VARIANCE
3	MAY 1/24	REISSUED FOR MINOR VARIANCE
4	MAY 2/24	REISSUED FOR MINOR VARIANCE
5	MAY 28/24	REISSUED FOR MINOR VARIANCE
6	JUNE 21/24	REISSUED FOR MINOR VARIANCE
7	JULY 3/24	REISSUED FOR MINOR VARIANCE

**LOT 81
11 FAIRLEA AVE.
FILE NO. A069/24**

**SCHEDULE B:
COMMENTS FROM AGENCIES, BUILDING STANDARDS &
DEVELOPMENT PLANNING**

Department / Agency <small>*Comments Received</small>	Conditions Required		Nature of Comments
Building Standards (Zoning) *See Schedule B	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>	General Comments
Development Planning	Yes <input type="checkbox"/>	No <input type="checkbox"/>	Application Under Review

External Agencies <small>*Comments Received</small>	Conditions Required		Nature of Comments <small>*See Schedule B for full comments</small>
Alectra	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>	General Comments
TRCA	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>	General Comments
Region of York	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>	General Comments

Date: June 10th 2024

Attention: **Christine Vigneault**

RE:

File No.: **A069-24**

Related Files:

Applicant Ian Robertson Design

Location 11 Fairlea Avenue



Discover the possibilities

COMMENTS:

- We have reviewed the proposed Variance Application and have no comments or objections to its approval.
- We have reviewed the proposed Variance Application and have no objections to its approval, subject to the following comments (attached below).
- We have reviewed the proposed Variance Application and have the following concerns (attached below).

Alectra Utilities (formerly PowerStream) has received and reviewed the proposed Variance Application. This review, however, does not imply any approval of the project or plan.

All proposed billboards, signs, and other structures associated with the project or plan must maintain minimum clearances to the existing overhead or underground electrical distribution system as specified by the applicable standards, codes and acts referenced.

In the event that construction commences, and the clearance between any component of the work/structure and the adjacent existing overhead and underground electrical distribution system violates the Occupational Health and Safety Act, the customer will be responsible for 100% of the costs associated with Alectra making the work area safe. All construction work will be required to stop until the safe limits of approach can be established.

In the event construction is completed, and the clearance between the constructed structure and the adjacent existing overhead and underground electrical distribution system violates the any of applicable standards, acts or codes referenced, the customer will be responsible for 100% of Alectra's cost for any relocation work.

References:

- Ontario Electrical Safety Code, latest edition (Clearance of Conductors from Buildings)
- Ontario Health and Safety Act, latest edition (Construction Protection)
- Ontario Building Code, latest edition (Clearance to Buildings)
- PowerStream (Construction Standard 03-1, 03-4), attached
- Canadian Standards Association, latest edition (Basic Clearances)

If more information is required, please contact either of the following:

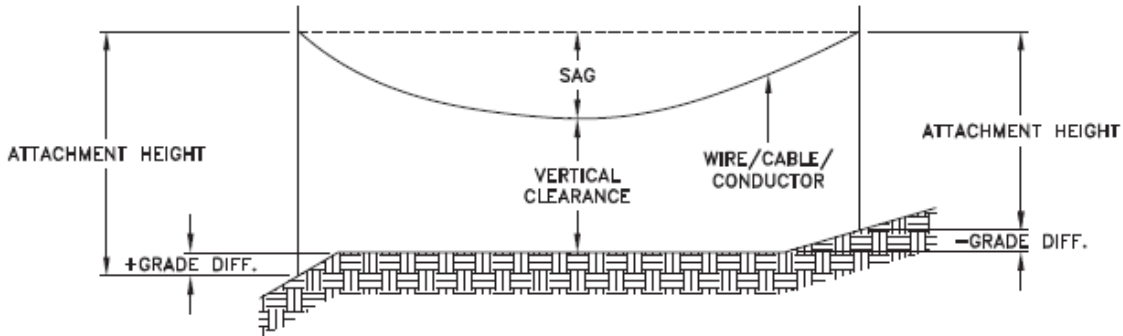
Mr. Stephen Cranley, C.E.T
Supervisor, Distribution Design, ICI & Layouts (North)
Phone: 1-877-963-6900 ext. 31297

E-mail: stephen.cranley@alectrautilities.com

Mitchell Penner
Supervisor, Distribution Design-Subdivisions
Phone: 416-302-6215

Email: Mitchell.Penner@alectrautilities.com

LOCATION OF WIRES, CABLES OR CONDUCTORS	SYSTEM VOLTAGE			
	SPAN GUYS AND COMMUNICATIONS WIRES	UP TO 600V AND NEUTRAL	4.16/2.4kV TO 27.6/16kV (SEE NOTE 1)	44kV
MINIMUM VERTICAL CLEARANCES (SEE NOTE 2)				
OVER OR ALONGSIDE ROADS, DRIVEWAYS OR LANDS ACCESSIBLE TO <u>VEHICLES</u>	442cm	442cm	480cm	520cm
OVER GROUND ACCESSIBLE TO <u>PEDESTRIANS AND BICYCLES ONLY</u>	250cm	310cm	340cm	370cm
ABOVE TOP OF RAIL AT <u>RAILWAY CROSSINGS</u>	730cm	730cm	760cm	810cm



MINIMUM ATTACHMENT HEIGHT = MAXIMUM SAG
 + MINIMUM VERTICAL CLEARANCE (FROM ABOVE TABLE)
 ± GRADE DIFFERENCE
 + 0.3m (VEHICLE OR RAILWAY LOCATION)
 + SNOW DEPTH (PEDESTRIAN LOCATION, SEE NOTE 3)

NOTES:

1. THE MULTIGROUNDED SYSTEM NEUTRAL HAS THE SAME CLEARANCE AS THE 600V SYSTEM.
2. THE VERTICAL CLEARANCES IN THE ABOVE TABLE ARE UNDER MAXIMUM SAG CONDITIONS.
3. REFER TO CSA STANDARD C22.3 No.1, ANNEX D FOR LOCAL SNOW DEPTH VALUES.
4. ALL CLEARANCES ARE IN ACCORDANCE TO CSA STANDARD C22.3.

CONVERSION TABLE

METRIC	IMPERIAL (APPROX)
810cm	27'-0"
760cm	25'-4"
730cm	24'-4"
520cm	17'-4"
480cm	16'-0"
442cm	15'-5"
370cm	12'-4"
340cm	11'-4"
310cm	10'-4"
250cm	8'-4"

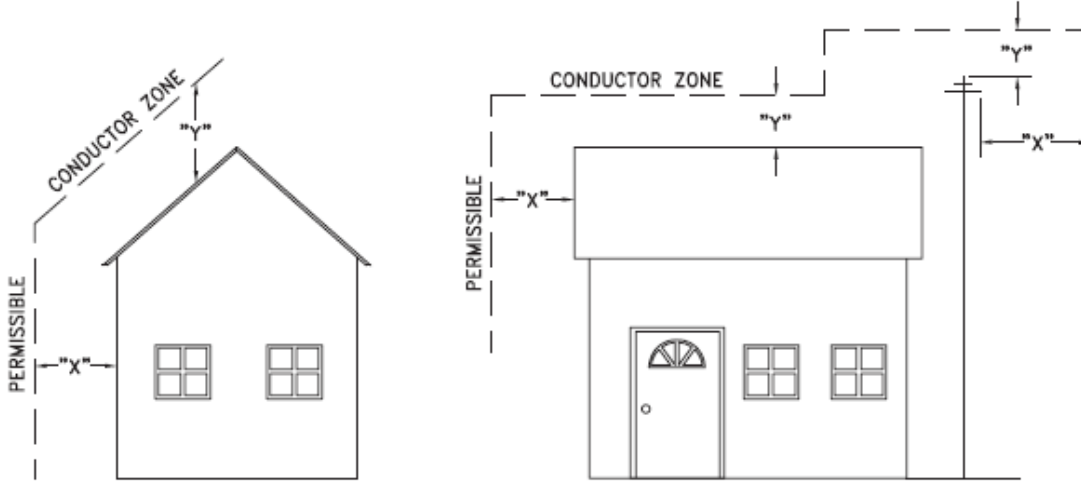
REFERENCES

SAGS AND TENSIONS | SECTION 02

MINIMUM VERTICAL CLEARANCES OF WIRES, CABLES AND CONDUCTORS ABOVE GROUND OR RAILS

ORIGINAL ISSUE DATE: 2010-DEC-24 REVISION NO: R1 REVISION DATE: 2012-JAN-09

Certificate of Approval	
This construction Standard meets the safety requirements of Section 4 of Regulation 22/04	
Joe Crozier, P.Eng.	2012-JAN-09
Name	Date
P.Eng. Approval By:	Joe Crozier



VOLTAGE	MINIMUM HORIZONTAL CLEARANCE UNDER MAXIMUM SWING CONDITIONS DIMENSION "X" (SEE NOTES 1, 3 & 4)	MINIMUM VERTICAL CLEARANCE UNDER MAXIMUM DESIGN SAG CONDITIONS DIMENSION "Y" (SEE NOTES 1, 2, 4 & 5)
0-600V AND NEUTRAL	100cm	250cm
4.16/2.4 TO 44kV	300cm	480cm

NOTES

1. UNDER NO CIRCUMSTANCES SHALL A CONDUCTOR BE PERMITTED TO PENETRATE THE ENVELOPE SHOWN BY THE DOTTED LINE.
2. THE VERTICAL CLEARANCES ARE UNDER CONDITIONS OF MAXIMUM DESIGN SAG.
3. THE HORIZONTAL CLEARANCES ARE UNDER CONDITIONS OF MAXIMUM SWING. WHERE THE CONDUCTOR SWING IS NOT KNOWN A HORIZONTAL CLEARANCE OF 480CM SHALL BE USED.
4. BUILDINGS THAT EXCEED 3 STOREYS OR 15M IN HEIGHT, THE MINIMUM HORIZONTAL CLEARANCE OF THE SECONDARY CONDUCTORS SHOULD BE INCREASED TO 300cm WHERE IT IS NECESSARY TO ALLOW FOR THE RAISING OF LADDERS BY LOCAL FIRE DEPARTMENTS.
5. IN SITUATIONS SUCH AS MULTI-LEVEL GARAGES, WHERE ROOFS ARE NORMALLY USED BY PERSONS AND VEHICLES, THE VERTICAL CLEARANCES OF POWERSTREAM STANDARD 03-1 SHALL APPLY.
6. DISTRIBUTION LINES CONSTRUCTED NEAR BUILDINGS SHALL BE BUILT TO AVOID OVERHANG WHEREVER POSSIBLE. WHERE LINES MUST BE CONSTRUCTED OVER OR ADJACENT TO BUILDINGS THE APPLICABLE HORIZONTAL AND VERTICAL CLEARANCES SHALL BE AT CONDITIONS OF MAXIMUM CONDUCTOR SWING AND MAXIMUM SAG. THE ABOVE CLEARANCES ARE DESIGNED TO PREVENT PERSONS ON OR IN BUILDINGS AS WELL AS EXTERNAL MACHINERY USED IN CONJUNCTION WITH A BUILDING TO COME IN CONTACT WITH CONDUCTORS. EFFORTS SHOULD BE MADE TO INCREASE THESE CLEARANCES WHERE POSSIBLE.
7. ALL CLEARANCES ARE IN ACCORDANCE TO CSA C22.3 NO.1-06 (TABLE-9).

METRIC	IMPERIAL (APPROX)
480cm	16'-0"
300cm	10'-0"
250cm	8'-4"
100cm	3'-4"

MINIMUM VERTICAL & HORIZONTAL CLEARANCES OF CONDUCTORS FROM BUILDINGS OR OTHER PERMANENT STRUCTURES (CONDUCTORS NOT ATTACHED TO BUILDINGS)

Certificate of Approval
This construction Standard meets the safety requirements of Section 4 of Regulation 22/04
Debbie Dadwani, P.Eng. 2010-MAY-05
Name Date
P. Eng. Approval By: *D. Dadwani*

ORIGINAL ISSUE DATE: 2010-MAY-05 REVISION NO: REVISION DATE:
PS:\System Planning and Standards\Standard Design\PowerStream Standards\PowerStream Standards working files\Section 3-1-02\WG 03-4 R0 May 5, 2010.dwg, 5/5/2010 10:22:02 AM, Adobe PDF

To: Committee of Adjustment
From: Sean Fitzpatrick, Building Standards Department
Date: July 16, 2024
Applicant: Ian Robertson Design
Location: 11 Fairlea Avenue
PLAN RP3765 Lot 81
File No.(s): A069/24

Zoning Classification:

The subject lands are zoned R1E (EN) First Density Residential Zone and subject to the provisions of Exception 14.403 under Zoning By-law 001-2021, as amended.

#	Zoning By-law 01-2021	Variance requested
1	Where a lot in a Residential Zone is subject to the zone suffix “-EN” as shown on Schedule A, the maximum building height shall be the existing building height plus 3.0 m, but in no case shall the maximum building height requirement be less than 8.5 m. [4.5 #1. b.]	To permit a maximum building height of 10.41 metres.
2	The required minimum exterior side yard shall be 9.0 metres. [14.403 #2. b. & 7.2.2 Table 7 – 3]	To permit a minimum exterior side yard of 5.36 metres.
3	The permitted maximum lot coverage shall not exceed 20% of the lot area. [7.2.2 Table 7 – 3]	To permit a maximum lot coverage of 25.18%.
4	In R1E Zones the maximum cumulative width of both accesses to a circular driveway, as measured at the street line, shall be 9.0 m.	To permit a maximum cumulative width of both accesses to the circular drive of 9.66 metres as measured at the street line.

Staff Comments:

Stop Work Order(s) and Order(s) to Comply:

There are no outstanding Orders on file

Building Permit(s) Issued:

A Building Permit has not been issued.

Other Comments:

General Comments	
1	The applicant shall be advised that additional variances may be required upon review of detailed drawing for building permit/site plan approval.
2	Maximum building height was determined to be 8.5 metres as per the Established Neighbourhood provisions Section 4.5 of zoning by-law 001 – 2021 as amended. The maximum building height shall be the existing building height (5.45 metres) plus 3.0 metres.

Conditions of Approval:

If the committee finds merit in the application, the following conditions of approval are recommended.

* Comments are based on the review of documentation supplied with this application.

Lenore Providence

Subject: FW: [External] RE: A069/24 - 11 Fairlea Ave - REQUEST FOR COMMENTS, CITY OF VAUGHAN

From: Cameron McDonald <Cameron.McDonald@trca.ca>
Sent: Tuesday, June 11, 2024 3:25 PM
To: Committee of Adjustment <CofA@vaughan.ca>
Subject: [External] RE: A069/24 - 11 Fairlea Ave - REQUEST FOR COMMENTS, CITY OF VAUGHAN

CAUTION! This is an external email. Verify the sender's email address and carefully examine any links or attachments before clicking. If you believe this may be a phishing email, please use the Phish Alert Button.

Good afternoon,

Based on a review of our screening mapping, I can confirm that the subject property is not located within TRCA's Regulated Area. As such, any site alteration or development on the property would not require a permit from TRCA.

Based on the above, we have no comments/requirements.

Regards,

Cameron McDonald
Planner I
Development Planning and Permits | Development and Engineering Services

T: [\(437\) 880-1925](tel:4378801925)
E: cameron.mcdonald@trca.ca
A: [101 Exchange Avenue, Vaughan, ON, L4K 5R6](https://www.trca.ca) | [trca.ca](https://www.trca.ca)



Lenore Providence

Subject: A069/24 - 11 Fairlea Ave - REQUEST FOR COMMENTS, CITY OF VAUGHAN

From: Development Services <developmentsservices@york.ca>
Sent: Wednesday, June 19, 2024 3:29 PM
To: Lenore Providence <Lenore.Providence@vaughan.ca>
Cc: Committee of Adjustment <CofA@vaughan.ca>
Subject: [External] RE: A069/24 - 11 Fairlea Ave - REQUEST FOR COMMENTS, CITY OF VAUGHAN

CAUTION! This is an external email. Verify the sender's email address and carefully examine any links or attachments before clicking. If you believe this may be a phishing email, please use the Phish Alert Button.

Hi Lenore,

The Regional Municipality of York has completed its review of the minor variance application – A069/24 (11 Fairlea Ave) and has no comment.

Please provide us with a digital copy of the notice of decision for our records.

Many thanks,

Our working hours may be different. Please do not feel obligated to reply outside of your scheduled working hours. Let's work together to help foster healthy work-life boundaries.

Niranjan Rajevan, M.Pl. | Associate Planner, Development Services, Planning and Economic Development, Corporate Services

The Regional Municipality of York | 17250 Yonge Street | Newmarket, ON L3Y 6Z1
1-877-464-9675 ext. 71521 | niranjan.rajevan@york.ca | www.york.ca
Our Values: Integrity, Commitment, Accountability, Respect, Excellence



Our Mission: **Working together to serve our thriving communities – today and tomorrow**

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SCHEDULE C: PUBLIC & APPLICANT CORRESPONDENCE

None

SCHEDULE D: BACKGROUND

None