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By Christine Vigneault at 2:15 pm, Jul 29, 2024

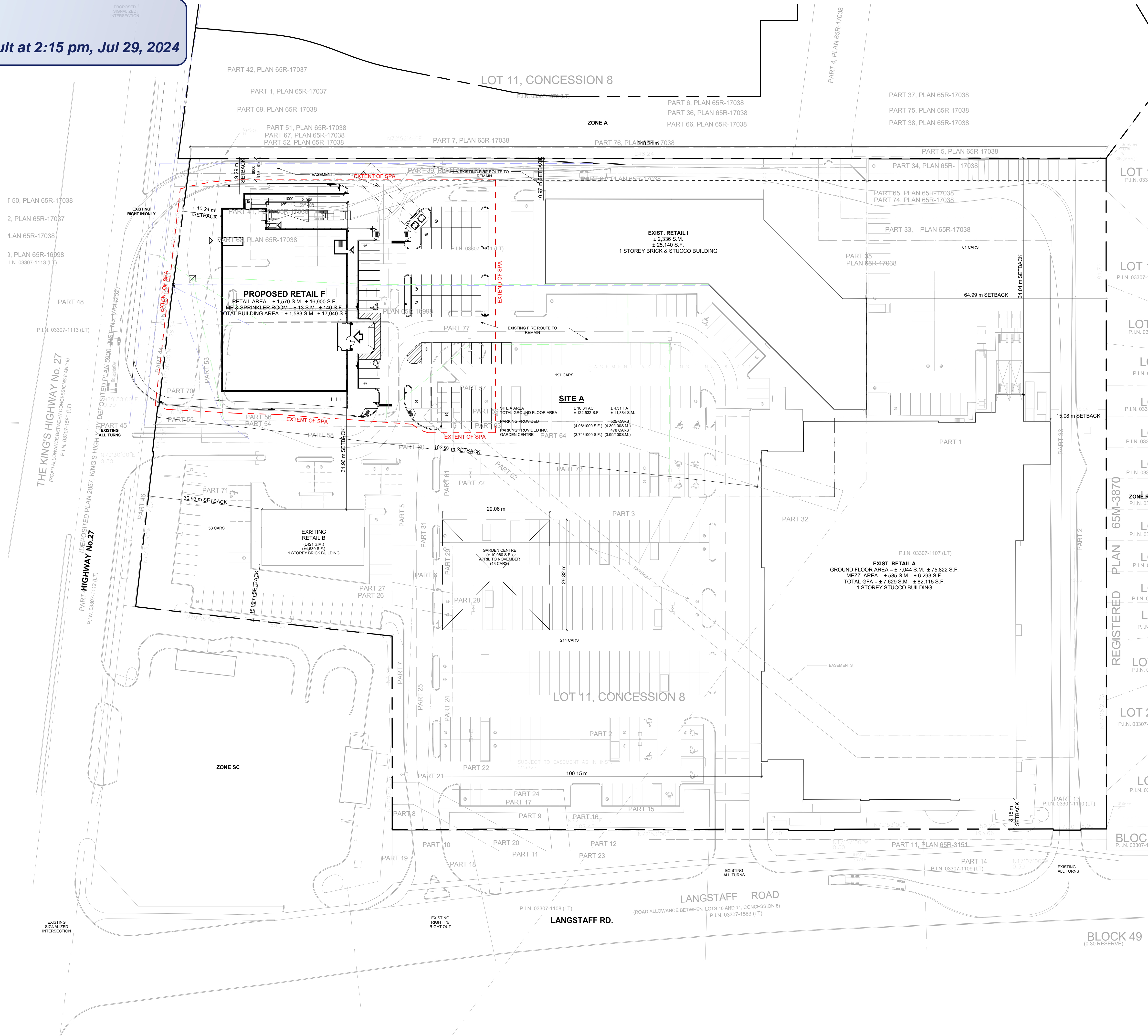
TURNER FLEISCHER

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The issue of this master drawing is a representation by Turner Fleischer Architects Inc. that the construction, arrangement and placement of the site shown, including its general location, is in accordance with the zoning bylaws and the applicable laws of the City of Toronto. The site shown is not intended to be used for any other purpose than that shown and the user of this drawing is responsible for the accuracy of the information provided by the City of Toronto. We warrant that the information provided by the City of Toronto is accurate and complete as of the date of the issue of this drawing. We warrant that the information provided by the City of Toronto is accurate and complete as of the date of the issue of this drawing.

SITE PLAN LEGEND

- PROPOSED ENTRANCE
PROPOSED EXIT
EXISTING FIRE HYDRANT
PROPOSED SIAMENSE CONNECTION
PROPOSED SIGN
PROPOSED FIRE & TRUCK ROUTE (HEAVY DUTY ASPHALT)
PROPOSED CONCRETE SIDEWALK
PROPOSED LANDSCAPING
PROPOSED PAINTED LINES
PROPOSED CONCRETE PAD
UNDERGROUND BELL LINE
UNDERGROUND ELECTRICAL LINE



Revision table with columns: #, DATE, DESCRIPTION, BY. Includes entries for 2024-07-12, 2024-07-08, 2024-06-27, 2024-06-03, and 2024-05-21.

Choice Properties

PROJECT: SDM - LANGSTAFF & HWY 27

VAUGHAN, ON

OVERALL SITE PLAN

Project metadata table: PROJECT NO. 02.152P01, PROJECT DATE 2024-02-20, DRAWN BY Author, CHECKED BY JJJ, SCALE 1:500.



DRAWING NO. A100

2024-07-23 10:14:46 AM

The issue of this master drawing is a representation by Turner Fleischer Architects Inc. that the construction, engineering or other professional services shown on this drawing are intended to be provided in accordance with the design professional's professional liability insurance policy. The client shall be responsible for the accuracy of the information provided to the design professional. The design professional shall not be held responsible for the accuracy of the information provided to the design professional. The design professional shall not be held responsible for the accuracy of the information provided to the design professional.

SITE PLAN LEGEND

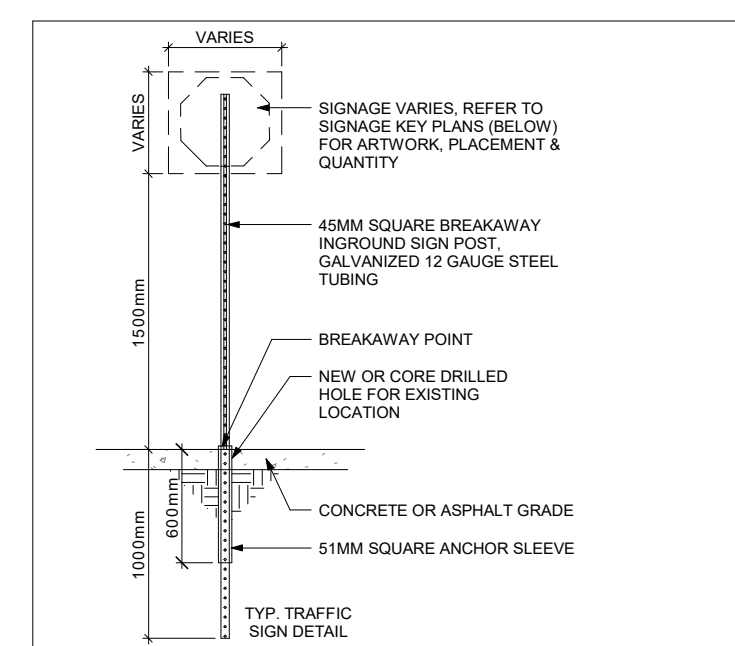
- PROPOSED ENTRANCE
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STATISTICS

SITE A AREA	±10.64 ACRES	±4.31 HA.
FUTURE DEVELOPMENT A AREA	±2.19 ACRES	±0.89 HA.
FUTURE DEVELOPMENT B AREA	±5.96 ACRES	±2.41 HA.
TOTAL SITE AREA	±18.79 ACRES	±7.60 HA.
EXISTING RETAIL A AREA	±82,115 S.F.	±7,629 S.M.
GROUND FLOOR AREA	±75,822 S.F.	±7,044 S.M.
MEZZANINE AREA	±6,293 S.F.	±585 S.M.
EXISTING RETAIL B AREA	±4,530 S.F.	±421 S.M.
EXISTING RETAIL I AREA	±25,140 S.F.	±2,336 S.M.
PROPOSED RETAIL F AREA	±17,040 S.F.	±1,583 S.M.
TOTAL RETAIL AREA	±128,825 S.F.	±11,968 S.M.
TOTAL GROUND FLOOR AREA	±122,532 S.F.	±11,384 S.M.
PARKING PROVIDED (N.I.C. GARDEN CENTRE)	525 CARS	4.39/100 S.M.
PARKING PROVIDED (INC GARDEN CENTRE)	478 CARS	3.99/100 S.M.
COVERAGE (SITE A)	26.44%	

ZONING CHART

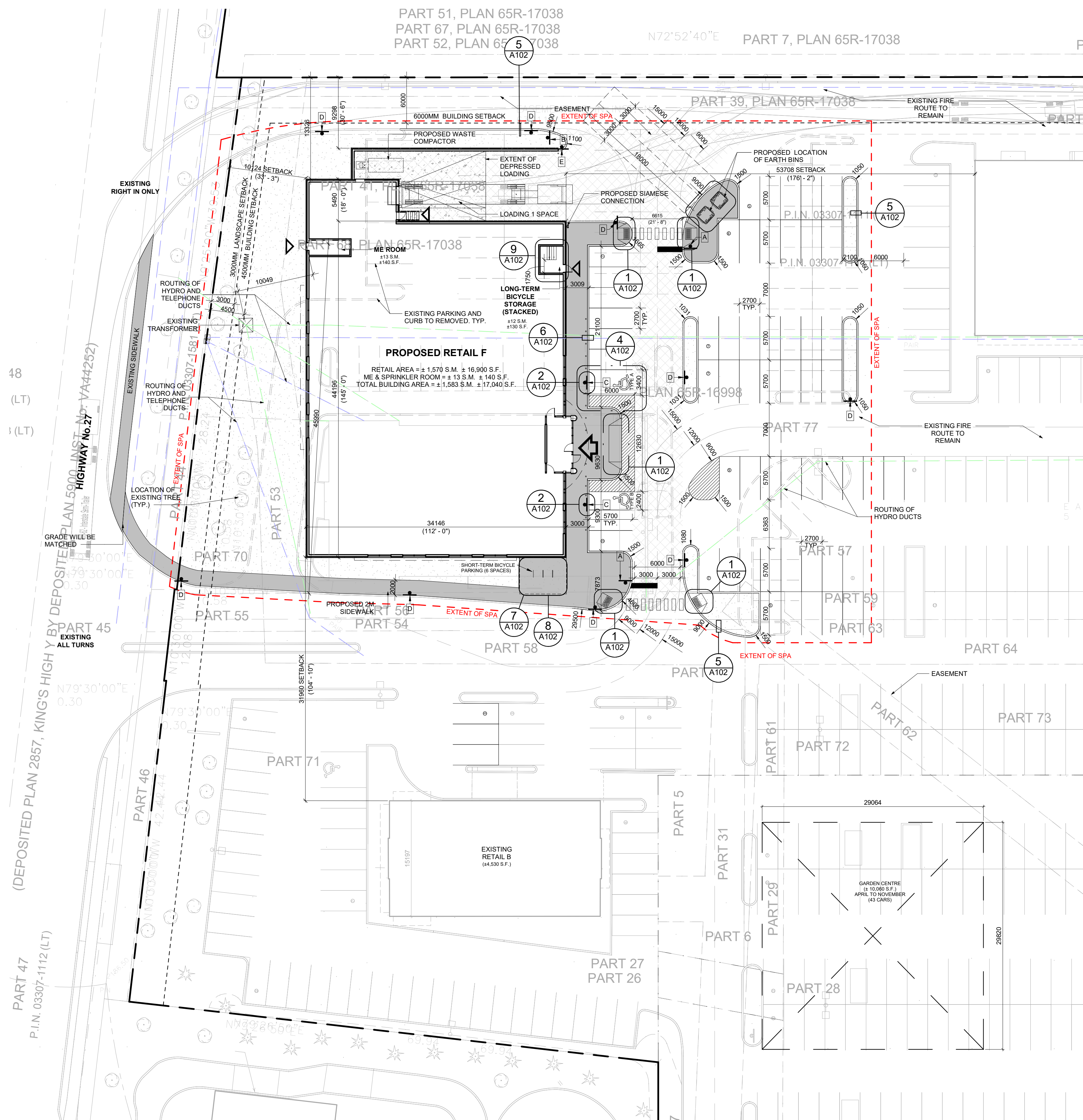
ZONE: NC (NEIGHBOURHOOD COMMERCIAL) PROVISION	REQUIRED	PROVIDED
MAXIMUM LOT AREA	±25,000 S.M.	±43,051 S.M.
MINIMUM SETBACKS - BUILDING F		
FRONT	11.0M	10.24M
INTERIOR SIDE (ABUT. "A" ZONE)	6.0M	9.29M
INTERIOR SIDE (TO BUILDING B)	7.5M	31.96M
REAR (TO BUILDING I)	7.5M	53.70M
EXTERIOR SIDE (ABUT. LANGSTAFF RD.)	6.0M	N/A
MAXIMUM LOT COVERAGE	33%	26.44%
MAXIMUM BUILDING HEIGHT	11M	7M
MAXIMUM GROSS FLOOR AREA*	±11,873 S.M.*	±11,384 S.M.
MINIMUM LANDSCAPE AREA	10%	12%
		±5,347 S.M.
LANDSCAPING SETBACK		
ABUTTING OPEN SPACE/RES.	2.4M	N/A
ABUTTING STREET	3.0M	9.0M
PARKING REQUIRED* (N.I.C. GARDEN CENTRE)	481 CARS*	525 CARS
PARKING REQUIRED* (INC GARDEN CENTRE)	481 CARS*	478 CARS
BARRIER FREE PARKING - BUILDING F		
TYPE A (3.4 M X 5.7 M)	1 SPACE	1 SPACE
TYPE B (2.4 M X 5.7 M)	1 SPACE	1 SPACE
BARRIER FREE ACCESS AISLE W	1.5 M	
TOTAL OVERALL BARRIER FREE PARKING (2+2% OF TOTAL PROVIDED PARKING SPACES FOR 200-1,000 SPACES)	10 + 2 SPACES	16 SPACES
MINIMUM AISLE	6.0M	6.0M
MINIMUM LOADING SPACE		
501-2500 SQ.M	1 SPACE	3 SPACES
2501-10,000 SQ.M	2 SPACES	
ABOVE 10,000 SQ.M	2+1/10,000S.M.	
BICYCLE PARKING - SHORT TERM	3 SPACES	6 SPACES
BICYCLE PARKING - LONG TERM	1 SPACE	4 SPACES
REQUIRED PER MINOR VARIANCE: *LOADING FACILITIES FOR THE SUBJECT LANDS SHALL BE PERMITTED IN THE AREAS SHOWN AS "LOADING AREA" ON SCHEDULE E-833 TO EXCEPTION...		
* INDICATES APPROVED MINOR VARIANCES PER APPLICATION A353/17		



SYMBOL	SIGN	DESCRIPTION
A		"STOP" SIGN R-19 (600x600mm) WHITE REFL. LEGEND & BORDER, RED REFL. BACKGROUND
B		"DO NOT ENTER" SIGN R-19 (600x600mm) RED REFL. LEGEND, BLACK BORDER, WHITE REFL. BACKGROUND
C		"ACCESSIBLE PARKING PERMIT" SIGN R-93 (500x450mm) RED REFL. INTERDICTIONARY SYMBOL, BLUE REFL. SYMBOL OF ACCESS & SYMBOL BORDER, BLACK SYMBOL, LEGEND & BORDER, WHITE REFL. BACKGROUND
D		"FIRE ROUTE" SIGN (300x450mm) RED REFL. INTERDICTIONARY SYMBOL, BLACK SYMBOL, WHITE REFL. "FIRE ROUTE" ON BLACK BACKGROUND, BLACK LEGEND & BORDER, WHITE REFL. BACKGROUND
E		"LOADING ZONE" SIGN (300x450mm) RED REFL. INTERDICTIONARY SYMBOL, BLACK SYMBOL, LEGEND & BORDER, WHITE REFL. BACKGROUND



CONTEXT SITE PLAN



1 ENLARGED SITE PLAN
A101 1:300

#	DATE	DESCRIPTION	BY
11	2024-07-12	ISSUED FOR SPA	JMC
10	2024-07-08	ISSUED FOR REVIEW	MHB
9	2024-06-27	ISSUED FOR SPA	MHB
8	2024-06-03	ISSUED FOR COORDINATION	MHB
7	2024-05-21	ISSUED FOR COORDINATION	MHB

Choice Properties

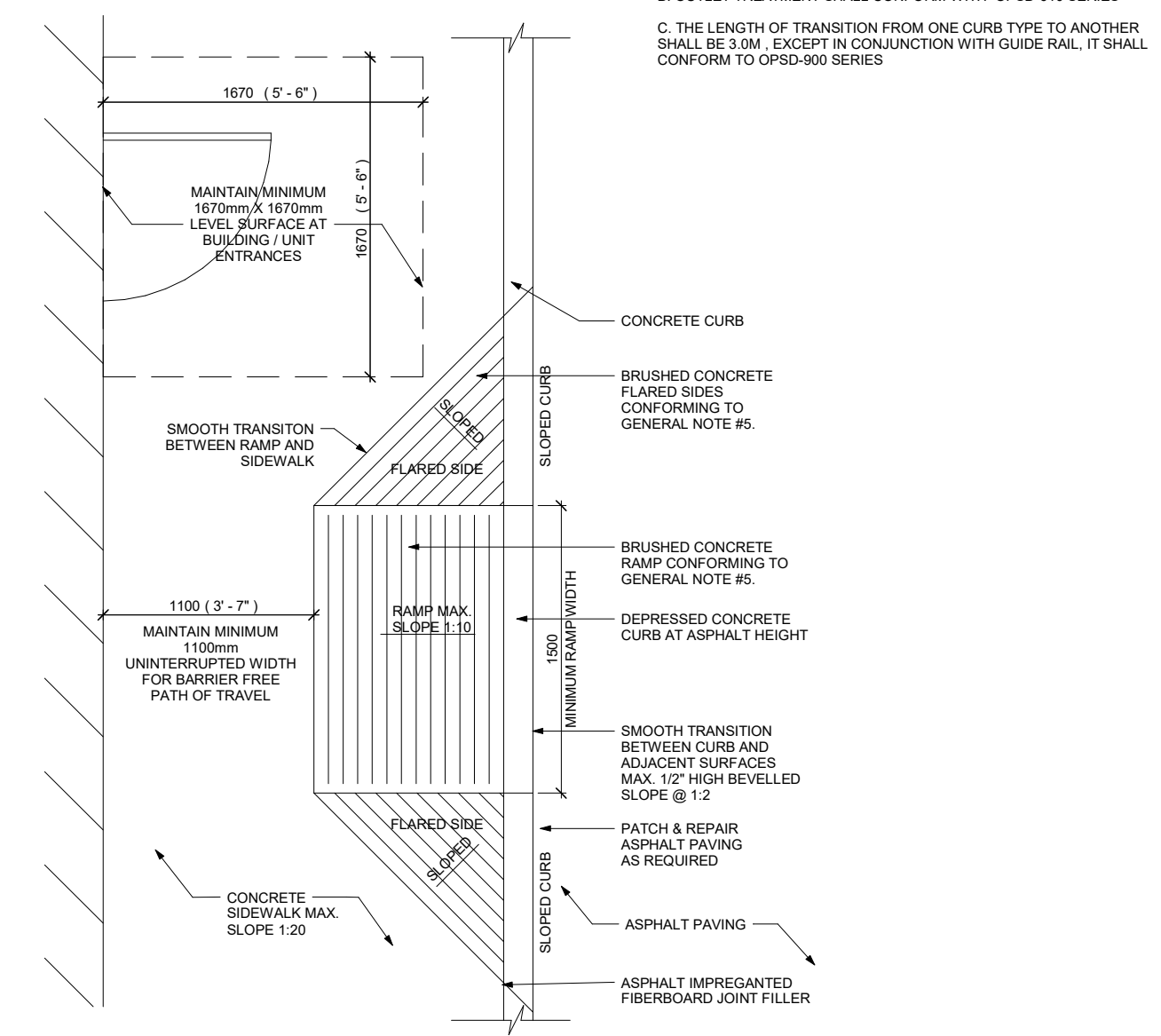
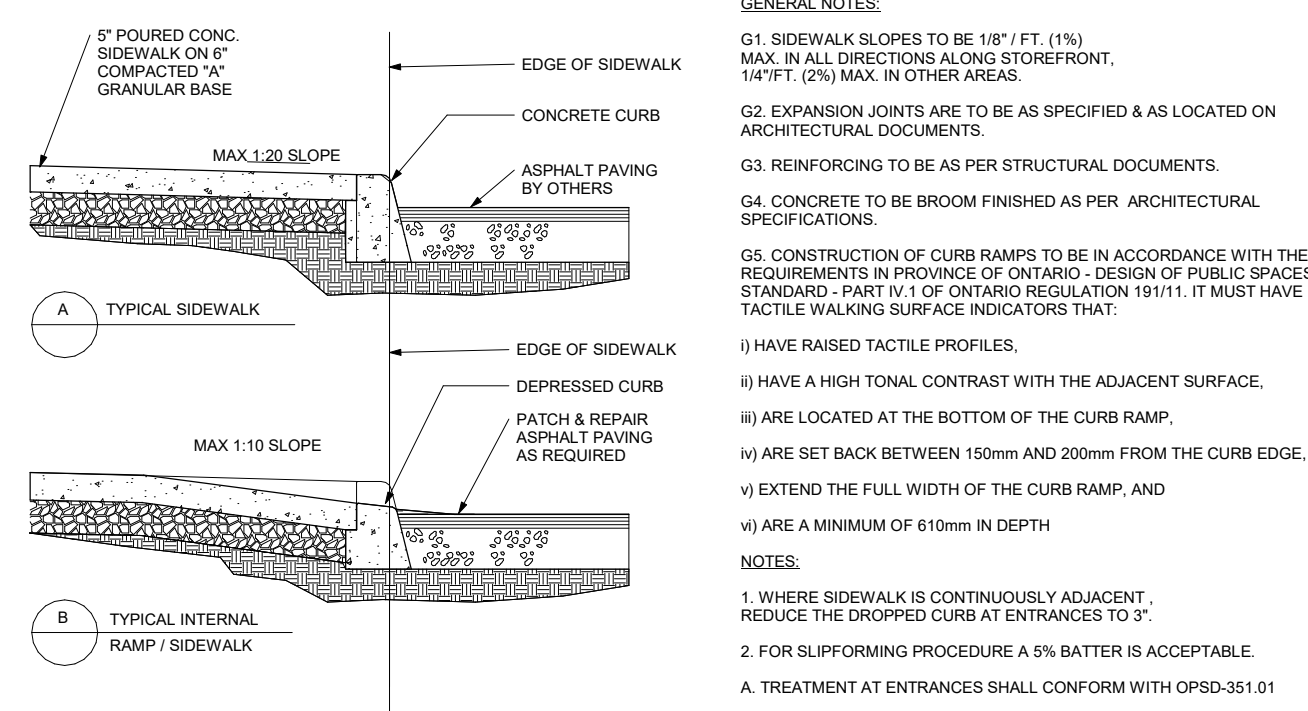
PROJECT
SDM - LANGSTAFF & HWY 27
VAUGHAN, ON

DRAWING
ENLARGED SITE PLAN

PROJECT NO. 02.152P01
PROJECT DATE 2024-02-20
DRAWN BY MHB
CHECKED BY JJJ
SCALE As indicated
DRAWING NO. **A101**

The issue of this report drawing is a representation by Turner Fleischer Architects Inc. that the construction, arrangement or placement of the items shown is intended to comply with the applicable codes and standards. The client is responsible for ensuring that the items shown are installed in accordance with the applicable codes and standards. Turner Fleischer Architects Inc. shall not be held responsible for the accuracy of the information provided by the client. Turner Fleischer Architects Inc. shall not be held responsible for the accuracy or completeness of the information provided by the contractor.

Legal Description:

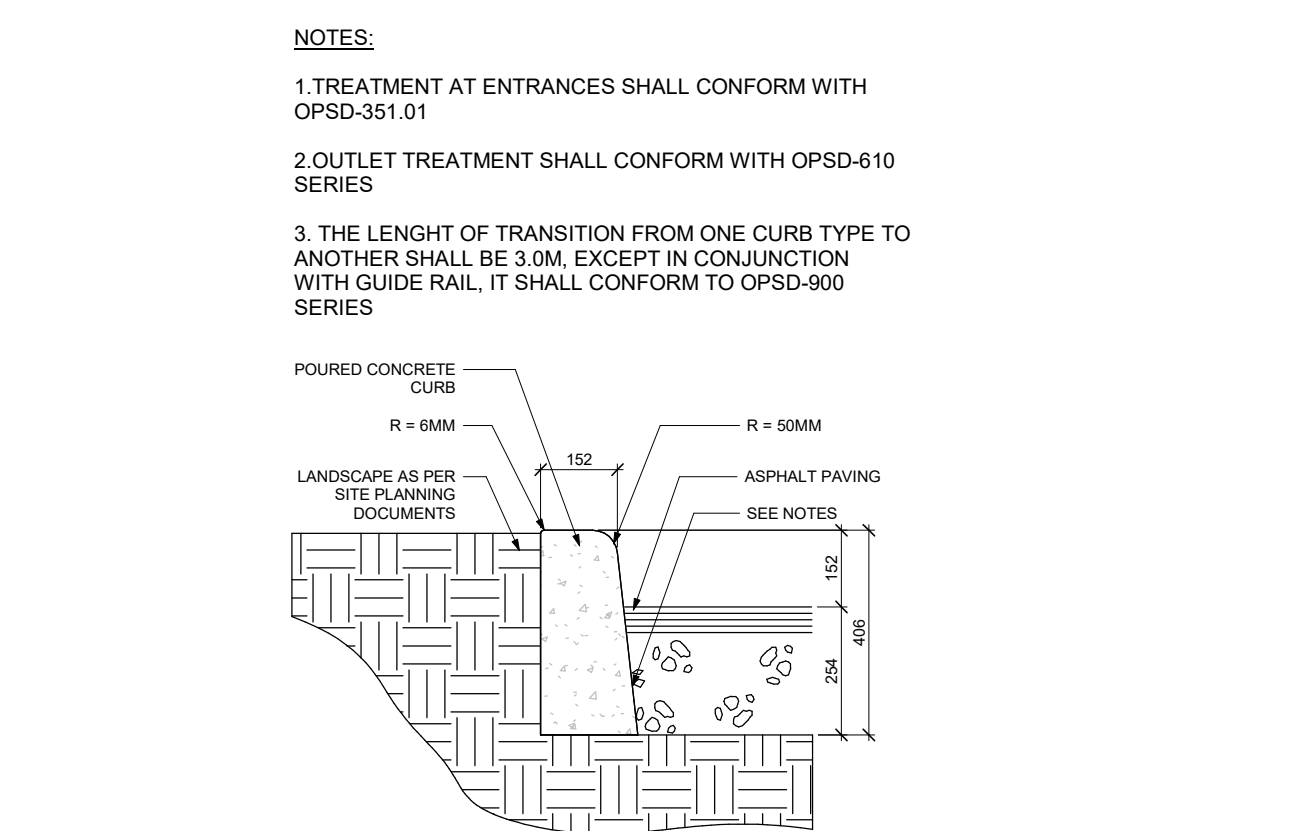
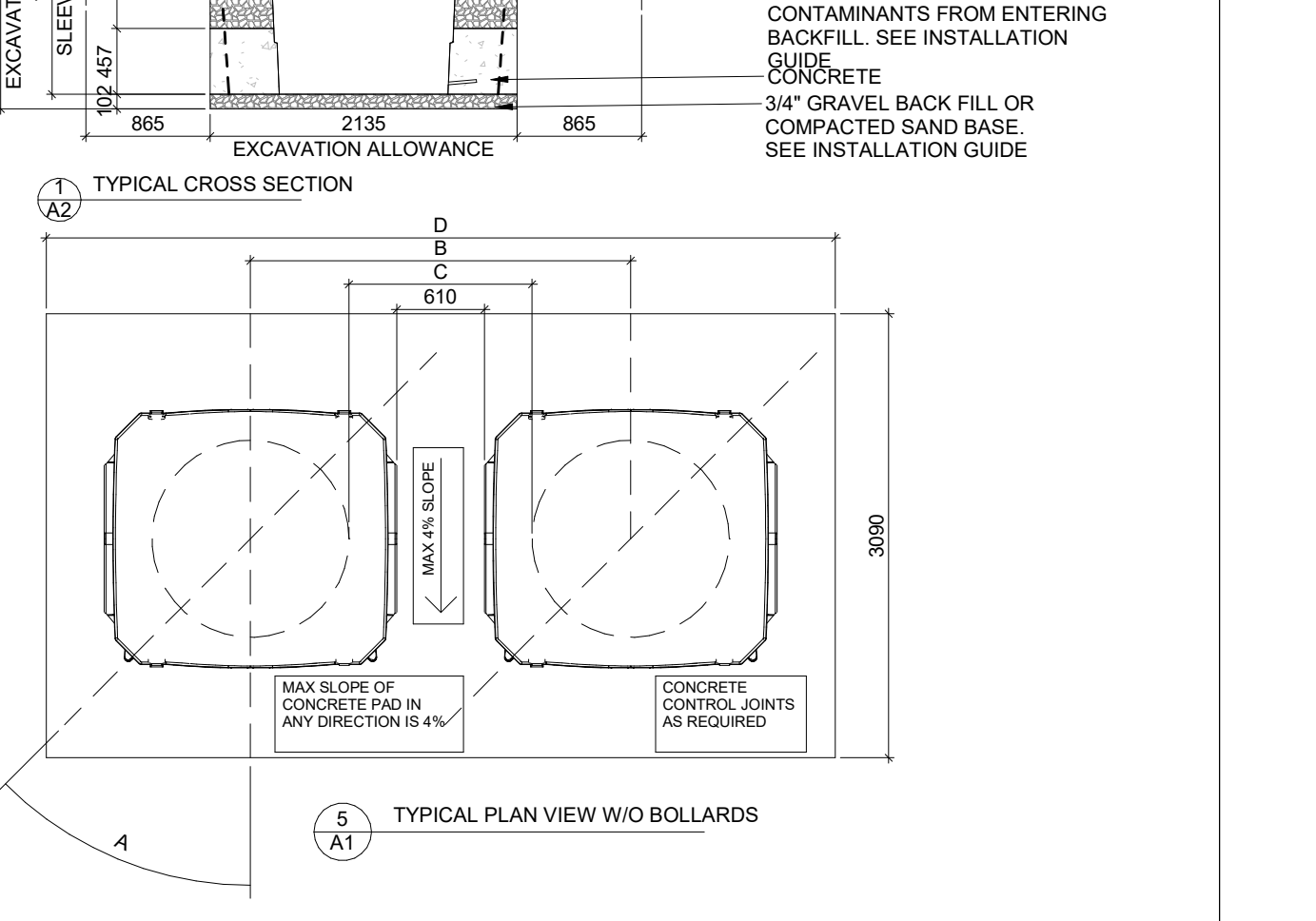


1 CURB RAMP
A102 1: 35

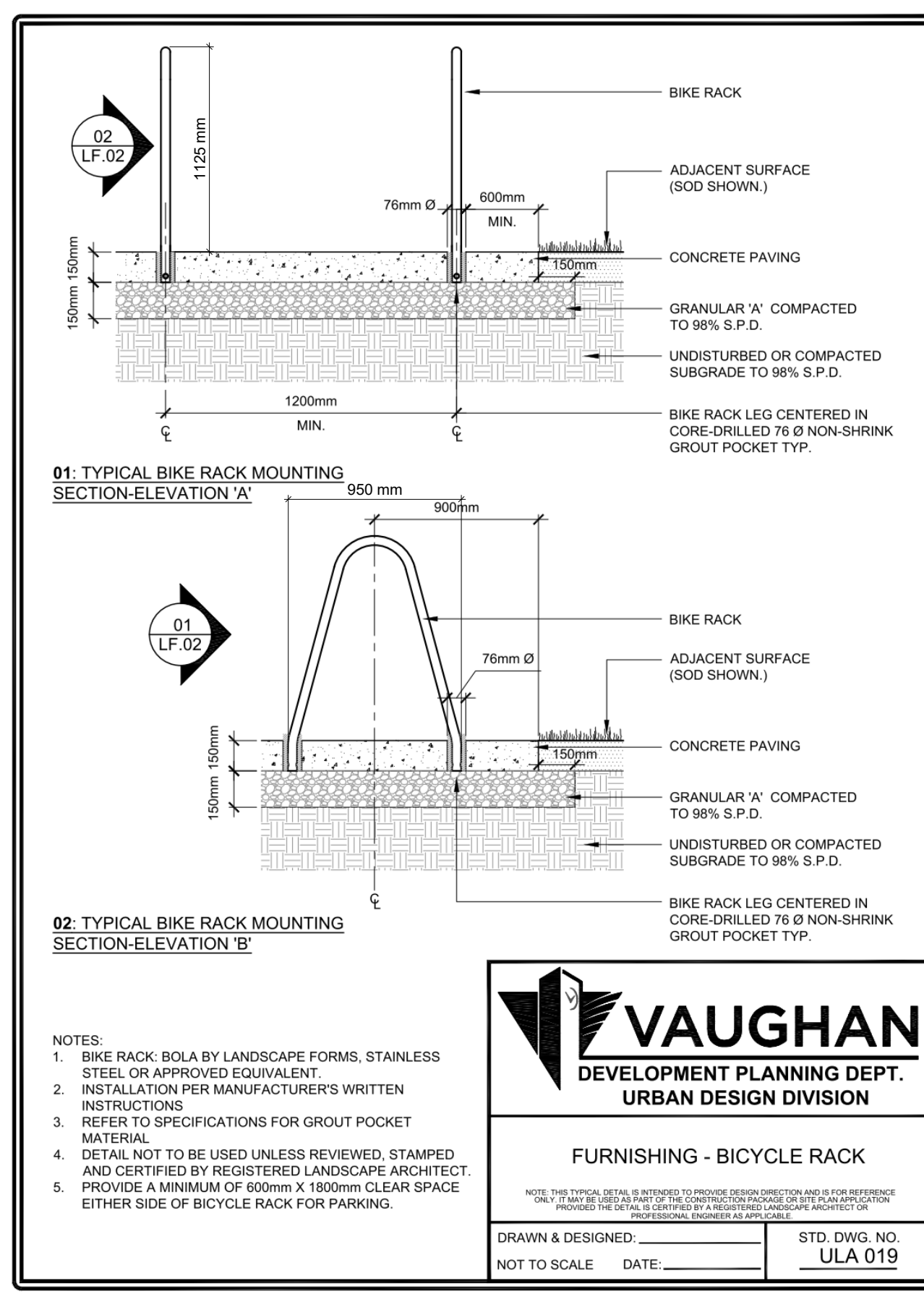
2 ACCESSIBLE SIGN WITH BOLLARD
A102 1: 20

3 EARTH BIN
A102 1: 50

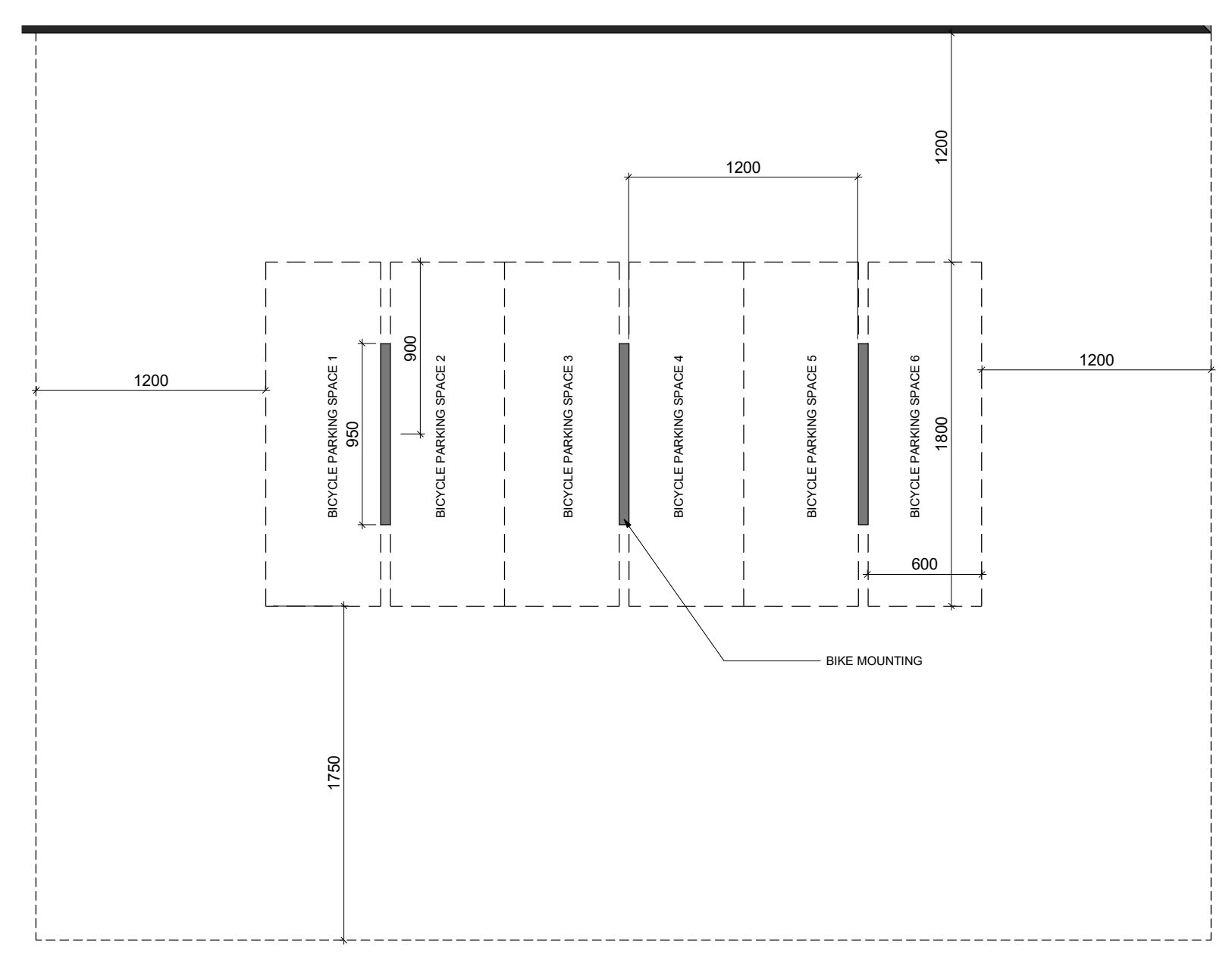
4 STANDARD PARKING DETAIL (AODA)
A102 1: 100



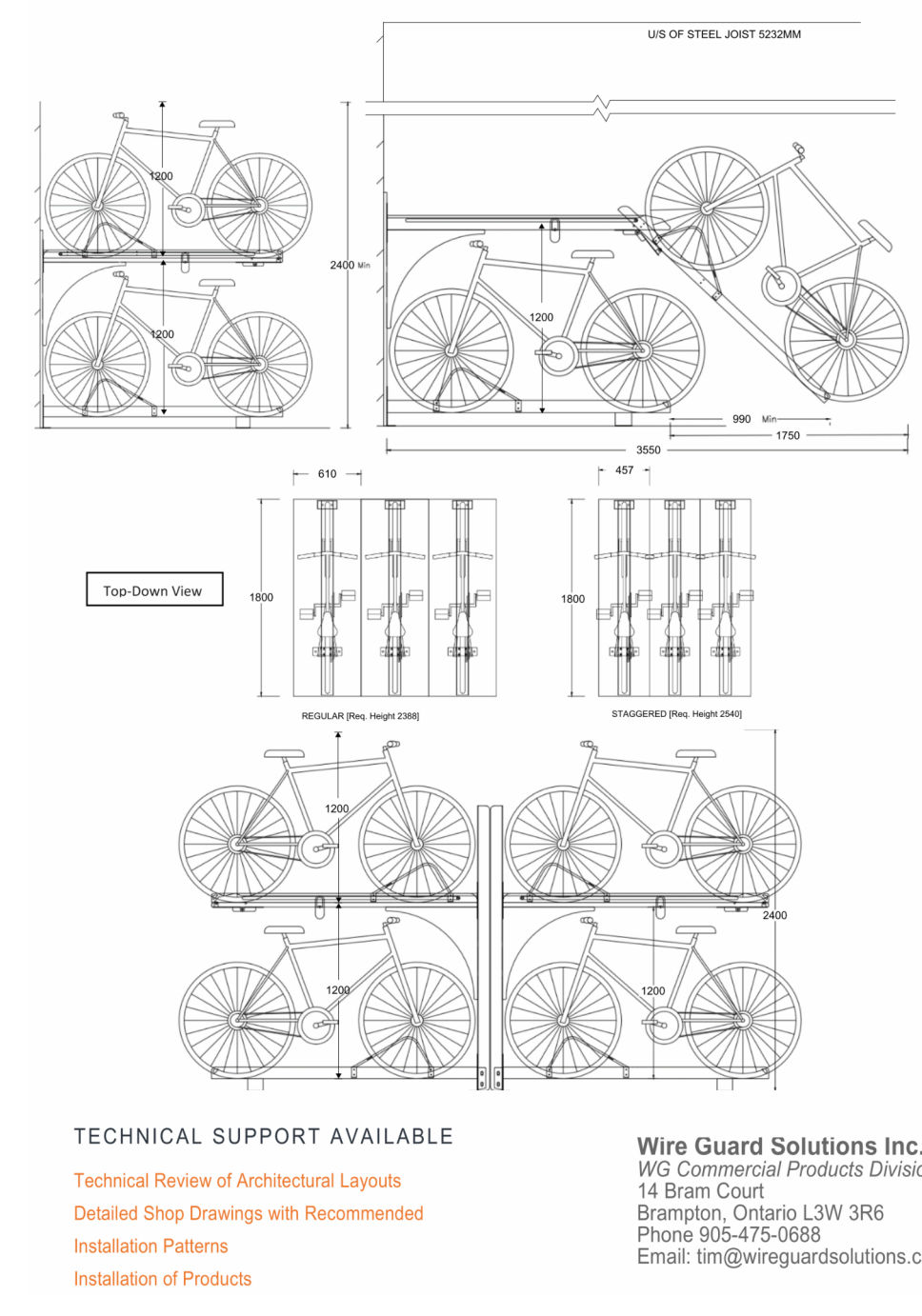
5 CONCRETE CURB SECTION
A102 1: 15



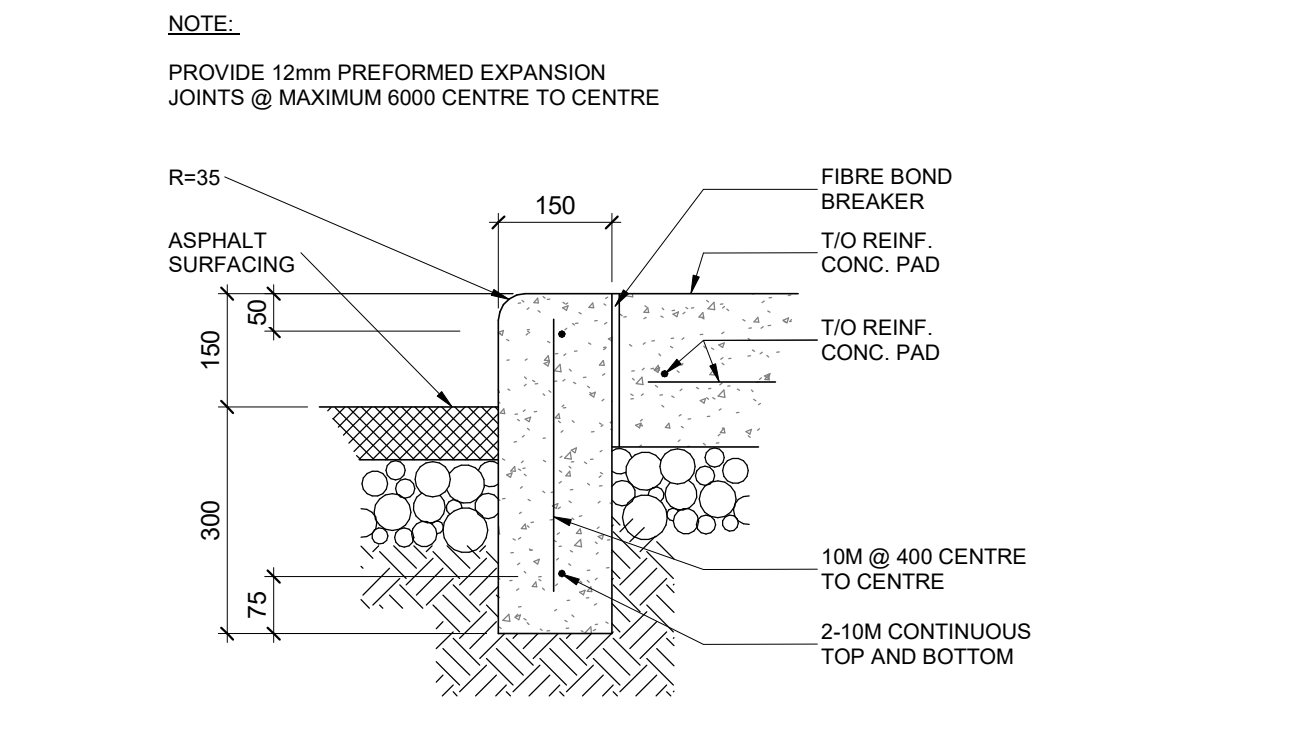
7 BICYCLE RACK DETAIL - 6 SPACES
A102 1: 30



8 BICYCLE RACK DETAIL - 6 SPACES
A102 1: 30



9 STACKED BICYCLE RACK
A102 1: 50



6 CONCRETE CURB SECTION AT SIDEWALK
A102 1: 10

#	DATE	DESCRIPTION	BY
6	2024-06-03	ISSUED FOR COORDINATION	MHB
7	2024-05-21	ISSUED FOR COORDINATION	MHB
8	2024-05-10	ISSUED FOR COORDINATION	MHB
9	2024-05-06	ISSUED FOR COORDINATION	MHB
4	2024-04-29	ISSUED FOR COORDINATION	MHB
3	2024-04-24	ISSUED FOR COORDINATION	MHB

Choice Properties

PROJECT
SDM - LANGSTAFF & HWY 27
VAUGHAN, ON

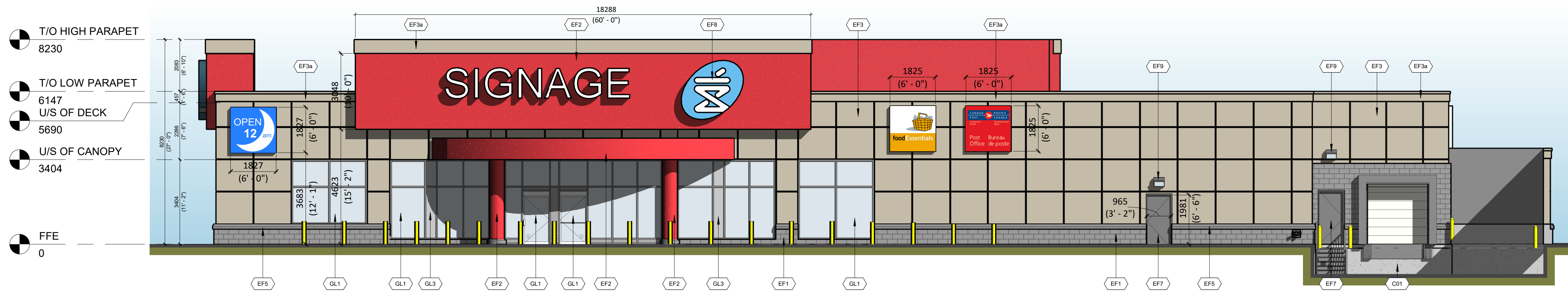
DRAWING
SITE DETAILS

PROJECT NO.
02.152P01
PROJECT DATE
2024-02-20
DRAWN BY
Author
CHECKED BY
JJJ
SCALE
As indicated

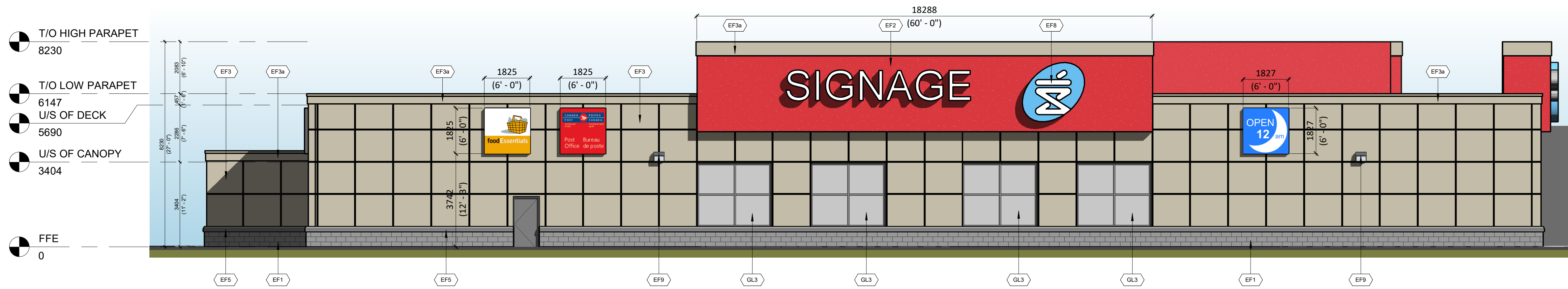


DRAWING NO.
A102

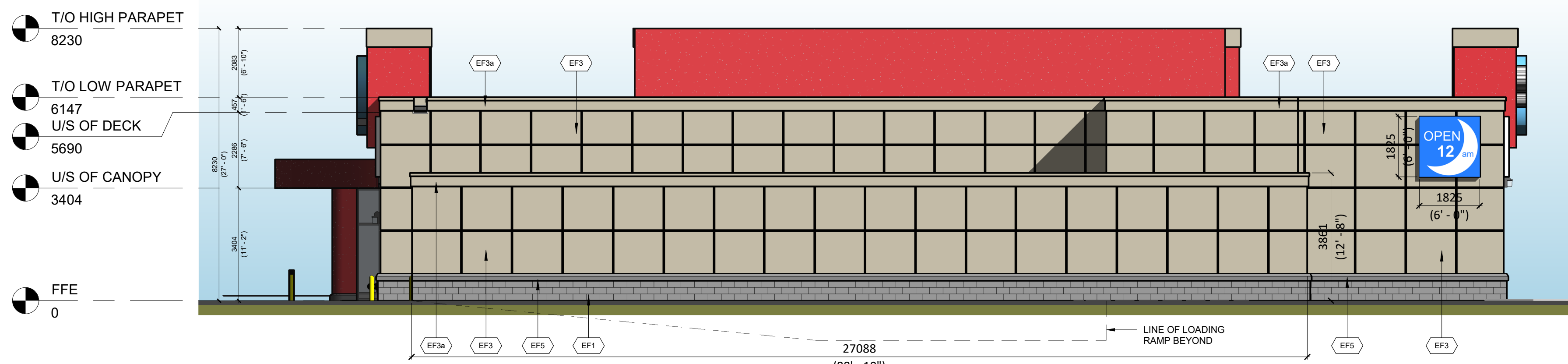
This drawing, as an instrument of service, is provided by and is the property of Turner Fleischer Architects Inc. The contractor must verify and accept responsibility for all dimensions and conditions on site and must notify Turner Fleischer Architects Inc. of any variations from the supplied information. This drawing is not to be scaled. The architect is not responsible for the accuracy of survey, structural, mechanical, electrical, etc. information shown on this drawing. Refer to the appropriate consultant drawings before proceeding with the work. Contractor must conform to all applicable codes and requirements of authority having jurisdiction. The contractor working from drawings not specifically marked 'For Construction' must assume full responsibility and bear costs for any corrections or damages resulting from his work.



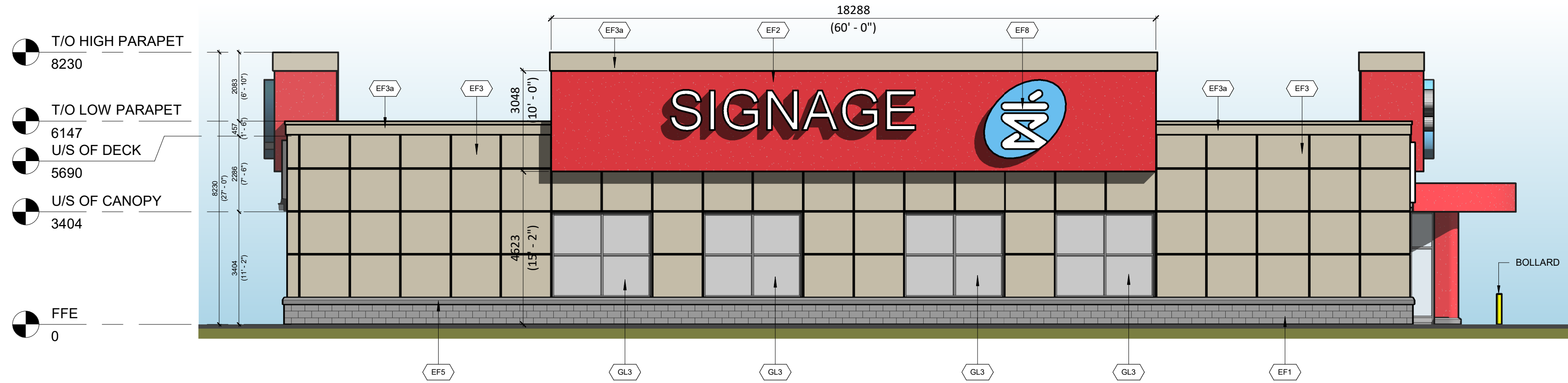
1 EAST ELEVATION
A1-3.2 1:100



2 WEST ELEVATION
A1-3.2 1:100



3 NORTH ELEVATION
A1-3.2 1:100



4 SOUTH ELEVATION
A1-3.2 1:100

NOTE: ILLUMINATED EXTERIOR SIGNAGE NOT TO EXCEED 300 NITS (SUNSET TO SUNRISE) AND 5000 NITS (SUNRISE TO SUNSET).



NOTE: ALL CLEAR GLAZING WITHIN 16M FROM GRADE WILL BE TREATED WITH VISUAL MARKERS. VISUAL MARKER MUST BE DESIGNED TO MEET THE FOLLOWING CRITERIA:
• MINIMUM DIAMETER OF 4MM
• SPACED 500MM X 500MM VERTICALLY & HORIZONTALLY

5 BIRD FRIENDLY GLAZING
A1-3.2 N.T.S.

EXTERIOR FINISH & COMPONENT SCHEDULE

MATERIAL	DESCRIPTION
CO1	EXPOSED CONCRETE FOUNDATION: TO BE MADE CLEAN AND FREE OF ANY FORMWORK MARKINGS, PARGE AND INFILL ANY HONEYCOMBS W/ CONCRETE SLURRY MIX. PROVIDE NATURAL SACK-RUBBED FINISH TO MATCH PAINTONE #430 C 'GREY'.
EF1	MASONRY BLOCK RICHVALE YORK SIZE: 3 1/2" X 7 1/2" X 16" L COLOUR: STANDARD CONCRETE BLOCK; LIGHT GREY FINISH: SMOOTH FINISH MORTAR: SOLOMON COLOURS INC - 60X WHITE/STANDARD GREY
EF2	RED EIFS SYSTEM: 'SHOPPERS 2002 RED' DRYVIT NO. SDMA-04-1000(S) (NO ALTERNATIVES WILL BE ACCEPTED) TEXTURE: SANDBLAST FINISH MAINTENANCE: DEMANDIT DSC 400 'RED'
EF3	WALL EIFS SYSTEM: 'SHOPPERS WHITE' DRYVIT NO. NA2-13-10-26-25 (NO ALTERNATIVES WILL BE ACCEPTED) TEXTURE: SANDBLAST FINISH MAINTENANCE: DEMANDIT DSC 400 'SHOPPERS WHITE'
EF3a	CORNICE EIFS SYSTEM: 'CAMBRIDGE WHITE' DRYVIT NO. NA2-13-10-26-26 (NO ALTERNATIVES WILL BE ACCEPTED) TEXTURE: SANDBLAST FINISH MAINTENANCE: DEMANDIT DSC 400 'CAMBRIDGE WHITE'
EF5	8" PRECAST CONCRETE SILL COLOUR: NATURAL FINISH PROFILE: REFER TO SILL SCHEDULE
EF7	H.M. DOORS AND FRAMES PREFINISHED HOLLOW METAL DOORS AND FRAMES PAINT CHARCOAL
EF8	SIGNAGE PROVIDE 3/4" EXTERIOR GRADE FIRE RETARDANT PLYWOOD BACKING BEHIND WALL SYSTEM FINISH LIGHT FIXTURE (REAR) REFER TO ELEC. DWGS
EF9	WALL PACK PROVIDE 3/4" EXTERIOR GRADE FIRE RETARDANT PLYWOOD BACKING BEHIND WALL SYSTEM FINISH FOR SIGNAGE MOUNTING. REFER TO ELEC. DWGS
GL1	STOREFRONT GLAZING: FIXED IN THERMALLY BROKEN CLEAR ANODIZED ALUMINUM FRAMING W/ SEALED CLEAR TEMPERED GLAZING UNIT. PROVIDE SECURITY FILM PROVIDED BY G.C. SECURITY FILM 3M SCOTCHSHIELD ULTRA800-CLEAR. TO BE INSTALLED BY CERTIFIED 3M APPLICATOR. FACTORY APPLIED SECURITY FILM ON INTERIOR FACE OF GLASS TO WRAP AROUND ALL EDGES FOR PROPER SECURING WITHIN WINDOW FRAME. IF SITE APPLIED PROVIDE 3M ULTRA FLEX WINDOW SYSTEM SEALANT AT ALL WINDOW PERIMETER EDGES IN LIEU OF RUBBER GASKET.
GL3	SPANDREL PANEL: NON TINTED FIXED OPAQUE GLASS PANEL INSULATED METAL BACK-PAN COLOUR GREY WITH GREY BACK SCRIM. CLEAR ANODIZED ALUMINUM FRAMING. PANEL: INKAN NO. 0-125-1 (PROVIDE SAMPLE FOR APPROVAL)

#	DATE	DESCRIPTION	BY
21	2024-06-03	ISSUED FOR COORDINATION	MHB
20	2024-05-30	ISSUED FOR COORDINATION	MHB
19	2024-05-21	ISSUED FOR COORDINATION	MHB
18	2024-05-10	ISSUED FOR COORDINATION	MHB
17	2024-04-29	ISSUED FOR COORDINATION	MHB



PROJECT
8535, 8545, 8585 HWY NO. 27

WOODBRIDGE, ONTARIO

ELEVATIONS

PROJECT NO.
02-152R (P. ID.)
PROJECT DATE
2024-02-20
DRAWN BY
AMC
CHECKED BY
JJJ
SCALE
As indicated



DRAWING NO.
A1-3.2