

<b>ITEM: 6.5</b>	<b>REPORT SUMMARY MINOR VARIANCE APPLICATION FILE NUMBER A064/24</b>
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Report Date: July 26, 2024

**THIS REPORT CONTAINS COMMENTS FROM THE FOLLOWING  
DEPARTMENTS & AGENCIES (SEE SCHEDULE B):**

Additional comments from departments and agencies received after the publication of the report will be made available on the City's [website](#).

Internal Departments <small>*Comments Received</small>	Conditions Required		Nature of Comments
Committee of Adjustment	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>	General Comments
Building Standards (Zoning)	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>	General Comments
Development Planning	Yes <input checked="" type="checkbox"/>	No <input type="checkbox"/>	Recommend Approval/No Conditions
Development Engineering	Yes <input checked="" type="checkbox"/>	No <input type="checkbox"/>	Recommend Approval w/Conditions
Development Finance	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>	General Comments

External Agencies <small>*Comments Received</small>	Conditions Required		Nature of Comments <small>*See Schedule B for full comments</small>
Alectra	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>	General Comments
TRCA	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>	General Comments
Region of York	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>	General Comments

<b>PUBLIC &amp; APPLICANT CORRESPONDENCE (SEE SCHEDULE C)</b>				
<p>All personal information collected because of this public meeting (including both written and oral submissions) is collected under the authority of the Municipal Act, the Municipal Freedom of Information and Protection of Privacy Act (MFIPPA), the Planning Act and all other relevant legislation, and will be used to assist in deciding on this matter. All personal information (as defined by MFIPPA), including (but not limited to) names, addresses, opinions and comments collected will become property of the City of Vaughan, will be made available for public disclosure (including being posted on the internet) and will be used to assist the Committee of Adjustment and staff to process this application.</p>				
Correspondence Type	Name	Address	Date Received <small>(mm/dd/yyyy)</small>	Summary
None				

<b>BACKGROUND (SCHEDULE D, IF REQUIRED)</b>	
<p><small>* Background Information contains historical development approvals considered to be related to this file. This information should not be considered comprehensive.</small></p>	
Application No. (City File)	Application Description <small>(i.e. Minor Variance Application; Approved by COA / OLT)</small>
N/A	N/A

<b>ADJOURNMENT HISTORY</b>	
<small>* Previous hearing dates where this application was adjourned by the Committee and public notice issued.</small>	
Hearing Date	Reason for Adjournment <small>(to be obtained from NOD_ADJ)</small>
N/A	N/A

<b>SCHEDULES</b>	
<b>Schedule A</b>	Drawings & Plans Submitted with the Application
<b>Schedule B</b>	Comments from Agencies, Building Standards & Development Planning
<b>Schedule C</b> (if required)	Public & Applicant Correspondence
<b>Schedule D</b> (if required)	Background



## MINOR VARIANCE APPLICATION FILE NUMBER A064/24

<b>CITY WARD #:</b>	1
<b>APPLICANT:</b>	Anthony & Shannon Lee Sasone
<b>AGENT:</b>	Square Design Group
<b>PROPERTY:</b>	95 Klein Mills Road, Kleinburg
<b>ZONING DESIGNATION:</b>	See below.
<b>VAUGHAN OFFICIAL PLAN (2010) DESIGNATION:</b>	City of Vaughan Official Plan 2010 ('VOP 2010'): "KN Low-Rise Residential I," Volume 2, Section 11.8 North Kleinburg-Nashville Secondary Plan
<b>RELATED DEVELOPMENT APPLICATIONS:</b>	None
<b>PROPOSAL:</b>	Relief from the Zoning By-Law is being requested to permit a proposed cabana and reduced landscaping requirements in the rear yard.

The following variances are being requested from the City's Zoning By-law to accommodate the above proposal:

**The subject lands are zoned R1 – First Density Residential Zone and subject to the provisions of Exception 14.1040 under Zoning By-law 001-2021, as amended.**

#	Zoning By-law 001-2021	Variance requested
1	In any Residential Zone, the maximum height of an accessory building and residential accessory structure shall be 3.0 metres. [Section 4.1.4, 1.]	To permit an accessory building (cabana) with a maximum height of 3.7 metres.
2	A residential accessory structure with a height greater than 2.8 metres shall not be located closer than 2.4 metres to any lot line. [Section 4.1.2, b.]	To permit a residential accessory structure (cabana) with a height greater than 2.8 metres to be located 1.2 metres to the interior side lot line.
3	Any portion of a yard in excess of 135.0 m <sup>2</sup> shall be comprised of a minimum 60% soft landscape. [4.19.1]	To permit a minimum of 56.57% (112.0m <sup>2</sup> ) of the rear yard in excess of 135.0 m <sup>2</sup> to be comprised of soft landscaping.

### HEARING INFORMATION

**DATE OF MEETING:** Thursday, August 1, 2024  
**TIME:** 6:00 p.m.  
**MEETING LOCATION:** Vaughan City Hall, Woodbridge Room (2<sup>nd</sup> Floor), 2141 Major Mackenzie Drive  
**LIVE STREAM LINK:** [Vaughan.ca/LiveCouncil](http://Vaughan.ca/LiveCouncil)

#### PUBLIC PARTICIPATION

If you would like to speak to the Committee of Adjustment at the meeting, either remotely or in person, please complete the [Request to Speak Form](#) and submit to [cofa@vaughan.ca](mailto:cofa@vaughan.ca)

If you would like to submit written comments, please quote file number above and submit by mail or email to:

**Email:** [cofa@vaughan.ca](mailto:cofa@vaughan.ca)

**Mail:** City of Vaughan, Office of the City Clerk, Committee of Adjustment, 2141 Major Mackenzie Drive, Vaughan, ON, L6A 1T1

To speak electronically, pre-registration is required by completing the [Request to Speak Form](#) on-line and submitting it to [cofa@vaughan.ca](mailto:cofa@vaughan.ca) no later than NOON on the last business day before the meeting.

## HEARING INFORMATION

**THE DEADLINE TO REGISTER TO SPEAK ELECTRONICALLY OR SUBMIT WRITTEN COMMENTS ON THE ABOVE NOTED FILE(S) IS NOON ON THE LAST BUSINESS DAY BEFORE THE MEETING.**

## INTRODUCTION

Staff and Agencies act as advisory bodies to the Committee of Adjustment. The comments contained in this report are presented as recommendations to the Committee.

Section 45(1) of the Planning Act sets the criteria for authorizing minor variances to the City of Vaughan's Zoning By-law. Accordingly, review of the application may consider the following:

- That the general intent and purpose of the by-law will be maintained.
- That the general intent and purpose of the official plan will be maintained.
- That the requested variance(s) is/are acceptable for the appropriate development of the subject lands.
- That the requested variance(s) is/are minor in nature.

Public written and oral submissions relating to this application are taken into consideration by the Committee of Adjustment as part of its deliberations and final decision on this matter.

## COMMITTEE OF ADJUSTMENT

<b>Date Public Notice Mailed:</b>	July 18, 2024
<b>Date Applicant Confirmed Posting of Sign:</b>	July 15, 2024
<b>Applicant Justification for Variances:</b> <small>*As provided in Application Form</small>	Can't comply with bylaw setbacks.
<b>Was a Zoning Review Waiver (ZRW) Form submitted by Applicant:</b> <small>*ZRW Form may be used by applicant in instances where a revised submission is made, and zoning staff do not have an opportunity to review and confirm variances prior to the issuance of public notice.</small>	Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>
<b>COMMENTS:</b>	
None	
<b>Committee of Adjustment Recommended Conditions of Approval:</b>	None

## BUILDING STANDARDS (ZONING)

<b>**See Schedule B for Building Standards (Zoning) Comments</b>	
<b>Building Standards Recommended Conditions of Approval:</b>	None

## DEVELOPMENT PLANNING

<b>**See Schedule B for Development Planning Comments.</b>	
<b>Development Planning Recommended Conditions of Approval:</b>	None

## DEVELOPMENT ENGINEERING

[Link to Grading Permit](#)   [Link to Pool Permit](#)   [Link to Curb Curt Permit](#)   [Link Culvert Installation](#)

Due to the size of the proposed cabana on the subject property, which measures 52.02 m<sup>2</sup>, the Owner/Applicant must acquire a Lot Grading Permit from the Development Inspection and Lot Grading Division of the City's Development Engineering Department. It's important note that any in-ground structure exceeding 10 m<sup>2</sup> necessitates a Grading Permit. Once the Grading Permit is obtained, please reach out to the Development Engineering Reviewer to clear the Condition imposed on this application. The proposed work by the Owner / Applicant is increasing the lot coverage on the subject property by 15%. The added hardscape may have impacts on the City's Storm Water management system. Development Engineering strongly encourages the Owner / Applicant introduce Low-Impact Development (LID) measures (e.g., bioswales, permeable pavers, rain gardens, rain barrels etc.) to reduce the impacts to the stormwater system. Should further information be required, please contact the Development Engineering COA reviewer. The Development Engineering Department does not object to the Minor Variance application A063/24, subject to the following condition(s):

<b>Development Engineering Recommended Conditions of Approval:</b>	The Owner/Applicant shall submit an application and obtain an approved Grading Permit before initiating any work on the property. The Final Lot Grading and/or Servicing Plan will be required for the Grading Permit
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## DEVELOPMENT ENGINEERING

[Link to Grading Permit](#)  
 [Link to Pool Permit](#)  
 [Link to Curb Curt Permit](#)  
 [Link Culvert Installation](#)

Application. Please visit the Permits page of the City of Vaughan's website: Permits | City of Vaughan to apply for a Grading Permit. For any inquiries regarding the Grading Permit, please email [DEPermits@vaughan.ca](mailto:DEPermits@vaughan.ca)

## PARKS, FORESTRY & HORTICULTURE (PFH)

No comments received to date.

<b>PFH Recommended Conditions of Approval:</b>	None
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## DEVELOPMENT FINANCE

No comment no concerns.

<b>Development Finance Recommended Conditions of Approval:</b>	None
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## BY-LAW AND COMPLIANCE, LICENSING AND PERMIT SERVICES

No comments received to date.

<b>BCLPS Recommended Conditions of Approval:</b>	None
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## BUILDING INSPECTION (SEPTIC)

No comments received to date.

<b>Building Inspection Recommended Conditions of Approval:</b>	None
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## FIRE DEPARTMENT

No comments received to date.

<b>Fire Department Recommended Conditions of Approval:</b>	None
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## RECOMMENDED CONDITIONS OF APPROVAL SUMMARY

Should the Committee find it appropriate to approve this application in accordance with request and the sketch submitted with the application, as required by Ontario Regulation 200/96, the following conditions have been recommended:

#	DEPARTMENT / AGENCY	CONDITION
1	Development Engineering <a href="mailto:Rex.bondad@vaughan.ca">Rex.bondad@vaughan.ca</a>	The Owner/Applicant shall submit an application and obtain an approved Grading Permit before initiating any work on the property. The Final Lot Grading and/or Servicing Plan will be required for the Grading Permit Application. Please visit the Permits page of the City of Vaughan's website: Permits   City of Vaughan to apply for a Grading Permit. For any inquiries regarding the Grading Permit, please email <a href="mailto:DEPermits@vaughan.ca">DEPermits@vaughan.ca</a>

*All conditions of approval, unless otherwise stated, are considered to be incorporated into the approval "if required". If a condition is no longer required after an approval is final and binding, the condition may be waived by the respective department or agency requesting conditional approval. A condition cannot be waived without written consent from the respective department or agency.*

## IMPORTANT INFORMATION

**CONDITIONS:** It is the responsibility of the owner/applicant and/or authorized agent to obtain and provide a clearance letter from respective department and/or agency (**see condition chart above for contact**). This letter must be provided to the Secretary-Treasurer to be finalized. All conditions must be cleared prior to the issuance of a Building Permit.

## IMPORTANT INFORMATION

**APPROVALS:** Making any changes to your proposal after a decision has been made may impact the validity of the Committee's decision.

An approval obtained from the Committee of Adjustment, where applicable, is tied to the building envelope shown on the plans and drawings submitted with the application and subject to the variance approval.

A building envelope is defined by the setbacks of the buildings and/or structures shown on the plans and drawings submitted with the application, as required by Ontario Regulation 200/96. Future development outside of an approved building envelope, where a minor variance was obtained, must comply with the provisions of the City's Zoning By-law.

Elevation drawings are provided to reflect the style of roof (i.e. flat, mansard, gable etc.) to which a building height variance has been applied. Where a height variance is approved, building height is applied to the style of roof (as defined in the City's Zoning By-law) shown on the elevation plans submitted with the application.

Architectural design features that are not regulated by the City's Zoning By-law are not to be considered part of an approval unless specified in the Committee's decision.

**DEVELOPMENT CHARGES:** That the payment of the Regional Development Charge, if required, is payable to the City of Vaughan before issuance of a building permit in accordance with the Development Charges Act and the Regional Development Charges By-law in effect at the time of payment.

That the payment of the City Development Charge, if required, is payable to the City of Vaughan before issuance of a building permit in accordance with the Development Charges Act and the City's Development Charges By-law in effect at the time of payment.

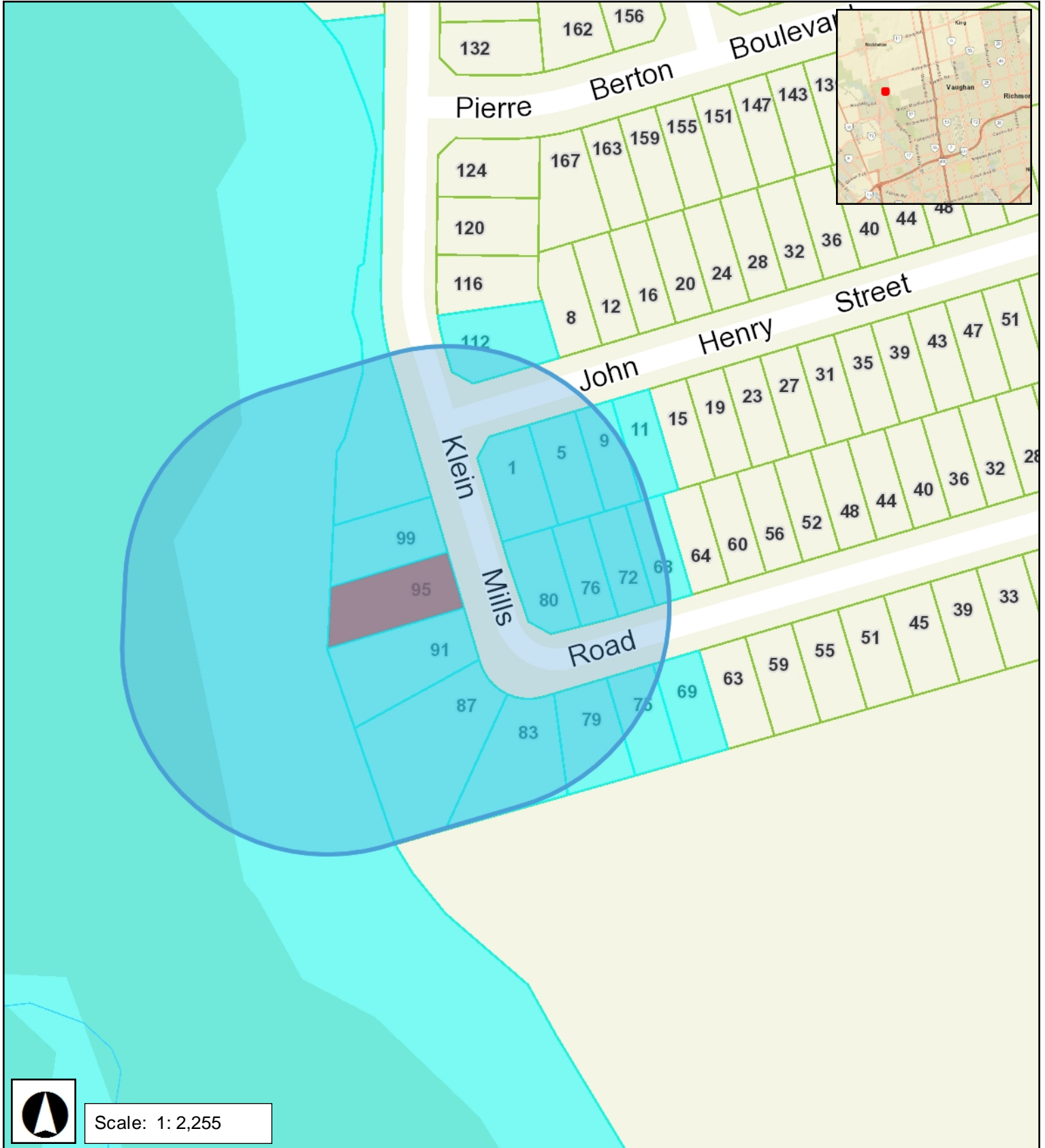
That the payment of the Education Development Charge if required, is payable to the City of Vaughan before issuance of a building permit in accordance with the Development Charges Act and the Boards of Education By-laws in effect at the time of payment

That the payment of Special Area Development charge, if required, is payable to the City of Vaughan before issuance of a building permit in accordance with the Development Charges Act and The City's Development Charge By-law in effect at the time of Building permit issuance to the satisfaction of the Reserves/Capital Department.

**NOTICE OF DECISION:** If you wish to be notified of the decision in respect to this application or a related Ontario Land Tribunal (OLT) hearing you must complete a Request for Decision form and submit to the Secretary Treasurer (ask staff for details). In the absence of a written request to be notified of the Committee's decision you will **not** receive notice.

**SCHEDULE A: DRAWINGS & PLANS**

95 Klein Mills Road, Kleinburg





**SURVEYOR'S REAL PROPERTY REPORT**

**PART 1**

**PLAN OF LOT 138  
PLAN 65M-4608  
CITY OF VAUGHAN  
REGIONAL MUNICIPALITY OF YORK**

SCALE 1:300  
10m 5m 0 10m 20metres

R-PE SURVEYING LTD., O.L.S.

DISTANCES SHOWN ON THIS PLAN ARE IN METRES AND CAN BE CONVERTED TO FEET BY DIVIDING BY 0.3048.

**PART 2 (SURVEY REPORT)**


REGISTERED EASEMENTS AND/OR RIGHT-OF-WAYS: NONE  
THIS PLAN DOES NOT CERTIFY COMPLIANCE WITH ZONING BY-LAWS

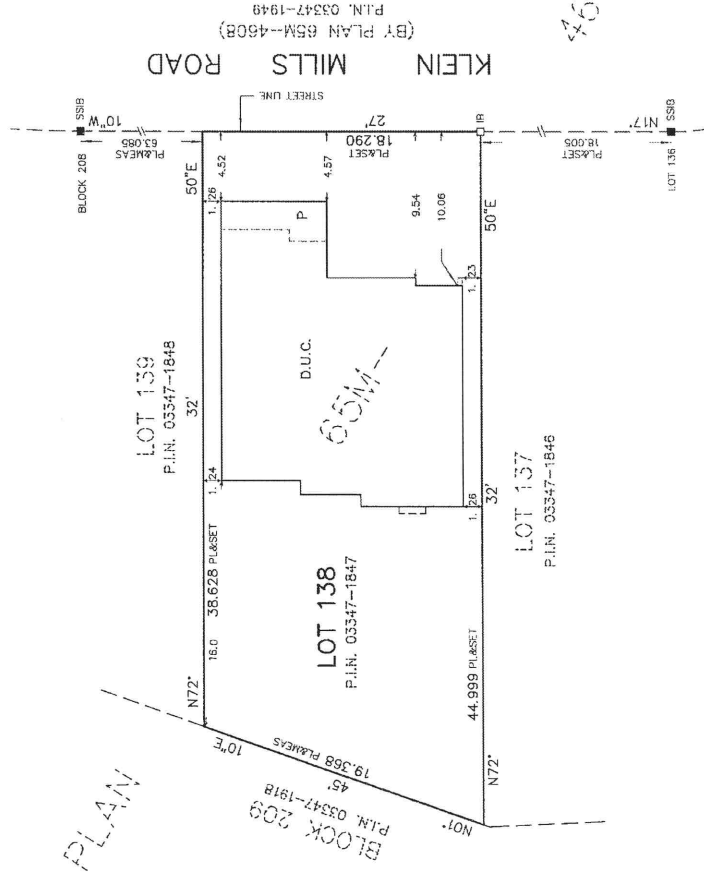
**SURVEYOR'S CERTIFICATE**

I CERTIFY THAT:

1. THIS SURVEY AND PLAN ARE CORRECT AND, IN ACCORDANCE WITH THE SURVEY ACT, THE SURVEYORS ACT AND THE LAND TITLES ACT AND THE REGULATIONS MADE UNDER THEM.
2. THE SURVEY WAS COMPLETED ON THE 26<sup>th</sup> DAY OF SEPTEMBER, 2019.

DATE Jan. 24, 2020.

  
T. SINGH  
ONTARIO LAND SURVEYOR



(BY PLAN 65M-4608)  
P.L.N. 03347-1949

4608

**NOTES**


- DENOTES MONUMENT SET
- DENOTES MONUMENT FOUND
- IB DENOTES IRON BAR
- SSB DENOTES SHORT STANDARD IRON BAR
- D.U.C. DENOTES DWELLING UNDER CONSTRUCTION
- P.L.N. DENOTES PROPERTY IDENTIFIER NUMBER
- PL DENOTES PLAN 65M-4608
- P DENOTES PORCH

ALL FOUND MONUMENTS BY GUIDO PAPA SURVEYING LTD., O.L.S.

ALL TIES TO CONCRETE FOUNDATIONS.

BEARINGS ARE GRID AND ARE REFERRED TO THE WESTERLY LIMIT OF KLEIN MILLS ROAD AS SHOWN ON PLAN 65M-4608 HAVING A BEARING OF N17°27'10"W.

ASSOCIATION OF ONTARIO  
LAND SURVEYORS  
PLAN SUBMISSION FORM  
2112776



THIS PLAN IS NOT VALID  
UNLESS IT IS AN EMBOSSED  
ISSUED BY THE SURVEYOR  
in accordance with  
Regulation 1026, Section 29(3).



**R-PE SURVEYING LTD.**  
ONTARIO LAND SURVEYORS  
643 Christie Road, Suite 7  
Woodbridge, Ontario L4L 8A3  
Tel. (416) 635-5000 Fax (416) 635-5001  
Tel. (905) 264-0881 Fax (905) 264-2099  
Website: www.r-pe.ca  
DRAWN: V.H.  
CHECKED: G.Y./T.S.  
JOB No. 18-240 FILE No. 4608-138

THIS REPORT WAS PREPARED FOR  
MATTY HOMES  
AND THE UNDERSIGNED ACCEPTS NO  
RESPONSIBILITY FOR USE BY OTHER PARTIES

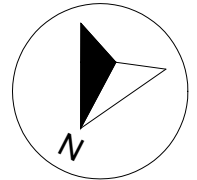
© R-PE SURVEYING LTD., O.L.S. 2020.

\*18-240\* \*65M-4608 L138\*



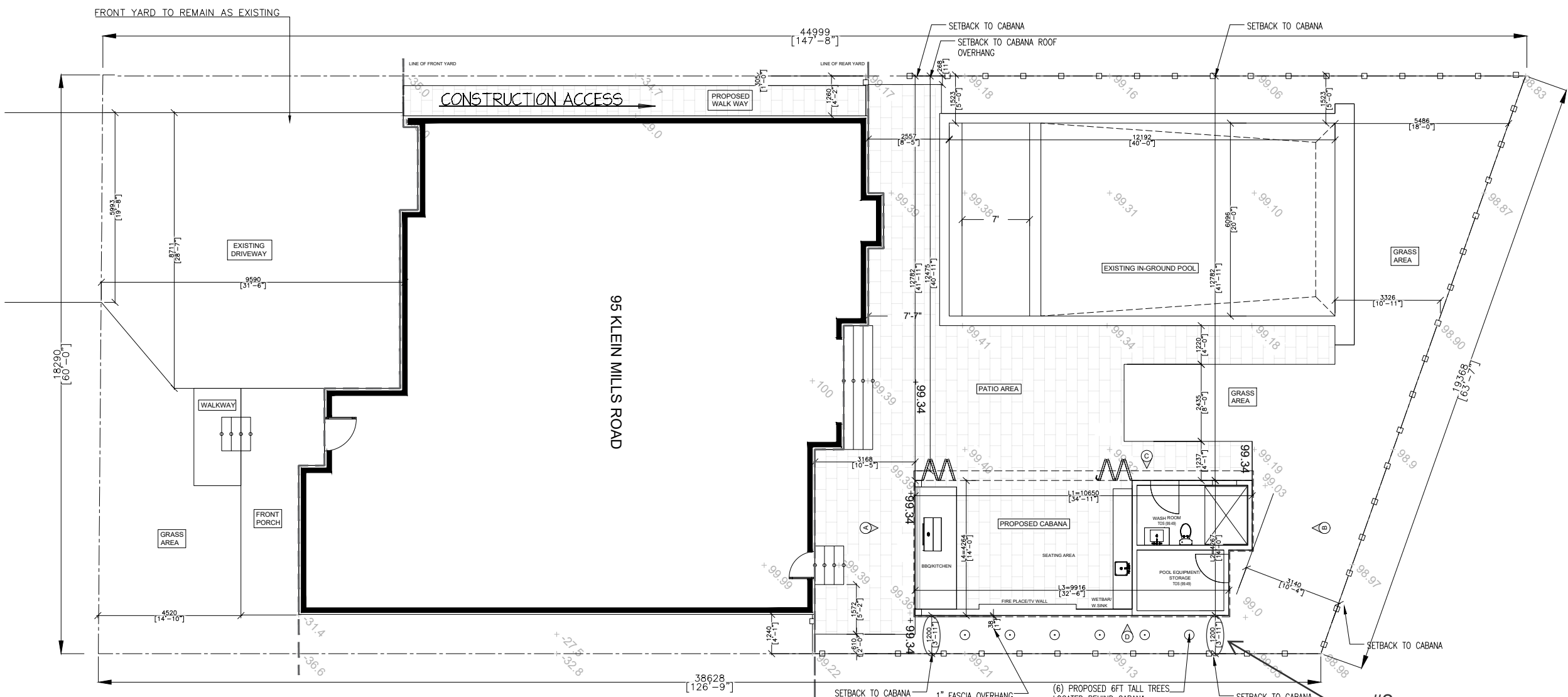


**Received from Applicant**  
July 3, 2024 at 12:33am



KLEIN MILLS ROAD

95 KLEIN MILLS ROAD



**LEGEND**

× [XX] m	-Proposed Grades	T.W	-Top of Wall
× [XX] m	-Existing Grades	B.W	-Bottom of Wall
▲	-Entrance Door	- - -	Rear Yard Line
---	2' Undisturbed Area Around Lot Line	- - -	Front Yard Line
---		---	Property Line

TOTAL FRONT YARD AREA	149 m <sup>2</sup>
EXISTING DRIVEWAY AREA	80.43 m <sup>2</sup>
REQUIRED MIN. SOFT LANDSCAPE AREA	74.5 m <sup>2</sup>
PROPOSED SOFT LANDSCAPE AREA	49.5 m <sup>2</sup>

**SITE DEVELOPMENT**

CATEGORY	AREA
TOTAL LOT AREA	763.7 m <sup>2</sup>
EXISTING HOUSE + PORCH FOOTPRINT w/out EAVES	256.5 m <sup>2</sup>
PROPOSED CABANA w/ EAVES	Cabana 43.94 m <sup>2</sup> + 4.01m <sup>2</sup> Eaves = 47.95m <sup>2</sup>
LOT COVERAGE	PROVIDED
EXISTING HOUSE + PORCH FOOTPRINT w/out EAVES	33.58 %
PROPOSED CABANA w/ eaves	6.27 %
TOTAL COVERAGE	39.85 %
LANDSCAPE AREA (REAR LOT)	PROVIDED
TOTAL REAR YARD AREA	333m <sup>2</sup>
REQUESTED SOFT LANDSCAPE AREA	(333 <sup>2</sup> - 135 m <sup>2</sup> ) x 60% = 118.98 m <sup>2</sup>
PROPOSED SOFT LANDSCAPE AREA	112 m <sup>2</sup> ← #3
HARD LANDSCAPE AREA	221.0 m <sup>2</sup>

**ESTABLISHED GRADE CALCULATION**

LENGTH #	BEGIN ELEV.	END ELEV.	LENGTH	$\frac{EL.1+EL.2}{2} \times L$
L1	99.39	99.03	10.65m	1056.58
L2	99.03	99.00	4.267m	422.4
L3	99.00	99.36	9.16m	908.48
L4	99.36	99.39	4.267m	424
		TOTAL	28.34m	2811.46
ESTABLISHED GRADE			2811.46/28.34m	99.20

#1	MV's Identified	3/1/2024
No.	DESCRIPTION	
	REVISIONS	

ISSUED FOR CONSTRUCTION  
ISSUED FOR BID  
ISSUED FOR BUILDING PERMIT  
ISSUED FOR SITE PLAN APPROVAL DATE

CONTRACTORS MUST CHECK AND VERIFY ALL DIMENSIONS AND CONDITIONS ON THE PROJECT AND MUST REPORT ANY DISCREPANCIES TO THE DESIGNER BEFORE PROCEEDING WITH CONSTRUCTION.  
THIS DRAWING MUST NOT BE USED FOR CONSTRUCTION PURPOSES UNTIL SEALED AND SIGNED BY THE DESIGNER.  
DO NOT SCALE DRAWINGS.



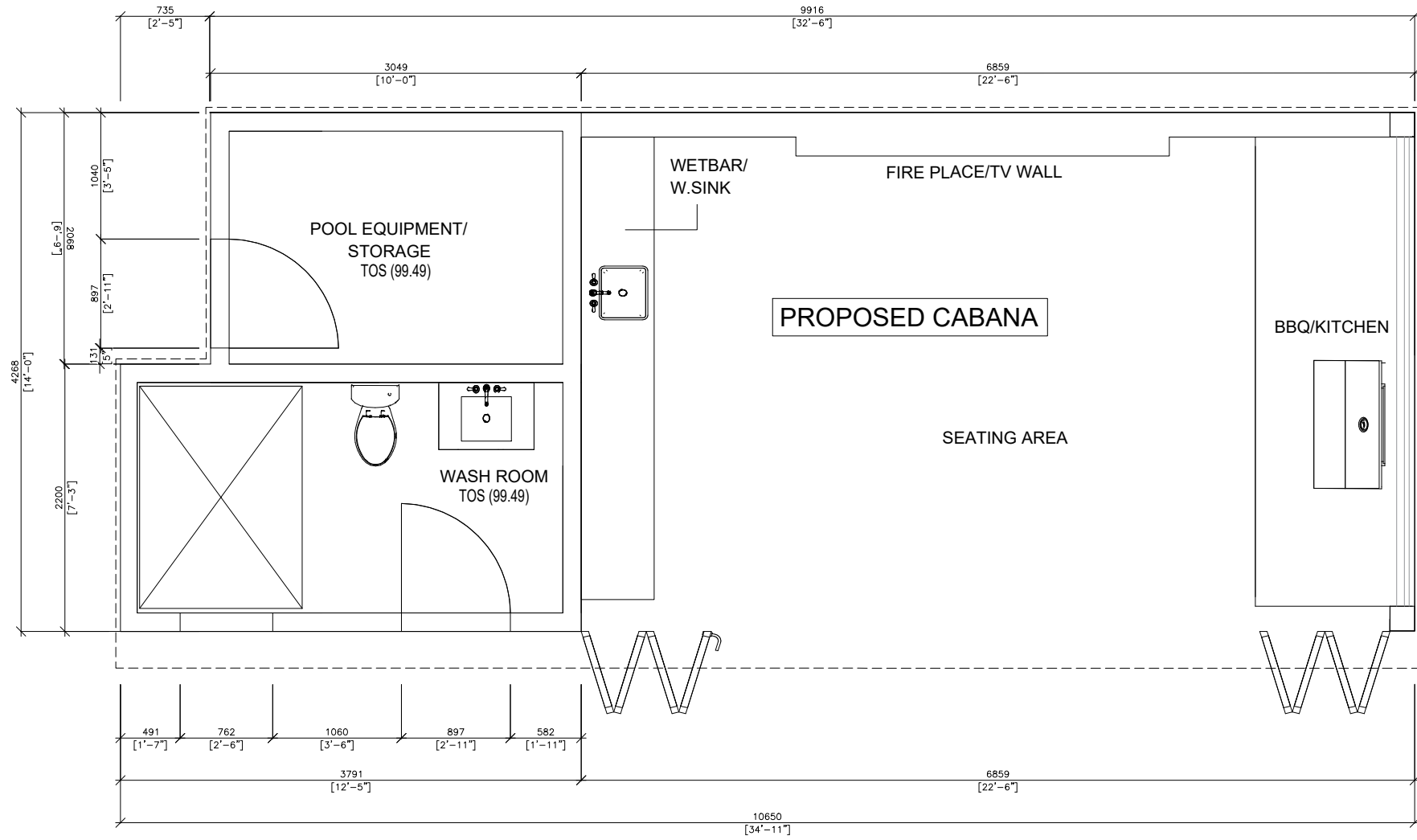
PROJECT: Proposed Cabana  
ON  
95 Klein Mills Rd  
Vaughan

DRAWING: SITE PLAN

DATE: 2024-06-24	PROJECT No.
SCALE: AS NOTED	DRAWING No.
DRAWN BY:	REVIEWED BY: A1

A1.0 Site Plan  
1:150

FILE NAME: PLOT SCALE: 1=



1 Floor Plan  
A2 1:50

No.	DESCRIPTION	DATE

ISSUED FOR CONSTRUCTION  
ISSUED FOR BID  
ISSUED FOR BUILDING PERMIT  
ISSUED FOR SITE PLAN APPROVAL DATE  
SUBMITTALS

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ON  
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Vaughan

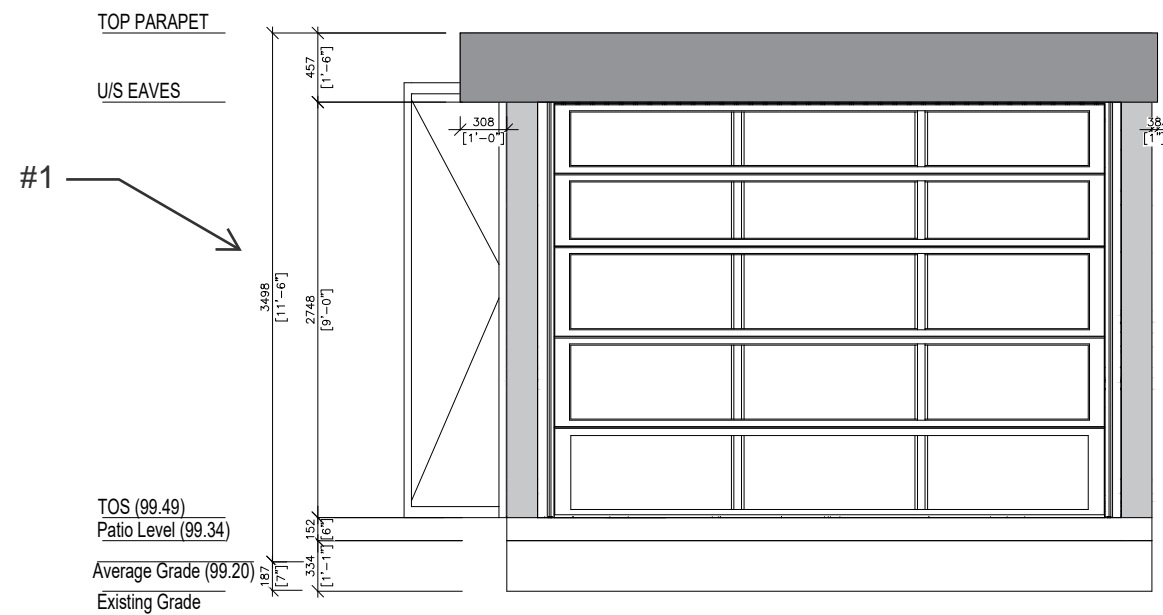
DRAWING: Floor Plan

PLOTTED: DATE: 2024-06-24 PROJECT No.

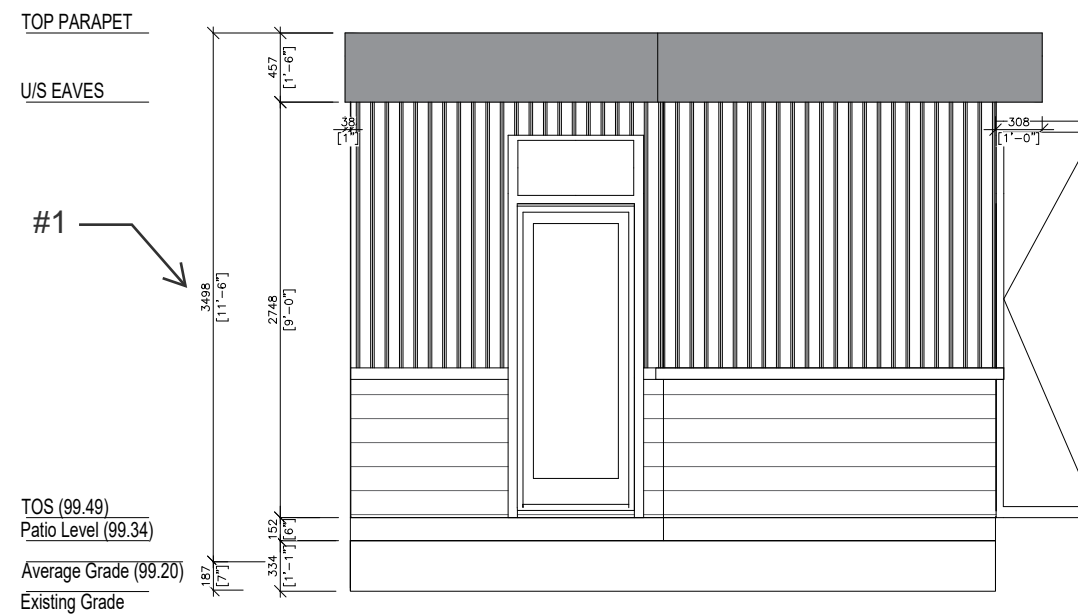
SCALE: AS NOTED DRAWING No.

DRAWN BY: REVIEWED BY: A2

XREFS: FILE NAME: PLOT SCALE: 1" =



1  
A3  
Elevation A  
1:50



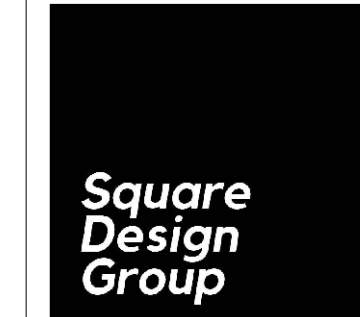
2  
A3  
Elevation B  
1:50

#1	MV's Identified	3/1/2024
No.	DESCRIPTION	
	REVISIONS	

ISSUED FOR CONSTRUCTION  
 ISSUED FOR BID  
 ISSUED FOR BUILDING PERMIT  
 ISSUED FOR SITE PLAN APPROVAL DATE

SUBMITTALS

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PROJECT: Proposed Cabana  
 ON  
 95 Klein Mills Rd  
 Vaughan

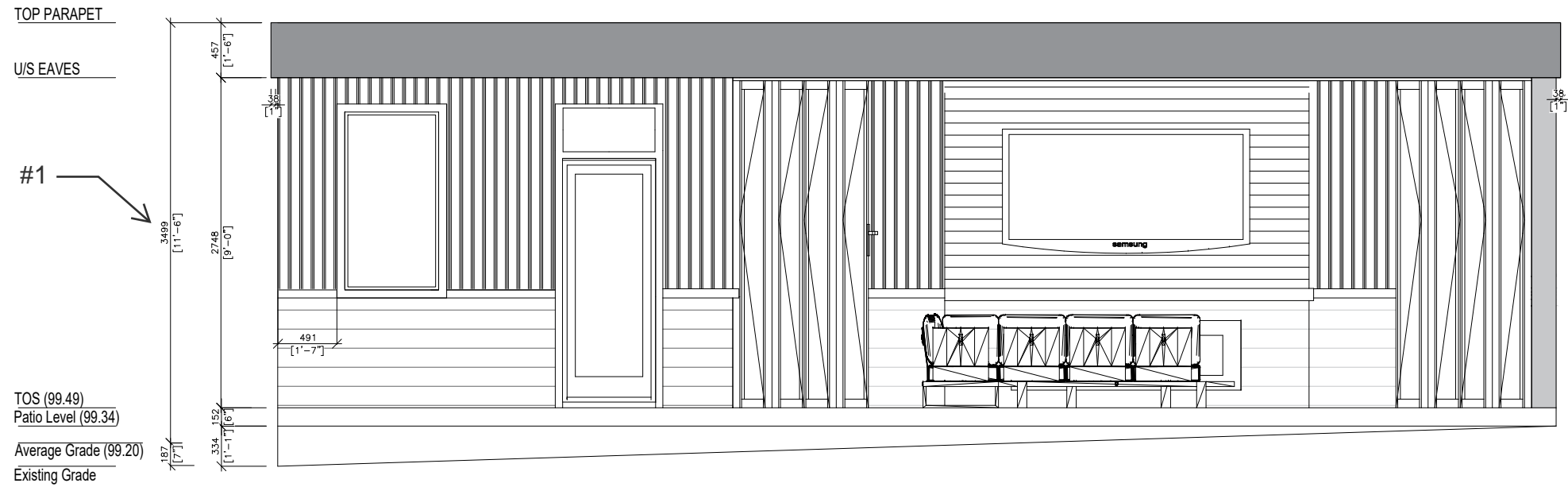
DRAWING: Elevation

PLOTTED:  
 DATE: 2024-06-24 PROJECT No.

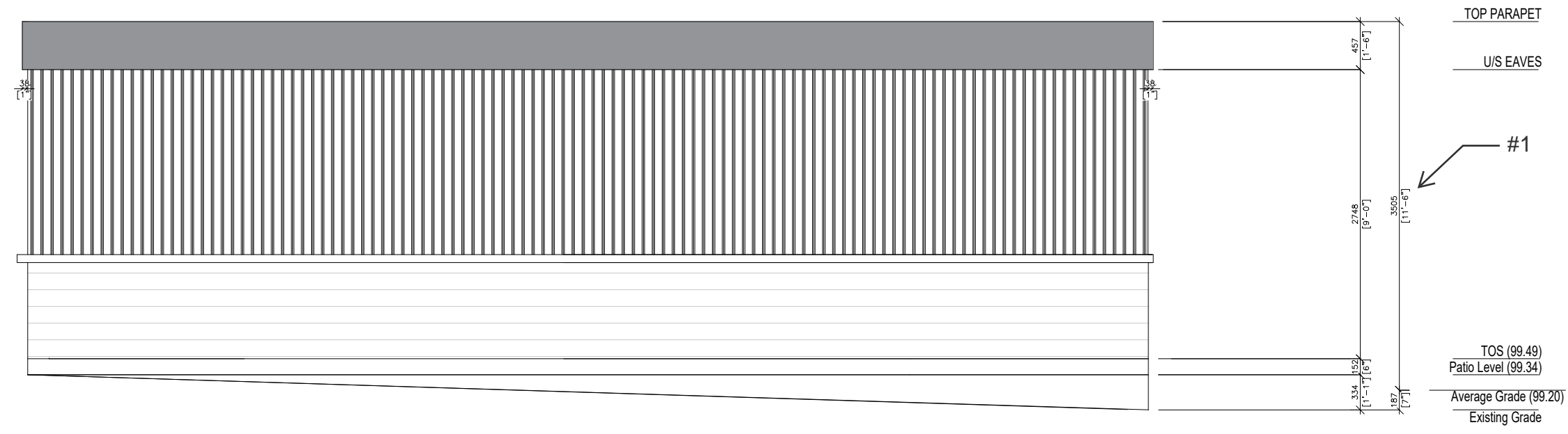
SCALE: AS NOTED DRAWING No.

DRAWN BY: REVIEWED BY: A3

XREFS: FILE NAME: PLOT SCALE: 1" =



1 Elevation C  
A3.1 1:50



2 Elevation D  
A3.1 1:50

#1	MV's Identified	3/1/2024
No.	DESCRIPTION	
	REVISIONS	

ISSUED FOR CONSTRUCTION  
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PROJECT: Proposed Cabana  
 ON  
 95 Klein Mills Rd  
 Vaughan

DRAWING: Elevation  
 PLOTTED:

DATE: 2024-06-24	PROJECT No.
SCALE: AS NOTED	DRAWING No. <b>A3.1</b>
DRAWN BY:	REVIEWED BY:

XREFS:  
FILE NAME:  
PLOT SCALE: 1" =

**SCHEDULE B:  
COMMENTS FROM AGENCIES, BUILDING STANDARDS &  
DEVELOPMENT PLANNING**

Department / Agency <small>*Comments Received</small>	Conditions Required		Nature of Comments
Building Standards (Zoning) *See Schedule B	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>	General Comments
Development Planning	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>	Recommend Approval/No Conditions

External Agencies <small>*Comments Received</small>	Conditions Required		Nature of Comments <small>*See Schedule B for full comments</small>
Alectra	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>	General Comments
TRCA	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>	General Comments
Region of York	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>	General Comments

**To:** Committee of Adjustment  
**From:** Christian Tinney, Building Standards Department  
**Date:** June 27, 2024  
**Applicant:** Square Design Group  
**Location:** 95 Klein Mills Road  
 PLAN 65M4608 Lot 138  
**File No.(s):** A064/24

**Zoning Classification:**

The subject lands are zoned R1 – First Density Residential Zone and subject to the provisions of Exception 14.1040 under Zoning By-law 001-2021, as amended.

#	Zoning By-law 001-2021	Variance requested
1	In any Residential Zone, the maximum height of an accessory building and residential accessory structure shall be 3.0 metres. [Section 4.1.4, 1.]	To permit an accessory building (cabana) with a maximum height of 3.7 metres.
2	A residential accessory structure with a height greater than 2.8 metres shall not be located closer than 2.4 metres to any lot line. [Section 4.1.2, b.]	To permit a residential accessory structure (cabana) with a height greater than 2.8 metres to be located 1.2 metres to the interior side lot line.
3	Any portion of a yard in excess of 135.0 m <sup>2</sup> shall be comprised of a minimum 60% soft landscape. [4.19.1]	To permit a minimum of 56.57% (112.0m <sup>2</sup> ) of the rear yard in excess of 135.0 m <sup>2</sup> to be comprised of soft landscaping.

**Staff Comments:**

**Building Permit(s) Issued:**

A Building Permit has not been issued. The Ontario Building Code requires a building permit for structures that exceed 10m<sup>2</sup>.

**Other Comments:**

General Comments	
1	The applicant shall be advised that additional variances may be required upon review of detailed drawing for building permit/site plan approval.

**Conditions of Approval:**

If the committee finds merit in the application, the following conditions of approval are recommended.

\* Comments are based on the review of documentation supplied with this application.

**To:** Christine Vigneault, Committee of Adjustment Secretary Treasurer  
**From:** Nancy Tuckett, Director of Development Planning  
**Date:** July 25, 2024  
**Name of Owners:** Antonio and Shannon Sasone  
**Location:** 95 Klein Mills Road  
**File No.:** A064/24

---

**Proposed Variances (By-law 001-2021):**

1. To permit an accessory building (cabana) with a maximum height of **3.7 m**.
2. To permit a residential accessory structure (cabana) with a height greater than **2.8 m** to be located **1.2 m** to the interior side lot line.
3. To permit a minimum of **56.57% (112.0 m<sup>2</sup>)** of the rear yard in excess of **135.0 m<sup>2</sup>** to be comprised of soft landscaping.

**By-Law Requirements (By-law 001-2021):**

1. In any Residential Zone, the maximum height of an accessory building and residential accessory structure shall be **3.0 m**.
2. A residential accessory structure with a height greater than **2.8 m** shall not be located closer than **2.4 m** to any lot line.
3. Any portion of a yard in excess of **135.0 m<sup>2</sup>** shall be comprised of a minimum **60%** soft landscape.

**Official Plan:**

City of Vaughan Official Plan 2010 ('VOP 2010'): "KN Low-Rise Residential I", Volume 2, Section 11.8 North Kleinburg-Nashville Secondary Plan

**Comments:**

The Owners are requesting relief to permit a proposed cabana in the rear yard of 95 Klein Mills Road with the above noted variances as well as a reduced soft landscaping total in the rear yard.

The Development Planning Department has no objection to Variances 1 and 2 permit an increased maximum height of 3.7 m (Variance 1) and a reduced interior side yard setback of 1.2 m (Variance 2) for the proposed cabana. The proposed 0.7 m increase in maximum height and the 1.2 m reduction to the north interior side lot line setback for the cabana is not anticipated to pose significant adverse impacts to the abutting property to the north (99 Klein Mills Road) as sufficient space for maintenance and safe access is provided, and sufficient spatial separation is provided to facilitate the planting of trees that will mitigate potential massing impacts. At the request of Development Planning and Urban Design Staff, the Owners increased the cabana's spatial separation from the north interior side lot line and rear lot line to help alleviate any anticipated massing impacts resulting from the cabana's wall and roof's proximity to the respective lot lines.

The Owners are proposing to plant six (6) total 6 ft tall cedar trees between the cabana and north interior side lot line which will provide a vegetative buffer to screen the cabana from the neighbouring property to the north (99 Klein Mills Road). The rear lot line abuts an Open Space Zone (OS Zone) with a public trail. The proposed cabana is not anticipated to have any adverse massing or use impacts on the OS Zone or the function of the existing trail area. Development Engineering Department Staff have also reviewed the proposal and are satisfied that drainage will be maintained. Therefore, the proposed structure is not anticipated to have adverse use (privacy) or massing impacts on the neighbouring property to the north (99 Klein Mills Road), or the OS Zone to the west.

The Development Planning Department has no objection to Variance 3 for the proposed reduction in soft landscaping in the rear yard. The proposed 3.43% reduction in required soft landscaping is negligible from a visual perspective, provides an appropriate distribution of soft landscaping and hard landscaping and provides sufficient space for



stormwater infiltration. Development Engineering Staff have also reviewed the application and do not have any concerns regarding drainage.

Accordingly, Development Planning Department Staff support the requested variances and are of the opinion that the proposal is minor in nature, maintains the general intent and purpose of the Official Plan and Zoning By-law, and is desirable for the appropriate development of the land.

**Recommendation:**

The Development Planning Department recommends approval of the application.

**Conditions of Approval:**

If the Committee finds merit in the application, the following conditions of approval are recommended:

None.

**Comments Prepared by:**

Nicholas Del Prete, Planner  
David Harding, Senior Planner

**From:** [Cameron McDonald](#)  
**To:** [Committee of Adjustment](#); [Christine Vigneault](#)  
**Cc:** [Joshua Lacaria](#)  
**Subject:** [External] RE: A064/24 (95 Klein Mill Road) – REQUEST FOR COMMENTS (City of Vaughan)  
**Date:** Friday, May 10, 2024 2:42:08 PM

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**CAUTION!** This is an external email. Verify the sender's email address and carefully examine any links or attachments before clicking. If you believe this may be a phishing email, please use the Phish Alert Button.

Good afternoon,

Based on a review of our screening mapping, I can confirm that the subject property is not located within TRCA's Regulated Area. As such, any site alteration or development on the property would not require a permit from TRCA.

Based on the above, we have no comments/requirements.

Regards,

**Cameron McDonald**

Planner I

Development Planning and Permits | Development and Engineering Services

T: [\(437\) 880-1925](tel:(437)880-1925)

E: [cameron.mcdonald@trca.ca](mailto:cameron.mcdonald@trca.ca)

A: [101 Exchange Avenue, Vaughan, ON, L4K 5R6](#) | [trca.ca](http://trca.ca)

## Prabhdeep Kaur

---

**From:** Development Services <developmentsservices@york.ca>  
**Sent:** Tuesday, May 14, 2024 2:01 PM  
**To:** Christine Vigneault  
**Cc:** Committee of Adjustment  
**Subject:** [External] RE: A064/24 (95 Klein Mill Road) – REQUEST FOR COMMENTS (City of Vaughan)

**CAUTION!** This is an external email. Verify the sender's email address and carefully examine any links or attachments before clicking. If you believe this may be a phishing email, please use the Phish Alert Button.

Hi Christine,

The Regional Municipality of York has completed its review of the minor variance application – A064/24 (95 Klein Mill Road) and has no comment.

Please provide us with a digital copy of the notice of decision for our records.

Many thanks,

*Our working hours may be different. Please do not feel obligated to reply outside of your scheduled working hours. Let's work together to help foster healthy work-life boundaries.*

**Niranjan Rajevan, M.Pl.** | Associate Planner, Development Services, Planning and Economic Development, Corporate Services

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The Regional Municipality of York | 17250 Yonge Street | Newmarket, ON L3Y 6Z1  
1-877-464-9675 ext. 71521 | [niranjan.rajevan@york.ca](mailto:niranjan.rajevan@york.ca) | [www.york.ca](http://www.york.ca)

*Our Values: Integrity, Commitment, Accountability, Respect, Excellence*



Our Mission: **Working together to serve our thriving communities – today and tomorrow**

Please consider the environment before printing this email.

**Date:** May 14<sup>th</sup> 2024

**Attention:** Christine Vigneault

**RE:**

**File No.:** A064-24

**Related Files:**

**Applicant** Square Design Group

**Location** 95 Klein Mill Road



Discover the possibilities

### COMMENTS:

- We have reviewed the proposed Variance Application and have no comments or objections to its approval.
- We have reviewed the proposed Variance Application and have no objections to its approval, subject to the following comments (attached below).
- We have reviewed the proposed Variance Application and have the following concerns (attached below).

Alectra Utilities (formerly PowerStream) has received and reviewed the proposed Variance Application. This review, however, does not imply any approval of the project or plan.

All proposed billboards, signs, and other structures associated with the project or plan must maintain minimum clearances to the existing overhead or underground electrical distribution system as specified by the applicable standards, codes and acts referenced.

In the event that construction commences, and the clearance between any component of the work/structure and the adjacent existing overhead and underground electrical distribution system violates the Occupational Health and Safety Act, the customer will be responsible for 100% of the costs associated with Alectra making the work area safe. All construction work will be required to stop until the safe limits of approach can be established.

In the event construction is completed, and the clearance between the constructed structure and the adjacent existing overhead and underground electrical distribution system violates the any of applicable standards, acts or codes referenced, the customer will be responsible for 100% of Alectra's cost for any relocation work.

### References:

- Ontario Electrical Safety Code, latest edition (Clearance of Conductors from Buildings)
- Ontario Health and Safety Act, latest edition (Construction Protection)
- Ontario Building Code, latest edition (Clearance to Buildings)
- PowerStream (Construction Standard 03-1, 03-4), attached
- Canadian Standards Association, latest edition (Basic Clearances)

If more information is required, please contact either of the following:

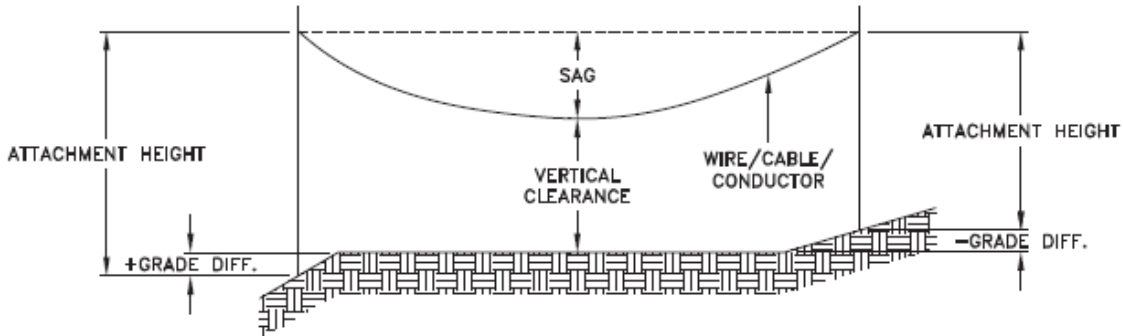
Mr. Stephen Cranley, C.E.T  
Supervisor, Distribution Design, ICI & Layouts (North)  
**Phone:** 1-877-963-6900 ext. 31297

**E-mail:** [stephen.cranley@alectrautilities.com](mailto:stephen.cranley@alectrautilities.com)

Mitchell Penner  
Supervisor, Distribution Design-Subdivisions  
**Phone:** 416-302-6215

**Email:** [Mitchell.Penner@alectrautilities.com](mailto:Mitchell.Penner@alectrautilities.com)

LOCATION OF WIRES, CABLES OR CONDUCTORS	SYSTEM VOLTAGE			
	SPAN GUYS AND COMMUNICATIONS WIRES	UP TO 600V AND NEUTRAL	4.16/2.4kV TO 27.6/16kV (SEE NOTE 1)	44kV
MINIMUM VERTICAL CLEARANCES (SEE NOTE 2)				
OVER OR ALONGSIDE ROADS, DRIVEWAYS OR LANDS ACCESSIBLE TO <u>VEHICLES</u>	442cm	442cm	480cm	520cm
OVER GROUND ACCESSIBLE TO <u>PEDESTRIANS AND BICYCLES ONLY</u>	250cm	310cm	340cm	370cm
ABOVE TOP OF RAIL AT <u>RAILWAY CROSSINGS</u>	730cm	730cm	760cm	810cm



MINIMUM ATTACHMENT HEIGHT = MAXIMUM SAG  
 + MINIMUM VERTICAL CLEARANCE (FROM ABOVE TABLE)  
 ± GRADE DIFFERENCE  
 + 0.3m (VEHICLE OR RAILWAY LOCATION)  
 + SNOW DEPTH (PEDESTRIAN LOCATION, SEE NOTE 3)

**NOTES:**

1. THE MULTIGROUNDED SYSTEM NEUTRAL HAS THE SAME CLEARANCE AS THE 600V SYSTEM.
2. THE VERTICAL CLEARANCES IN THE ABOVE TABLE ARE UNDER MAXIMUM SAG CONDITIONS.
3. REFER TO CSA STANDARD C22.3 No.1, ANNEX D FOR LOCAL SNOW DEPTH VALUES.
4. ALL CLEARANCES ARE IN ACCORDANCE TO CSA STANDARD C22.3.

**CONVERSION TABLE**

METRIC	IMPERIAL (APPROX)
810cm	27'-0"
760cm	25'-4"
730cm	24'-4"
520cm	17'-4"
480cm	16'-0"
442cm	15'-5"
370cm	12'-4"
340cm	11'-4"
310cm	10'-4"
250cm	8'-4"

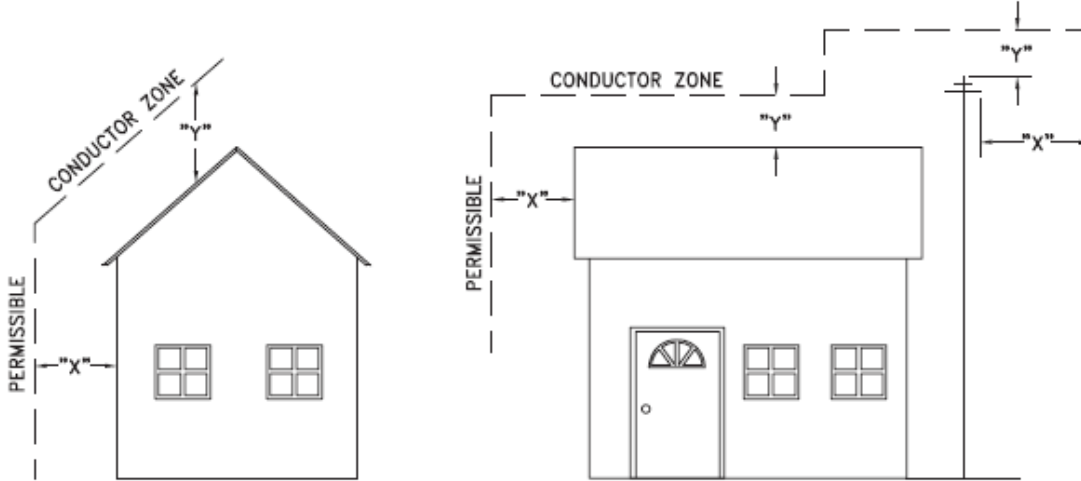
**REFERENCES**

SAGS AND TENSIONS | SECTION 02

**MINIMUM VERTICAL CLEARANCES OF WIRES, CABLES AND CONDUCTORS ABOVE GROUND OR RAILS**

ORIGINAL ISSUE DATE: 2010-DEC-24 REVISION NO: R1 REVISION DATE: 2012-JAN-09

Certificate of Approval	
This construction Standard meets the safety requirements of Section 4 of Regulation 22/04	
Joe Crozier, P.Eng.	2012-JAN-09
Name	Date
P.Eng. Approval By:	Joe Crozier



VOLTAGE	MINIMUM HORIZONTAL CLEARANCE UNDER MAXIMUM SWING CONDITIONS DIMENSION "X" (SEE NOTES 1, 3 & 4)	MINIMUM VERTICAL CLEARANCE UNDER MAXIMUM DESIGN SAG CONDITIONS DIMENSION "Y" (SEE NOTES 1, 2, 4 & 5)
0-600V AND NEUTRAL	100cm	250cm
4.16/2.4 TO 44kV	300cm	480cm

**NOTES**

1. UNDER NO CIRCUMSTANCES SHALL A CONDUCTOR BE PERMITTED TO PENETRATE THE ENVELOPE SHOWN BY THE DOTTED LINE.
2. THE VERTICAL CLEARANCES ARE UNDER CONDITIONS OF MAXIMUM DESIGN SAG.
3. THE HORIZONTAL CLEARANCES ARE UNDER CONDITIONS OF MAXIMUM SWING. WHERE THE CONDUCTOR SWING IS NOT KNOWN A HORIZONTAL CLEARANCE OF 480CM SHALL BE USED.
4. BUILDINGS THAT EXCEED 3 STOREYS OR 15M IN HEIGHT, THE MINIMUM HORIZONTAL CLEARANCE OF THE SECONDARY CONDUCTORS SHOULD BE INCREASED TO 300cm WHERE IT IS NECESSARY TO ALLOW FOR THE RAISING OF LADDERS BY LOCAL FIRE DEPARTMENTS.
5. IN SITUATIONS SUCH AS MULTI-LEVEL GARAGES, WHERE ROOFS ARE NORMALLY USED BY PERSONS AND VEHICLES, THE VERTICAL CLEARANCES OF POWERSTREAM STANDARD 03-1 SHALL APPLY.
6. DISTRIBUTION LINES CONSTRUCTED NEAR BUILDINGS SHALL BE BUILT TO AVOID OVERHANG WHEREVER POSSIBLE. WHERE LINES MUST BE CONSTRUCTED OVER OR ADJACENT TO BUILDINGS THE APPLICABLE HORIZONTAL AND VERTICAL CLEARANCES SHALL BE AT CONDITIONS OF MAXIMUM CONDUCTOR SWING AND MAXIMUM SAG. THE ABOVE CLEARANCES ARE DESIGNED TO PREVENT PERSONS ON OR IN BUILDINGS AS WELL AS EXTERNAL MACHINERY USED IN CONJUNCTION WITH A BUILDING TO COME IN CONTACT WITH CONDUCTORS. EFFORTS SHOULD BE MADE TO INCREASE THESE CLEARANCES WHERE POSSIBLE.
7. ALL CLEARANCES ARE IN ACCORDANCE TO CSA C22.3 NO.1-06 (TABLE-9).

METRIC	IMPERIAL (APPROX)
480cm	16'-0"
300cm	10'-0"
250cm	8'-4"
100cm	3'-4"

**MINIMUM VERTICAL & HORIZONTAL CLEARANCES OF CONDUCTORS FROM BUILDINGS OR OTHER PERMANENT STRUCTURES (CONDUCTORS NOT ATTACHED TO BUILDINGS)**

**Certificate of Approval**  
This construction Standard meets the safety requirements of Section 4 of Regulation 22/04  
Debbie Dadwani, P.Eng. 2010-MAY-05  
Name Date  
P. Eng. Approval By: *D. Dadwani*

ORIGINAL ISSUE DATE: 2010-MAY-05 REVISION NO: REVISION DATE:  
PS:\System Planning and Standards\Standard Design\PowerStream Standards\PowerStream Standards working files\Section 3-1-02\WG 03-4 R0 May 5, 2010.dwg, 5/5/2010 10:22:02 AM, Adobe PDF



## SCHEDULE C: PUBLIC & APPLICANT CORRESPONDENCE

None

## SCHEDULE D: BACKGROUND

None