

ITEM: 6.13	REPORT SUMMARY MINOR VARIANCE APPLICATION FILE NUMBER A088/24
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Report Date: July 26, 2024

**THIS REPORT CONTAINS COMMENTS FROM THE FOLLOWING
DEPARTMENTS & AGENCIES (SEE SCHEDULE B):**

Additional comments from departments and agencies received after the publication of the report will be made available on the City's [website](#).

Internal Departments <small>*Comments Received</small>	Conditions Required		Nature of Comments
Committee of Adjustment	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>	General Comments
Building Standards (Zoning)	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>	General Comments
Development Planning	Yes <input type="checkbox"/>	No <input type="checkbox"/>	Application Under Review
Development Engineering	Yes <input checked="" type="checkbox"/>	No <input type="checkbox"/>	Recommend Approval w/Conditions
Forestry	Yes <input checked="" type="checkbox"/>	No <input type="checkbox"/>	General Comments w/Conditions
Development Finance	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>	General Comments

External Agencies <small>*Comments Received</small>	Conditions Required		Nature of Comments <small>*See Schedule B for full comments</small>
Alectra	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>	General Comments
Region of York	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>	General Comments
TRCA	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>	General Comments

PUBLIC & APPLICANT CORRESPONDENCE (SEE SCHEDULE C)

All personal information collected because of this public meeting (including both written and oral submissions) is collected under the authority of the Municipal Act, the Municipal Freedom of Information and Protection of Privacy Act (MFIPPA), the Planning Act and all other relevant legislation, and will be used to assist in deciding on this matter. All personal information (as defined by MFIPPA), including (but not limited to) names, addresses, opinions and comments collected will become property of the City of Vaughan, will be made available for public disclosure (including being posted on the internet) and will be used to assist the Committee of Adjustment and staff to process this application.

Correspondence Type	Name	Address	Date Received <small>(mm/dd/yyyy)</small>	Summary
Public	Anita & Nick Laurella	4 Crooked Stick Road	07/18/2024	Letter of Support (detailing fence repairs required)

BACKGROUND (SCHEDULE D, IF REQUIRED)	
<small>* Background Information contains historical development approvals considered to be related to this file. This information should not be considered comprehensive.</small>	
Application No. (City File)	Application Description <small>(i.e. Minor Variance Application; Approved by COA / OLT)</small>
N/A	N/A

ADJOURNMENT HISTORY	
<small>* Previous hearing dates where this application was adjourned by the Committee and public notice issued.</small>	
Hearing Date	Reason for Adjournment <small>(to be obtained from NOD_ADJ)</small>
N/A	N/A

SCHEDULES	
Schedule A	Drawings & Plans Submitted with the Application
Schedule B	Comments from Agencies, Building Standards & Development Planning
Schedule C (if required)	Public & Applicant Correspondence
Schedule D (if required)	Background



**MINOR VARIANCE APPLICATION
FILE NUMBER A088/24**

CITY WARD #:	5
APPLICANT:	Silvario Mallocci & Teresa Mallocci
AGENT:	Twain Warren and Stefano Pupella
PROPERTY:	88 Crooked Stick Road, Concord
ZONING DESIGNATION:	See below.
VAUGHAN OFFICIAL PLAN (2010) DESIGNATION:	Vaughan Official Plan 2010 ('VOP 2010'): "Low-Rise Residential"
RELATED DEVELOPMENT APPLICATIONS:	None
PROPOSAL:	Relief from the Zoning By-law is being requested to permit an uncovered platform (deck), cabana, resin shed and shed roof over BBQ area in the rear yard and pool equipment to be located in the exterior side yard.

The subject lands are zoned **R3(EN) – Third Density Residential Zone (Established Neighbourhood)** and subject to the provisions of **Exception 14.266 under Zoning By-law 001-2021, as amended.**

#	Zoning By-law 001-2021	Variance requested
1	An uncovered platform, with a floor height of 1.2 m or less as measured at any point from grade and including access stairs is permitted to encroach a maximum of 2.4 m into the required rear yard [Table 4.1].	To permit the proposed uncovered platform to encroach a maximum of 7.04 m into the required rear yard.
2	A minimum distance of 0.6 m shall be required from any permitted encroachment to the nearest lot line [Section 4.13.3.].	To permit a minimum setback of 0.46 m from the rear lot line to the proposed uncovered platform.
3	An accessory building or accessory structure (Cabana) shall not be located closer to an exterior side lot line than the principal building on the lot, except where explicitly permitted in this By-law [Section 4.1.2.2.b.].	To permit a residential accessory structure (Cabana) be located closer to exterior side lot line than the principal building.
4	A minimum setback of 4.5 m is required from the exterior lot line to a residential accessory structure (Cabana) [Schedule T-6]. (See note 1 below).	To permit a minimum setback of 2.68 m from the exterior side lot line to a residential accessory structure (Cabana).
5	A minimum rear yard of 2.4 m is required for a residential accessory structure (Shed roof over BBQ area) [Section 4.1.2.1.b.]. (See note 2 below).	To permit a minimum rear yard of 0.70 m for a residential accessory structure (Shed roof over BBQ area).
6	A minimum interior side yard of 1.2 m is required for a residential accessory structure (Resin Shed) [Schedule T-6]. (See note 1 below).	To permit a minimum interior side yard of 0.63 m for a residential accessory structure (Resin Shed).
7	An air conditioner, heat pump, condenser or similar ground mounted equipment (Pool Equipment) is permitted to encroach a maximum of 1.5 m into the required exterior side yard [Table 4.1].	To permit the pool equipment to encroach a maximum of 3.34 m into the required exterior yard.

HEARING INFORMATION

DATE OF MEETING: Thursday, August 1, 2024

TIME: 6:00 p.m.

MEETING LOCATION: Vaughan City Hall, Woodbridge Room (2nd Floor), 2141 Major Mackenzie Drive

HEARING INFORMATION

LIVE STREAM LINK: Vaughan.ca/LiveCouncil

PUBLIC PARTICIPATION

If you would like to speak to the Committee of Adjustment at the meeting, either remotely or in person, please complete the [Request to Speak Form](#) and submit to cofa@vaughan.ca

If you would like to submit written comments, please quote file number above and submit by mail or email to:

Email: cofa@vaughan.ca

Mail: City of Vaughan, Office of the City Clerk, Committee of Adjustment, 2141 Major Mackenzie Drive, Vaughan, ON, L6A 1T1

To speak electronically, pre-registration is required by completing the [Request to Speak Form](#) on-line and submitting it to cofa@vaughan.ca no later than NOON on the last business day before the meeting.

THE DEADLINE TO REGISTER TO SPEAK ELECTRONICALLY OR SUBMIT WRITTEN COMMENTS ON THE ABOVE NOTED FILE(S) IS NOON ON THE LAST BUSINESS DAY BEFORE THE MEETING.

INTRODUCTION

Staff and Agencies act as advisory bodies to the Committee of Adjustment. The comments contained in this report are presented as recommendations to the Committee.

Section 45(1) of the Planning Act sets the criteria for authorizing minor variances to the City of Vaughan's Zoning By-law. Accordingly, review of the application may consider the following:

- That the general intent and purpose of the by-law will be maintained.
- That the general intent and purpose of the official plan will be maintained.
- That the requested variance(s) is/are acceptable for the appropriate development of the subject lands.
- That the requested variance(s) is/are minor in nature.

Public written and oral submissions relating to this application are taken into consideration by the Committee of Adjustment as part of its deliberations and final decision on this matter.

COMMITTEE OF ADJUSTMENT

Date Public Notice Mailed:	July 18, 2024
Date Applicant Confirmed Posting of Sign:	July 10, 2024
Applicant Justification for Variances: <small>*As provided in Application Form</small>	There is no other more suitable location for the Proposed Cabana and related ground mounted pool equipment.
Was a Zoning Review Waiver (ZRW) Form submitted by Applicant: <small>*ZRW Form may be used by applicant in instances where a revised submission is made, and zoning staff do not have an opportunity to review and confirm variances prior to the issuance of public notice.</small>	Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>
COMMENTS:	
None	
Committee of Adjustment Recommended Conditions of Approval:	None

BUILDING STANDARDS (ZONING)

**See Schedule B for Building Standards (Zoning) Comments

Building Standards Recommended Conditions of Approval:	None
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DEVELOPMENT PLANNING

**See Schedule B for Development Planning Comments. Application under Review.

Development Planning Recommended Conditions of Approval:	TBD
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DEVELOPMENT ENGINEERING

[Link to Grading Permit](#)
 [Link to Pool Permit](#)
 [Link to Curb Curt Permit](#)
 [Link Culvert Installation](#)

As the proposed dwelling/ structure/ cabana in the subject property is 11.56 m², the Owner/ Applicant needs to obtain a 'Lot Grading Permit' from the Development Inspection and Lot Grading Division of the City's Development Engineering Department. Please note any in-ground structure over 10 m² requires a 'Grading Permit'. Please contact the Development Engineering Reviewer after receiving the Grading Permit to clear the condition. (Condition attached) The Owner/Applicant shall apply for a 'Pool Grading Permit' with the Development Engineering (DE) Department. Please visit the grading permits page at City of Vaughan website to learn how to apply for the Pool Permit. If you have any question about Pool Grading Permit, please contact the Development Engineering Department through email at DEPermits@vaughan.ca. The proposed work by the Owner/Applicant is increasing the lot coverage on the subject property. The added hardscape may have impacts on the City's Storm Water management system. Development Engineering strongly encourages the Owner / Applicant introduce Low-Impact Development (LID) measures (e.g., bioswales, permeable pavers, rain gardens, rain barrels etc.) to reduce the impacts to the stormwater system. Should further information be required, please contact the Development Engineering COA reviewer.

Development Engineering Recommended Conditions of Approval:	The Owner/Applicant shall submit an application and obtain an approved Grading Permit before initiating any work on the property. The Final Lot Grading and/or Servicing Plan will be required for the Grading Permit Application. Please visit the Permits page of the City of Vaughan's website: Permits City of Vaughan to apply for a Grading Permit. For any inquiries regarding the Grading Permit, please email DEPermits@vaughan.ca
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PARKS, FORESTRY & HORTICULTURE (PFH)

Recommended condition of approval:

PFH Recommended Conditions of Approval:	Applicant must obtain a Tree removal and protection permit. In addition to all applicable private tree(s); The arborist report and the tree protection plan must also include the city owned Norway maple (<i>Acer platanoides</i>) on the side boulevard of this address (Glen Shields Ave).
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DEVELOPMENT FINANCE

No comment no concerns.

Development Finance Recommended Conditions of Approval:	None
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BY-LAW AND COMPLIANCE, LICENSING AND PERMIT SERVICES

No comments received to date.

BCLPS Recommended Conditions of Approval:	None
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BUILDING INSPECTION (SEPTIC)

No comments received to date.

Building Inspection Recommended Conditions of Approval:	None
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FIRE DEPARTMENT

No comments received to date.

Fire Department Recommended Conditions of Approval:	None
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RECOMMENDED CONDITIONS OF APPROVAL SUMMARY

Should the Committee find it appropriate to approve this application in accordance with request and the sketch submitted with the application, as required by Ontario Regulation 200/96, the following conditions have been recommended:

#	DEPARTMENT / AGENCY	CONDITION
1	Development Planning Alyssa.Pangilinan@vaughan.ca	TBC
2	Development Engineering jonal.hall@vaughan.ca	The Owner/Applicant shall submit an application and obtain an approved Grading Permit before initiating any work on the

RECOMMENDED CONDITIONS OF APPROVAL SUMMARY

Should the Committee find it appropriate to approve this application in accordance with request and the sketch submitted with the application, as required by Ontario Regulation 200/96, the following conditions have been recommended:

		property. The Final Lot Grading and/or Servicing Plan will be required for the Grading Permit Application. Please visit the Permits page of the City of Vaughan's website: Permits City of Vaughan to apply for a Grading Permit. For any inquiries regarding the Grading Permit, please email DEPermits@vaughan.ca
3	Parks, Forestry and Horticulture Operations zachary.quizzetti@vaughan.ca	Applicant must obtain a Tree removal and protection permit. In addition to all applicable private tree(s); The arborist report and the tree protection plan must also include the city owned Norway maple (<i>Acer platanoides</i>) on the side boulevard of this address (Glen Shields Ave).

All conditions of approval, unless otherwise stated, are considered to be incorporated into the approval "if required". If a condition is no longer required after an approval is final and binding, the condition may be waived by the respective department or agency requesting conditional approval. A condition cannot be waived without written consent from the respective department or agency.

IMPORTANT INFORMATION

CONDITIONS: It is the responsibility of the owner/applicant and/or authorized agent to obtain and provide a clearance letter from respective department and/or agency (**see condition chart above for contact**). This letter must be provided to the Secretary-Treasurer to be finalized. All conditions must be cleared prior to the issuance of a Building Permit.

APPROVALS: Making any changes to your proposal after a decision has been made may impact the validity of the Committee's decision.

An approval obtained from the Committee of Adjustment, where applicable, is tied to the building envelope shown on the plans and drawings submitted with the application and subject to the variance approval.

A building envelope is defined by the setbacks of the buildings and/or structures shown on the plans and drawings submitted with the application, as required by Ontario Regulation 200/96. Future development outside of an approved building envelope, where a minor variance was obtained, must comply with the provisions of the City's Zoning By-law.

Elevation drawings are provided to reflect the style of roof (i.e. flat, mansard, gable etc.) to which a building height variance has been applied. Where a height variance is approved, building height is applied to the style of roof (as defined in the City's Zoning By-law) shown on the elevation plans submitted with the application.

Architectural design features that are not regulated by the City's Zoning By-law are not to be considered part of an approval unless specified in the Committee's decision.

DEVELOPMENT CHARGES: That the payment of the Regional Development Charge, if required, is payable to the City of Vaughan before issuance of a building permit in accordance with the Development Charges Act and the Regional Development Charges By-law in effect at the time of payment.

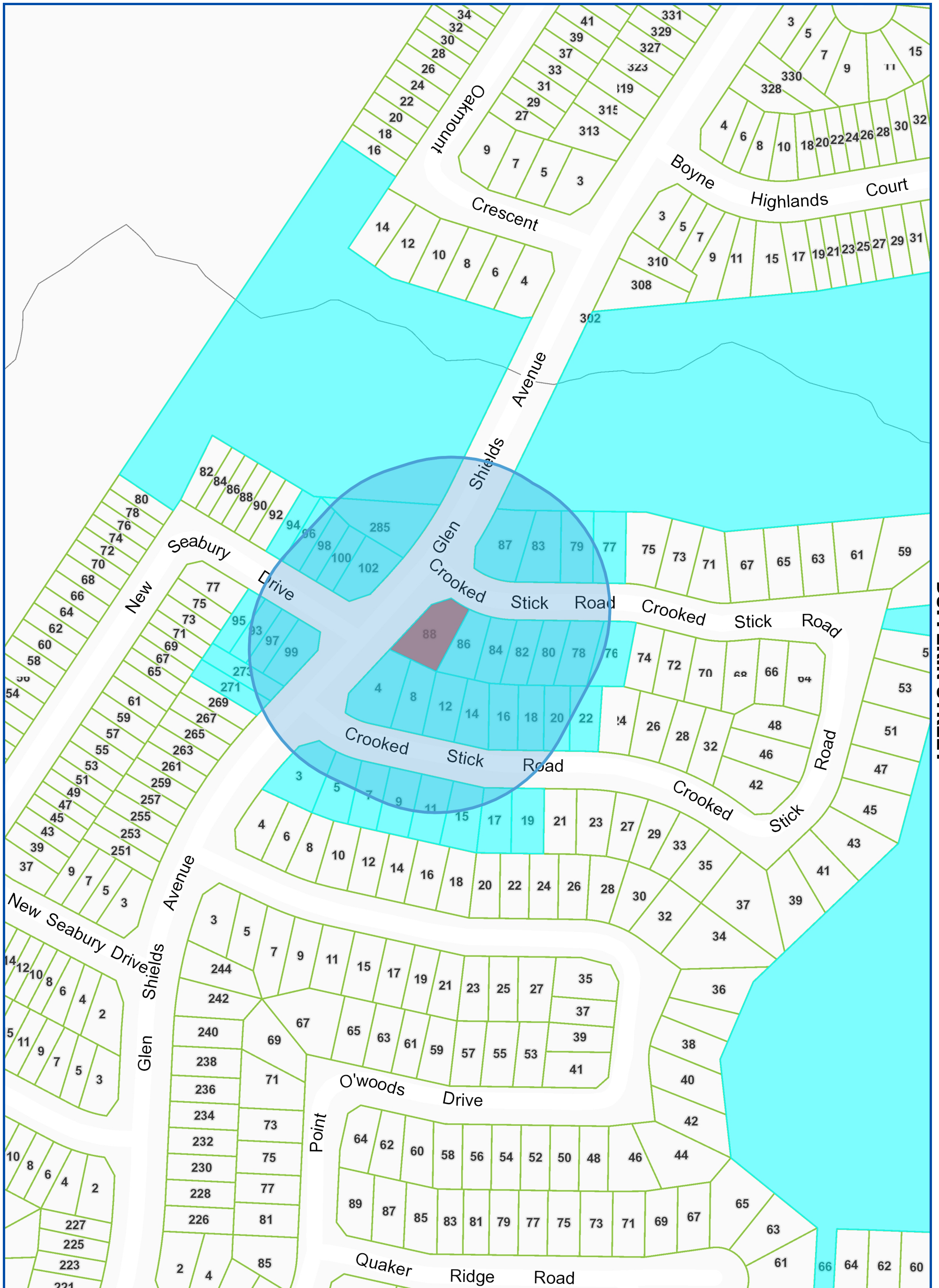
That the payment of the City Development Charge, if required, is payable to the City of Vaughan before issuance of a building permit in accordance with the Development Charges Act and the City's Development Charges By-law in effect at the time of payment.

That the payment of the Education Development Charge if required, is payable to the City of Vaughan before issuance of a building permit in accordance with the Development Charges Act and the Boards of Education By-laws in effect at the time of payment

That the payment of Special Area Development charge, if required, is payable to the City of Vaughan before issuance of a building permit in accordance with the Development Charges Act and The City's Development Charge By-law in effect at the time of Building permit issuance to the satisfaction of the Reserves/Capital Department.

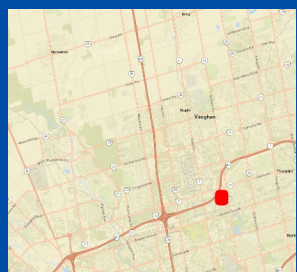
NOTICE OF DECISION: If you wish to be notified of the decision in respect to this application or a related Ontario Land Tribunal (OLT) hearing you must complete a Request for Decision form and submit to the Secretary Treasurer (ask staff for details). In the absence of a written request to be notified of the Committee's decision you will **not** receive notice.

SCHEDULE A: DRAWINGS & PLANS



DUFFERIN STREET

Map Information:



Title:

32 Hazelridge Court, Kleinburg

NOTIFICATION MAP - A088/24

Disclaimer:

Every reasonable effort has been made to ensure that the information appearing on this map is accurate and current. We believe the information to be reliable, however the City of Vaughan assumes no responsibility or liability due to errors or omissions. Please report any discrepancies to Infrastructure Programming.



Scale: 1:2,257

0 0.04 km



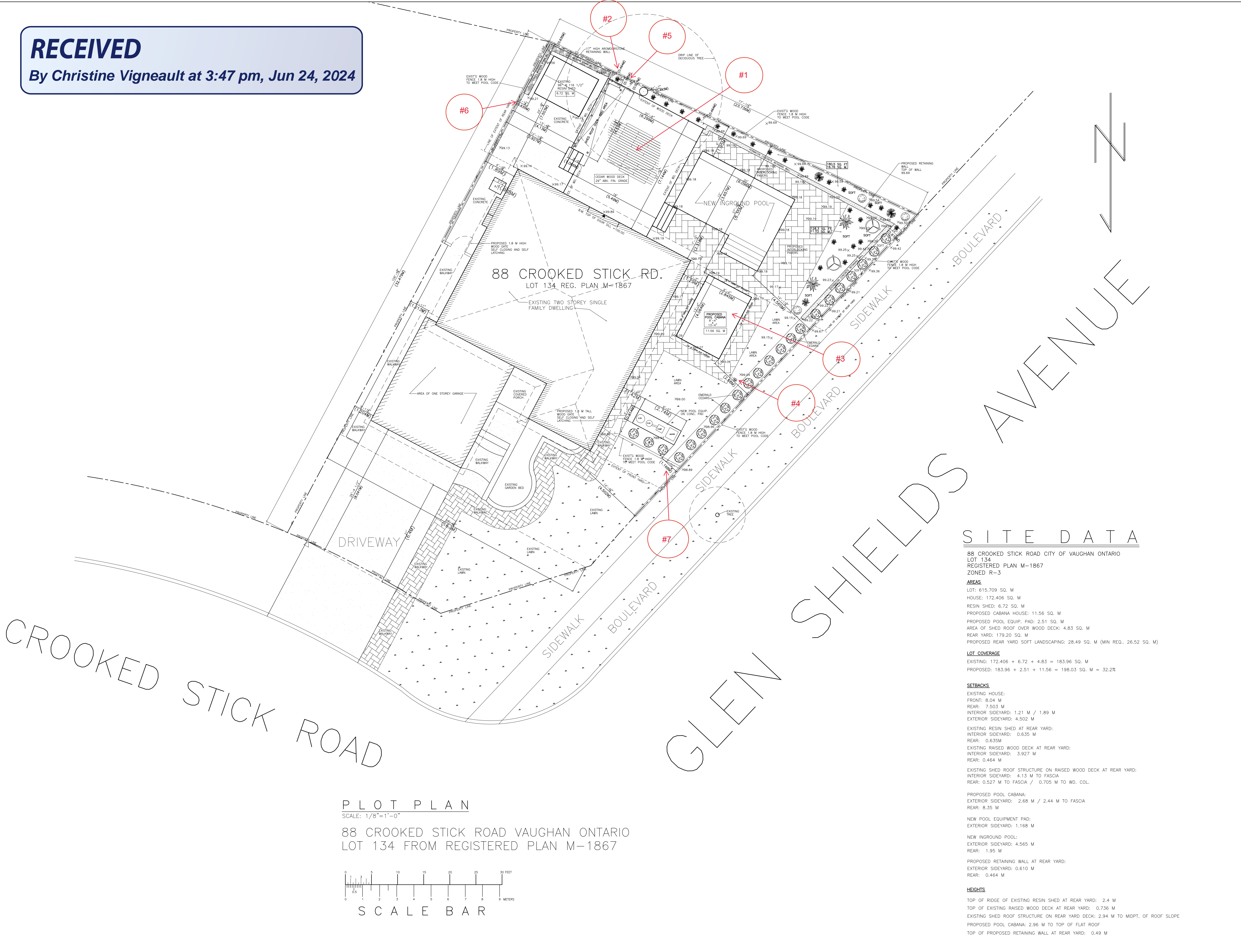
Created By:

Infrastructure Delivery Department
May 28, 2024 11:23 AM

Projection:
NAD 83
UTM Zone
17N

RECEIVED
By Christine Vigneault at 3:47 pm, Jun 24, 2024

Notes: DO NOT SCALE DRAWINGS



CROOKED STICK ROAD

GLEN SHIELDS AVENUE

88 CROOKED STICK RD.
LOT 134 REG. PLAN M-1867

SITE DATA

88 CROOKED STICK ROAD CITY OF VAUGHAN ONTARIO
LOT 134
REGISTERED PLAN M-1867
ZONED R-3

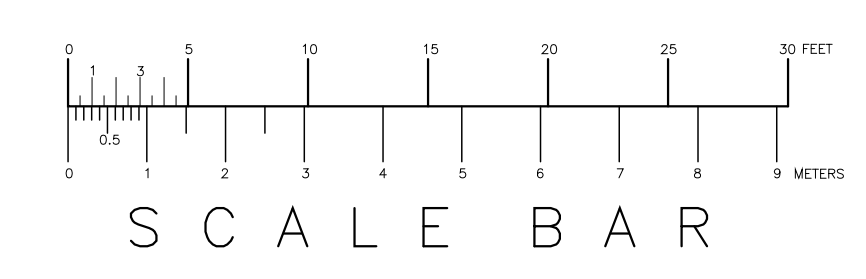
AREAS
LOT: 615,709 SQ. M
HOUSE: 172,406 SQ. M
RESIN SHED: 6.72 SQ. M
PROPOSED CABANA HOUSE: 11.56 SQ. M
PROPOSED POOL EQUIP. PAD: 2.51 SQ. M
AREA OF SHED ROOF OVER WOOD DECK: 4.83 SQ. M
REAR YARD: 179.20 SQ. M
PROPOSED REAR YARD SOFT LANDSCAPING: 28.49 SQ. M (MIN RED., 26.52 SQ. M)

LOT COVERAGE
EXISTING: 172,406 + 6.72 + 4.83 = 183.96 SQ. M
PROPOSED: 183.96 + 2.51 + 11.56 = 198.03 SQ. M = 32.2%

SETRACKS
EXISTING HOUSE:
FRONT: 8.04 M
REAR: 7.503 M
INTERIOR SIDYARD: 1.21 M / 1.89 M
EXTERIOR SIDYARD: 4.502 M
EXISTING RESIN SHED AT REAR YARD:
INTERIOR SIDYARD: 0.635 M
REAR: 0.635M
EXISTING RAISED WOOD DECK AT REAR YARD:
INTERIOR SIDYARD: 3.927 M
REAR: 0.464 M
EXISTING SHED ROOF STRUCTURE ON RAISED WOOD DECK AT REAR YARD:
INTERIOR SIDYARD: 4.13 M TO FASCIA
REAR: 0.527 M TO FASCIA / 0.705 M TO WD. COIL.
PROPOSED POOL CABANA:
EXTERIOR SIDYARD: 2.68 M / 2.44 M TO FASCIA
REAR: 8.35 M
NEW POOL EQUIPMENT PAD:
EXTERIOR SIDYARD: 1.168 M
NEW INGROUND POOL:
EXTERIOR SIDYARD: 4.565 M
REAR: 1.95 M
PROPOSED RETAINING WALL AT REAR YARD:
EXTERIOR SIDYARD: 0.610 M
REAR: 0.464 M

HEIGHTS
TOP OF RIDGE OF EXISTING RESIN SHED AT REAR YARD: 2.4 M
TOP OF EXISTING RAISED WOOD DECK AT REAR YARD: 0.736 M
EXISTING SHED ROOF STRUCTURE ON REAR YARD DECK: 2.94 M TO MIDPT. OF ROOF SLOPE
PROPOSED POOL CABANA: 2.96 M TO TOP OF FLAT ROOF
TOP OF PROPOSED RETAINING WALL AT REAR YARD: 0.49 M

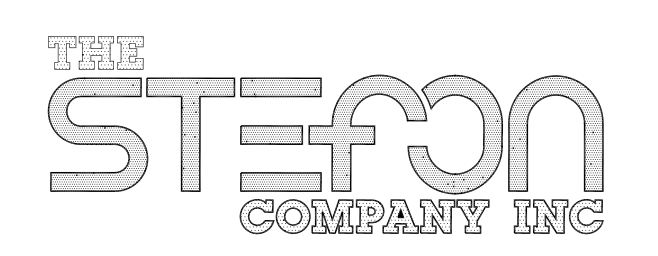
PLOT PLAN
SCALE: 1/8"=1'-0"
88 CROOKED STICK ROAD VAUGHAN ONTARIO
LOT 134 FROM REGISTERED PLAN M-1867



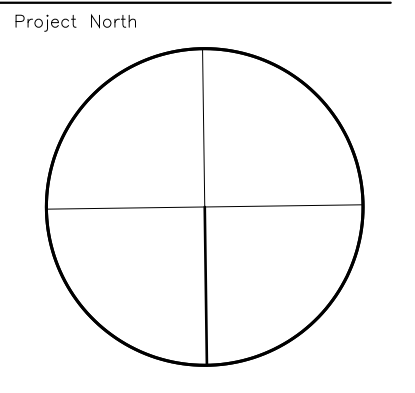
AUTHORIZATION:

Issue No.001 COMMITTEE OF ADJUSTMENT APRIL 2024
Issue No.002 REVISED JUNE 24, 2024

PLANNING & DESIGN BY:



18 HOOVER CRESCENT TORONTO ONTARIO CANADA
M3N 1P5 TEL:(416) 665-1683 FAX:(416) 665-5230
URL: HTTP://www.stefon.ca E-MAIL: stefon@stefon.com



QUALIFICATION INFORMATION	
Responsible design in accordance with Ontario Building Code	
S. PUPPELLA	30752 BCN
NAME	SIGNATURE
REGISTRATION INFORMATION	
Responsible design in accordance with Ontario Building Code	
THE STEFON COMPANY INC.	42113 BCN
FIRM NAME	BCN

Project
**REAR YARD INGROUND POOL
CABANA & LANDSCAPING**
88 CROOKED STICK ROAD
VAUGHAN, ONTARIO L4K 1P5

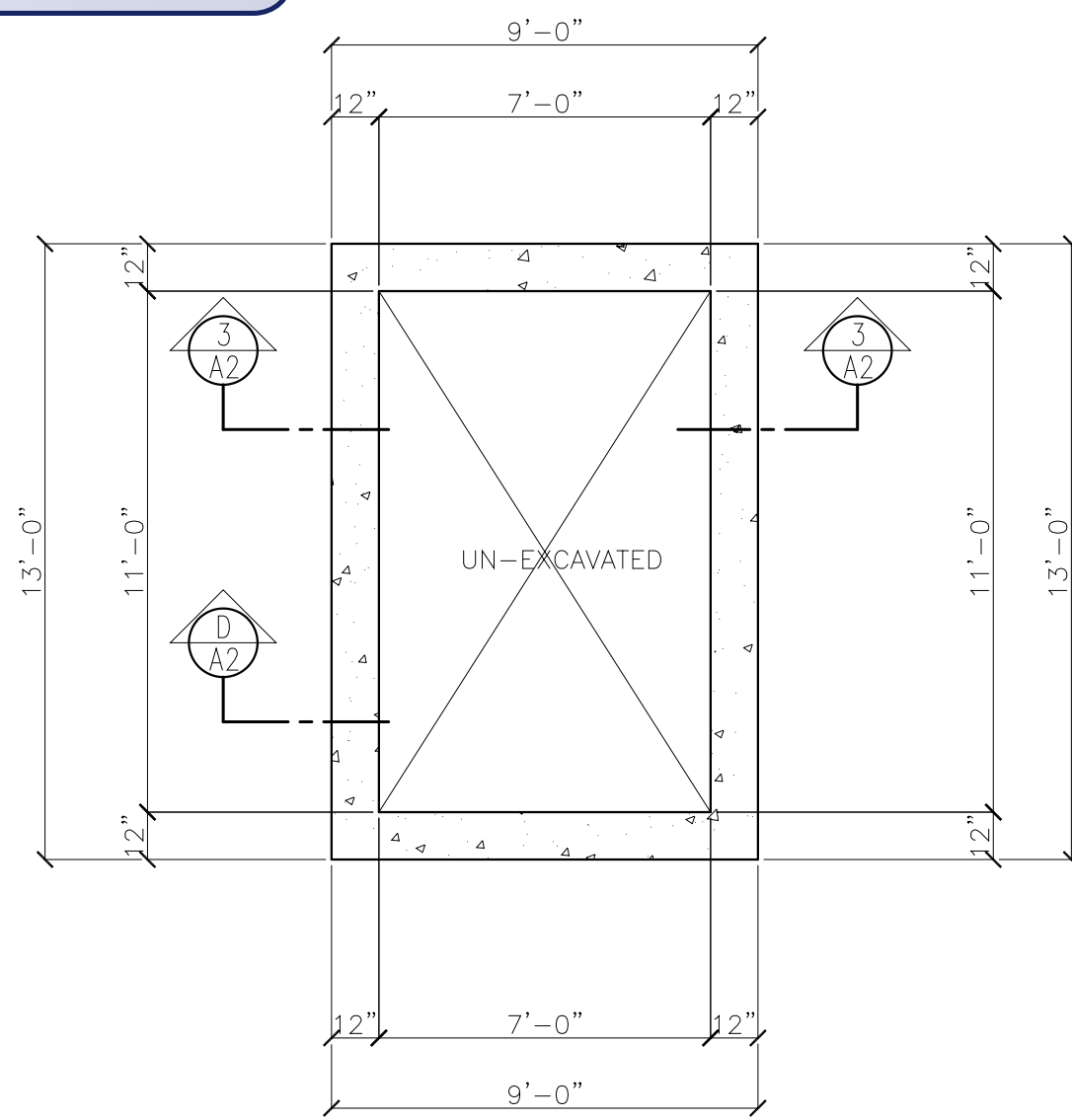
Drawing Title
SITE PLAN
SITE DATA

Scale: 1/8"=1'-0" Plot Scale: 1"=1'
Date: JUNE 24, 2024 Plotted:
Drawn by: SP Printed:
Checked by: SP/SP
File No.: C:ATLAS
Project No.: REARYARD_2024
Drawing No.: A1 OF 2

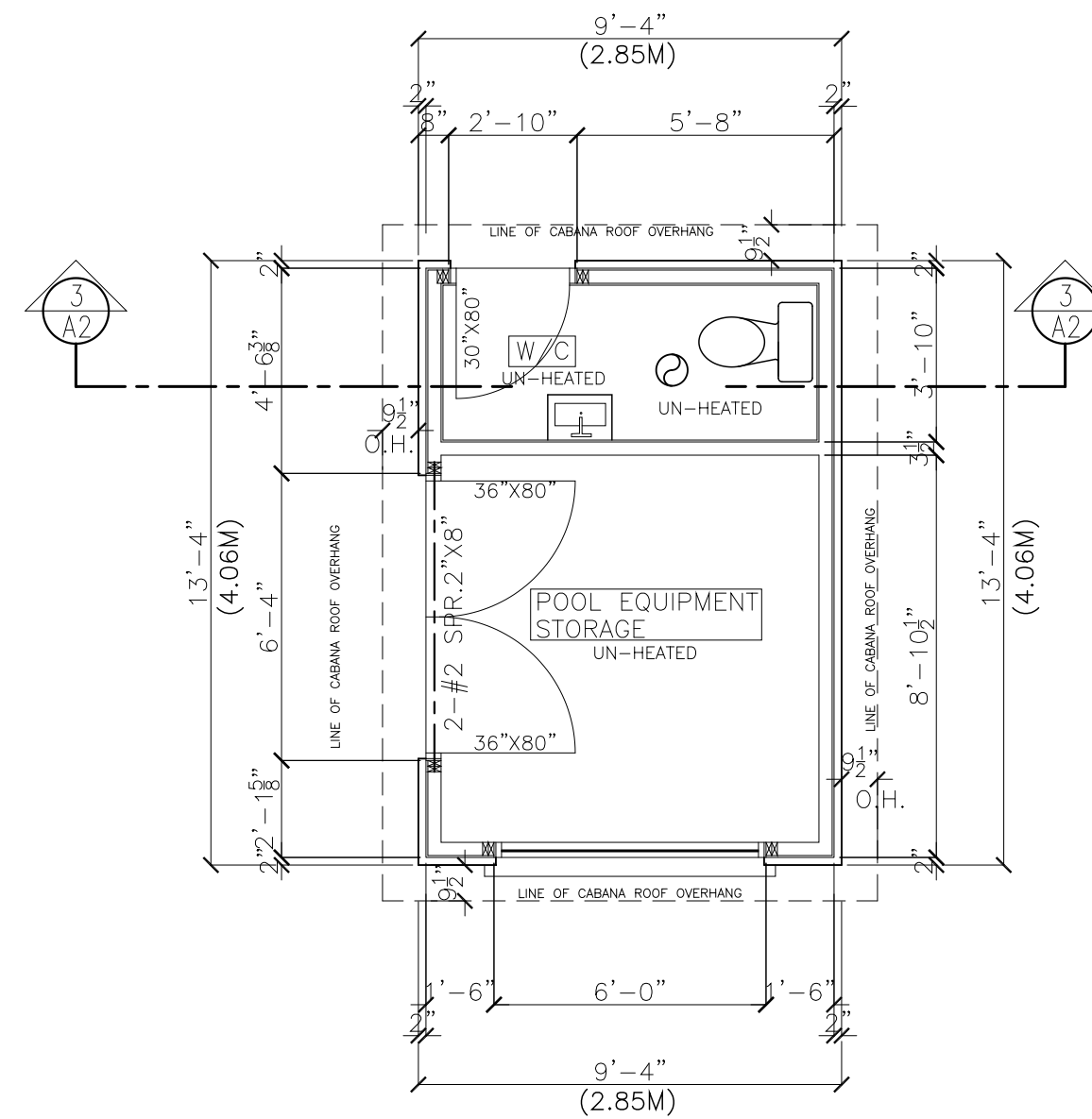
RECEIVED

By Christine Vigneault at 3:47 pm, Jun 24, 2024

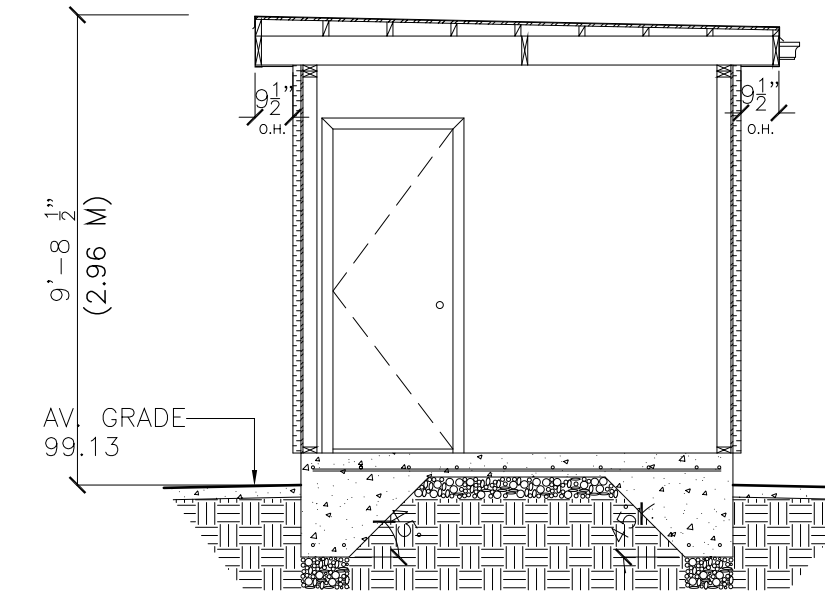
Notes: DO NOT SCALE DRAWINGS
DRAWINGS NOT ISSUED FOR PERMIT!



1 PROPOSED POOL CABANA FOUNDATION PLAN
SCALE: AS SHOWN



2 PROPOSED POOL CABANA GROUND FLOOR PLAN
SCALE: AS SHOWN

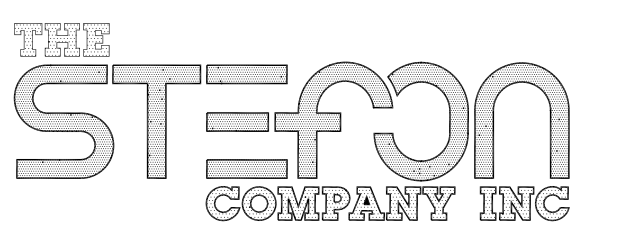


3 PROPOSED POOL CABANA CROSS SECTION
SCALE: AS SHOWN

AUTHORIZATION:

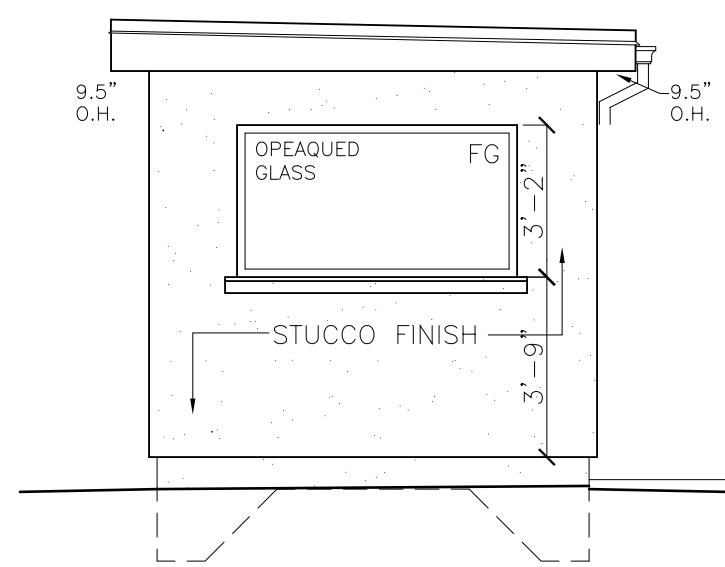
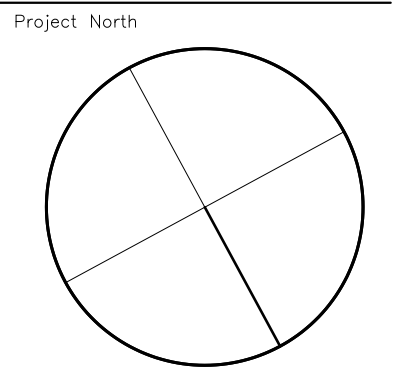
Issue No.001 COMMITTEE OF ADJUSTMENT APRIL 2024
Issue No.002 REVISED JUNE 24, 2024

PLANNING & DESIGN BY:

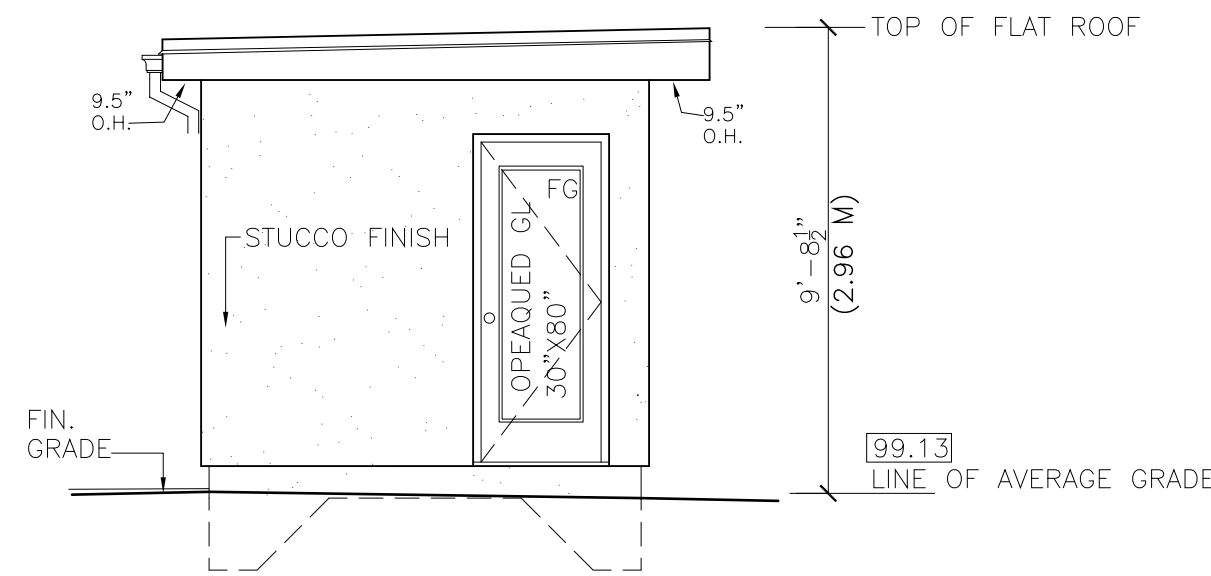


18 HOOVER CRESCENT TORONTO ONTARIO CANADA
M3N 1P5 TEL:(416) 665-1683 FAX:(416) 665-5230

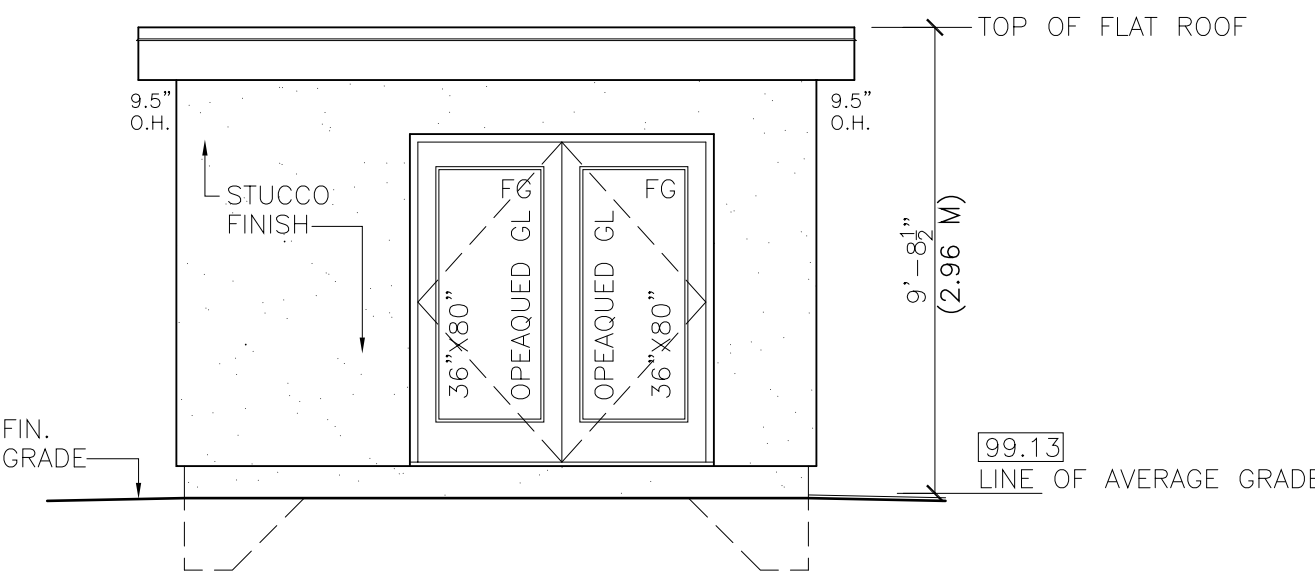
URL: HTTP://www.stefon.co E-MAIL: stefon@stefon.com



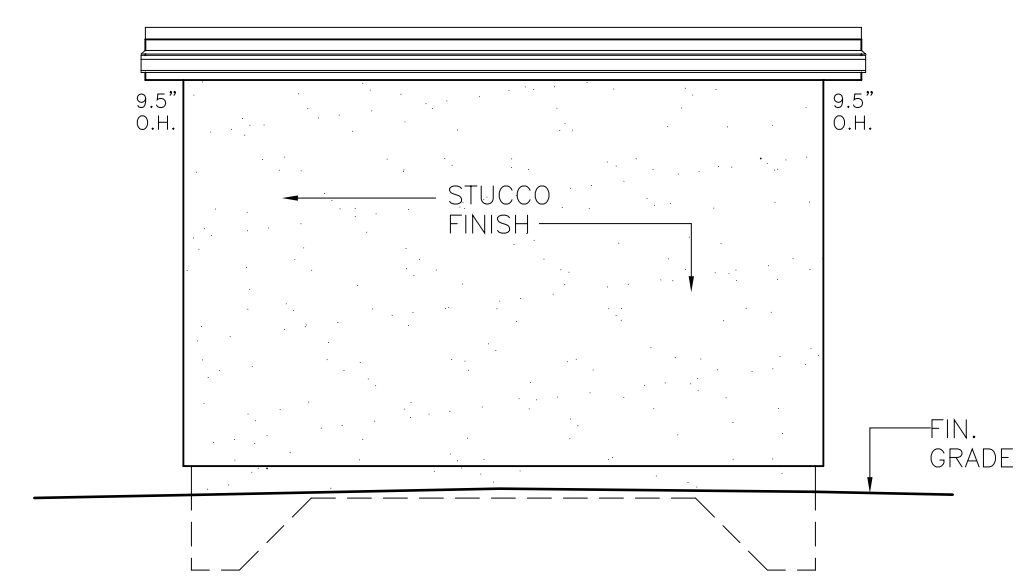
4 PROPOSED POOL CABANA NORTH ELEVATION
SCALE: AS SHOWN



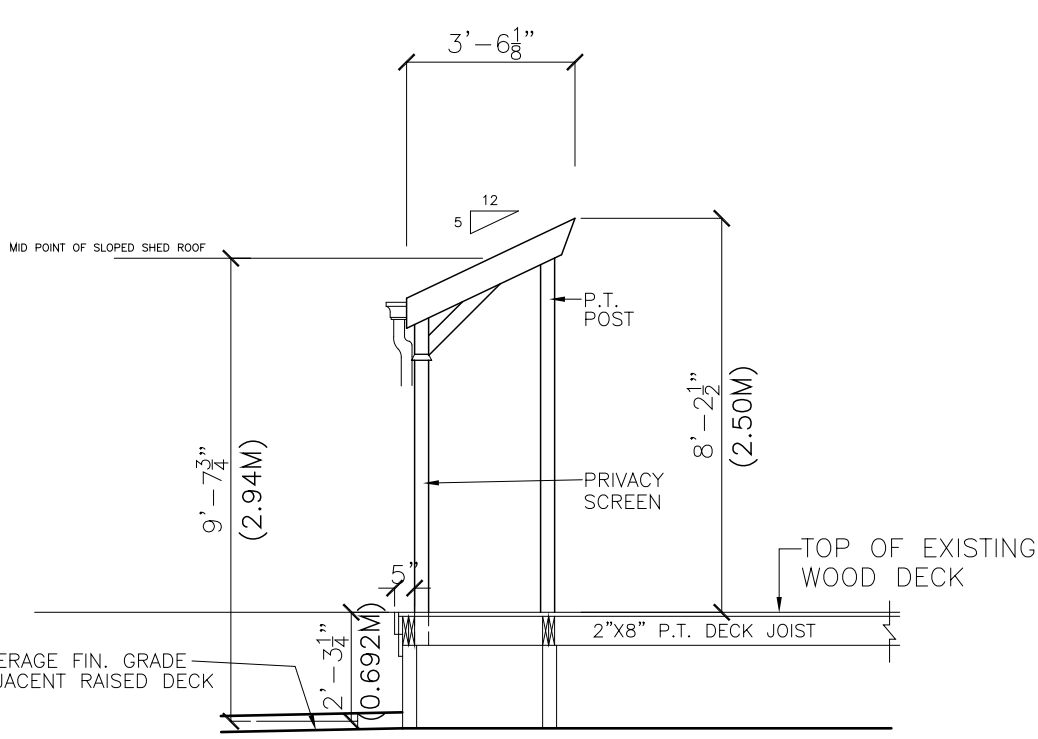
5 PROPOSED POOL CABANA SOUTH ELEVATION
SCALE: AS SHOWN



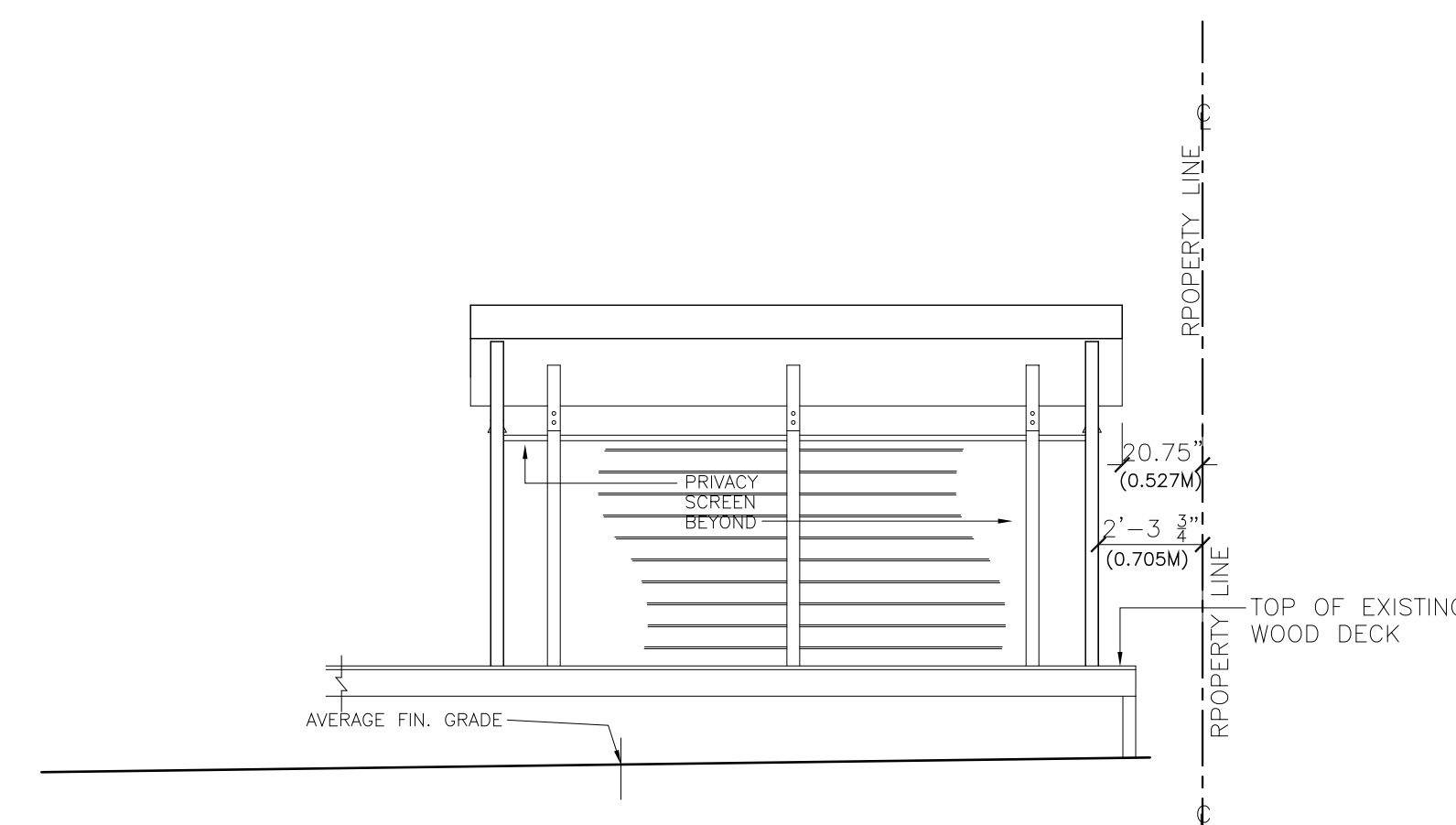
6 PROPOSED POOL CABANA EAST ELEVATION
SCALE: AS SHOWN



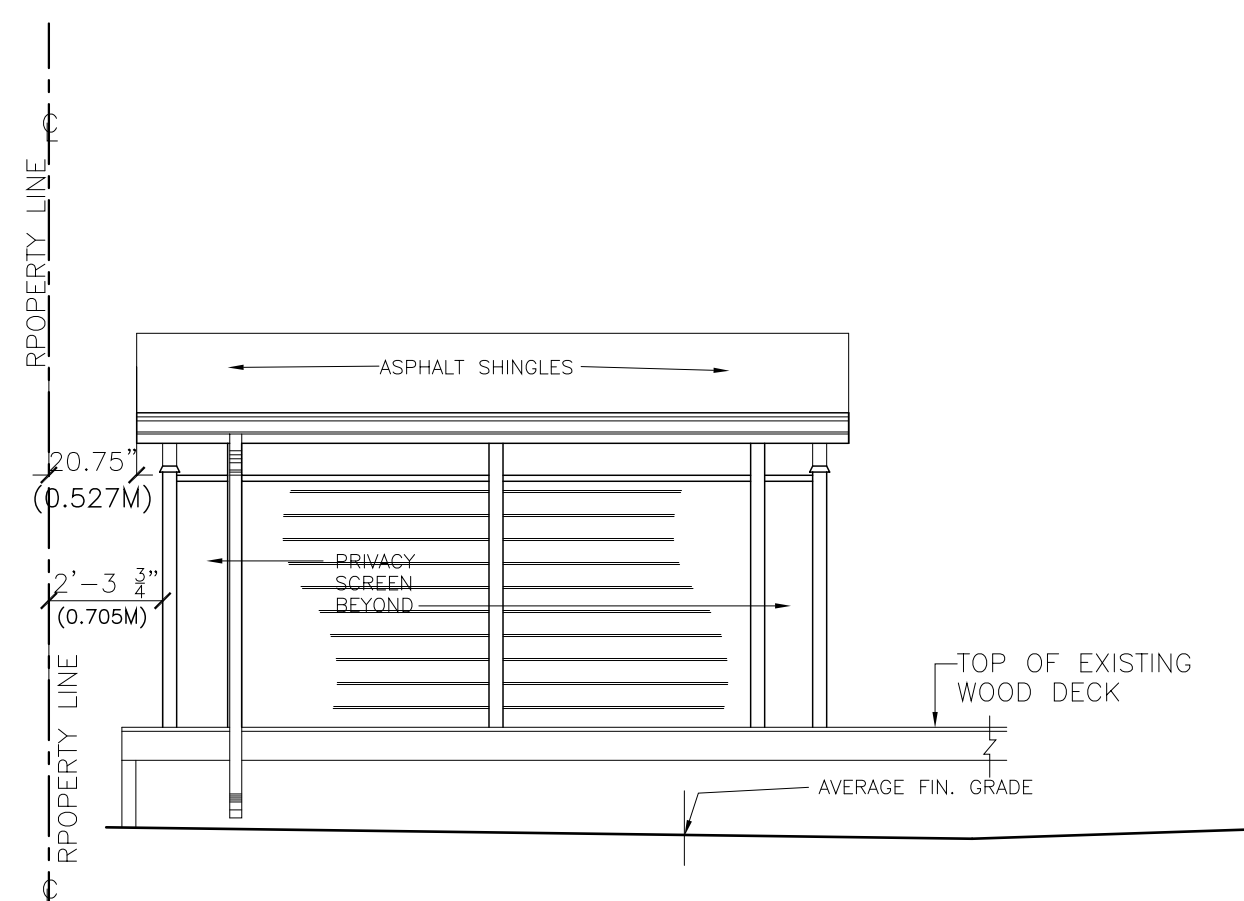
7 PROPOSED POOL CABANA WEST ELEVATION
SCALE: AS SHOWN



8 EXISTING SHED ROOF ON DECK NORTH ELEVATION
SCALE: AS SHOWN



9 EXISTING SHED ROOF ON DECK WEST ELEVATION
SCALE: AS SHOWN



10 EXISTING SHED ROOF ON DECK EAST ELEVATION
SCALE: AS SHOWN

Professional Engineer stamp for S. Puffella, The Stefon Company Inc., with registration information.

Project: REAR YARD INGROUND POOL CABANA & LANDSCAPING
88 CROOKED STICK ROAD
VAUGHAN, ONTARIO L4K 1P5

Drawing Title: CABANA FLOOR PLAN
CABANA ELEVATIONS
ELEVATIONS OF SHED ROOF ON DECK

Scale: 1/4" = 1'-0" Plot Scale: 1"=1"
Date: JUNE 24, 2024 Plotted:
Drawn by: SP Printed:
Checked by: SP/SP
File No.: C:ATLAS
Project No.: REARYARD_2024

88 Crooked Stick Road

Supporting photos 2016 to present day























**SCHEDULE B:
COMMENTS FROM AGENCIES, BUILDING STANDARDS &
DEVELOPMENT PLANNING**

Department / Agency <small>*Comments Received</small>	Conditions Required		Nature of Comments
Building Standards (Zoning) *See Schedule B	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>	General Comments
Development Planning	Yes <input type="checkbox"/>	No <input type="checkbox"/>	Application Under Review

External Agencies <small>*Comments Received</small>	Conditions Required		Nature of Comments <small>*See Schedule B for full comments</small>
Alectra	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>	General Comments
Region of York	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>	General Comments
TRCA	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>	General Comments

Date: June 10th 2024

Attention: **Christine Vigneault**

RE:

File No.: **A088-24**

Related Files:

Applicant The Stefon Company Inc.

Location 88 Crooked Stick Road



Discover the possibilities

COMMENTS:

- We have reviewed the proposed Variance Application and have no comments or objections to its approval.
- We have reviewed the proposed Variance Application and have no objections to its approval, subject to the following comments (attached below).
- We have reviewed the proposed Variance Application and have the following concerns (attached below).

Alectra Utilities (formerly PowerStream) has received and reviewed the proposed Variance Application. This review, however, does not imply any approval of the project or plan.

All proposed billboards, signs, and other structures associated with the project or plan must maintain minimum clearances to the existing overhead or underground electrical distribution system as specified by the applicable standards, codes and acts referenced.

In the event that construction commences, and the clearance between any component of the work/structure and the adjacent existing overhead and underground electrical distribution system violates the Occupational Health and Safety Act, the customer will be responsible for 100% of the costs associated with Alectra making the work area safe. All construction work will be required to stop until the safe limits of approach can be established.

In the event construction is completed, and the clearance between the constructed structure and the adjacent existing overhead and underground electrical distribution system violates the any of applicable standards, acts or codes referenced, the customer will be responsible for 100% of Alectra's cost for any relocation work.

References:

- Ontario Electrical Safety Code, latest edition (Clearance of Conductors from Buildings)
- Ontario Health and Safety Act, latest edition (Construction Protection)
- Ontario Building Code, latest edition (Clearance to Buildings)
- PowerStream (Construction Standard 03-1, 03-4), attached
- Canadian Standards Association, latest edition (Basic Clearances)

If more information is required, please contact either of the following:

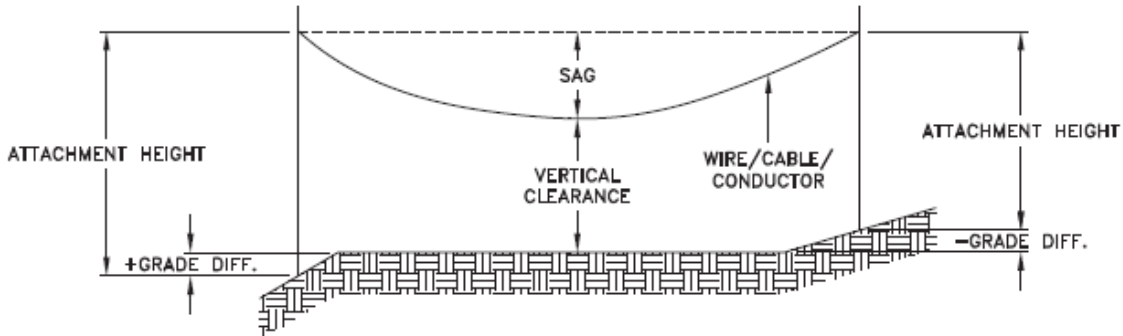
Mr. Stephen Cranley, C.E.T
Supervisor, Distribution Design, ICI & Layouts (North)
Phone: 1-877-963-6900 ext. 31297

E-mail: stephen.cranley@alectrautilities.com

Mitchell Penner
Supervisor, Distribution Design-Subdivisions
Phone: 416-302-6215

Email: Mitchell.Penner@alectrautilities.com

LOCATION OF WIRES, CABLES OR CONDUCTORS	SYSTEM VOLTAGE			
	SPAN GUYS AND COMMUNICATIONS WIRES	UP TO 600V AND NEUTRAL	4.16/2.4kV TO 27.6/16kV (SEE NOTE 1)	44kV
MINIMUM VERTICAL CLEARANCES (SEE NOTE 2)				
OVER OR ALONGSIDE ROADS, DRIVEWAYS OR LANDS ACCESSIBLE TO <u>VEHICLES</u>	442cm	442cm	480cm	520cm
OVER GROUND ACCESSIBLE TO <u>PEDESTRIANS AND BICYCLES ONLY</u>	250cm	310cm	340cm	370cm
ABOVE TOP OF RAIL AT <u>RAILWAY CROSSINGS</u>	730cm	730cm	760cm	810cm



MINIMUM ATTACHMENT HEIGHT = MAXIMUM SAG
 + MINIMUM VERTICAL CLEARANCE (FROM ABOVE TABLE)
 ± GRADE DIFFERENCE
 + 0.3m (VEHICLE OR RAILWAY LOCATION)
 + SNOW DEPTH (PEDESTRIAN LOCATION, SEE NOTE 3)

NOTES:

1. THE MULTIGROUNDED SYSTEM NEUTRAL HAS THE SAME CLEARANCE AS THE 600V SYSTEM.
2. THE VERTICAL CLEARANCES IN THE ABOVE TABLE ARE UNDER MAXIMUM SAG CONDITIONS.
3. REFER TO CSA STANDARD C22.3 No.1, ANNEX D FOR LOCAL SNOW DEPTH VALUES.
4. ALL CLEARANCES ARE IN ACCORDANCE TO CSA STANDARD C22.3.

CONVERSION TABLE

METRIC	IMPERIAL (APPROX)
810cm	27'-0"
760cm	25'-4"
730cm	24'-4"
520cm	17'-4"
480cm	16'-0"
442cm	15'-5"
370cm	12'-4"
340cm	11'-4"
310cm	10'-4"
250cm	8'-4"

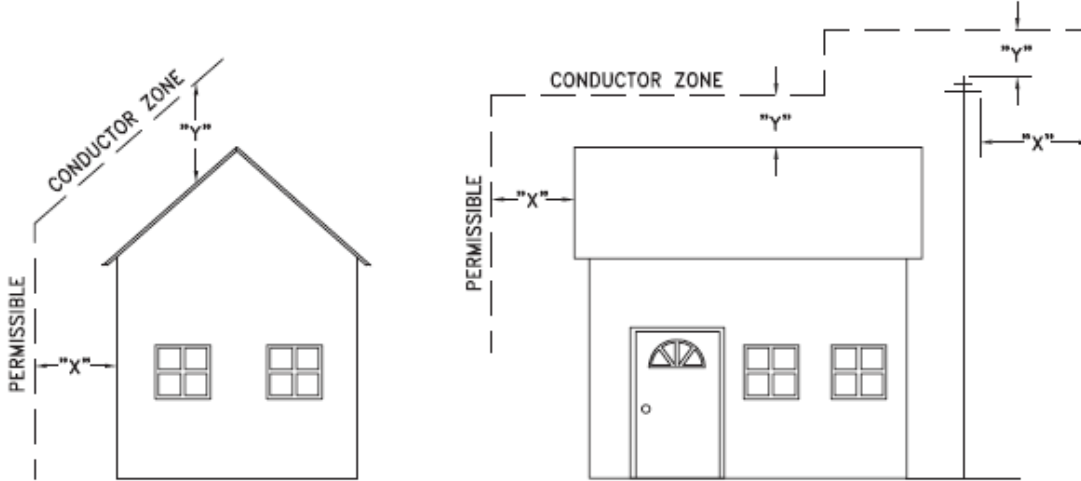
REFERENCES

SAGS AND TENSIONS | SECTION 02

MINIMUM VERTICAL CLEARANCES OF WIRES, CABLES AND CONDUCTORS ABOVE GROUND OR RAILS

ORIGINAL ISSUE DATE: 2010-DEC-24 REVISION NO: R1 REVISION DATE: 2012-JAN-09

Certificate of Approval	
This construction Standard meets the safety requirements of Section 4 of Regulation 22/04	
Joe Crozier, P.Eng.	2012-JAN-09
Name	Date
P.Eng. Approval By:	Joe Crozier



VOLTAGE	MINIMUM HORIZONTAL CLEARANCE UNDER MAXIMUM SWING CONDITIONS DIMENSION "X" (SEE NOTES 1, 3 & 4)	MINIMUM VERTICAL CLEARANCE UNDER MAXIMUM DESIGN SAG CONDITIONS DIMENSION "Y" (SEE NOTES 1, 2, 4 & 5)
0-600V AND NEUTRAL	100cm	250cm
4.16/2.4 TO 44kV	300cm	480cm

NOTES

1. UNDER NO CIRCUMSTANCES SHALL A CONDUCTOR BE PERMITTED TO PENETRATE THE ENVELOPE SHOWN BY THE DOTTED LINE.
2. THE VERTICAL CLEARANCES ARE UNDER CONDITIONS OF MAXIMUM DESIGN SAG.
3. THE HORIZONTAL CLEARANCES ARE UNDER CONDITIONS OF MAXIMUM SWING. WHERE THE CONDUCTOR SWING IS NOT KNOWN A HORIZONTAL CLEARANCE OF 480CM SHALL BE USED.
4. BUILDINGS THAT EXCEED 3 STOREYS OR 15M IN HEIGHT, THE MINIMUM HORIZONTAL CLEARANCE OF THE SECONDARY CONDUCTORS SHOULD BE INCREASED TO 300cm WHERE IT IS NECESSARY TO ALLOW FOR THE RAISING OF LADDERS BY LOCAL FIRE DEPARTMENTS.
5. IN SITUATIONS SUCH AS MULTI-LEVEL GARAGES, WHERE ROOFS ARE NORMALLY USED BY PERSONS AND VEHICLES, THE VERTICAL CLEARANCES OF POWERSTREAM STANDARD 03-1 SHALL APPLY.
6. DISTRIBUTION LINES CONSTRUCTED NEAR BUILDINGS SHALL BE BUILT TO AVOID OVERHANG WHEREVER POSSIBLE. WHERE LINES MUST BE CONSTRUCTED OVER OR ADJACENT TO BUILDINGS THE APPLICABLE HORIZONTAL AND VERTICAL CLEARANCES SHALL BE AT CONDITIONS OF MAXIMUM CONDUCTOR SWING AND MAXIMUM SAG. THE ABOVE CLEARANCES ARE DESIGNED TO PREVENT PERSONS ON OR IN BUILDINGS AS WELL AS EXTERNAL MACHINERY USED IN CONJUNCTION WITH A BUILDING TO COME IN CONTACT WITH CONDUCTORS. EFFORTS SHOULD BE MADE TO INCREASE THESE CLEARANCES WHERE POSSIBLE.
7. ALL CLEARANCES ARE IN ACCORDANCE TO CSA C22.3 NO.1-06 (TABLE-9).

METRIC	IMPERIAL (APPROX)
480cm	16'-0"
300cm	10'-0"
250cm	8'-4"
100cm	3'-4"

MINIMUM VERTICAL & HORIZONTAL CLEARANCES OF CONDUCTORS FROM BUILDINGS OR OTHER PERMANENT STRUCTURES (CONDUCTORS NOT ATTACHED TO BUILDINGS)

Certificate of Approval
This construction Standard meets the safety requirements of Section 4 of Regulation 22/04
Debbie Dadwani, P.Eng. 2010-MAY-05
Name Date
P. Eng. Approval By: *D. Dadwani*

ORIGINAL ISSUE DATE: 2010-MAY-05 REVISION NO: REVISION DATE:
PS:\System Planning and Standards\Standard Design\PowerStream Standards\PowerStream Standards working files\Section 3-1-02\WG 03-4 R0 May 5, 2010.dwg, 5/5/2010 10:22:02 AM, Adobe PDF

To: Committee of Adjustment

From: Niloufar Youssefi, Building Standards Department

Date: June 28, 2024

Applicant: The Stefon Company Inc.

Location: 88 Crooked Stick Road
PLAN M1867 Lot 134

File No.(s): A088/24

Zoning Classification:

The subject lands are zoned R3(EN) – Third Density Residential Zone (Established Neighbourhood) and subject to the provisions of Exception 14.266 under Zoning By-law 001-2021, as amended.

#	Zoning By-law 001-2021	Variance requested
1	An uncovered platform, with a floor height of 1.2 m or less as measured at any point from grade and including access stairs is permitted to encroach a maximum of 2.4 m into the required rear yard [Table 4.1] .	To permit the proposed uncovered platform to encroach a maximum of 7.04 m into the required rear yard.
2	A minimum distance of 0.6 m shall be required from any permitted encroachment to the nearest lot line [Section 4.13.3] .	To permit a minimum setback of 0.46 m from the rear lot line to the proposed uncovered platform.
3	An accessory building or accessory structure (Cabana) shall not be located closer to an exterior side lot line than the principal building on the lot, except where explicitly permitted in this By-law [Section 4.1.2.2.b] .	To permit a residential accessory structure (Cabana) be located closer to exterior side lot line than the principal building.
4	A minimum setback of 4.5 m is required from the exterior lot line to a residential accessory structure (Cabana) [Schedule T-6] . (See note 1 below).	To permit a minimum setback of 2.68 m from the exterior side lot line to a residential accessory structure (Cabana).
5	A minimum rear yard of 2.4 m is required for a residential accessory structure (Shed roof over BBQ area) [Section 4.1.2.1.b] . (See note 2 below).	To permit a minimum rear yard of 0.70 m for a residential accessory structure (Shed roof over BBQ area).
6	A minimum interior side yard of 1.2 m is required for a residential accessory structure (Resin Shed) [Schedule T-6] . (See note 1 below).	To permit a minimum interior side yard of 0.63 m for a residential accessory structure (Resin Shed).
7	An air conditioner, heat pump, condenser or similar ground mounted equipment (Pool Equipment) is permitted to encroach a maximum of 1.5 m into the required exterior side yard [Table 4.1] .	To permit the pool equipment to encroach a maximum of 3.34 m into the required exterior yard.

Staff Comments:

Stop Work Order(s) and Order(s) to Comply:

There are no outstanding Orders on file.

Building Permit(s) Issued:

A Building Permit has not been issued. The Ontario Building Code requires a building permit for structures that exceed 10m².

Other Comments:

Zoning By-law 01-2021	
1	An accessory building and residential accessory structure shall be subject to the minimum front yard, interior side yard and exterior side yard requirements for the principal building on the lot, as indicated in the applicable zone [Section 4.1.2.1.a] .
2	A residential accessory structure with a height greater than 2.8 m shall not be located closer than 2.4 m to any lot line. In all other cases, a residential accessory structure shall not be located closer than 0.6 m to any lot line [Section 4.1.2.b] .

General Comments	
3	The applicant shall be advised that additional variances may be required upon review of detailed drawing for building permit/site plan approval.

Lenore Providence

Subject: FW: [External] RE: A088/24 (88 Crooked Stick Road) - REQUEST FOR COMMENTS, CITY OF VAUGHAN

From: Cameron McDonald <Cameron.McDonald@trca.ca>
Sent: Tuesday, June 11, 2024 3:22 PM
To: Committee of Adjustment <CofA@vaughan.ca>
Subject: [External] RE: A088/24 (88 Crooked Stick Road) - REQUEST FOR COMMENTS, CITY OF VAUGHAN

CAUTION! This is an external email. Verify the sender's email address and carefully examine any links or attachments before clicking. If you believe this may be a phishing email, please use the Phish Alert Button.

Good afternoon,

Based on a review of our screening mapping, I can confirm that the subject property is not located within TRCA's Regulated Area. As such, any site alteration or development on the property would not require a permit from TRCA.

Based on the above, we have no comments/requirements.

Regards,

Cameron McDonald
Planner I
Development Planning and Permits | Development and Engineering Services

T: [\(437\) 880-1925](tel:437-880-1925)
E: cameron.mcdonald@trca.ca
A: [101 Exchange Avenue, Vaughan, ON, L4K 5R6](https://www.trca.ca) | [trca.ca](https://www.trca.ca)



Prabhdeep Kaur

From: Development Services <developmentsservices@york.ca>
Sent: Tuesday, June 11, 2024 4:08 PM
To: Prabhdeep Kaur
Cc: Committee of Adjustment
Subject: [External] RE: A088/24 (88 Crooked Stick Road) - REQUEST FOR COMMENTS, CITY OF VAUGHAN

CAUTION! This is an external email. Verify the sender's email address and carefully examine any links or attachments before clicking. If you believe this may be a phishing email, please use the Phish Alert Button.

Hi Prabhdeep,

The Regional Municipality of York has completed its review of the minor variance application – A088/24 (88 Crooked Stick Road) and has no comment.

Please provide us with a digital copy of the notice of decision for our records.

Many thanks,

Our working hours may be different. Please do not feel obligated to reply outside of your scheduled working hours. Let's work together to help foster healthy work-life boundaries.

Niranjan Rajevan, M.P.I. | Associate Planner, Development Services, Planning and Economic Development, Corporate Services

The Regional Municipality of York | 17250 Yonge Street | Newmarket, ON L3Y 6Z1
1-877-464-9675 ext. 71521 | niranjan.rajevan@york.ca | www.york.ca

Our Values: Integrity, Commitment, Accountability, Respect, Excellence



Our Mission: **Working together to serve our thriving communities – today and tomorrow**

Please consider the environment before printing this email.

SCHEDULE C: PUBLIC & APPLICANT CORRESPONDENCE

Correspondence Type	Name	Address	Date Received (mm/dd/yyyy)	Summary
Public	Anita & Nick Laurella	4 Crooked Stick Road	07/18/2024	Letter of Support (detailing fence repairs required)

From: [REDACTED]
To: [Lenore Providence](#)
Cc: [Committee of Adjustment](#)
Subject: [External] Re: Information Request: A088/24 (88 Crooked Stick Road)
Date: Thursday, July 18, 2024 5:12:19 PM
Attachments: [image002.png](#)

CAUTION! This is an external email. Verify the sender's email address and carefully examine any links or attachments before clicking. If you believe this may be a phishing email, please use the Phish Alert Button.

Good afternoon, Lenore

Today we received the notice from the Committee of Adjustment concerning **88 Crooked Stick Road**. Our address is 4 Crooked Stick Road and our rear yard abuts the yard of 88 Crooked Stick Road.

We have no concerns about the proposed plans as submitted by Mr. and Mrs. Mallocci. The only item which is a bit of concern is the fencing between the Mallocci home and our home. Currently the fence is unsupported on the Mallocci side, as per photo #14 which you previously sent to me. I have spoken to Mr. and Mrs. Mallocci and they have assured me that once the retaining wall is installed (currently pending your approval to continue work), the soil will be brought back up to grade as previously, thereby supporting the current fencing. Provided that part of the plan is completed in a reasonable timeframe, we have no concerns.

Thank you
Anita & Nick Laurella
4 Crooked Stick Road

[REDACTED]

|

SCHEDULE D: BACKGROUND

None