

ITEM: 6.3	REPORT SUMMARY MINOR VARIANCE APPLICATION FILE NUMBER A057/24
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Report Date: July 26, 2024

**THIS REPORT CONTAINS COMMENTS FROM THE FOLLOWING
DEPARTMENTS & AGENCIES (SEE SCHEDULE B):**

Additional comments from departments and agencies received after the publication of the report will be made available on the City's [website](#).

Internal Departments <small>*Comments Received</small>	Conditions Required		Nature of Comments
Building Standards (Zoning) *See Schedule B	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>	General Comments
Committee of Adjustment	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>	General Comments
Development Planning	Yes <input type="checkbox"/>	No <input type="checkbox"/>	Application Under Review
Development Engineering	Yes <input checked="" type="checkbox"/>	No <input type="checkbox"/>	Recommend Approval w/Conditions
Forestry	Yes <input checked="" type="checkbox"/>	No <input type="checkbox"/>	General Comments w/Conditions
Development Finance	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>	General Comments

External Agencies <small>*Comments Received</small>	Conditions Required		Nature of Comments <small>*See Schedule B for full comments</small>
Alectra	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>	General Comments
TRCA	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>	General Comments
Region of York	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>	General Comments

PUBLIC & APPLICANT CORRESPONDENCE (SEE SCHEDULE C)

All personal information collected because of this public meeting (including both written and oral submissions) is collected under the authority of the Municipal Act, the Municipal Freedom of Information and Protection of Privacy Act (MFIPPA), the Planning Act and all other relevant legislation, and will be used to assist in deciding on this matter. All personal information (as defined by MFIPPA), including (but not limited to) names, addresses, opinions and comments collected will become property of the City of Vaughan, will be made available for public disclosure (including being posted on the internet) and will be used to assist the Committee of Adjustment and staff to process this application.

Correspondence Type	Name	Address	Date Received <small>(mm/dd/yyyy)</small>	Summary
None				

BACKGROUND (SCHEDULE D, IF REQUIRED)

* Background Information contains historical development approvals considered to be related to this file.
This information should not be considered comprehensive.

Application No. (City File)	Application Description <small>(i.e. Minor Variance Application; Approved by COA / OLT)</small>
N/A	N/A

ADJOURNMENT HISTORY

* Previous hearing dates where this application was adjourned by the Committee and public notice issued.

Hearing Date	Reason for Adjournment <small>(to be obtained from NOD_ADJ)</small>
N/A	N/A

SCHEDULES

Schedule A	Drawings & Plans Submitted with the Application
Schedule B	Comments from Agencies, Building Standards & Development Planning
Schedule C (if required)	Public & Applicant Correspondence
Schedule D (if required)	Background



MINOR VARIANCE APPLICATION FILE NUMBER A057/24

CITY WARD #:	1
APPLICANT:	Amar & Sonica Raithatha
AGENT:	Kurtis Van Keulen & Jatin Coshal
PROPERTY:	21 Gosling Road, Maple
ZONING DESIGNATION:	See below.
VAUGHAN OFFICIAL PLAN (2010) DESIGNATION:	Vaughan Official Plan 2010 ('VOP 2010'): "Low-Rise Residential"
RELATED DEVELOPMENT APPLICATIONS:	None
PROPOSAL:	Relief from the Zoning By-law is being requested to permit the construction of a proposed dwelling.

The following variances have been requested from the City's Zoning By-law:

The subject lands are zoned R1E(EN) – First Density Residential Zone (Established Neighbourhood) and subject to the provisions of Exception 14.534 under Zoning By-law 001-2021, as amended.

#	Zoning By-law 001-2021	Variance requested
1	A maximum lot coverage of 23% is permitted provided the maximum height is 9.5 m [Table 7-3, Additional Requirements #2].	To permit a maximum lot coverage of 26.93%.
2	A maximum building height of 8.5m is permitted [Section 4.5.1.b].	To permit maximum height of 9.49m.

HEARING INFORMATION

DATE OF MEETING: Thursday, August 1, 2024

TIME: 6:00 p.m.

MEETING LOCATION: Vaughan City Hall, Woodbridge Room (2nd Floor), 2141 Major Mackenzie Drive

LIVE STREAM LINK: Vaughan.ca/LiveCouncil

PUBLIC PARTICIPATION

If you would like to speak to the Committee of Adjustment at the meeting, either remotely or in person, please complete the [Request to Speak Form](#) and submit to cofa@vaughan.ca

If you would like to submit written comments, please quote file number above and submit by mail or email to:

Email: cofa@vaughan.ca

Mail: City of Vaughan, Office of the City Clerk, Committee of Adjustment, 2141 Major Mackenzie Drive, Vaughan, ON, L6A 1T1

To speak electronically, pre-registration is required by completing the [Request to Speak Form](#) on-line and submitting it to cofa@vaughan.ca no later than NOON on the last business day before the meeting.

THE DEADLINE TO REGISTER TO SPEAK ELECTRONICALLY OR SUBMIT WRITTEN COMMENTS ON THE ABOVE NOTED FILE(S) IS NOON ON THE LAST BUSINESS DAY BEFORE THE MEETING.

INTRODUCTION

Staff and Agencies act as advisory bodies to the Committee of Adjustment. The comments contained in this report are presented as recommendations to the Committee.

INTRODUCTION

Section 45(1) of the Planning Act sets the criteria for authorizing minor variances to the City of Vaughan's Zoning By-law. Accordingly, review of the application may consider the following:

- That the general intent and purpose of the by-law will be maintained.
- That the general intent and purpose of the official plan will be maintained.
- That the requested variance(s) is/are acceptable for the appropriate development of the subject lands.
- That the requested variance(s) is/are minor in nature.

Public written and oral submissions relating to this application are taken into consideration by the Committee of Adjustment as part of its deliberations and final decision on this matter.

COMMITTEE OF ADJUSTMENT

Date Public Notice Mailed:	July 18, 2024
Date Applicant Confirmed Posting of Sign:	July 7, 2024
Applicant Justification for Variances: <small>*As provided in Application Form</small>	Relief from the Zoning By-law is being requested to permit the construction of a proposed dwelling.
Was a Zoning Review Waiver (ZRW) Form submitted by Applicant: <small>*ZRW Form may be used by applicant in instances where a revised submission is made, and zoning staff do not have an opportunity to review and confirm variances prior to the issuance of public notice.</small>	Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>
COMMENTS:	
None	
Committee of Adjustment Recommended Conditions of Approval:	None

BUILDING STANDARDS (ZONING)

**See Schedule B for Building Standards (Zoning) Comments	
Building Standards Recommended Conditions of Approval:	None

DEVELOPMENT PLANNING

**See Schedule B for Development Planning Comments.	
Development Planning Recommended Conditions of Approval:	None

DEVELOPMENT ENGINEERING

[Link to Grading Permit](#) [Link to Pool Permit](#) [Link to Curb Curt Permit](#) [Link Culvert Installation](#)

The proposed work by the Owner/Applicant is increasing the lot coverage on the subject property. The added hardscape may have impacts on the City's Storm Water management system. Development Engineering strongly encourages the Owner / Applicant introduce Low-Impact Development (LID) measures (e.g., bioswales, permeable pavers, rain gardens, rain barrels etc.) to reduce the impacts to the stormwater system. Should further information be required, please contact the Development Engineering COA reviewer. The Owner/Applicant shall contact Transportation and Fleet Management Services if there is any work required related to the driveway culvert. Please visit the Culvert Installation page at City of Vaughan website for more information. The Owner/Applicant shall apply and obtain the necessary 'Curb Cut/Reinstating Permit' through the Transportation and Fleet Management Services. Please visit the Curb Cut Permits page at the City of Vaughan website to learn how to apply for the Curb Cut/ Reinstating Permit. As the proposed dwelling in the subject property is 177.14 m2, the Owner/ Applicant needs to obtain a 'Lot Grading Permit' from the Development Inspection and Lot Grading Division of the City's Development Engineering Department. Please note any in-ground structure over 10 m2 requires a 'Grading Permit'. Please contact the Development Engineering Reviewer after receiving the Grading Permit to clear the condition. (Condition attached)

Development Engineering Recommended Conditions of Approval:	The Owner/Applicant shall submit an application and obtain an approved Grading Permit before initiating any work on the property. The Final Lot Grading and/or Servicing Plan will be required for the Grading Permit Application. Please visit the Permits page of the City of Vaughan's website: Permits City of Vaughan to apply for a Grading Permit. For any inquiries regarding the Grading Permit, please email DEPermits@vaughan.ca
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PARKS, FORESTRY & HORTICULTURE (PFH)

Recommended condition of approval:

PFH Recommended Conditions of Approval:	Applicant/owner shall obtain a "Private Property Tree Removal & Protection" permit through the forestry division prior to any construction works on the subject property.
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DEVELOPMENT FINANCE

No comment no concerns.

Development Finance Recommended Conditions of Approval:	None
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BY-LAW AND COMPLIANCE, LICENSING AND PERMIT SERVICES

No comments received to date.

BCLPS Recommended Conditions of Approval:	None
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BUILDING INSPECTION (SEPTIC)

No comments received to date.

Building Inspection Recommended Conditions of Approval:	None
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FIRE DEPARTMENT

No comments received to date.

Fire Department Recommended Conditions of Approval:	None
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RECOMMENDED CONDITIONS OF APPROVAL SUMMARY

Should the Committee find it appropriate to approve this application in accordance with request and the sketch submitted with the application, as required by Ontario Regulation 200/96, the following conditions have been recommended:

#	DEPARTMENT / AGENCY	CONDITION
1	Development Planning Alyssa.Pangilinan@vaughan.ca	TBD
2	Development Engineering jonal.hall@vaughan.ca	The Owner/Applicant shall submit an application and obtain an approved Grading Permit before initiating any work on the property. The Final Lot Grading and/or Servicing Plan will be required for the Grading Permit Application. Please visit the Permits page of the City of Vaughan's website: Permits City of Vaughan to apply for a Grading Permit. For any inquiries regarding the Grading Permit, please email DEPermits@vaughan.ca
3	Parks, Forestry and Horticulture Operations zachary.quizzetti@vaughan.ca	Applicant/owner shall obtain a "Private Property Tree Removal & Protection" permit through the forestry division prior to any construction works on the subject property.

All conditions of approval, unless otherwise stated, are considered to be incorporated into the approval "if required". If a condition is no longer required after an approval is final and binding, the condition may be waived by the respective department or agency requesting conditional approval. A condition cannot be waived without written consent from the respective department or agency.

IMPORTANT INFORMATION

CONDITIONS: It is the responsibility of the owner/applicant and/or authorized agent to obtain and provide a clearance letter from respective department and/or agency (**see condition chart above for contact**). This letter must be provided to the Secretary-Treasurer to be finalized. All conditions must be cleared prior to the issuance of a Building Permit.

IMPORTANT INFORMATION

APPROVALS: Making any changes to your proposal after a decision has been made may impact the validity of the Committee's decision.

An approval obtained from the Committee of Adjustment, where applicable, is tied to the building envelope shown on the plans and drawings submitted with the application and subject to the variance approval.

A building envelope is defined by the setbacks of the buildings and/or structures shown on the plans and drawings submitted with the application, as required by Ontario Regulation 200/96. Future development outside of an approved building envelope, where a minor variance was obtained, must comply with the provisions of the City's Zoning By-law.

Elevation drawings are provided to reflect the style of roof (i.e. flat, mansard, gable etc.) to which a building height variance has been applied. Where a height variance is approved, building height is applied to the style of roof (as defined in the City's Zoning By-law) shown on the elevation plans submitted with the application.

Architectural design features that are not regulated by the City's Zoning By-law are not to be considered part of an approval unless specified in the Committee's decision.

DEVELOPMENT CHARGES: That the payment of the Regional Development Charge, if required, is payable to the City of Vaughan before issuance of a building permit in accordance with the Development Charges Act and the Regional Development Charges By-law in effect at the time of payment.

That the payment of the City Development Charge, if required, is payable to the City of Vaughan before issuance of a building permit in accordance with the Development Charges Act and the City's Development Charges By-law in effect at the time of payment.

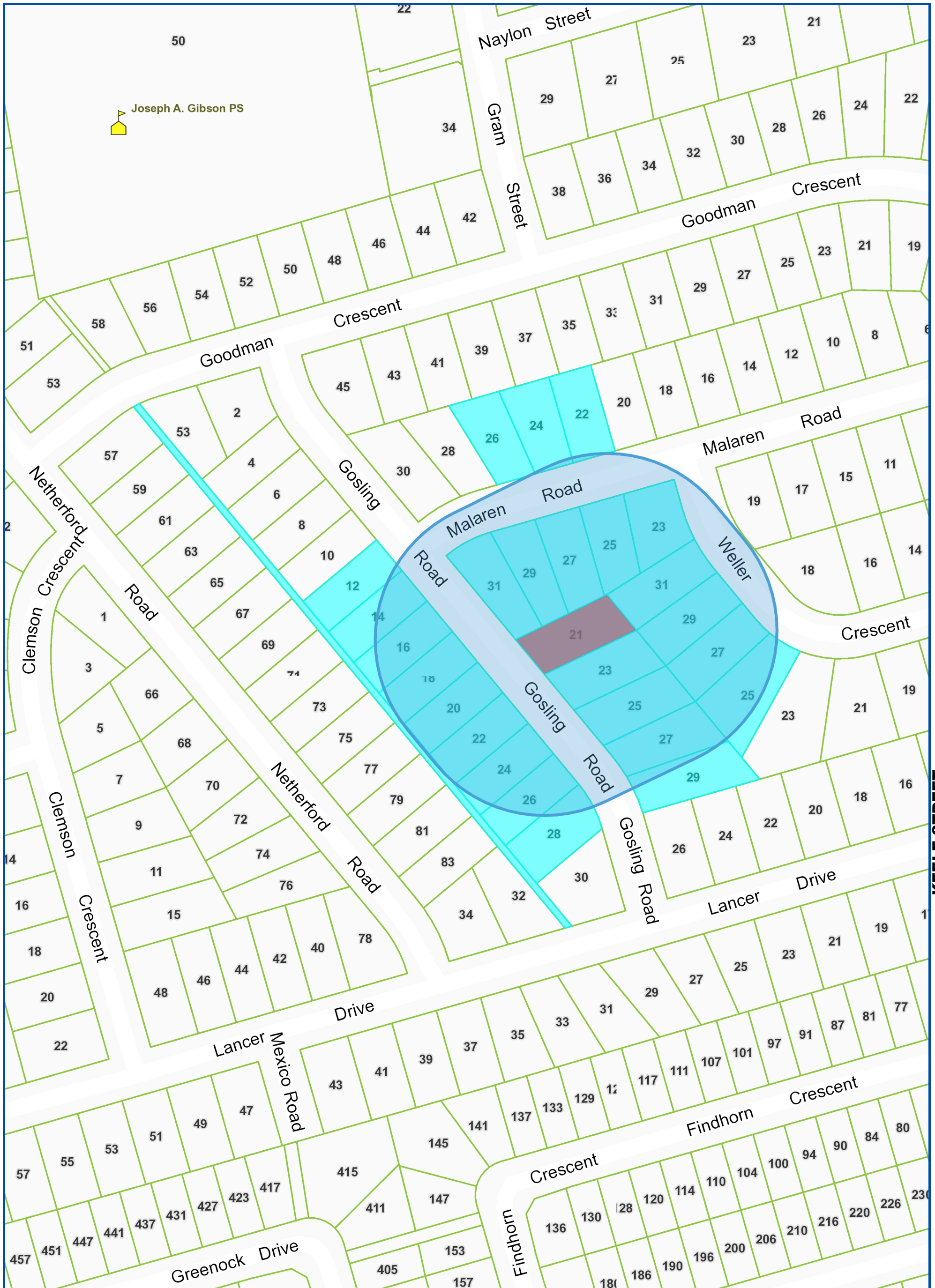
That the payment of the Education Development Charge if required, is payable to the City of Vaughan before issuance of a building permit in accordance with the Development Charges Act and the Boards of Education By-laws in effect at the time of payment

That the payment of Special Area Development charge, if required, is payable to the City of Vaughan before issuance of a building permit in accordance with the Development Charges Act and The City's Development Charge By-law in effect at the time of Building permit issuance to the satisfaction of the Reserves/Capital Department.

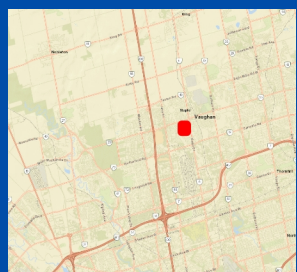
NOTICE OF DECISION: If you wish to be notified of the decision in respect to this application or a related Ontario Land Tribunal (OLT) hearing you must complete a Request for Decision form and submit to the Secretary Treasurer (ask staff for details). In the absence of a written request to be notified of the Committee's decision you will **not** receive notice.

SCHEDULE A: DRAWINGS & PLANS

MAJOR MACKENZIE DRIVE



Map Information:



Title:

NOTIFICATION MAP - A057/24

21 GOSLING ROAD, MAPLE

Disclaimer:

Every reasonable effort has been made to ensure that the information appearing on this map is accurate and current. We believe the information to be reliable, however the City of Vaughan assumes no responsibility or liability due to errors or omissions. Please report any discrepancies to Infrastructure Programming.



Scale: 1:2,257

0 0.04 km



Created By:
Infrastructure Delivery
Department
April 8, 2024 1:57 PM

Projection:
NAD 83
UTM Zone
17N

KEELE STREET

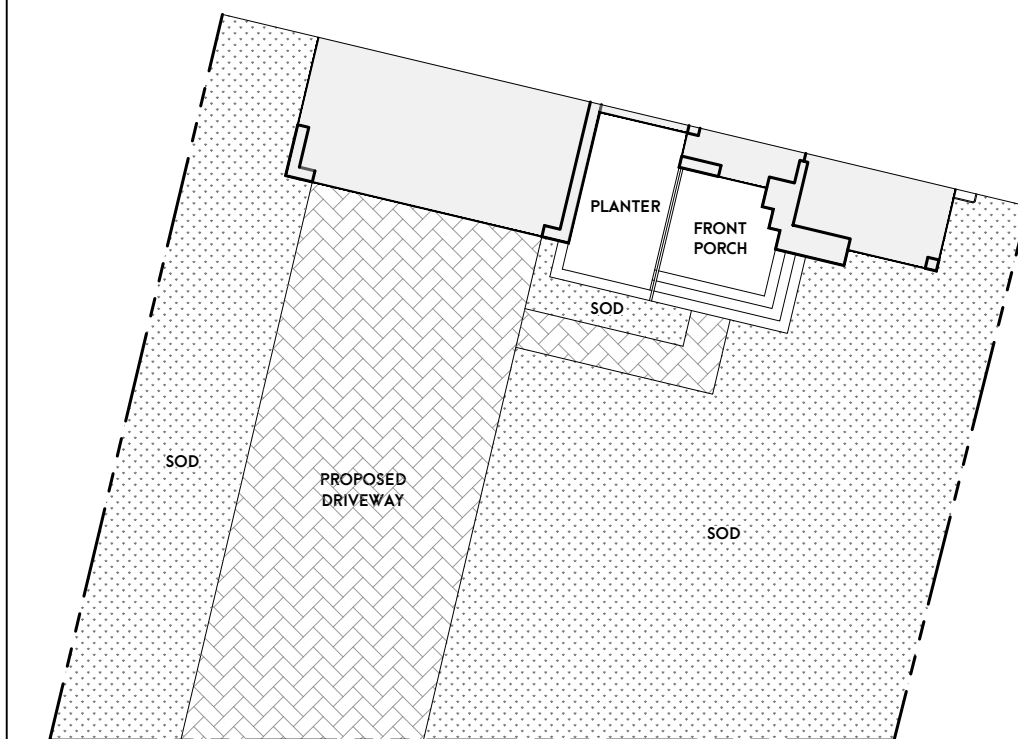
SITE STATISTICS - 21 GOSLING RD

Received from Applicant

July 3, 2024 at 3:04pm

SITE ZONING DATA: R1E	
SITE AREA	10602.19 SQ.FT (984.98 SQ.M)
BUILDING HEIGHT	9.49M PROPOSED (8.50M PERMITTED)
LOT FRONTAGE	20.73 M
LOT COVERAGE	20% OR THE MAXIMUM LOT COVERAGE IN THE R1E ZONE SHALL BE 23% PROVIDED THE MAXIMUM HEIGHT IS 9.5 M. 961.98 x 20% = 192.39 SQ.M (2070.86 SQ.FT) 961.98 x 23% = 221.25 SQ.M (2381.50 SQ.FT)
ESTABLISHED GRADE CALCULATION	
POINT A + POINT B + POINT C / 3	231.46 + 231.51 + 231.62 / 3 = 231.53
SETBACKS	REQUIRED
INTERIOR SIDEYARD(S)	1.5 M ON EITHER SIDE
EXTERIOR SIDEYARD	6.0 m
REAR YARD SETBACK	7.5 M
FRONT YARD SETBACK	THE MINIMUM FRONT YARD SHALL BE THE EXISTING FRONT YARD LESS 10% OR 9.0 M, WHICHEVER IS GREATER. 10.15 X 10% = 1.015, 10.15 - 1.015 = 9.135m

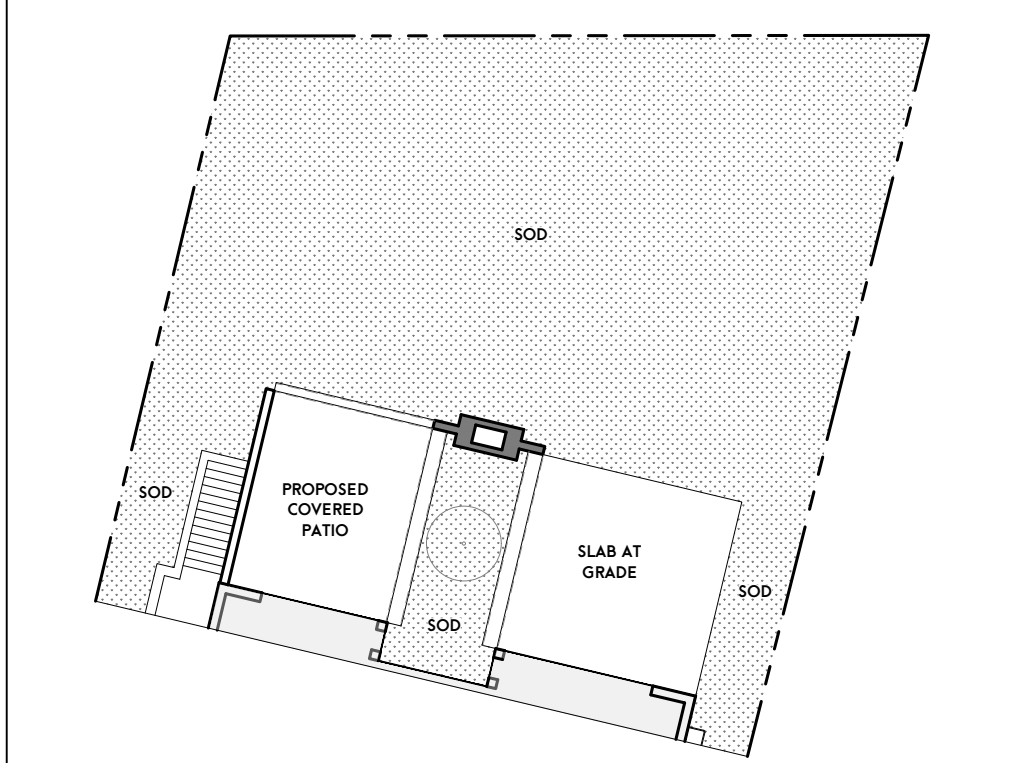
SITE STATISTICS			
ADDRESS:	21 Gosling Road		
ZONING:	R1E		
	Proposed	Required	
LOT AREA	984.98 m ²	N/A	m ²
LOT FRONTAGE (EXISTING)	20.73 m	30.00 m	m
ESTABLISHED GRADE		N/A	
HEIGHT TO TOP OF FLAT ROOF		N/A	m
HEIGHT TO HIGHEST POINT	9.49 m	8.50 m	m
HEIGHT TO ROOF MIDPOINT	8.60 m	N/A	m
FLOOR AREA			
	Proposed	Required	
GROUND FLOOR	177.14 m ²	N/A	m ²
SECOND FLOOR	199.95 m ²	N/A	m ²
BASEMENT (NOT INCLUDED)	207.84 m ²	N/A	m ²
SUBTOTAL	377.09 m²	N/A	m ²
TOTAL FLOOR AREA	377.09 m²	N/A	m ²
LOT COVERAGE			
	Proposed	Required	
DWELLING FOOTPRINT (INCL GARAGE)	226.35 m ²	20 %	%
Lot cov. for house footprint only	22.98%	20 %	%
FRONT PORCH	6.77 m ²		m ²
REAR PORCH/DECK	31.89 m ²		m ²
OTHER	0 m ²		m ²
Lot cov. for Porches only	3.92%		%
TOTAL LOT COVERAGE:	265.24 m²	23 %	%
MAX ALLOWED = 20% / 23% VARIANCE #1	26.93 %		%
SETBACKS			
	Proposed	Required(MIN.)	
FRONT YARD	11.52 m	9.135 m	m
INTERIOR SIDE YARD	1.8 m	1.5 m	m
INTERIOR SIDE YARD (GARAGE SIDE)	2.42 m	1.5 m	m
REAR YARD	16.70 m	7.5 m	m



FRONT YARD LANDSCAPING	
FRONT YARD AREA	2930.23 SQ.FT (272.23 SQ.M)
PROPOSED FRONT PORCH / PLANTER & STEPS	214.41 SQ. FT (19.92 SQ.M)
PROPOSED DRIVEWAY/WALKWAY	896.47 SQ. FT (83.28 SQ.M)
COVERAGE TOTAL	103.20 SQ.M
PERCENTAGE OF HARD LANDSCAPE	37.91 %
PERCENTAGE OF SOFT LANDSCAPE	62.09%

HATCHING LEGEND	
SOD AREA: (SOFT LANDSCAPING)	[Hatching pattern]
DRIVEWAY/ WALKWAY AREA: (HARD LANDSCAPING)	[Hatching pattern]
PROPOSED DWELLING: (HARD LANDSCAPING)	[Hatching pattern]

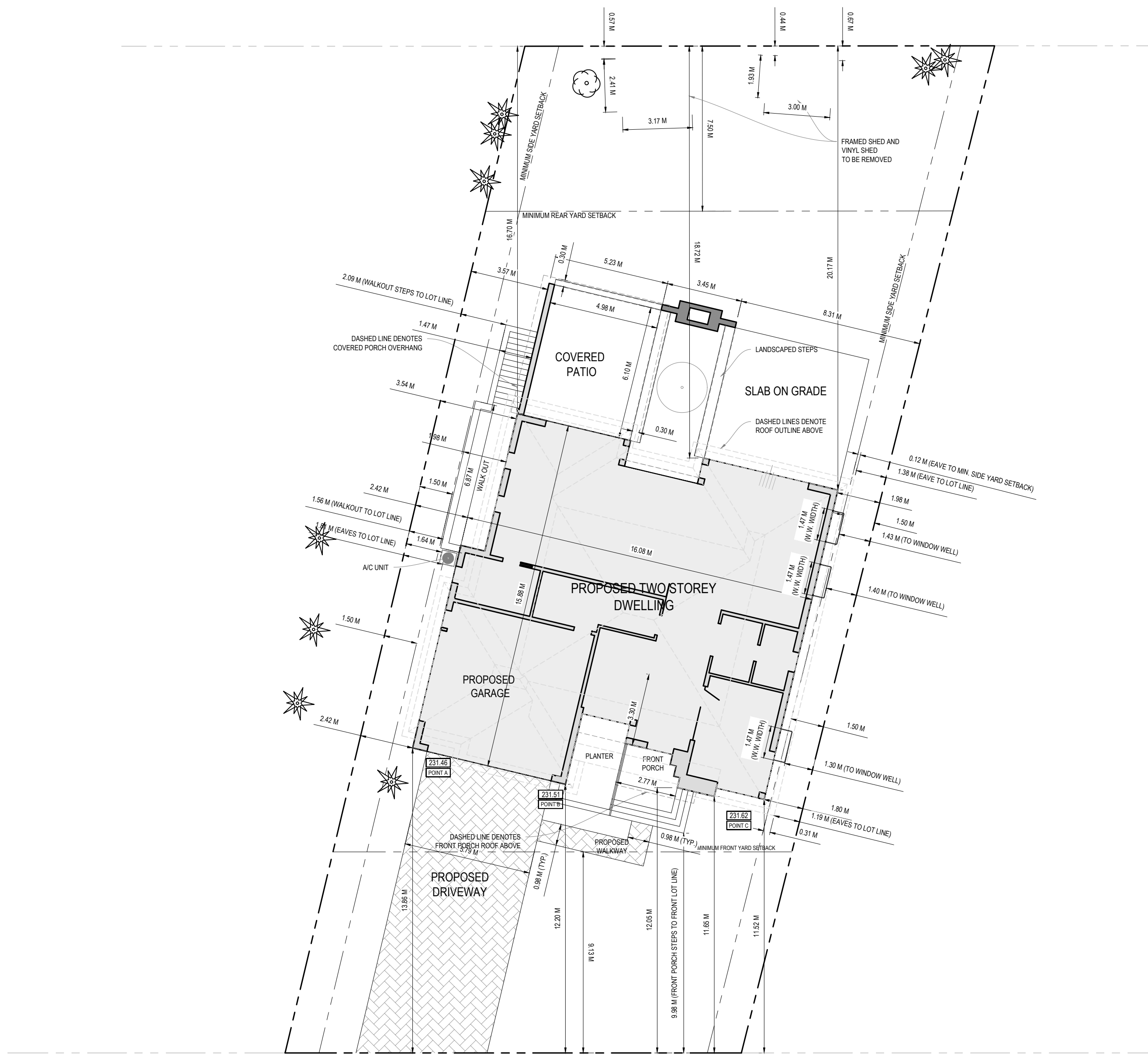
NOTE: NOT TO SCALE FOR REPRESENTATION PURPOSES ONLY



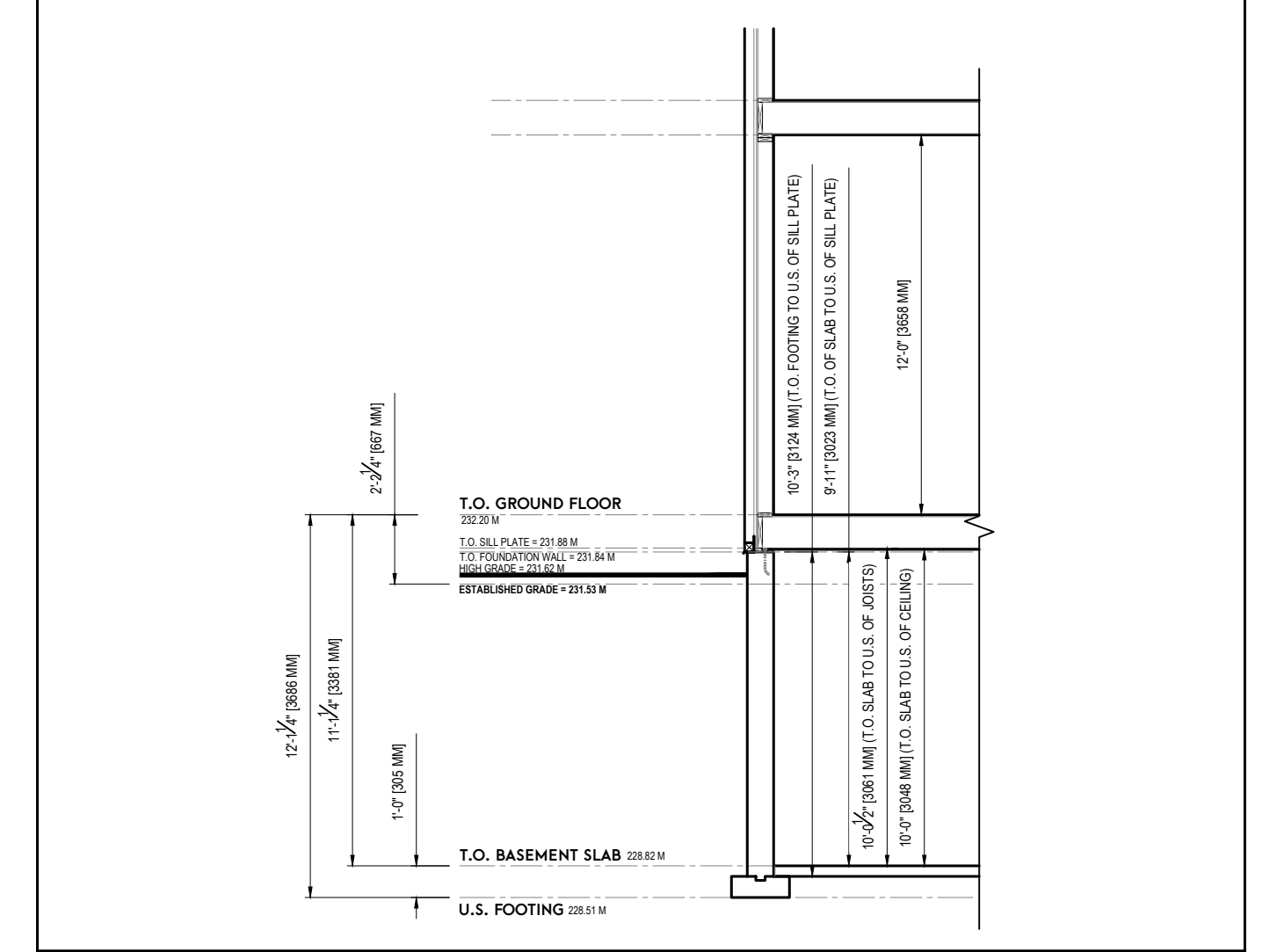
REAR YARD LANDSCAPING	
REAR YARD AREA	4212.46 SQ.FT (391.35 SQ.M)
PROPOSED REAR PORCH / LANDSCAPE STEPS	826.94 SQ. FT (76.83 SQ.M)
PROPOSED BASEMENT WALKOUT/ REAR EXTERIOR FIREPLACE	85.65 SQ. FT (7.96 SQ.M)
COVERAGE TOTAL	84.79 SQ.M
PERCENTAGE OF HARD LANDSCAPE	21.66 %
PERCENTAGE OF SOFT LANDSCAPE	78.34%

HATCHING LEGEND	
SOD AREA: (SOFT LANDSCAPING)	[Hatching pattern]
DRIVEWAY/ WALKWAY AREA: (HARD LANDSCAPING)	[Hatching pattern]
PROPOSED DWELLING: (HARD LANDSCAPING)	[Hatching pattern]

NOTE: NOT TO SCALE FOR REPRESENTATION PURPOSES ONLY



Component to Subtract	Size		Level	
	Inches	mm	T/O Finished Floor	232.20
Finished Floor	3/4	19.05	T/O Floor Joist	232.18
Floor Joist	11 7/8	301.63	T/O Sill Plate	231.88
Sill Plate	1 1/2	38.10	T/O Foundation Wall	231.84
U/S Sill Plate - T/O Basement Slab	119	3022.60	T/O Basement Slab	228.82
Basement Slab	4	101.60	T/O Footing	228.72
Footing	8	203.20	U/S Footing	228.51



BUILDING COMPONENT ELEV. DIAGRAM

ARCHITECTURAL SITE PLAN

<p>GENERAL NOTES</p> <p>DRAWINGS ARE TO BE READ NOT TO SCALE. DO NOT BEGIN CONSTRUCTION UNTIL DESIGNER OR PROJECT MANAGER HAS BEEN NOTIFIED. UPON COMPLETION OF ANY STAGE OF CONSTRUCTION, THE DESIGNER OR PROJECT MANAGER SHALL BE NOTIFIED TO ENSURE PROPER INSPECTION. ALL DESIGN AND CONSTRUCTION DOCUMENTATION ARE FINAL UNLESS REVISED BY THE DESIGNER. IF ANY DISCREPANCIES ARE DISCOVERED HERE WITHIN, THE DESIGNER SHALL BE NOTIFIED. THE DRAWINGS AND DOCUMENTS PROVIDED HERE WITHIN ARE THE EXCLUSIVE PROPERTY OF HIS DESIGN STUDIO. REPRODUCTION OF THE DOCUMENTS PROVIDED IS PROHIBITED WITHOUT THE CONSENT OF THE DESIGNER.</p>	<p>QUALIFICATION INFORMATION</p> <p>THE UNDERSIGNED HAS REVIEWED AND TAKES RESPONSIBILITY FOR THIS DESIGN, AS WELL AS HAVING THE QUALIFICATION AND REQUIREMENTS MANAGED BY THE ONTARIO BUILDING CODE TO BE A DESIGNER.</p>	<p>REVISION LIST</p> <table border="1"> <tr><td>1</td><td>REVISED FOR CLIENT</td><td>08.25.2023</td></tr> <tr><td>2</td><td>REVISED FOR CLIENT</td><td>11.21.2023</td></tr> <tr><td>3</td><td>ISSUED FOR FINAL DESIGN REVIEW</td><td>12.19.2023</td></tr> <tr><td>4</td><td>REVISED AS PER CITY COMMENTS</td><td>05.03.2024</td></tr> <tr><td>5</td><td>REVISED AS PER CITY COMMENTS</td><td>05.16.2024</td></tr> </table>	1	REVISED FOR CLIENT	08.25.2023	2	REVISED FOR CLIENT	11.21.2023	3	ISSUED FOR FINAL DESIGN REVIEW	12.19.2023	4	REVISED AS PER CITY COMMENTS	05.03.2024	5	REVISED AS PER CITY COMMENTS	05.16.2024	<p>PROJECT NORTH TRUE NORTH</p>
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<p>HIS DESIGN STUDIO LTD. CUSTOM HOME DESIGN 14 CONESTOGA DRIVE #201 BRAMPTON, ON L6Z 4N5 T: 905.459.4847 (HUS) E: INFO@HISDESIGNSTUDIO.COM HUSDESIGNSTUDIO.COM</p>	<p>REGISTRATION INFORMATION</p> <p>REQUIRED UNLESS THE DESIGN IS EXEMPT UNDER DIV. C3.2.4 OF THE ONTARIO BUILDING CODE.</p>	<p>ISSUE LIST</p> <table border="1"> <tr><td>1</td><td>ISSUED FOR REVIEW</td><td>08.25.2023</td></tr> <tr><td>2</td><td>ISSUED FOR REVIEW</td><td>12.19.2023</td></tr> <tr><td>3</td><td>ISSUED FOR C&A</td><td>03.26.2024</td></tr> <tr><td>4</td><td></td><td>MM/DD/YYYY</td></tr> <tr><td>5</td><td></td><td>MM/DD/YYYY</td></tr> </table>	1	ISSUED FOR REVIEW	08.25.2023	2	ISSUED FOR REVIEW	12.19.2023	3	ISSUED FOR C&A	03.26.2024	4		MM/DD/YYYY	5		MM/DD/YYYY	<p>DRAWING TITLE: ARCHITECTURAL SITE PLAN DRAWN BY: K.V.V. PROJECT ADDRESS: 21 GOSLING RD PROJECT NO.: 2023-049 SHEET NO.: 1/20</p>
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SITE STATISTICS - 21 GOSLING RD

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ESTABLISHED GRADE CALCULATION

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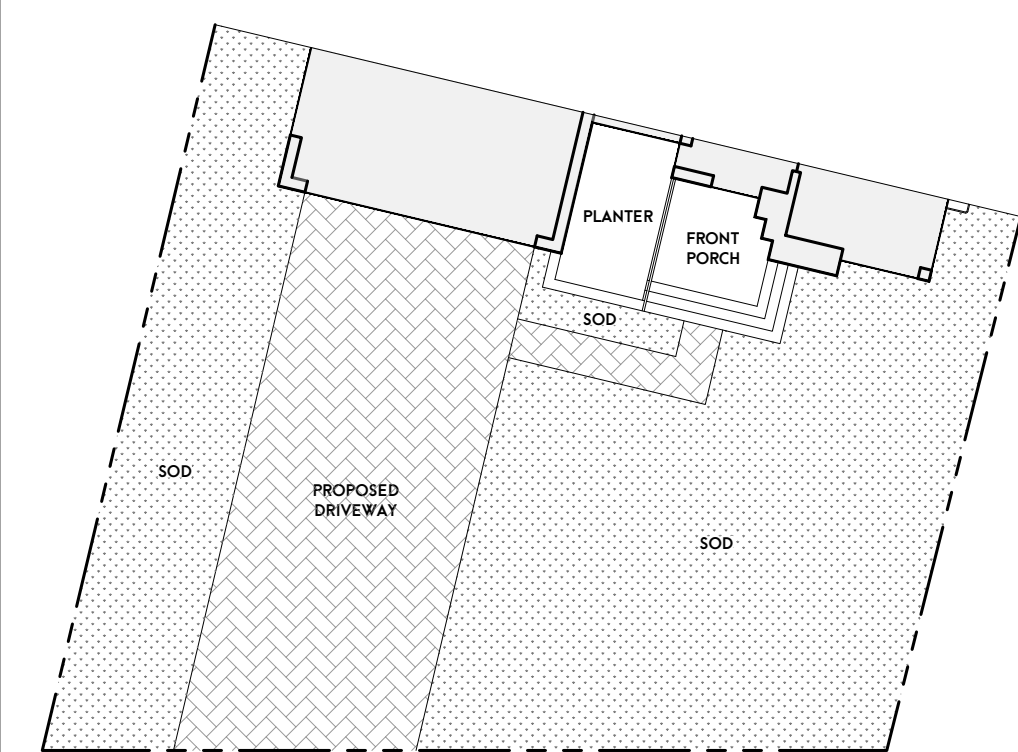
SETBACKS REQUIRED

INTERIOR SIDEYARD(S) 1.5 M ON EITHER SIDE

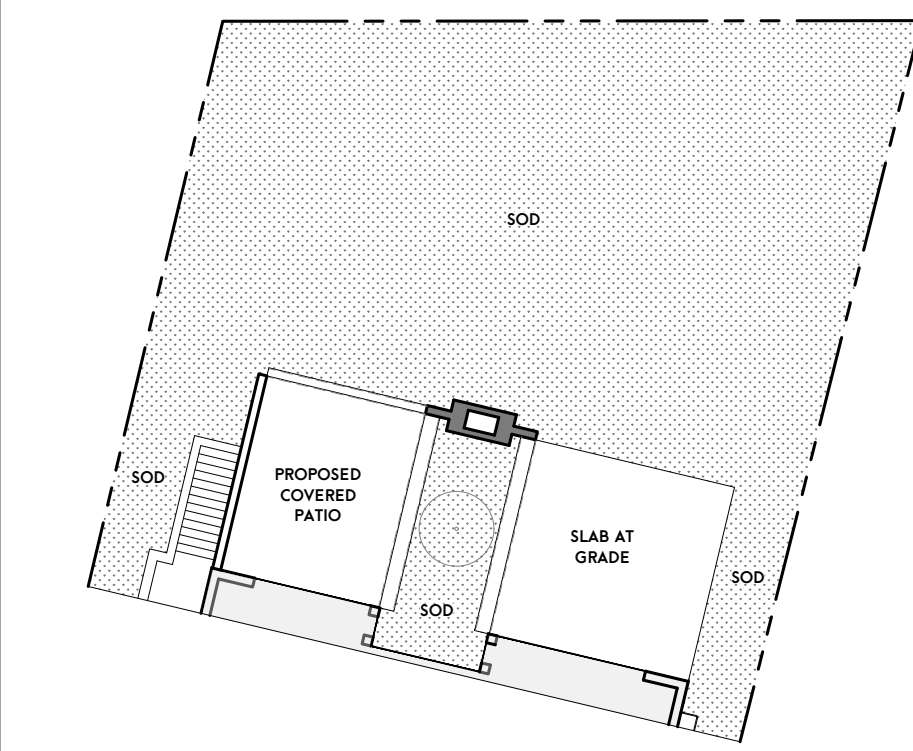
EXTERIOR SIDEYARD 6.0 m

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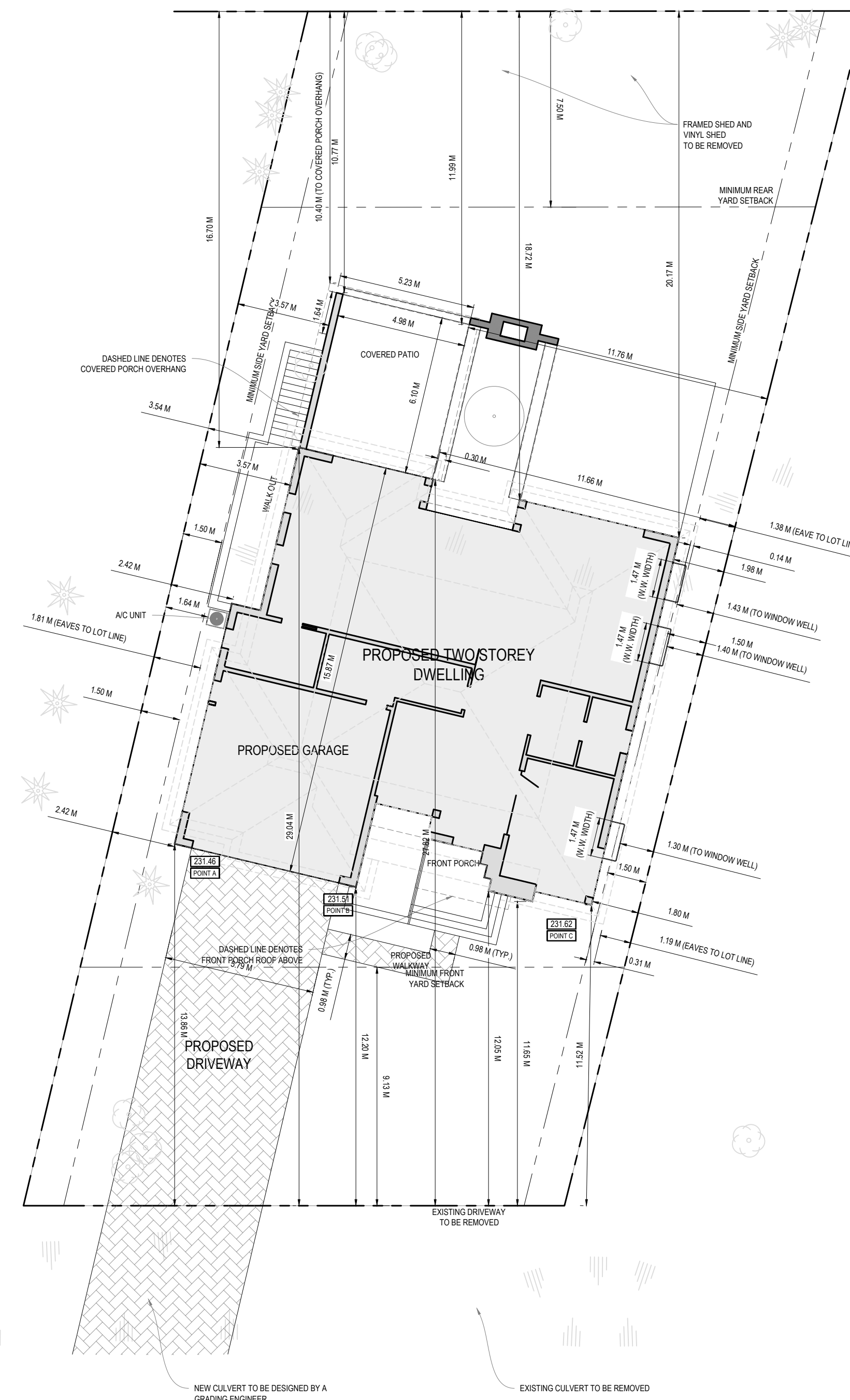
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PERCENTAGE OF HARD LANDSCAPE	21.66 %
PERCENTAGE OF SOFT LANDSCAPE	78.34%

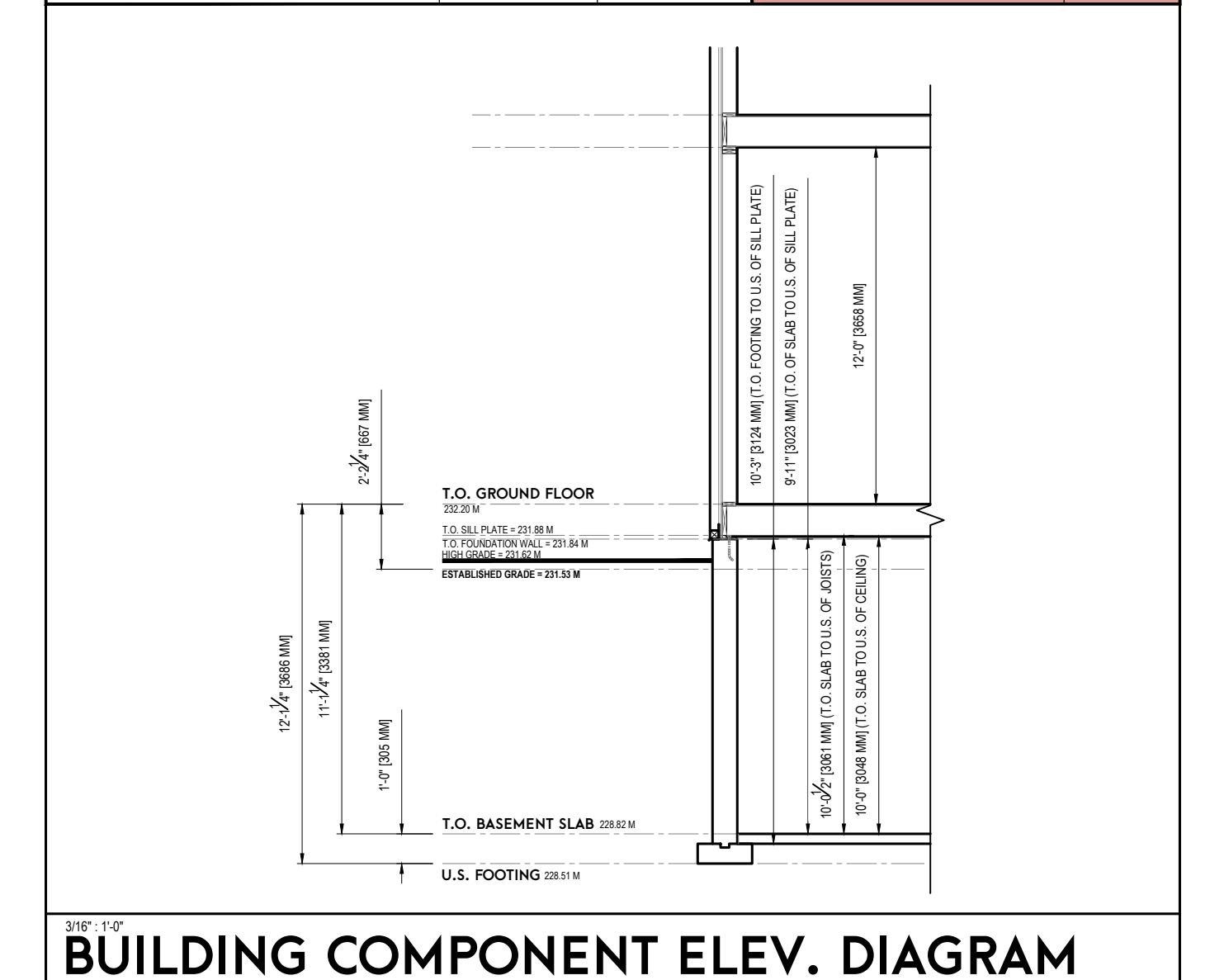
HATCHING LEGEND

SOD AREA: (SOFT LANDSCAPING)	[Hatching pattern]
DRIVEWAY/ WALKWAY AREA: (HARD LANDSCAPING)	[Hatching pattern]
PROPOSED DWELLING: (HARD LANDSCAPING)	[Hatching pattern]



SITE STATISTICS							
ADDRESS:	21 Gosling Road						
ZONING:	R1E						
LOT AREA	984.98 m ²	Proposed	Required				
LOT FRONTAGE (EXISTING)	20.73 m		30.00 m ²				
ESTABLISHED GRADE			N/A				
HEIGHT TO TOP OF FLAT ROOF	N/A m		N/A				
HEIGHT TO HIGHEST POINT	9.49 m	VARIANCE #2	8.50 m				
HEIGHT TO ROOF MIDPOINT	8.60 m		N/A m				
FLOOR AREA	Proposed	Required					
GROUND FLOOR	177.14 m ²	N/A					
SECOND FLOOR	199.95 m ²	N/A					
BASEMENT (NOT INCLUDED)	207.84 m ²	N/A					
SUBTOTAL	377.09 m ²	N/A					
TOTAL FLOOR AREA	377.09 m ²	N/A					
LOT COVERAGE	Proposed	Required					
DWELLING FOOTPRINT (INCL GARAGE)	226.35 m ²						
Lot cov. for house footprint only	22.98%		20 %				
FRONT PORCH	6.77 m ²						
REAR PORCH/DECK	31.89 m ²						
OTHER	0 m ²						
Lot cov. for Porches only	3.92%						
TOTAL LOT COVERAGE:	265.24 m ²						
MAX ALLOWED = 20% / 23% VARIANCE #1	26.93 %		23 %				
SETBACKS	Proposed	Required(MIN.)					
FRONT YARD	11.52 m	9.135 m					
INTERIOR SIDE YARD	1.8 m	1.5 m					
INTERIOR SIDE YARD (GARAGE SIDE)	2.42 m	1.5 m					
REAR YARD	16.70 m	7.5 m					
	RE	R1	R1A	R1B	R1C	R1D	R1E
Minimum lot frontage (m)	45	18 ⁽³⁾	18	18	24	24	30
Minimum lot area (m ²)	4,000	420	540	600	950	1400	845
Minimum front yard (m)	15	4.5 ⁽⁴⁾	7.5 ⁽⁴⁾	9 ⁽⁴⁾	10 ⁽⁴⁾	10 ⁽⁴⁾	9 ⁽¹⁾⁽⁴⁾
Minimum rear yard (m)	15	7.5 ⁽³⁾	7.5 ⁽³⁾	12 ⁽³⁾	9 ⁽³⁾	12 ⁽³⁾	7.5 ⁽³⁾
Minimum interior side yard (m)	4.5	1.2 ⁽⁵⁾	1.5 ⁽⁵⁾	1.5 ⁽⁵⁾	1.5	1.5	1.5
Minimum exterior side yard (m)	10	2.4 ⁽⁴⁾	4.5 ⁽⁴⁾	4.5 ⁽⁴⁾	4.5 ⁽⁴⁾	4.5 ⁽⁴⁾	9
Maximum lot coverage (%)	-	-	40	40	35	35	20 ⁽²⁾
Maximum height (m)	9.5	9.5	9.5	11	9.5	11	11

Component to Subtract	Size		Level	
	Inches	mm	T/O Finished Floor	232.20
Finished Floor	3/4	19.05	T/O Floor Joist	232.18
Floor Joist	11 7/8	301.63	T/O Sill Plate	231.88
Sill Plate	1 1/2	38.10	T/O Foundation Wall	231.84
U/S Sill Plate - T/O Basement Slab	119	3022.60	T/O Basement Slab	228.82
Basement Slab	4	101.60	T/O Footing	228.72
Footing	8	203.20	U/S Footing	228.51



ARCHITECTURAL SITE PLAN

GENERAL NOTES

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QUALIFICATION INFORMATION

THE UNDERSIGNED HAS REVIEWED AND TAKES RESPONSIBILITY FOR THIS DESIGN, AS WELL AS HAVING THE QUALIFICATION AND REQUIREMENTS MANAGED BY THE ONTARIO BUILDING CODE TO BE A DESIGNER.

REVISION LIST

NO.	REVISION	DATE
1	ISSUED FOR REVIEW	08.25.2023
2	ISSUED FOR FINAL DESIGN REVIEW	12.19.2023
3	ISSUED FOR C.A.	03.26.2024
4	REVISED AS PER CITY COMMENTS	05.03.2024
5	REVISED AS PER CITY COMMENTS	05.16.2024

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5	REVISED AS PER CITY COMMENTS	05.16.2024

REGISTRATION INFORMATION

REQUIRED UNLESS THE DESIGN IS EXEMPT UNDER DIV. C3.2.4 OF THE ONTARIO BUILDING CODE.

FRM NAME B.C.I.N.

PROJECT NORTH: TRUE NORTH

DRAWING TITLE: ARCHITECTURAL SITE PLAN

DRAWN BY: J.C. CHECKED BY: K.V.K.

PROJECT ADDRESS: 21 GOSLING RD

PROJECT NO.: 2023-049

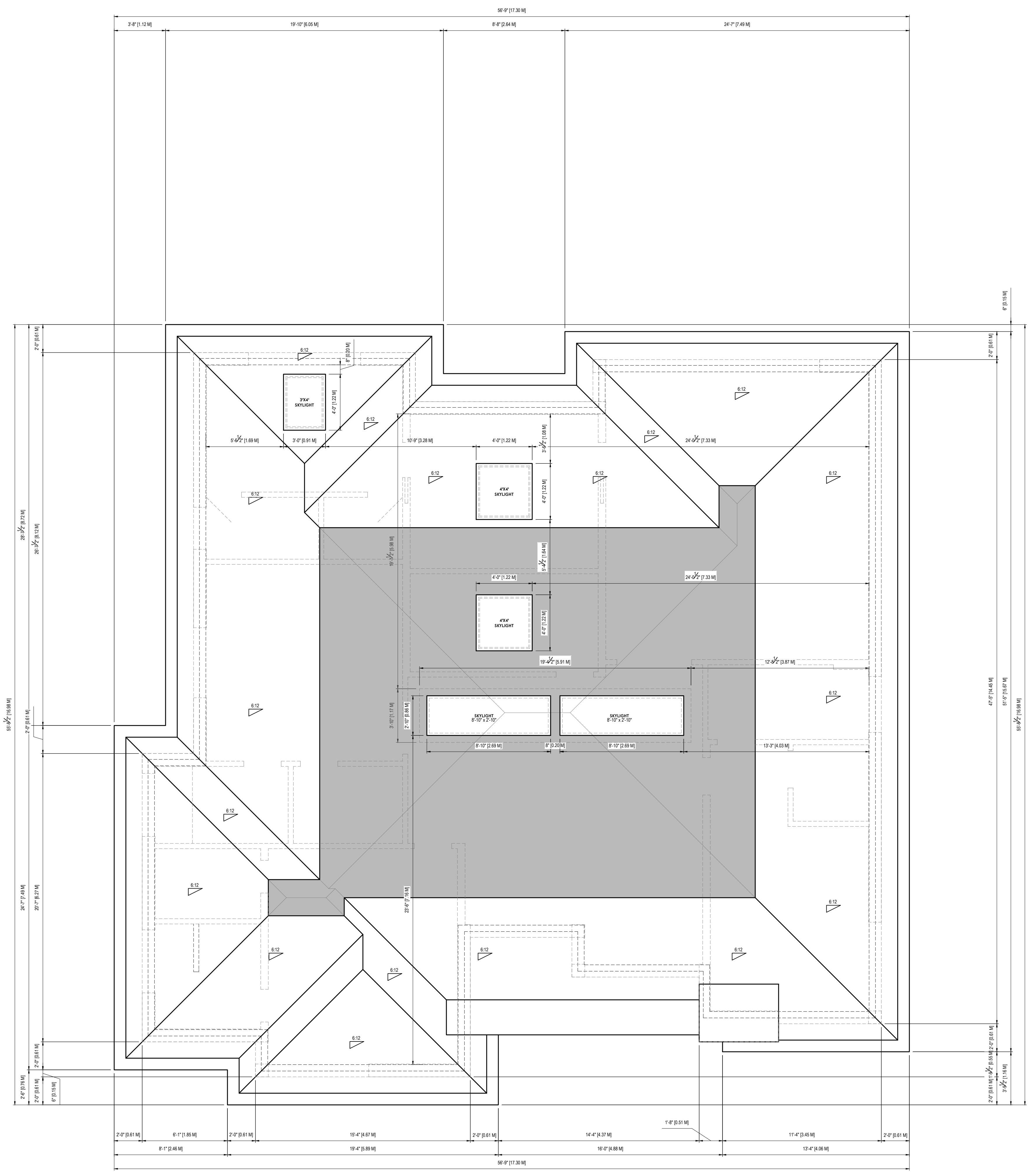
SHEET NO.: 11/20

ASPB

NOTE:
 FLAT AREA DENOTES LOW SLOPE PORTION AT A
 SLOPE OF 1/8" MIN. FOR SUFFICIENT WATER RUNOFF.

ROOF CALCULATIONS:

TOTAL ROOF AREA: 2863.33 SQ.FT
 SLOPED ROOF AREA: 2023.33 SQ.FT
 TOTAL FLAT ROOF AREA (1.5%): 840.00 SQ.FT (29.35%)



ROOF PLAN

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<p>HUS DESIGN STUDIO LTD. CUSTOM HOME DESIGN 1A CONESTOGA DRIVE #201 BRAMPTON, ON L6Z 4N6 T: 905.456.4847 (HUS) E: INFO@HUSDDESIGNS.CA HUSDDESIGNS.CA</p>		<p>REGISTRATION INFORMATION</p> <p>REQUIRED UNLESS THE DESIGN IS EXEMPT UNDER DIV. C-3.2.4 OF THE ONTARIO BUILDING CODE.</p>		<p>ISSUE LIST</p> <table border="0"> <tr><td>1</td><td>ISSUED FOR REVIEW</td><td>08.25.2023</td></tr> <tr><td>2</td><td>ISSUED FOR FINAL DESIGN REVIEW</td><td>12.19.2023</td></tr> <tr><td>3</td><td>ISSUED FOR C&A</td><td>03.25.2024</td></tr> <tr><td>4</td><td></td><td>MM/DD/YYYY</td></tr> <tr><td>5</td><td></td><td>MM/DD/YYYY</td></tr> </table>		1	ISSUED FOR REVIEW	08.25.2023	2	ISSUED FOR FINAL DESIGN REVIEW	12.19.2023	3	ISSUED FOR C&A	03.25.2024	4		MM/DD/YYYY	5		MM/DD/YYYY	<p>DRAWING TITLE: ROOF PLAN DRAWN BY: J.C. CHECKED BY: K.V.K. PROJECT ADDRESS: 21 GOSLING RD PROJECT NO.: 2023-049 SCALE: 1/8" = 1'-0" SHEET NO.: A104</p>	
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1/8" = 1'-0"
FRONT SOUTH ELEVATION

1. All Measurements, Legals, Design, Details, Etc., In Accordance With The Ontario Building Code.

HUS DESIGN STUDIO LTD.
 CUSTOM HOME DESIGN
 14 CONESTOGA DRIVE #201 | BRAMPTON, ON L6Z 4N5
 T: 905.459.4847 | HUS@HUSDESIGNSTUDIO.COM | WWW.HUSDESIGNSTUDIO.COM

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5		MM/DD/YYYY

DRAWING TITLE: ARCHITECTURAL ELEVATIONS
DRAWN BY: J.C. **CHECKED BY:** K.V.K.
PROJECT ADDRESS: 21 GOSLING RD
PROJECT NO.: 2023-049 **SCALE:** 1/8" = 1'-0"
SHEET NO.: **A201**



LEFT EAST ELEVATION

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DESIGNER INFORMATION
 HIS DESIGN STUDIO LTD.
 CUSTOM HOME DESIGN
 14 CONESTOGA DRIVE #201 BRAMPTON, ON L6Z 4N5
 T: 905.456.4847 (HUS) E: info@hisd.com CA
 HUSDESIGNS.CA

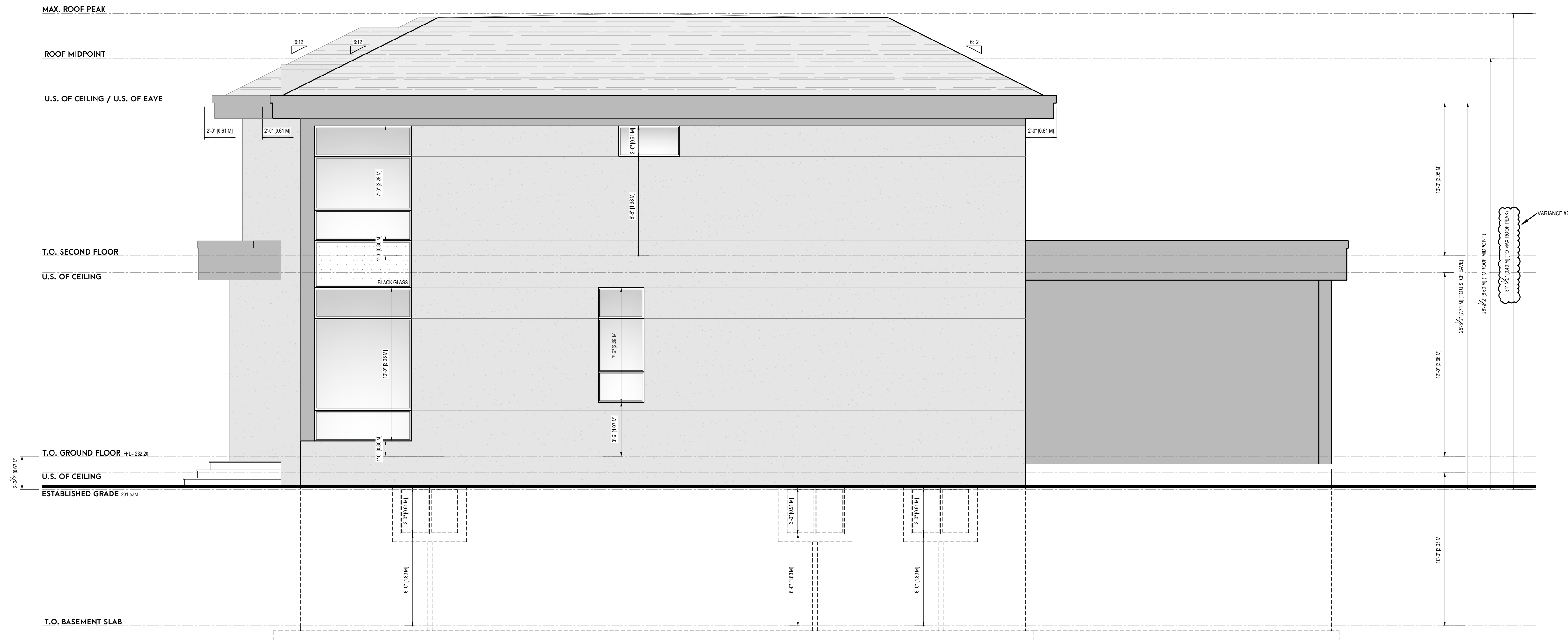
PROJECT INFORMATION
 PROJECT ADDRESS: 21 GOSLING RD
 PROJECT NO: 2023-049
 SHEET NO: A202

ARCHITECTURAL ELEVATIONS
 DRAWN BY: J.C. CHECKED BY: K.V.K.
 SCALE: 1/8" = 1'-0"



1/8" = 1'-0"
REAR NORTH ELEVATION

<p><small>1 - 1/2" (38mm) x 1/4" (6mm) Laminated Glass Panels (LGP) 1/4" (6mm) Spacing</small></p> <p>HUS DESIGN STUDIO LTD. CUSTOM HOME DESIGN 14 CONESTOGA DRIVE #201 BRAMPTON, ON L6Z 4N5 T: 905.459.4847 (HUS) E: INFO@HUSDESIGNS.CA HUSDESIGNS.CA</p>	<p>GENERAL NOTES</p> <p>DRAWINGS ARE TO BE READ NOT SCALED. DO NOT BEGIN CONSTRUCTION UNTIL DESIGNER OR PROJECT MANAGER HAS BEEN NOTIFIED. UPON COMPLETION OF ANY STAGE OF CONSTRUCTION, THE DESIGNER OR PROJECT MANAGER SHALL BE NOTIFIED TO ENSURE PROPER INSPECTION. ALL DESIGN AND CONSTRUCTION DOCUMENTATION ARE FINAL UNLESS REVISED BY THE DESIGNER. IF ANY DISCREPANCIES ARE DISCOVERED HERE WITHIN, THE DESIGNER SHALL BE NOTIFIED. THE DRAWINGS AND DOCUMENTS PROVIDED HERE WITHIN ARE THE EXCLUSIVE PROPERTY OF HUS DESIGN STUDIO. REPRODUCTION OF THE DOCUMENTS PROVIDED IS PROHIBITED WITHOUT THE CONSENT OF THE DESIGNER.</p>	<p>QUALIFICATION INFORMATION</p> <p>THE UNDERSIGNED HAS REVIEWED AND TAKES RESPONSIBILITY FOR THIS DESIGN, AS WELL AS HAVING THE QUALIFICATION AND REQUIREMENTS MANDATED BY THE ONTARIO BUILDING CODE TO BE A DESIGNER.</p> <p>REGISTRATION INFORMATION</p> <p>REQUIRED UNLESS THE DESIGN IS EXEMPT UNDER DIV. C3.2.4 OF THE ONTARIO BUILDING CODE.</p> <p>NAME: _____ B.C.I.N.: _____ FIRM NAME: _____ B.C.I.N.: _____</p>	<p>REVISION LIST</p> <table border="0"> <tr><td>1</td><td>REVISED FOR CLIENT</td><td>09.25.2023</td></tr> <tr><td>2</td><td>REVISED FOR CLIENT</td><td>11.21.2023</td></tr> <tr><td>3</td><td>REVISED AS PER CITY COMMENTS</td><td>05.03.2024</td></tr> <tr><td>4</td><td>REVISED AS PER CITY COMMENTS</td><td>05.16.2024</td></tr> <tr><td>5</td><td></td><td>MM/DD/YYYY</td></tr> </table> <p>ISSUE LIST</p> <table border="0"> <tr><td>1</td><td>ISSUED FOR REVIEW</td><td>08.25.2023</td></tr> <tr><td>2</td><td>ISSUED FOR FINAL DESIGN REVIEW</td><td>12.19.2023</td></tr> <tr><td>3</td><td>ISSUED FOR C&A</td><td>03.25.2024</td></tr> <tr><td>4</td><td></td><td>MM/DD/YYYY</td></tr> <tr><td>5</td><td></td><td>MM/DD/YYYY</td></tr> </table>	1	REVISED FOR CLIENT	09.25.2023	2	REVISED FOR CLIENT	11.21.2023	3	REVISED AS PER CITY COMMENTS	05.03.2024	4	REVISED AS PER CITY COMMENTS	05.16.2024	5		MM/DD/YYYY	1	ISSUED FOR REVIEW	08.25.2023	2	ISSUED FOR FINAL DESIGN REVIEW	12.19.2023	3	ISSUED FOR C&A	03.25.2024	4		MM/DD/YYYY	5		MM/DD/YYYY	<p>DRAWING TITLE: ARCHITECTURAL ELEVATIONS DRAWN BY: J.C. CHECKED BY: K.V.K. PROJECT ADDRESS: 21 GOSLING RD PROJECT NO.: 2023-049 SCALE: 1/8" = 1'-0" SHEET NO.: A203</p>
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RIGHT WEST ELEVATION

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FRM NAME B.C.I.N.
FRM NAME B.C.I.N.

DRAWING TITLE: ARCHITECTURAL ELEVATIONS
DRAWN BY: J.C. **CHECKED BY:** K.V.K.
PROJECT ADDRESS: 21 GOSLING RD
PROJECT NO.: 2023-049
SHEET NO.: A204
SCALE: 1/8" = 1'-0"



NTS
3D ELEVATION

<p>HUS DESIGN STUDIO LTD. CUSTOM HOME DESIGN 1A CONESTOGA DRIVE #201 BRAMPTON, ON L6Z 4N6 T: 905.896.4847 (HUS) E: INFO@HUSDESIGNS.CA HUSDESIGNS.CA</p>	<p>GENERAL NOTES</p> <p>DRAWINGS ARE TO BE READ NOT SCALED. DO NOT BEGIN CONSTRUCTION UNTIL DESIGNER OR PROJECT MANAGER HAS BEEN NOTIFIED. UPON COMPLETION OF ANY STAGE OF CONSTRUCTION, THE DESIGNER OR PROJECT MANAGER SHALL BE NOTIFIED TO ENSURE PROPER INSPECTION. ALL DESIGN AND CONSTRUCTION DOCUMENTATION ARE FINAL UNLESS REVISED BY THE DESIGNER. IF ANY DISCREPANCIES ARE DISCOVERED HERE WITHIN, THE DESIGNER SHALL BE NOTIFIED. THE DRAWINGS AND DOCUMENTS PROVIDED HERE WITHIN ARE THE EXCLUSIVE PROPERTY OF HUS DESIGN STUDIO. REPRODUCTION OF THE DOCUMENTS PROVIDED IS PROHIBITED WITHOUT THE CONSENT OF THE DESIGNER.</p>	<p>QUALIFICATION INFORMATION</p> <p>THE UNDERSIGNED HAS REVIEWED AND TAKES RESPONSIBILITY FOR THIS DESIGN, AS WELL AS HAVING THE QUALIFICATION AND REQUIREMENTS MANIFESTED BY THE ONTARIO BUILDING CODE TO BE A DESIGNER.</p> <p>REGISTRATION INFORMATION</p> <p>REQUIRED UNLESS THE DESIGN IS EXEMPT UNDER DIV. C3.2.4 OF THE ONTARIO BUILDING CODE.</p> <p>NAME: _____ B.C.I.N.: _____ FIRM NAME: _____ B.C.I.N.: _____</p>	<p>REVISION LIST</p> <table border="0"> <tr><td>1</td><td>REVISED FOR CLIENT</td><td>09.25.2023</td></tr> <tr><td>2</td><td>REVISED FOR CLIENT</td><td>11.21.2023</td></tr> <tr><td>3</td><td>REVISED AS PER CITY COMMENTS</td><td>05.03.2024</td></tr> <tr><td>4</td><td>REVISED AS PER CITY COMMENTS</td><td>05.16.2024</td></tr> <tr><td>5</td><td></td><td>MM/DD/YYYY</td></tr> </table> <p>ISSUE LIST</p> <table border="0"> <tr><td>1</td><td>ISSUED FOR REVIEW</td><td>08.25.2023</td></tr> <tr><td>2</td><td>ISSUED FOR FINAL DESIGN REVIEW</td><td>12.19.2023</td></tr> <tr><td>3</td><td>ISSUED FOR C&A</td><td>03.25.2024</td></tr> <tr><td>4</td><td></td><td>MM/DD/YYYY</td></tr> <tr><td>5</td><td></td><td>MM/DD/YYYY</td></tr> </table>	1	REVISED FOR CLIENT	09.25.2023	2	REVISED FOR CLIENT	11.21.2023	3	REVISED AS PER CITY COMMENTS	05.03.2024	4	REVISED AS PER CITY COMMENTS	05.16.2024	5		MM/DD/YYYY	1	ISSUED FOR REVIEW	08.25.2023	2	ISSUED FOR FINAL DESIGN REVIEW	12.19.2023	3	ISSUED FOR C&A	03.25.2024	4		MM/DD/YYYY	5		MM/DD/YYYY	<p>DRAWING TITLE: ARCHITECTURAL ELEVATIONS DRAWN BY: J.C. CHECKED BY: K.V.K. PROJECT ADDRESS: 21 GOSLING RD PROJECT NO.: 2023-049 SCALE: 1/4" = 1'-0" SHEET NO.: _____</p> <p style="text-align: right; font-size: 24pt;">A205</p>
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**SCHEDULE B:
COMMENTS FROM AGENCIES, BUILDING STANDARDS &
DEVELOPMENT PLANNING**

Department / Agency <small>*Comments Received</small>	Conditions Required		Nature of Comments
Building Standards (Zoning) *See Schedule B	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>	General Comments
Development Planning	Yes <input type="checkbox"/>	No <input type="checkbox"/>	Application Under Review

External Agencies <small>*Comments Received</small>	Conditions Required		Nature of Comments <small>*See Schedule B for full comments</small>
Alectra	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>	General Comments
TRCA	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>	General Comments
Region of York	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>	General Comments

Date: May 16th 2024

Attention: Christine Vigneault

RE:

File No.: A057-24

Related Files:

Applicant Huis Design Studio LTD.

Location 21 Gosling Road



Discover the possibilities

COMMENTS:

- We have reviewed the proposed Variance Application and have no comments or objections to its approval.
- We have reviewed the proposed Variance Application and have no objections to its approval, subject to the following comments (attached below).
- We have reviewed the proposed Variance Application and have the following concerns (attached below).

Alectra Utilities (formerly PowerStream) has received and reviewed the proposed Variance Application. This review, however, does not imply any approval of the project or plan.

All proposed billboards, signs, and other structures associated with the project or plan must maintain minimum clearances to the existing overhead or underground electrical distribution system as specified by the applicable standards, codes and acts referenced.

In the event that construction commences, and the clearance between any component of the work/structure and the adjacent existing overhead and underground electrical distribution system violates the Occupational Health and Safety Act, the customer will be responsible for 100% of the costs associated with Alectra making the work area safe. All construction work will be required to stop until the safe limits of approach can be established.

In the event construction is completed, and the clearance between the constructed structure and the adjacent existing overhead and underground electrical distribution system violates the any of applicable standards, acts or codes referenced, the customer will be responsible for 100% of Alectra's cost for any relocation work.

References:

- Ontario Electrical Safety Code, latest edition (Clearance of Conductors from Buildings)
- Ontario Health and Safety Act, latest edition (Construction Protection)
- Ontario Building Code, latest edition (Clearance to Buildings)
- PowerStream (Construction Standard 03-1, 03-4), attached
- Canadian Standards Association, latest edition (Basic Clearances)

If more information is required, please contact either of the following:

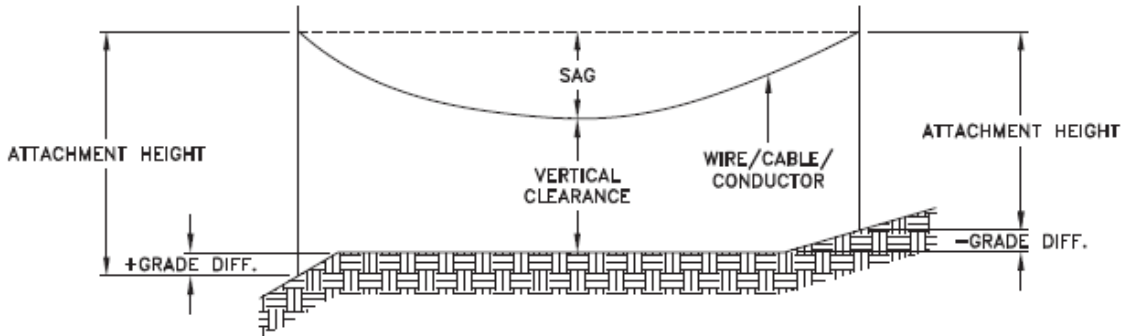
Mr. Stephen Cranley, C.E.T
Supervisor, Distribution Design, ICI & Layouts (North)
Phone: 1-877-963-6900 ext. 31297

E-mail: stephen.cranley@alectrautilities.com

Mitchell Penner
Supervisor, Distribution Design-Subdivisions
Phone: 416-302-6215

Email: Mitchell.Penner@alectrautilities.com

LOCATION OF WIRES, CABLES OR CONDUCTORS	SYSTEM VOLTAGE			
	SPAN GUYS AND COMMUNICATIONS WIRES	UP TO 600V AND NEUTRAL	4.16/2.4kV TO 27.6/16kV (SEE NOTE 1)	44kV
MINIMUM VERTICAL CLEARANCES (SEE NOTE 2)				
OVER OR ALONGSIDE ROADS, DRIVEWAYS OR LANDS ACCESSIBLE TO <u>VEHICLES</u>	442cm	442cm	480cm	520cm
OVER GROUND ACCESSIBLE TO <u>PEDESTRIANS AND BICYCLES ONLY</u>	250cm	310cm	340cm	370cm
ABOVE TOP OF RAIL AT <u>RAILWAY CROSSINGS</u>	730cm	730cm	760cm	810cm



MINIMUM ATTACHMENT HEIGHT = MAXIMUM SAG
 + MINIMUM VERTICAL CLEARANCE (FROM ABOVE TABLE)
 ± GRADE DIFFERENCE
 + 0.3m (VEHICLE OR RAILWAY LOCATION)
 + SNOW DEPTH (PEDESTRIAN LOCATION, SEE NOTE 3)

NOTES:

1. THE MULTIGROUNDED SYSTEM NEUTRAL HAS THE SAME CLEARANCE AS THE 600V SYSTEM.
2. THE VERTICAL CLEARANCES IN THE ABOVE TABLE ARE UNDER MAXIMUM SAG CONDITIONS.
3. REFER TO CSA STANDARD C22.3 No.1, ANNEX D FOR LOCAL SNOW DEPTH VALUES.
4. ALL CLEARANCES ARE IN ACCORDANCE TO CSA STANDARD C22.3.

CONVERSION TABLE

METRIC	IMPERIAL (APPROX)
810cm	27'-0"
760cm	25'-4"
730cm	24'-4"
520cm	17'-4"
480cm	16'-0"
442cm	15'-5"
370cm	12'-4"
340cm	11'-4"
310cm	10'-4"
250cm	8'-4"

REFERENCES

SAGS AND TENSIONS | SECTION 02

MINIMUM VERTICAL CLEARANCES OF WIRES, CABLES AND CONDUCTORS ABOVE GROUND OR RAILS

ORIGINAL ISSUE DATE: 2010-DEC-24 REVISION NO: R1 REVISION DATE: 2012-JAN-09

Certificate of Approval	
This construction Standard meets the safety requirements of Section 4 of Regulation 22/04	
Joe Crozier, P.Eng.	2012-JAN-09
Name	Date
P.Eng. Approval By:	Joe Crozier



VOLTAGE	MINIMUM HORIZONTAL CLEARANCE UNDER MAXIMUM SWING CONDITIONS DIMENSION "X" (SEE NOTES 1, 3 & 4)	MINIMUM VERTICAL CLEARANCE UNDER MAXIMUM DESIGN SAG CONDITIONS DIMENSION "Y" (SEE NOTES 1, 2, 4 & 5)
0-600V AND NEUTRAL	100cm	250cm
4.16/2.4 TO 44kV	300cm	480cm

NOTES

1. UNDER NO CIRCUMSTANCES SHALL A CONDUCTOR BE PERMITTED TO PENETRATE THE ENVELOPE SHOWN BY THE DOTTED LINE.
2. THE VERTICAL CLEARANCES ARE UNDER CONDITIONS OF MAXIMUM DESIGN SAG.
3. THE HORIZONTAL CLEARANCES ARE UNDER CONDITIONS OF MAXIMUM SWING. WHERE THE CONDUCTOR SWING IS NOT KNOWN A HORIZONTAL CLEARANCE OF 480CM SHALL BE USED.
4. BUILDINGS THAT EXCEED 3 STOREYS OR 15M IN HEIGHT, THE MINIMUM HORIZONTAL CLEARANCE OF THE SECONDARY CONDUCTORS SHOULD BE INCREASED TO 300cm WHERE IT IS NECESSARY TO ALLOW FOR THE RAISING OF LADDERS BY LOCAL FIRE DEPARTMENTS.
5. IN SITUATIONS SUCH AS MULTI-LEVEL GARAGES, WHERE ROOFS ARE NORMALLY USED BY PERSONS AND VEHICLES, THE VERTICAL CLEARANCES OF POWERSTREAM STANDARD 03-1 SHALL APPLY.
6. DISTRIBUTION LINES CONSTRUCTED NEAR BUILDINGS SHALL BE BUILT TO AVOID OVERHANG WHEREVER POSSIBLE. WHERE LINES MUST BE CONSTRUCTED OVER OR ADJACENT TO BUILDINGS THE APPLICABLE HORIZONTAL AND VERTICAL CLEARANCES SHALL BE AT CONDITIONS OF MAXIMUM CONDUCTOR SWING AND MAXIMUM SAG. THE ABOVE CLEARANCES ARE DESIGNED TO PREVENT PERSONS ON OR IN BUILDINGS AS WELL AS EXTERNAL MACHINERY USED IN CONJUNCTION WITH A BUILDING TO COME IN CONTACT WITH CONDUCTORS. EFFORTS SHOULD BE MADE TO INCREASE THESE CLEARANCES WHERE POSSIBLE.
7. ALL CLEARANCES ARE IN ACCORDANCE TO CSA C22.3 NO.1-06 (TABLE-9).

METRIC	IMPERIAL (APPROX)
480cm	16'-0"
300cm	10'-0"
250cm	8'-4"
100cm	3'-4"

MINIMUM VERTICAL & HORIZONTAL CLEARANCES OF CONDUCTORS FROM BUILDINGS OR OTHER PERMANENT STRUCTURES (CONDUCTORS NOT ATTACHED TO BUILDINGS)

Certificate of Approval
This construction Standard meets the safety requirements of Section 4 of Regulation 22/04
Debbie Dadwani, P.Eng. 2010-MAY-05
Name Date
P. Eng. Approval By: *D. Dadwani*

ORIGINAL ISSUE DATE: 2010-MAY-05 REVISION NO: REVISION DATE:
PS:\System Planning and Standards\Standard Design\PowerStream Standards\PowerStream Standards working files\Section 3-1-02\WG 03-4 R0 May 5, 2010.dwg, 5/5/2010 10:22:02 AM, Adobe PDF

To: Committee of Adjustment
From: Niloufar Youssefi, Building Standards Department
Date: June 28, 2024
Applicant: Huis Design Studio LTD.
Location: 21 Gosling Road
 PLAN RP5590 Lot 154
File No.(s): A057/24

Zoning Classification:

The subject lands are zoned R1E(EN) – First Density Residential Zone (Established Neighbourhood) and subject to the provisions of Exception 14.534 under Zoning By-law 001-2021, as amended.

#	Zoning By-law 001-2021	Variance requested
1	A maximum lot coverage of 23% is permitted provided the maximum height is 9.5 m [Table 7-3, Additional Requirements #2].	To permit a maximum lot coverage of 26.93%.
2	A maximum building height of 8.5m is permitted [Section 4.5.1.b].	To permit maximum height of 9.49m.

Staff Comments:

Stop Work Order(s) and Order(s) to Comply:

There are no outstanding Orders on file.

Building Permit(s) Issued:

A Building Permit has not been issued. The Ontario Building Code requires a building permit for structures that exceed 10m².

Other Comments:

Zoning By-law 001-2021	
1	The maximum building height shall be the existing building height plus 3.0 m, but in no case shall the maximum building height requirement be less than 8.5 m [Section 4.5.1.b]. Applicant has confirmed the existing building height of 5.5m.

General Comments	
1	The applicant shall be advised that additional variances may be required upon review of detailed drawing for building permit/site plan approval.

From: [Cameron McDonald](#)
To: [Committee of Adjustment](#)
Cc: [Joshua Lacaria](#)
Subject: [External] RE: A057/24 (21 Gosling Road) - REQUEST FOR COMMENTS, CITY OF VAUGHAN
Date: Thursday, May 16, 2024 3:37:24 PM
Attachments: [image002.png](#)

CAUTION! This is an external email. Verify the sender's email address and carefully examine any links or attachments before clicking. If you believe this may be a phishing email, please use the Phish Alert Button.

Good afternoon,

Based on a review of our screening mapping, I can confirm that the subject property is not located within TRCA's Regulated Area. As such, any site alteration or development on the property would not require a permit from TRCA.

Based on the above, we have no comments/requirements.

Regards,

Cameron

Cameron McDonald

Planner I

Development Planning and Permits | Development and Engineering Services

T: [\(437\) 880-1925](tel:(437)880-1925)

E: cameron.mcdonald@trca.ca

A: [101 Exchange Avenue, Vaughan, ON, L4K 5R6](#) | trca.ca



Prabhdeep Kaur

From: Development Services <developmentsservices@york.ca>
Sent: Thursday, June 20, 2024 11:30 AM
To: Christine Vigneault
Cc: Committee of Adjustment
Subject: [External] RE: A057/24 (21 Gosling Road) - REQUEST FOR COMMENTS, CITY OF VAUGHAN

CAUTION! This is an external email. Verify the sender's email address and carefully examine any links or attachments before clicking. If you believe this may be a phishing email, please use the Phish Alert Button.

Hi Christine,

The Regional Municipality of York has completed its review of the minor variance application – A057/24 (21 Gosling Road) and has no comment.

Please provide us with a digital copy of the notice of decision for our records.

Many thanks,

Our working hours may be different. Please do not feel obligated to reply outside of your scheduled working hours. Let's work together to help foster healthy work-life boundaries.

Niranjan Rajevan, M.Pl. | Associate Planner, Development Services, Planning and Economic Development, Corporate Services

The Regional Municipality of York | 17250 Yonge Street | Newmarket, ON L3Y 6Z1
1-877-464-9675 ext. 71521 | niranjan.rajevan@york.ca | www.york.ca

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SCHEDULE C: PUBLIC & APPLICANT CORRESPONDENCE

None

SCHEDULE D: BACKGROUND

None