

|                  |  |
|------------------|--|
| <b>ITEM: 6.2</b> | <b>REPORT SUMMARY<br/>MINOR VARIANCE APPLICATION<br/>FILE NUMBER A053/24</b> |
|------------------|--|

Report Date: July 26, 2024

**THIS REPORT CONTAINS COMMENTS FROM THE FOLLOWING  
DEPARTMENTS & AGENCIES (SEE SCHEDULE B):**

Additional comments from departments and agencies received after the publication of the report will be made available on the City's [website](#).

| Internal Departments<br><small>*Comments Received</small> | Conditions Required                     |  | Nature of Comments               |
|---|---|--|----------------------------------|
| Committee of Adjustment                                   | Yes <input type="checkbox"/>            | No <input checked="" type="checkbox"/> | General Comments                 |
| Building Standards (Zoning)                               | Yes <input type="checkbox"/>            | No <input checked="" type="checkbox"/> | General Comments                 |
| Development Planning                                      | Yes <input type="checkbox"/>            | No <input checked="" type="checkbox"/> | Recommend Approval/No Conditions |
| Development Engineering                                   | Yes <input checked="" type="checkbox"/> | No <input type="checkbox"/>            | Recommend Approval w/Conditions  |
| Development Finance                                       | Yes <input type="checkbox"/>            | No <input checked="" type="checkbox"/> | General Comments                 |
| Forestry  | Yes <input checked="" type="checkbox"/> | No <input type="checkbox"/>            | General Comments w/Conditions    |
| By-law & Compliance                                       | Yes <input type="checkbox"/>            | No <input checked="" type="checkbox"/> | General Comments                 |

| External Agencies<br><small>*Comments Received</small> | Conditions Required          |  | Nature of Comments<br><small>*See Schedule B for full comments</small> |
|--|------------------------------|--|--|
| Alectra  | Yes <input type="checkbox"/> | No <input checked="" type="checkbox"/> | General Comments   |
| TRCA   | Yes <input type="checkbox"/> | No <input checked="" type="checkbox"/> | General Comments   |
| Region of York   | Yes <input type="checkbox"/> | No <input checked="" type="checkbox"/> | General Comments   |

**PUBLIC & APPLICANT CORRESPONDENCE (SEE SCHEDULE C)**

All personal information collected because of this public meeting (including both written and oral submissions) is collected under the authority of the Municipal Act, the Municipal Freedom of Information and Protection of Privacy Act (MFIPPA), the Planning Act and all other relevant legislation, and will be used to assist in deciding on this matter. All personal information (as defined by MFIPPA), including (but not limited to) names, addresses, opinions and comments collected will become property of the City of Vaughan, will be made available for public disclosure (including being posted on the internet) and will be used to assist the Committee of Adjustment and staff to process this application.

| Correspondence Type | Name | Address | Date Received<br><small>(mm/dd/yyyy)</small> | Summary                  |
|---------------------|------|---------|--|--------------------------|
| Applicant           |      |         | 03/22/2024                                   | Application Cover Letter |

**BACKGROUND (SCHEDULE D, IF REQUIRED)**

\* Background Information contains historical development approvals considered to be related to this file.  
This information should not be considered comprehensive.

| Application No. (City File) | Application Description<br><small>(i.e. Minor Variance Application; Approved by COA / OLT)</small> |
|-----------------------------|--|
| N/A                         | N/A  |

**ADJOURNMENT HISTORY**

\* Previous hearing dates where this application was adjourned by the Committee and public notice issued.

| Hearing Date  | Reason for Adjournment <small>(to be obtained from NOD_ADJ)</small>   |
|---------------|---|
| July 10, 2024 | Minor Variance Application <b>A053/24</b> was adjourned by the Committee of Adjustment to August 1, 2024 to permit time for staff to review a revised submission. |

**SCHEDULES**

|                                 |   |
|---------------------------------|---|
| <b>Schedule A</b>               | Drawings & Plans Submitted with the Application                   |
| <b>Schedule B</b>               | Comments from Agencies, Building Standards & Development Planning |
| <b>Schedule C</b> (if required) | Public & Applicant Correspondence                                 |
| <b>Schedule D</b> (if required) | Background  |



**MINOR VARIANCE APPLICATION  
FILE NUMBER A053/24**

|  |   |
|--|---|
| <b>CITY WARD #:</b>                              | 2   |
| <b>APPLICANT:</b>                                | Muhammad & Robina Ali   |
| <b>AGENT:</b>                                    | Doug Norton (Measurite)   |
| <b>PROPERTY:</b>                                 | 44 Hawman Avenue, Woodbridge  |
| <b>ZONING DESIGNATION:</b>                       | See below.  |
| <b>VAUGHAN OFFICIAL PLAN (2010) DESIGNATION:</b> | Vaughan Official Plan 2010 ('VOP 2010'): "Low-Rise Residential"   |
| <b>RELATED DEVELOPMENT APPLICATIONS:</b>         | None  |
| <b>PROPOSAL:</b>                                 | Relief from the Zoning By-law is being requested to permit an addition to the rear of the existing dwelling and to permit a secondary suite within the existing dwelling. |

The following variances have been requested from the City's Zoning By-law:

**The subject lands are zoned R2A(EN) – Second Density Residential Zone (Established Neighbourhood) under Zoning By-law 001-2021, as amended.**

| # | Zoning By-law 001-2021   | Variance requested  |
|---|--|---|
| 1 | The maximum gross floor area of a secondary suite shall not exceed 45% of the total gross floor area of the principal dwelling.<br>Section 5.21 7                          | To permit the maximum gross floor area of a secondary suite to not exceed 46.4% of the total gross floor area of the principal dwelling.              |
| 2 | The entrance to the secondary suite shall not be located closer to the front lot line than the main entrance of the dwelling unit on the abutting lot.<br>Section 5.21 10c | To permit the entrance to the secondary suite to be located closer to the front lot line than the main entrance of dwelling unit on the abutting lot. |

**HEARING INFORMATION**

**DATE OF MEETING:** Thursday, August 1, 2024

**TIME:** 6:00 p.m.

**MEETING LOCATION:** Vaughan City Hall, Woodbridge Room (2<sup>nd</sup> Floor), 2141 Major Mackenzie Drive

**LIVE STREAM LINK:** [Vaughan.ca/LiveCouncil](http://Vaughan.ca/LiveCouncil)

**PUBLIC PARTICIPATION**

If you would like to speak to the Committee of Adjustment at the meeting, either remotely or in person, please complete the [Request to Speak Form](#) and submit to [cofa@vaughan.ca](mailto:cofa@vaughan.ca)

If you would like to submit written comments, please quote file number above and submit by mail or email to:

**Email:** [cofa@vaughan.ca](mailto:cofa@vaughan.ca)

**Mail:** City of Vaughan, Office of the City Clerk, Committee of Adjustment, 2141 Major Mackenzie Drive, Vaughan, ON, L6A 1T1

To speak electronically, pre-registration is required by completing the [Request to Speak Form](#) on-line and submitting it to [cofa@vaughan.ca](mailto:cofa@vaughan.ca) no later than NOON on the last business day before the meeting.

**THE DEADLINE TO REGISTER TO SPEAK ELECTRONICALLY OR SUBMIT WRITTEN COMMENTS ON THE ABOVE NOTED FILE(S) IS NOON ON THE LAST BUSINESS DAY BEFORE THE MEETING.**

## INTRODUCTION

Staff and Agencies act as advisory bodies to the Committee of Adjustment. The comments contained in this report are presented as recommendations to the Committee.

Section 45(1) of the Planning Act sets the criteria for authorizing minor variances to the City of Vaughan's Zoning By-law. Accordingly, review of the application may consider the following:

That the general intent and purpose of the by-law will be maintained.

That the general intent and purpose of the official plan will be maintained.

That the requested variance(s) is/are acceptable for the appropriate development of the subject lands.

That the requested variance(s) is/are minor in nature.

Public written and oral submissions relating to this application are taken into consideration by the Committee of Adjustment as part of its deliberations and final decision on this matter.

## COMMITTEE OF ADJUSTMENT

|  |   |
|--|---|
| <b>Date Public Notice Mailed:</b>  | July 18 & 22, 2024 (revised notice issued on July 22 updating purpose of application)               |
| <b>Date Applicant Confirmed Posting of Sign:</b>   | July 17, 2024   |
| <b>Applicant Justification for Variances:</b><br><small>*As provided in Application Form</small>   | The owner wishes to move into the apartment after construction making this the principal residence. |
| <b>Was a Zoning Review Waiver (ZRW) Form submitted by Applicant:</b><br><small>*ZRW Form may be used by applicant in instances where a revised submission is made, and zoning staff do not have an opportunity to review and confirm variances prior to the issuance of public notice.</small> | Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>                                 |
| <b>COMMENTS:</b>   |   |
| None   |   |
| <b>Committee of Adjustment Recommended Conditions of Approval:</b>   | None  |

## BUILDING STANDARDS (ZONING)

|  |      |
|--|------|
| <b>**See Schedule B for Building Standards (Zoning) Comments</b> |      |
| <b>Building Standards Recommended Conditions of Approval:</b>    | None |

## DEVELOPMENT PLANNING

|   |      |
|---|------|
| <b>**See Schedule B for Development Planning Comments.</b>      |      |
| <b>Development Planning Recommended Conditions of Approval:</b> | None |

## DEVELOPMENT ENGINEERING

[Link to Grading Permit](#)   [Link to Pool Permit](#)   [Link to Curb Curt Permit](#)   [Link Culvert Installation](#)

As the proposed addition to existing residence in the subject property is 121.9 m<sup>2</sup>, the Owner / Applicant needs to obtain a Lot Grading Permit from Development Inspection and Lot Grading Division of the City's Development Engineering Department. Please note any in-ground structure over 10 m<sup>2</sup> requires a Grading Permit. Please contact the Development Engineering Reviewer after receiving the Grading Permit to clear the condition. (Conditions attached) The proposed work by the Owner / Applicant is increasing the lot coverage on the subject property. The added hardscape may have impacts on the City's Storm Water management system. Development Engineering strongly encourages the Owner / Applicant introduce Low-Impact Development (LID) measures (e.g., bioswales, permeable pavers, rain gardens, rain barrels etc.) to reduce the impacts to the stormwater system. Should further information be required, please contact the Development Engineering COA reviewer. The Development Engineering Department does not object to the Minor Variance application A053/24, subject to the following condition(s):

|  |   |
|--|---|
| <b>Development Engineering Recommended Conditions of Approval:</b> | The Owner/Applicant shall submit an application and obtain an approved Grading Permit before initiating any work on the property. The Final Lot Grading and/or Servicing Plan will be required for the Grading Permit Application. Please visit the Permits page of the City of Vaughan's website: <a href="https://www.vaughan.ca/about-city-vaughan/departments/development-engineering/permits">https://www.vaughan.ca/about-city-vaughan/departments/development-engineering/permits</a> to apply for a Grading Permit. For any inquiries regarding |
|--|---|

## DEVELOPMENT ENGINEERING

[Link to Grading Permit](#)  
 [Link to Pool Permit](#)  
 [Link to Curb Curt Permit](#)  
 [Link Culvert Installation](#)

the Grading Permit, please email  
DEPermits@vaughan.ca.

## PARKS, FORESTRY & HORTICULTURE (PFH)

Recommended condition of approval:

**PFH Recommended Conditions of Approval:**

Applicant/owner shall obtain a “Private Property Tree Removal & Protection” permit through the forestry division prior to any construction works on the subject property.

## DEVELOPMENT FINANCE

No comment no concerns.

**Development Finance Recommended Conditions of Approval:**

None

## BY-LAW AND COMPLIANCE, LICENSING AND PERMIT SERVICES

No comments.

**BCLPS Recommended Conditions of Approval:**

None

## BUILDING INSPECTION (SEPTIC)

No comments received to date.

**Building Inspection Recommended Conditions of Approval:**

None

## FIRE DEPARTMENT

No comments received to date.

**Fire Department Recommended Conditions of Approval:**

None

## RECOMMENDED CONDITIONS OF APPROVAL SUMMARY

Should the Committee find it appropriate to approve this application in accordance with request and the sketch submitted with the application, as required by Ontario Regulation 200/96, the following conditions have been recommended:

| # | DEPARTMENT / AGENCY   | CONDITION  |
|---|---|--|
| 1 | Development Engineering<br><a href="mailto:Rex.bondad@vaughan.ca">Rex.bondad@vaughan.ca</a>                                   | The Owner/Applicant shall submit an application and obtain an approved Grading Permit before initiating any work on the property. The Final Lot Grading and/or Servicing Plan will be required for the Grading Permit Application. Please visit the Permits page of the City of Vaughan’s website: <a href="https://www.vaughan.ca/about-city-vaughan/departments/development-engineering/permits">https://www.vaughan.ca/about-city-vaughan/departments/development-engineering/permits</a> to apply for a Grading Permit. For any inquiries regarding the Grading Permit, please email DEPermits@vaughan.ca. |
| 2 | Parks, Forestry and Horticulture Operations<br><a href="mailto:zachary.quizzetti@vaughan.ca">zachary.quizzetti@vaughan.ca</a> | Applicant/owner shall obtain a “Private Property Tree Removal & Protection” permit through the forestry division prior to any construction works on the subject property.  |

*All conditions of approval, unless otherwise stated, are considered to be incorporated into the approval “if required”. If a condition is no longer required after an approval is final and binding, the condition may be waived by the respective department or agency requesting conditional approval. A condition cannot be waived without written consent from the respective department or agency.*

## IMPORTANT INFORMATION

**CONDITIONS:** It is the responsibility of the owner/applicant and/or authorized agent to obtain and provide a clearance letter from respective department and/or agency (**see condition chart above for contact**). This letter must be provided to the Secretary-Treasurer to be finalized. All conditions must be cleared prior to the issuance of a Building Permit.

**APPROVALS:** Making any changes to your proposal after a decision has been made may impact the validity of the Committee's decision.

An approval obtained from the Committee of Adjustment, where applicable, is tied to the building envelope shown on the plans and drawings submitted with the application and subject to the variance approval.

A building envelope is defined by the setbacks of the buildings and/or structures shown on the plans and drawings submitted with the application, as required by Ontario Regulation 200/96. Future development outside of an approved building envelope, where a minor variance was obtained, must comply with the provisions of the City's Zoning By-law.

Elevation drawings are provided to reflect the style of roof (i.e. flat, mansard, gable etc.) to which a building height variance has been applied. Where a height variance is approved, building height is applied to the style of roof (as defined in the City's Zoning By-law) shown on the elevation plans submitted with the application.

Architectural design features that are not regulated by the City's Zoning By-law are not to be considered part of an approval unless specified in the Committee's decision.

**DEVELOPMENT CHARGES:** That the payment of the Regional Development Charge, if required, is payable to the City of Vaughan before issuance of a building permit in accordance with the Development Charges Act and the Regional Development Charges By-law in effect at the time of payment.

That the payment of the City Development Charge, if required, is payable to the City of Vaughan before issuance of a building permit in accordance with the Development Charges Act and the City's Development Charges By-law in effect at the time of payment.

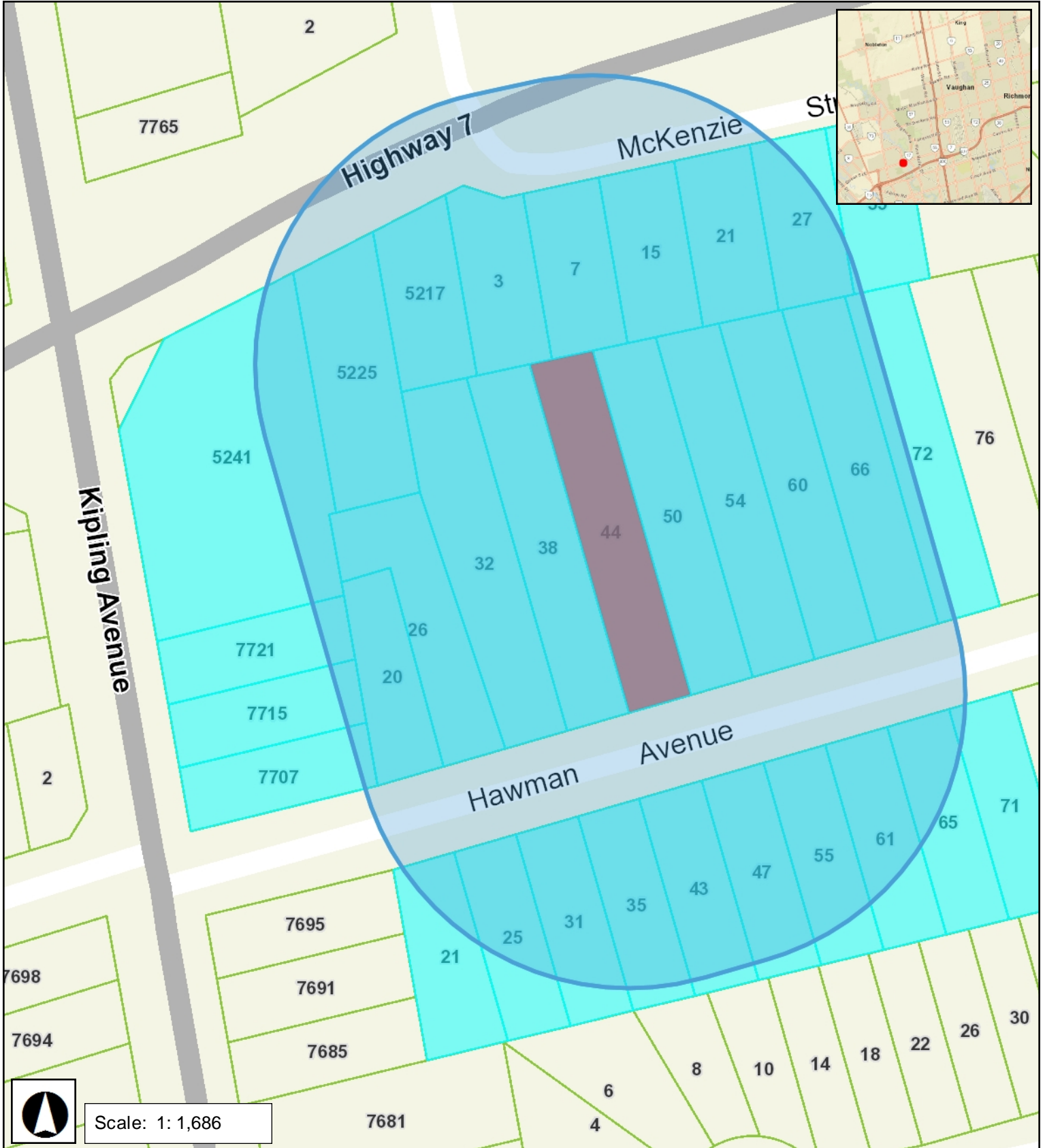
That the payment of the Education Development Charge if required, is payable to the City of Vaughan before issuance of a building permit in accordance with the Development Charges Act and the Boards of Education By-laws in effect at the time of payment

That the payment of Special Area Development charge, if required, is payable to the City of Vaughan before issuance of a building permit in accordance with the Development Charges Act and The City's Development Charge By-law in effect at the time of Building permit issuance to the satisfaction of the Reserves/Capital Department.

**NOTICE OF DECISION:** If you wish to be notified of the decision in respect to this application or a related Ontario Land Tribunal (OLT) hearing you must complete a Request for Decision form and submit to the Secretary Treasurer (ask staff for details). In the absence of a written request to be notified of the Committee's decision you will **not** receive notice.

**SCHEDULE A: DRAWINGS & PLANS**

44 Hawman Avenue, Woodbridge



RECEIVED

By providel at 2:50 pm, Jul 04, 2024

TOPOGRAPHIC SURVEY OF  
LOT 28  
REGISTERED PLAN 4008  
CITY OF VAUGHAN  
(REGIONAL MUNICIPALITY OF YORK)

SCALE 1 : 200

ALEX MARTON LTD.  
ONTARIO LAND SURVEYORS

© COPYRIGHT 2021

THE REPRODUCTION, ALTERATION OR USE OF THIS REPORT,  
IN WHOLE OR PART, WITHOUT THE EXPRESS PERMISSION OF  
ALEX MARTON LTD. IS STRICTLY PROHIBITED.

METRIC

DISTANCES SHOWN ON THIS PLAN ARE IN METRES  
AND CAN BE CONVERTED TO FEET BY DIVIDING BY 0.3048.

BENCHMARK NOTE

ELEVATIONS SHOWN HEREON ARE GEODETIC AND ARE REFERRED  
TO THE CITY OF TORONTO BENCHMARK No. 84-200  
HAVING AN ELEVATION OF 177.39 METRES.  
LOCATED ON YORK REGIONAL SPHEROID AT THE WEST SIDE OF FOREST ROAD, 0.5KM  
NORTH OF WOODBRIDGE AVENUE, TABLET SET HORIZONTALLY IN EAST FACE OF  
CONCRETE BASE OF SPHEROID, 2.74 METRES SOUTH OF ENTRANCE DIRECTLY BELOW  
SECOND ANCHOR BOLT LEFT OF SOUTH ENTRANCE.

LEGEND

|      |         |                            |
|------|---------|----------------------------|
| SWI  | DENOTES | INTERLOCKING PAVEMENT      |
| CB   |         | CATCH BASIN                |
| WV   |         | WATER VALVE                |
| GM   |         | GAS METER                  |
| RWBR |         | BRICK RETAINING WALL       |
| UP   |         | UTILITY POLE               |
| DS   |         | DOOR SILL                  |
| CR   |         | CENTERLINE                 |
| HM   |         | HYDRO METER                |
| O/H  |         | OVERHEAD                   |
| FIN  |         | PROPERTY IDENTIFIER NUMBER |
| Ø    |         | DIAMETER                   |
| ⊙    |         | DECIDUOUS TREE             |

| # | Zoning By-law 001-2021   | Variance requested  |
|---|--|---|
| 1 | The maximum gross floor area of a secondary suite shall not exceed 45% of the total gross floor area of the principal dwelling.                        | To permit the maximum gross floor area of a secondary suite to not exceed 56% of the total gross floor area of the principal dwelling.                |
| 2 | The entrance to the secondary suite shall not be located closer to the front lot line than the main entrance of the dwelling unit on the abutting lot. | To permit the entrance to the secondary suite to be located closer to the front lot line than the main entrance of dwelling unit on the abutting lot. |

SURVEYOR'S CERTIFICATE

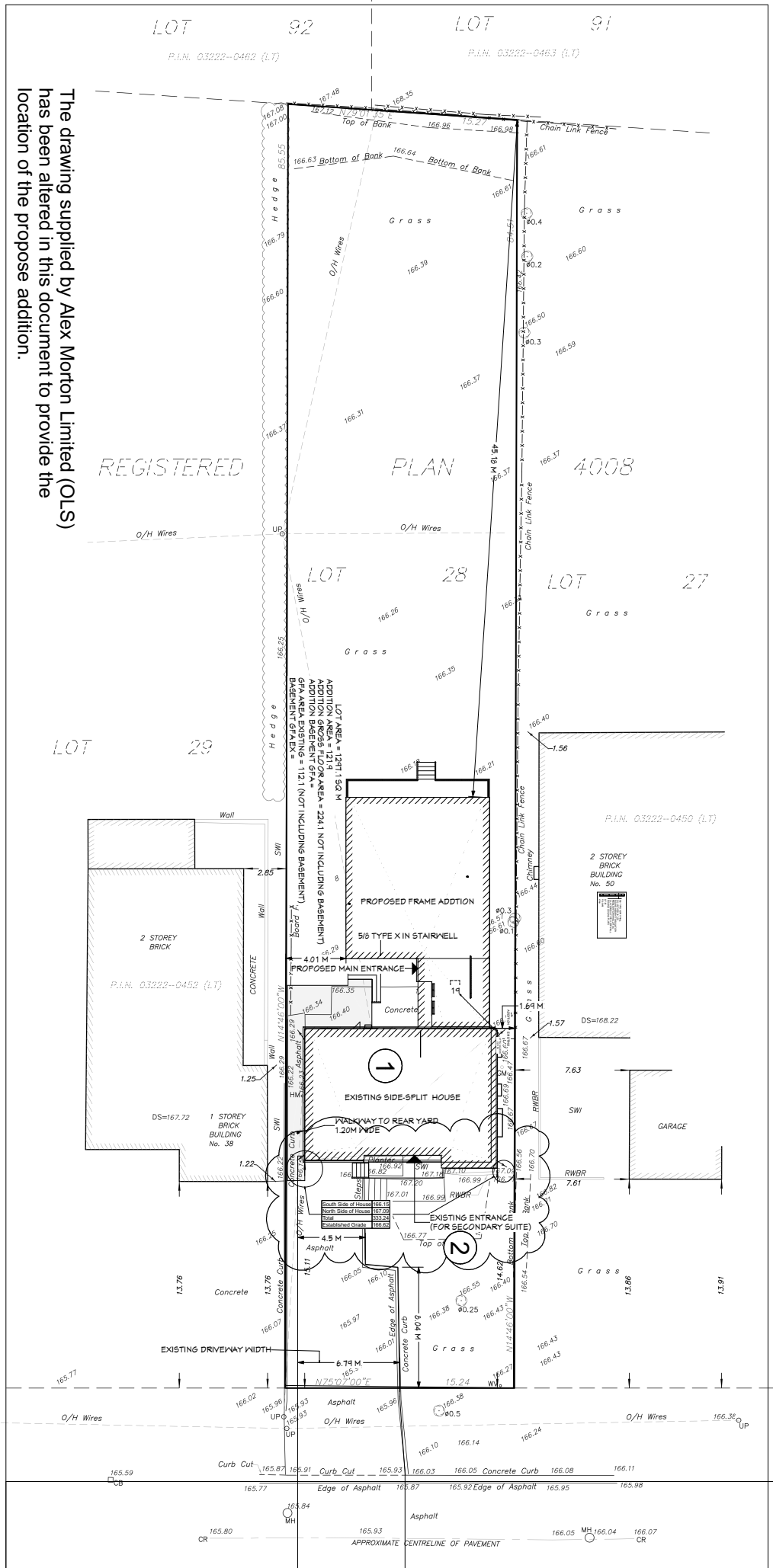
I CERTIFY THAT:  
THE FIELD OBSERVATIONS REPRESENTED ON THIS PLAN  
WERE COMPLETED ON THE 31<sup>ST</sup> DAY OF MARCH, 2021.

MARCH 31, 2021  
DATE

ALEX MARTON  
ONTARIO LAND SURVEYOR

**ALEX MARTON LIMITED**  
ONTARIO LAND SURVEYORS  
160 APPLEWOOD CRESCENT, UNIT 8,  
CONCORD, ONTARIO, L4K 4H2  
PHONE: 905-879-9889 FAX: 905-879-0770  
E-MAIL: alex@amsurveying.ca  
WEBSITE: www.amsurveying.ca

|                   |                         |
|-------------------|-------------------------|
| PARTY CHIEF: K.Z. | FILE NAME: 2021-093.DWG |
| DRAWN: A.K.       | PLOT SCALE: 1:200       |
| CHECKED: A.M.     | PROJECT No. 2021-093    |



The drawing supplied by Alex Morton Limited (OLS) has been altered in this document to provide the location of the propose addition.

# Site Plan

| Revision Table |            |             |                    |
|----------------|------------|-------------|--------------------|
| abel           | Date       | Revised By  | Description        |
| A              | 2024-07-04 | Doug Norton | Area Calcs Revised |

© Measurite ALL RIGHTS RESERVED, DUPLICATION AND DISTRIBUTION OF THIS PLAN WITHOUT WRITTEN PERMISSION IS PROHIBITED

|                     |
|---------------------|
| <b>Rev:A</b>        |
| DATE: 2024-07-04    |
| DRAWN BY: D. Norton |
| SHEET #: A-2        |

PAGE TITLE:  
Site Plan

PROJECT DRAWINGS FOR:  
**Ali Muhammad**  
44 Hawman Ave  
Woodbridge, Ontario, L4L 1S2  
EMAIL: sherway.norfinch@gmail.com  
PHONE: 416 427 3333 MOBILE PHONE:

Designer: 103323  
Measurite: 1098713

**Measurite**  
37 Bedell Crescent  
Whitby Ontario, L1R 2N8  
info@measurite.ca 905 409 8487

BCIN

**Rumi Building Group Inc.**  
647 773 5474  
info@rumbuildinggroup.com

The undersigned has reviewed or created the documents herein and takes responsibility for the design, and has the qualifications as set out in the B.C.A. and O.S.C. to design the work set out in these documents. No changes to the design are permitted without the express written consent of the undersigned except for those specifically set out in the permit drawings as indicated by the plans examiner under the seal of the municipal authority.

Doug Norton Independent Designer BCIN 103323  
Measurite BCIN 1098713  
Signature: [Signature]



**SCHEDULE B:  
COMMENTS FROM AGENCIES, BUILDING STANDARDS &  
DEVELOPMENT PLANNING**

| <b>Department / Agency</b><br><small>*Comments Received</small> | <b>Conditions Required</b>   |  | <b>Nature of Comments</b> |
|---|------------------------------|--|---------------------------|
| Building Standards (Zoning) *See Schedule B                     | Yes <input type="checkbox"/> | No <input checked="" type="checkbox"/> | General Comments          |
| Development Planning  | Yes <input type="checkbox"/> | No <input type="checkbox"/>            | Application Under Review  |

| <b>External Agencies</b><br><small>*Comments Received</small> | <b>Conditions Required</b>   |  | <b>Nature of Comments</b><br><small>*See Schedule B for full comments</small> |
|---|------------------------------|--|---|
| Alectra   | Yes <input type="checkbox"/> | No <input checked="" type="checkbox"/> | General Comments  |
| TRCA  | Yes <input type="checkbox"/> | No <input checked="" type="checkbox"/> | General Comments  |
| Region of York  | Yes <input type="checkbox"/> | No <input checked="" type="checkbox"/> | General Comments  |

**Date:** May 29<sup>th</sup> 2024

**Attention:** Christine Vigneault

**RE:**

**File No.:** A053-24

**Related Files:**

**Applicant** 9490914 Canada Inc (Measurite)

**Location** 44 Hawman Avenue



Discover the possibilities

### COMMENTS:

- We have reviewed the proposed Variance Application and have no comments or objections to its approval.
- We have reviewed the proposed Variance Application and have no objections to its approval, subject to the following comments (attached below).
- We have reviewed the proposed Variance Application and have the following concerns (attached below).

Alectra Utilities (formerly PowerStream) has received and reviewed the proposed Variance Application. This review, however, does not imply any approval of the project or plan.

All proposed billboards, signs, and other structures associated with the project or plan must maintain minimum clearances to the existing overhead or underground electrical distribution system as specified by the applicable standards, codes and acts referenced.

In the event that construction commences, and the clearance between any component of the work/structure and the adjacent existing overhead and underground electrical distribution system violates the Occupational Health and Safety Act, the customer will be responsible for 100% of the costs associated with Alectra making the work area safe. All construction work will be required to stop until the safe limits of approach can be established.

In the event construction is completed, and the clearance between the constructed structure and the adjacent existing overhead and underground electrical distribution system violates the any of applicable standards, acts or codes referenced, the customer will be responsible for 100% of Alectra's cost for any relocation work.

### References:

- Ontario Electrical Safety Code, latest edition (Clearance of Conductors from Buildings)
- Ontario Health and Safety Act, latest edition (Construction Protection)
- Ontario Building Code, latest edition (Clearance to Buildings)
- PowerStream (Construction Standard 03-1, 03-4), attached
- Canadian Standards Association, latest edition (Basic Clearances)

If more information is required, please contact either of the following:

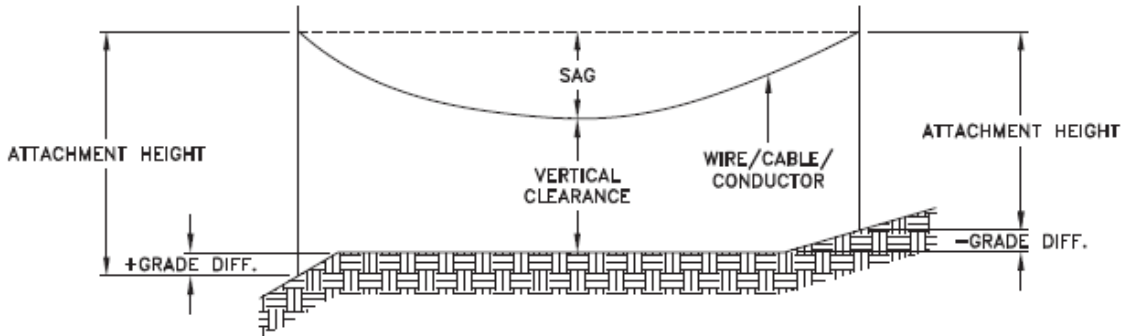
Mr. Stephen Cranley, C.E.T  
Supervisor, Distribution Design, ICI & Layouts (North)  
**Phone:** 1-877-963-6900 ext. 31297

**E-mail:** [stephen.cranley@alectrautilities.com](mailto:stephen.cranley@alectrautilities.com)

Mitchell Penner  
Supervisor, Distribution Design-Subdivisions  
**Phone:** 416-302-6215

**Email:** [Mitchell.Penner@alectrautilities.com](mailto:Mitchell.Penner@alectrautilities.com)

| LOCATION OF WIRES, CABLES OR CONDUCTORS                                   | SYSTEM VOLTAGE                     |                        |                                      |       |
|---|------------------------------------|------------------------|--------------------------------------|-------|
|   | SPAN GUYS AND COMMUNICATIONS WIRES | UP TO 600V AND NEUTRAL | 4.16/2.4kV TO 27.6/16kV (SEE NOTE 1) | 44kV  |
| MINIMUM VERTICAL CLEARANCES (SEE NOTE 2)                                  |                                    |                        |                                      |       |
| OVER OR ALONGSIDE ROADS, DRIVEWAYS OR LANDS ACCESSIBLE TO <u>VEHICLES</u> | 442cm                              | 442cm                  | 480cm                                | 520cm |
| OVER GROUND ACCESSIBLE TO <u>PEDESTRIANS AND BICYCLES ONLY</u>            | 250cm                              | 310cm                  | 340cm                                | 370cm |
| ABOVE TOP OF RAIL AT <u>RAILWAY CROSSINGS</u>                             | 730cm                              | 730cm                  | 760cm                                | 810cm |



MINIMUM ATTACHMENT HEIGHT = MAXIMUM SAG  
 + MINIMUM VERTICAL CLEARANCE (FROM ABOVE TABLE)  
 ± GRADE DIFFERENCE  
 + 0.3m (VEHICLE OR RAILWAY LOCATION)  
 + SNOW DEPTH (PEDESTRIAN LOCATION, SEE NOTE 3)

**NOTES:**

1. THE MULTIGROUNDED SYSTEM NEUTRAL HAS THE SAME CLEARANCE AS THE 600V SYSTEM.
2. THE VERTICAL CLEARANCES IN THE ABOVE TABLE ARE UNDER MAXIMUM SAG CONDITIONS.
3. REFER TO CSA STANDARD C22.3 No.1, ANNEX D FOR LOCAL SNOW DEPTH VALUES.
4. ALL CLEARANCES ARE IN ACCORDANCE TO CSA STANDARD C22.3.

**CONVERSION TABLE**

| METRIC | IMPERIAL (APPROX) |
|--------|-------------------|
| 810cm  | 27'-0"            |
| 760cm  | 25'-4"            |
| 730cm  | 24'-4"            |
| 520cm  | 17'-4"            |
| 480cm  | 16'-0"            |
| 442cm  | 15'-5"            |
| 370cm  | 12'-4"            |
| 340cm  | 11'-4"            |
| 310cm  | 10'-4"            |
| 250cm  | 8'-4"             |

**REFERENCES**

SAGS AND TENSIONS | SECTION 02

**MINIMUM VERTICAL CLEARANCES OF WIRES, CABLES AND CONDUCTORS ABOVE GROUND OR RAILS**

ORIGINAL ISSUE DATE: 2010-DEC-24 REVISION NO: R1 REVISION DATE: 2012-JAN-09

| Certificate of Approval   |             |
|---|-------------|
| This construction Standard meets the safety requirements of Section 4 of Regulation 22/04 |             |
| Joe Crozier, P.Eng.   | 2012-JAN-09 |
| Name  | Date        |
| P.Eng. Approval By:   | Joe Crozier |



| VOLTAGE            | MINIMUM HORIZONTAL CLEARANCE UNDER MAXIMUM SWING CONDITIONS DIMENSION "X" (SEE NOTES 1, 3 & 4) | MINIMUM VERTICAL CLEARANCE UNDER MAXIMUM DESIGN SAG CONDITIONS DIMENSION "Y" (SEE NOTES 1, 2, 4 & 5) |
|--------------------|--|--|
| 0-600V AND NEUTRAL | 100cm  | 250cm  |
| 4.16/2.4 TO 44kV   | 300cm  | 480cm  |

**NOTES**

1. UNDER NO CIRCUMSTANCES SHALL A CONDUCTOR BE PERMITTED TO PENETRATE THE ENVELOPE SHOWN BY THE DOTTED LINE.
2. THE VERTICAL CLEARANCES ARE UNDER CONDITIONS OF MAXIMUM DESIGN SAG.
3. THE HORIZONTAL CLEARANCES ARE UNDER CONDITIONS OF MAXIMUM SWING. WHERE THE CONDUCTOR SWING IS NOT KNOWN A HORIZONTAL CLEARANCE OF 480CM SHALL BE USED.
4. BUILDINGS THAT EXCEED 3 STOREYS OR 15M IN HEIGHT, THE MINIMUM HORIZONTAL CLEARANCE OF THE SECONDARY CONDUCTORS SHOULD BE INCREASED TO 300cm WHERE IT IS NECESSARY TO ALLOW FOR THE RAISING OF LADDERS BY LOCAL FIRE DEPARTMENTS.
5. IN SITUATIONS SUCH AS MULTI-LEVEL GARAGES, WHERE ROOFS ARE NORMALLY USED BY PERSONS AND VEHICLES, THE VERTICAL CLEARANCES OF POWERSTREAM STANDARD 03-1 SHALL APPLY.
6. DISTRIBUTION LINES CONSTRUCTED NEAR BUILDINGS SHALL BE BUILT TO AVOID OVERHANG WHEREVER POSSIBLE. WHERE LINES MUST BE CONSTRUCTED OVER OR ADJACENT TO BUILDINGS THE APPLICABLE HORIZONTAL AND VERTICAL CLEARANCES SHALL BE AT CONDITIONS OF MAXIMUM CONDUCTOR SWING AND MAXIMUM SAG. THE ABOVE CLEARANCES ARE DESIGNED TO PREVENT PERSONS ON OR IN BUILDINGS AS WELL AS EXTERNAL MACHINERY USED IN CONJUNCTION WITH A BUILDING TO COME IN CONTACT WITH CONDUCTORS. EFFORTS SHOULD BE MADE TO INCREASE THESE CLEARANCES WHERE POSSIBLE.
7. ALL CLEARANCES ARE IN ACCORDANCE TO CSA C22.3 NO.1-06 (TABLE-9).

| METRIC | IMPERIAL (APPROX) |
|--------|-------------------|
| 480cm  | 16'-0"            |
| 300cm  | 10'-0"            |
| 250cm  | 8'-4"             |
| 100cm  | 3'-4"             |

**MINIMUM VERTICAL & HORIZONTAL CLEARANCES OF CONDUCTORS FROM BUILDINGS OR OTHER PERMANENT STRUCTURES (CONDUCTORS NOT ATTACHED TO BUILDINGS)**

**Certificate of Approval**  
This construction Standard meets the safety requirements of Section 4 of Regulation 22/04  
Debbie Dadwani, P.Eng. 2010-MAY-05  
Name Date  
P. Eng. Approval By: *D. Dadwani*

ORIGINAL ISSUE DATE: 2010-MAY-05 REVISION NO: REVISION DATE:  
PS:\System Planning and Standards\Standard Design\PowerStream Standards\PowerStream Standards working files\Section 3-1-02\WG 03-4 R0 May 5, 2010.dwg, 5/5/2010 10:22:02 AM, Adobe PDF

**To:** Committee of Adjustment  
**From:** Bernd Paessler, Building Standards Department  
**Date:** July 5, 2024  
**Applicant:** 9490914 Canada Inc (Measurite)  
**Location:** 44 Hawman Avenue  
 PLAN RP4008 Lot 28  
**File No.(s):** A053/24

**Zoning Classification:**

The subject lands are zoned R2A(EN) – Second Density Residential Zone (Established Neighbourhood) under Zoning By-law 001-2021, as amended.

| # | Zoning By-law 001-2021   | Variance requested  |
|---|--|---|
| 1 | The maximum gross floor area of a secondary suite shall not exceed 45% of the total gross floor area of the principal dwelling.<br><br>Section 5.21 7                          | To permit the maximum gross floor area of a secondary suite to not exceed 46.4% of the total gross floor area of the principal dwelling.              |
| 2 | The entrance to the secondary suite shall not be located closer to the front lot line than the main entrance of the dwelling unit on the abutting lot.<br><br>Section 5.21 10c | To permit the entrance to the secondary suite to be located closer to the front lot line than the main entrance of dwelling unit on the abutting lot. |

**Staff Comments:**

**Stop Work Order(s) and Order(s) to Comply:**

There are no outstanding Orders on file

**Building Permit(s) Issued:**

A Building Permit has not been issued. The Ontario Building Code requires a building permit for structures that exceed 10m<sup>2</sup>

| General Comments |  |
|------------------|--|
| 1                | The applicant shall be advised that additional variances may be required upon review of detailed drawing for building permit/site plan approval. |

**Conditions of Approval:**

If the committee finds merit in the application, the following conditions of approval are recommended.

\* Comments are based on the review of documentation supplied with this application.

**To:** Christine Vigneault, Committee of Adjustment Secretary Treasurer

**From:** Nancy Tuckett, Director of Development Planning

**Date:** July 24, 2024

**Name of Owners:** Ali Muhammad and Robina Ali

**Location:** 44 Hawman Avenue

**File No.(s):** A053/24

---

**Proposed Variance(s) (By-law 001-2021):**

1. To permit the maximum gross floor area of a secondary suite to not exceed **46.4%** of the total gross floor area of the principal dwelling.
2. To permit the entrance to the secondary suite to be located closer to the front lot line than the main entrance of dwelling unit on the abutting lot.

**By-Law Requirement(s) (By-law 001-2021):**

1. The maximum gross floor area of a secondary suite shall not exceed **45%** of the total gross floor area of the principal dwelling.
2. The entrance to the secondary suite shall not be located closer to the front lot line than the main entrance of the dwelling unit on the abutting lot.

**Official Plan:**

Vaughan Official Plan 2010 ('VOP 2010'): "Low-Rise Residential"

**Comments:**

The Owners are requesting relief to permit the construction of a second dwelling unit attached at the rear of the existing dwelling with the above-noted variances. Once constructed, the second dwelling unit will be considered the 'principal dwelling', while the existing dwelling will be considered the 'secondary suite' for the purposes of applying the Zoning By-law definitions.

The Development Planning Department does not object to Variance 2 to permit the entrance of the secondary suite to be located closer to the front lot line than the main entrance of the dwelling unit on the abutting lot. This variance is purely a technical requirement as the proposed secondary suite will be considered as the primary dwelling once constructed to ensure the primacy of a single dwelling with entrance on the lot. Additionally, the principal dwelling's entrance is not visible from the street. Access to the principal dwelling is obtained by walking around the side of and behind the secondary suite. The proposed secondary suite, which spans the width of the lot and is in-line with the other dwellings along the north side of Hawman Avenue, will continue to remain as the visually prominent dwelling.

The Development Planning Department has no objection to the Variance 1 as the 1.4% increase is minor in nature. The lot will continue to have a single visually prominent dwelling. The existing dwelling (secondary suite) is a 2-storey dwelling with its second storey largely contained within the gable roof. From a visual perspective, the proposed principal dwelling will be primarily screened from the street by the secondary suite. It is anticipated that portions of its roof will be seen from the street as it spans about two-thirds of the secondary suite's rear wall, but this added roof mass is minor. Furthermore, the proposed primary dwelling complies with all lot line setback requirements, and the maximum building height requirement of Zoning By-law 001-2021. As such, the Development Planning Department is of the opinion that the proposed principal dwelling and attached secondary suite (and entrances) will not pose any adverse visual impacts on the neighbouring properties or the existing streetscape of Hawman Avenue.

In support of the application, the Owners submitted a Tree Inventory and Preservation Plan Report prepared by Elm-Tree General Contractors, dated June 13, 2024, and revised on June 26, 2024. The report inventoried a total of twelve (12) trees on the subject property and neighbouring properties, eleven (11) of which are proposed to be

preserved through construction. One (1) tree is proposed to be removed and a total of two (2) replacement trees are proposed as a result. Urban Design staff have reviewed the report and concur with its recommendations.

Accordingly, the Development Planning Department supports the requested variances and is of the opinion that the proposal is minor in nature, maintains the general intent and purpose of the Official Plan and Zoning By-law, and is desirable for the appropriate development of the land.

**Recommendation:**

The Development Planning Department recommends approval of the application.

**Conditions of Approval:**

If the Committee finds merit in the application, the following condition of approval is recommended:

None.

**Comments Prepared by:**

Nicholas Del Prete, Planner  
David Harding, Senior Planner



## Lenore Providence

---

**Subject:** FW: [External] RE: A053/24 - 44 Hawman Avenue - REQUEST FOR COMMENTS, CITY OF VAUGHAN

---

**From:** Cameron McDonald <Cameron.McDonald@trca.ca>

**Sent:** Friday, May 31, 2024 1:17 PM

**To:** Committee of Adjustment <CofA@vaughan.ca>

**Subject:** [External] RE: A053/24 - 44 Hawman Avenue - REQUEST FOR COMMENTS, CITY OF VAUGHAN

**CAUTION!** This is an external email. Verify the sender's email address and carefully examine any links or attachments before clicking. If you believe this may be a phishing email, please use the Phish Alert Button.

Good afternoon,

Based on a review of our screening mapping, I can confirm that the subject property is not located within TRCA's Regulated Area. As such, any site alteration or development on the property would not require a permit from TRCA.

Based on the above, we have no comments/requirements.

Regards,

**Cameron McDonald**

Planner I

Development Planning and Permits | Development and Engineering Services

T: [\(437\) 880-1925](tel:4378801925)

E: [cameron.mcdonald@trca.ca](mailto:cameron.mcdonald@trca.ca)

A: [101 Exchange Avenue, Vaughan, ON, L4K 5R6](https://www.trca.ca) | [trca.ca](https://www.trca.ca)



## Lenore Providence

---

**Subject:** FW: [External] RE: A053/24 - 44 Hawman Avenue - REQUEST FOR COMMENTS, CITY OF VAUGHAN

---

**From:** Development Services <developmentsservices@york.ca>  
**Sent:** Thursday, June 20, 2024 2:39 PM  
**To:** Lenore Providence <Lenore.Providence@vaughan.ca>  
**Cc:** Committee of Adjustment <CofA@vaughan.ca>  
**Subject:** [External] RE: A053/24 - 44 Hawman Avenue - REQUEST FOR COMMENTS, CITY OF VAUGHAN

**CAUTION!** This is an external email. Verify the sender's email address and carefully examine any links or attachments before clicking. If you believe this may be a phishing email, please use the Phish Alert Button.

Hi Lenore,

The Regional Municipality of York has completed its review of the minor variance application – A053/24 (44 Hawman Avenue) and has no comment.

Please provide us with a digital copy of the notice of decision for our records.

Many thanks,

*Our working hours may be different. Please do not feel obligated to reply outside of your scheduled working hours. Let's work together to help foster healthy work-life boundaries.*

**Niranjan Rajevan, M.PI.** | Associate Planner, Development Services, Planning and Economic Development, Corporate Services

---

The Regional Municipality of York | 17250 Yonge Street | Newmarket, ON L3Y 6Z1  
1-877-464-9675 ext. 71521 | [niranjan.rajevan@york.ca](mailto:niranjan.rajevan@york.ca) | [www.york.ca](http://www.york.ca)  
*Our Values: Integrity, Commitment, Accountability, Respect, Excellence*



Our Mission: **Working together to serve our thriving communities – today and tomorrow**

Please consider the environment before printing this email.

**SCHEDULE C: PUBLIC & APPLICANT CORRESPONDENCE**

| <b>Correspondence Type</b> | <b>Name</b> | <b>Address</b> | <b>Date Received<br/>(mm/dd/yyyy)</b> | <b>Summary</b>           |
|----------------------------|-------------|----------------|---------------------------------------|--------------------------|
| Applicant                  |             |                | 03/22/2024                            | Application Cover Letter |

To the Committee of Adjustment for the City of Vaughan,  
Regarding the proposed addition to an existing one-storey brick dwelling located at 44  
Hawman Avenue in Woodbridge, Ontario.

March 21, 2024

The owners of this property have a growing and multi-generational family that has outgrown the existing house, and in consideration for the needs of the children and parents, are desirous of expanding the living area and, at the same time, living in the same building.

In this regard, they have opted to have a large addition added to the rear yard and separate the new part from the existing house, creating two dwelling units thus providing individual provisions for entertainment, cooking, and privacy.

It is their intention to move into the new addition and consider the existing dwelling as being the accessory unit occupied by junior members of the family.

Because of that decision, the planning department now considers the existing entrance to be closer to the front lot line than allowed by the bylaws' setback provision.

Additionally, the floor area of the existing dwelling is larger than allowed as a secondary dwelling, requiring relief from the allowance provided in the bylaws.

Respectively submitted.

Doug Norton BCIN Designer  
Acting as Agent for the owners  
Ali Muhammad and Robina Ali.



## SCHEDULE D: BACKGROUND

None