

ITEM: 6.12	REPORT SUMMARY MINOR VARIANCE APPLICATION FILE NUMBER A073/23
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Report Date: July 4, 2024

**THIS REPORT CONTAINS COMMENTS FROM THE FOLLOWING
DEPARTMENTS & AGENCIES (SEE SCHEDULE B):**

Additional comments from departments and agencies received after the publication of the report will be made available on the City's [website](#).

Internal Departments <small>*Comments Received</small>	Conditions Required		Nature of Comments
Committee of Adjustment	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>	General Comments
Building Standards (Zoning)	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>	General Comments
Development Planning	Yes <input type="checkbox"/>	No <input type="checkbox"/>	Recommend PARTIAL approval.
Development Engineering	Yes <input checked="" type="checkbox"/>	No <input type="checkbox"/>	Recommend Approval w/Conditions

External Agencies <small>*Comments Received</small>	Conditions Required		Nature of Comments <small>*See Schedule B for full comments</small>
Alectra	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>	General Comments
TRCA	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>	General Comments
TTC	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>	General Comments
Region of York	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>	General Comments

PUBLIC & APPLICANT CORRESPONDENCE (SEE SCHEDULE C)				
<p>All personal information collected because of this public meeting (including both written and oral submissions) is collected under the authority of the Municipal Act, the Municipal Freedom of Information and Protection of Privacy Act (MFIPPA), the Planning Act and all other relevant legislation, and will be used to assist in deciding on this matter. All personal information (as defined by MFIPPA), including (but not limited to) names, addresses, opinions and comments collected will become property of the City of Vaughan, will be made available for public disclosure (including being posted on the internet) and will be used to assist the Committee of Adjustment and staff to process this application.</p>				
Correspondence Type	Name	Address	Date Received <small>(mm/dd/yyyy)</small>	Summary
None				

BACKGROUND (SCHEDULE D, IF REQUIRED)	
<p><small>* Background Information contains historical development approvals considered to be related to this file. This information should not be considered comprehensive.</small></p>	
Application No. (City File)	Application Description <small>(i.e. Minor Variance Application; Approved by COA / OLT)</small>
N/A	N/A

ADJOURNMENT HISTORY	
<small>* Previous hearing dates where this application was adjourned by the Committee and public notice issued.</small>	
Hearing Date	Reason for Adjournment <small>(to be obtained from NOD_ADJ)</small>
N/A	N/A

SCHEDULES	
Schedule A	Drawings & Plans Submitted with the Application
Schedule B	Comments from Agencies, Building Standards & Development Planning
Schedule C (if required)	Public & Applicant Correspondence
Schedule D (if required)	Background



**MINOR VARIANCE APPLICATION
FILE NUMBER A073/23**

CITY WARD #:	2
APPLICANT:	Sonja Placido
AGENT:	Contempo Studio (Marin Zabzuni)
PROPERTY:	38 Davidson Drive, Woodbridge
ZONING DESIGNATION:	See below.
VAUGHAN OFFICIAL PLAN (2010) DESIGNATION:	Vaughan Official Plan 2010 ('VOP 2010'): "Low-Rise Residential" by Volume 2, Section 11.11 – Woodbridge Centre Secondary Plan.
RELATED DEVELOPMENT APPLICATIONS:	None
PROPOSAL:	Relief from the Zoning By-law is being requested to permit a proposed cabana, swimming pool and retaining wall. Relief is also being requested to permit two (2) driveways (located in the front and exterior side yard) and increased maximum driveway width.

The following variances have been requested from the City's Zoning By-law:

The subject lands are zoned R1 Residential Zone and subject to the provisions of Exception 9 (1349) under Zoning By-law 1-88, as amended.

	Zoning By-law 1-88	Variance requested
1	A minimum setback of 7.5m is required from the rear lot line to a detached residential accessory structure (Cabana) [Schedule A].	To permit a minimum rear yard setback of 0.0 for a detached residential accessory structure (Cabana)
2	A minimum setback of 1.5m is required from the interior lot line to a detached residential accessory structure (Cabana) [Schedule A].	To permit a minimum interior side yard setback of 0.0 for a detached residential accessory structure (Cabana)
3	Not more than one (1) driveway per lot shall be permitted [4.1.4. (f) (iv)]. The site plan indicates an extra driveway on exterior side within municipality's land.	To permit two (2) driveways located at front and exterior yards. The proposed driveway on exterior side is out of property lines.
4	A private swimming pool shall be constructed not nearer to any exterior side lot line than the required setback of the main dwelling of unit on the lot (4.5 m) [Section 4.1.1 (i)].	To permit a private swimming pool to be located 2.46 m to the exterior side lot line.
5	A maximum driveway width of 9.0 m is permitted for lots with frontage of 12.0 m or more. [Section 4.1.4 (f) (v)].	To permit a maximum driveway width of 13.0m.
6	The maximum height of any retaining wall constructed on a property line between two (2) residential lots shall be one (1) metre. Height shall be measured from the finished ground level to the highest point of the wall. A retaining wall which exceeds one (1) metre in height must be set back from the nearest property line a distance equal to its height. If the height of the wall on one side is different than the height on the other side, for the purposes of this paragraph the height of the wall shall be the greater of the two [Section 4.1.1.j)].	To permit a retaining wall with the maximum height of 1.36m to be setback 0.48m from rear lot line.

HEARING INFORMATION

DATE OF MEETING: Wednesday, July 10, 2024

TIME: 6:00 p.m.

MEETING LOCATION: Vaughan City Hall, Woodbridge Room (2nd Floor), 2141 Major Mackenzie Drive

LIVE STREAM LINK: Vaughan.ca/LiveCouncil

PUBLIC PARTICIPATION

If you would like to speak to the Committee of Adjustment at the meeting, either remotely or in person, please complete the [Request to Speak Form](#) and submit to cofa@vaughan.ca

If you would like to submit written comments, please quote file number above and submit by mail or email to:

Email: cofa@vaughan.ca

Mail: City of Vaughan, Office of the City Clerk, Committee of Adjustment, 2141 Major Mackenzie Drive, Vaughan, ON, L6A 1T1

To speak electronically, pre-registration is required by completing the [Request to Speak Form](#) on-line and submitting it to cofa@vaughan.ca no later than NOON on the last business day before the meeting.

THE DEADLINE TO REGISTER TO SPEAK ELECTRONICALLY OR SUBMIT WRITTEN COMMENTS ON THE ABOVE NOTED FILE(S) IS NOON ON THE LAST BUSINESS DAY BEFORE THE MEETING.

INTRODUCTION

Staff and Agencies act as advisory bodies to the Committee of Adjustment. The comments contained in this report are presented as recommendations to the Committee.

Section 45(1) of the Planning Act sets the criteria for authorizing minor variances to the City of Vaughan's Zoning By-law. Accordingly, review of the application may consider the following:

- That the general intent and purpose of the by-law will be maintained.
- That the general intent and purpose of the official plan will be maintained.
- That the requested variance(s) is/are acceptable for the appropriate development of the subject lands.
- That the requested variance(s) is/are minor in nature.

Public written and oral submissions relating to this application are taken into consideration by the Committee of Adjustment as part of its deliberations and final decision on this matter.

COMMITTEE OF ADJUSTMENT

Date Public Notice Mailed:	June 26, 2024
Date Applicant Confirmed Posting of Sign:	June 24, 2024
Applicant Justification for Variances: <small>*As provided in Application Form</small>	We do not comply with lot coverage and setback due to the irregular lot conditions.
Was a Zoning Review Waiver (ZRW) Form submitted by Applicant: <small>*ZRW Form may be used by applicant in instances where a revised submission is made, and zoning staff do not have an opportunity to review and confirm variances prior to the issuance of public notice.</small>	Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>

COMMENTS:

On April 19, 2024, Development Planning provided the following:

Development Planning staff has now completed our comprehensive review of this application since my site visit. We do still have concerns with both the cabana and the pool and are challenged to support these variances as is. The 0 meter setbacks on both sides of the cabana and the proximity of the pool to the street results in adverse massing impacts and increased activity near the shared lot lines. We are recommend the removal of the cabana. Since it may be difficult to remove the cabana without impact to the pool, we are also recommended the relocation the pool so it located entirely behind the existing dwelling.

Development Planning followed up on the April 19 email on May 22 and May 28.

On June 7, 2024, Committee of Adjustment provided the following:

To maintain a position on the July 10 Committee of Adjustment agenda, please address the attached comments from Development Planning by Tuesday, June 11 to accommodate zoning review for this hearing cycle.

COMMITTEE OF ADJUSTMENT

On June 11, 2024 the applicant provided:

The whole purpose of our application is to maintain the Cabana and pool. If we removed those, we would not require a committee of adjustment hearing.

The homeowner bought the property as is and would like to maintain these structures. Please advise on next steps. Thank you for your consideration in this matter.

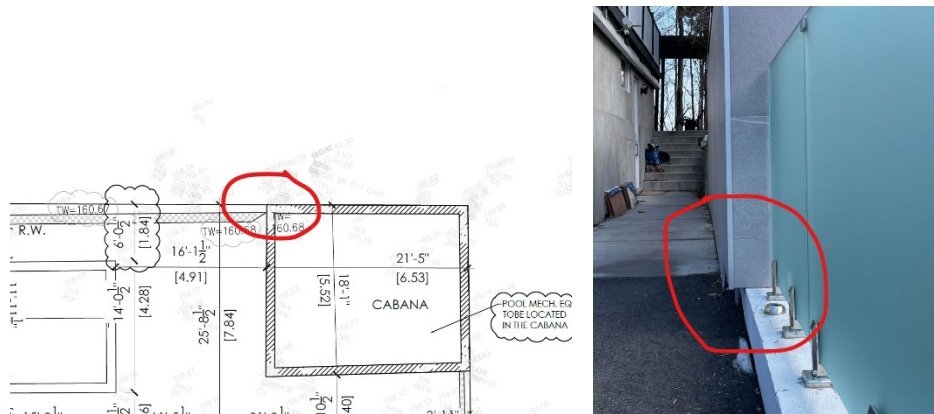
On June 11, 2024, Development Planning provided:

Please note that even if the Cabana and Pool were removed entirely there are still additional variances that would need to be reviewed through this Committee of Adjustment application (for the driveway, etc.).

Please kindly note that if the home-owner wishes to proceed as is (with the existing Cabana and Pool), Development Planning Staff will not be in a position to support or recommend approval for the application.

On June 20, 2024, Development Planning provided the applicant with the following Urban Design Comments:

- Referring to the markup below, staff is concerned that the cabana exceeds the property line and is built on neighbouring property. Please further clarify the site plan drawing with the survey map, and create an overlay drawing to demonstrate there is no encroachment to the neighbouring property.



- Further to the above, staff is concerned about the existing cabana being too close to the neighbouring property. Particularly with the retaining wall, the impact on the neighbours is significant and can not be mitigated. Considering the Cabana is an as-built structure, staff could not support this application.

Should the application require adjournment from the July 10, 2024 Committee of Adjustment Hearing, rescheduling fees are required to bring the application forward to a subsequent hearing date.

Committee of Adjustment Recommended Conditions of Approval:	None
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BUILDING STANDARDS (ZONING)

**See Schedule B for Building Standards (Zoning) Comments	
Building Standards Recommended Conditions of Approval:	None

DEVELOPMENT PLANNING

**See Schedule B for Development Planning Comments.	
The Development Planning Department recommends refusal of Variances 1 and 2 and approval of Variances 3,4, 5, and 6.	
Development Planning Recommended Conditions of Approval:	None

DEVELOPMENT ENGINEERING

[Link to Grading Permit](#)
 [Link to Pool Permit](#)
 [Link to Curb Curt Permit](#)
 [Link Culvert Installation](#)

The cabana, constructed with a zero-meter setback from the north and east property lines by the previous owner, manages roof rainwater runoff through a downspout located at its southeast corner, preventing runoff from affecting neighbouring properties to the north and east.

DEVELOPMENT ENGINEERING

[Link to Grading Permit](#)
 [Link to Pool Permit](#)
 [Link to Curb Curt Permit](#)
 [Link Culvert Installation](#)

Site inspections confirm that there are no downspouts directed towards adjacent properties, and the cabana does not cause flooding or other negative impacts. Similarly, the retaining wall, also built with a zero-meter setback from the north property line, has been assessed during site visits and found to have no adverse effects on the neighbouring property.

Comparing before and after photos shows that the retaining wall has aesthetically improved the neighbour's property, providing a wider driveway and a neater appearance, with a gradual slope directing surface water from the neighbour's residence towards Waymar Drive. Due to the size of the proposed cabana on the subject property, which measures 35.2 m², the Owner/Applicant must acquire a Lot Grading Permit from the Development Inspection and Lot Grading Division of the City's Development Engineering Department. It's important note that any in-ground structure exceeding 10 m² necessitates a Grading Permit. Once the Grading Permit is obtained, please reach out to the Development Engineering Reviewer to clear the Condition imposed on this application. The Owner / Applicant shall apply for a Pool Grading Permit with the Development Engineering (DE) Department. Please visit the grading permits page at City of Vaughan website to learn how to apply for the Pool Permit. If you have any question about Pool Grading Permit, please contact the Development Engineering Department through email at DEPermits@vaughan.ca. The proposed work by the Owner / Applicant is increasing the lot coverage on the subject property. The added hardscape may have impacts on the City's Storm Water management system. Development Engineering strongly encourages the Owner / Applicant introduce Low-Impact Development (LID) measures (e.g., bioswales, permeable pavers, rain gardens, rain barrels etc.) to reduce the impacts to the stormwater system. Should further information be required, please contact the Development Engineering COA reviewer.

The Development Engineering Department does not object to the Minor Variance application A073/23, subject to the following condition(s):

Development Engineering Recommended Conditions of Approval:	The Owner/Applicant shall submit an application and obtain an approved Grading Permit before initiating any work on the property. The Final Lot Grading and/or Servicing Plan will be required for the Grading Permit Application. Please visit the Permits page of the City of Vaughan's website: Permits City of Vaughan to apply for a Grading Permit. For any inquiries regarding the Grading Permit, please email DEPermits@vaughan.ca
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PARKS, FORESTRY & HORTICULTURE (PFH)

No comments received to date.

PFH Recommended Conditions of Approval:	None
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DEVELOPMENT FINANCE

No comment no concerns.

Development Finance Recommended Conditions of Approval:	None
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BY-LAW AND COMPLIANCE, LICENSING AND PERMIT SERVICES

No comments received to date.

BCLPS Recommended Conditions of Approval:	None
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BUILDING INSPECTION (SEPTIC)

No comments received to date.

Building Inspection Recommended Conditions of Approval:	None
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FIRE DEPARTMENT

No comments received to date.

Fire Department Recommended Conditions of Approval:	None
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RECOMMENDED CONDITIONS OF APPROVAL SUMMARY

Should the Committee find it appropriate to approve this application in accordance with request and the sketch submitted with the application, as required by Ontario Regulation 200/96, the following conditions have been recommended:

#	DEPARTMENT / AGENCY	CONDITION
1	Development Engineering jonal.hall@vaughan.ca	The Owner/Applicant shall submit an application and obtain an approved Grading Permit before initiating any work on the property. The Final Lot Grading and/or Servicing Plan will be required for the Grading Permit Application. Please visit the Permits page of the City of Vaughan's website: Permits City of Vaughan to apply for a Grading Permit. For any inquiries regarding the Grading Permit, please email DEPermits@vaughan.ca

All conditions of approval, unless otherwise stated, are considered to be incorporated into the approval "if required". If a condition is no longer required after an approval is final and binding, the condition may be waived by the respective department or agency requesting conditional approval. A condition cannot be waived without written consent from the respective department or agency.

IMPORTANT INFORMATION

CONDITIONS: It is the responsibility of the owner/applicant and/or authorized agent to obtain and provide a clearance letter from respective department and/or agency (**see condition chart above for contact**). This letter must be provided to the Secretary-Treasurer to be finalized. All conditions must be cleared prior to the issuance of a Building Permit.

APPROVALS: Making any changes to your proposal after a decision has been made may impact the validity of the Committee's decision.

An approval obtained from the Committee of Adjustment, where applicable, is tied to the building envelope shown on the plans and drawings submitted with the application and subject to the variance approval.

A building envelope is defined by the setbacks of the buildings and/or structures shown on the plans and drawings submitted with the application, as required by Ontario Regulation 200/96. Future development outside of an approved building envelope, where a minor variance was obtained, must comply with the provisions of the City's Zoning By-law.

Elevation drawings are provided to reflect the style of roof (i.e. flat, mansard, gable etc.) to which a building height variance has been applied. Where a height variance is approved, building height is applied to the style of roof (as defined in the City's Zoning By-law) shown on the elevation plans submitted with the application.

Architectural design features that are not regulated by the City's Zoning By-law are not to be considered part of an approval unless specified in the Committee's decision.

DEVELOPMENT CHARGES: That the payment of the Regional Development Charge, if required, is payable to the City of Vaughan before issuance of a building permit in accordance with the Development Charges Act and the Regional Development Charges By-law in effect at the time of payment.

That the payment of the City Development Charge, if required, is payable to the City of Vaughan before issuance of a building permit in accordance with the Development Charges Act and the City's Development Charges By-law in effect at the time of payment.

That the payment of the Education Development Charge if required, is payable to the City of Vaughan before issuance of a building permit in accordance with the Development Charges Act and the Boards of Education By-laws in effect at the time of payment

That the payment of Special Area Development charge, if required, is payable to the City of Vaughan before issuance of a building permit in accordance with the Development Charges Act and The City's Development Charge By-law in effect at the time of Building permit issuance to the satisfaction of the Reserves/Capital Department.

NOTICE OF DECISION: If you wish to be notified of the decision in respect to this application or a related Ontario Land Tribunal (OLT) hearing you must complete a Request for Decision form and submit to the Secretary Treasurer (ask staff for details). In the absence of a written request to be notified of the Committee's decision you will **not** receive notice.

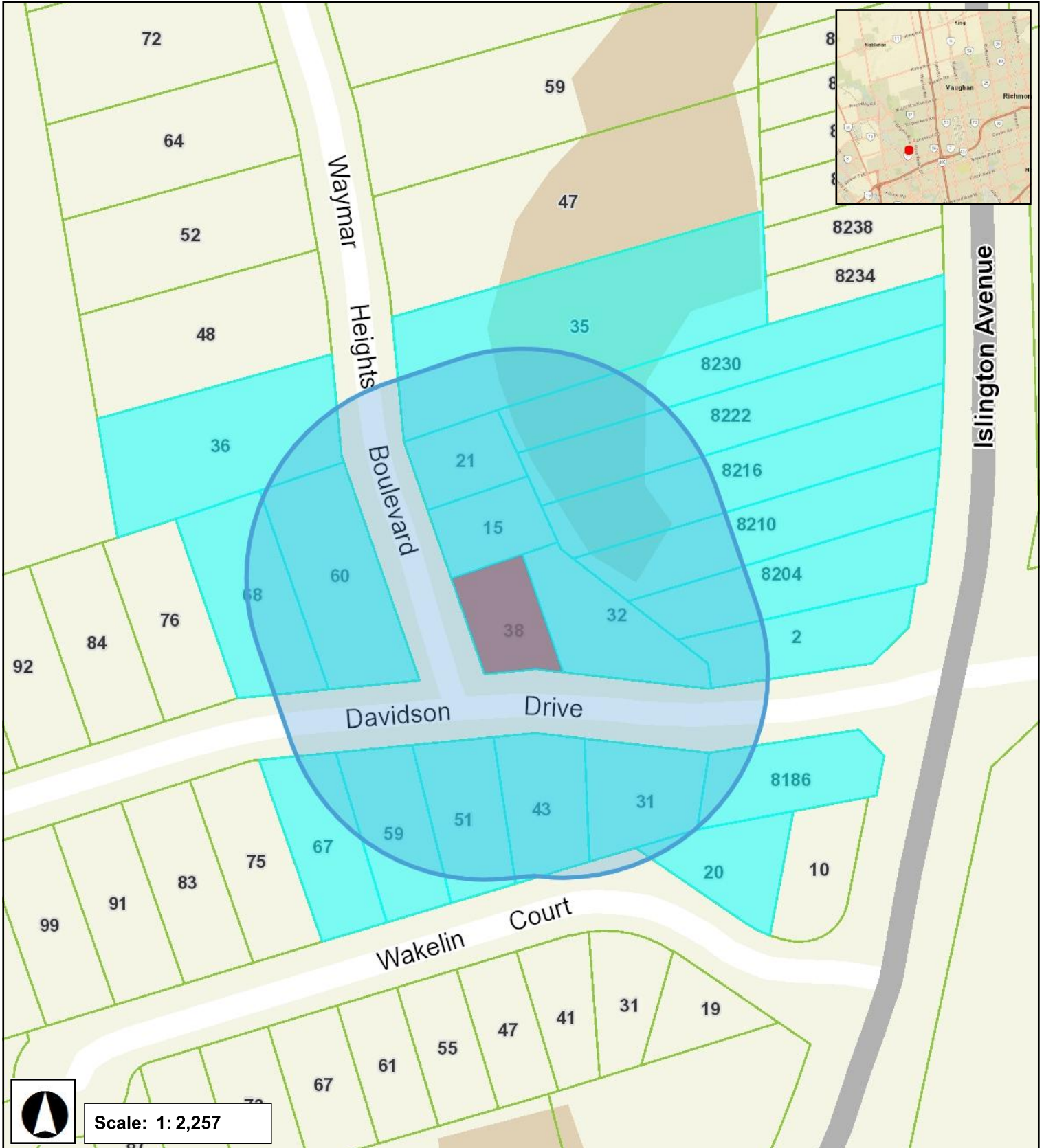
SCHEDULE A: DRAWINGS & PLANS



LOCATION MAP - A073/23

38 DAVIDSON DRIVE, WOODBRIDGE

Langstaff Road



Highway 7

August 8, 2023 10:55 AM

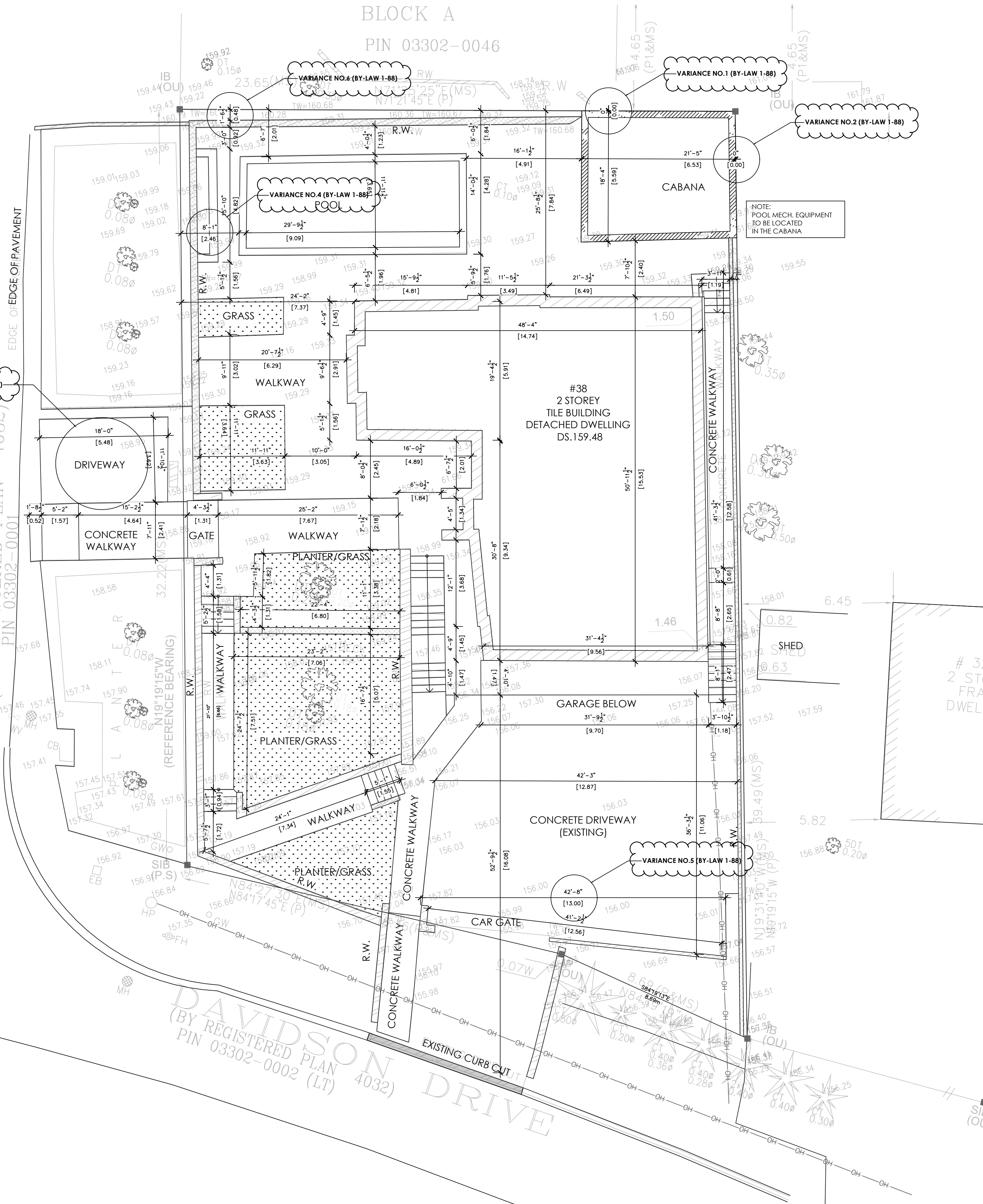
RECEIVED
By RECEIVED at 10:43 am, Feb 29, 2024

PLANS PREPARED BY APPLICANT

A073/23

This drawing, as an instrument of service, is provided by and is the property of Contempostudio. The contractor must verify and accept responsibility for all dimensions and conditions on site and must notify Contempostudio of any variations from the supplied information.
This drawing is not to be scaled.
The designer is not responsible for the accuracy of survey, structural, mechanical, electrical, etc., information shown on the drawing. Refer to the appropriate consultants drawings before proceeding with the work. Construction must conform to all applicable codes and requirements of authorities having jurisdiction. The contractor working from drawings not specifically marked for construction must assume full responsibility and bear costs for any corrections or damages resulting from his work.
The copyright of this drawing is vested in Contempostudio and it may not be reproduced in whole or part or used for the manufacture of any article without the express written permission.

BLOCK A
PIN 03302-0046



Zoning Classification:

The subject lands are zoned R1 Residential Zone and subject to the provisions of Exception 9 (1349) under Zoning By-law 1-88, as amended.

	Zoning By-law 1-88	Variance requested
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SITE STATISTICS

ZONED AS: R1
LOT NUMBER: 16
REG. PLAN NUMBER: 4032
LOT AREA : 857.88 m2 (9234.15 SQ. FT)
LOT FRONTAGE: 25.25m
LOT DEPTH: 40.00m

COVERAGE

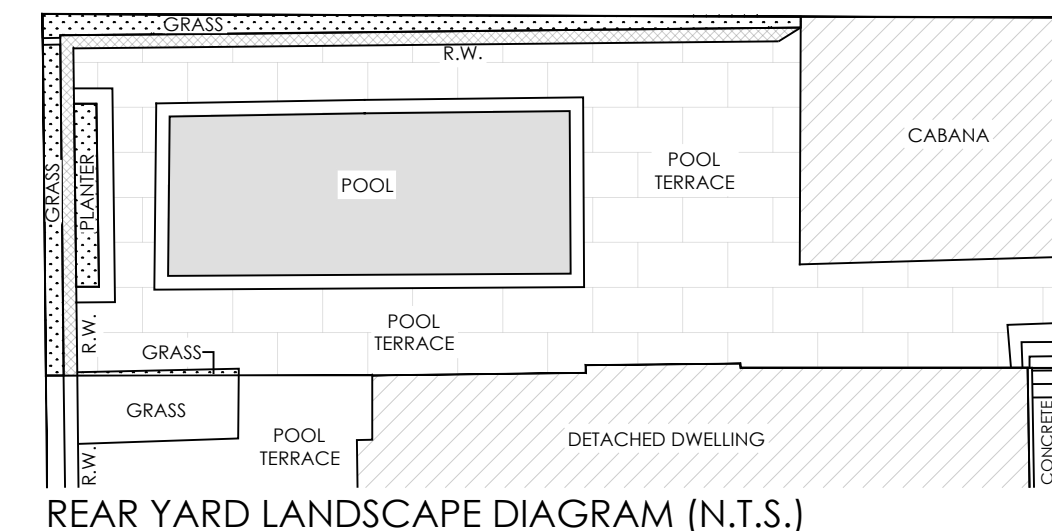
PERMITTED COVERAGE : 35.00% = 300.25 M² (3231.95 SQ.FT)

BUILT UP AREAS :

- HOUSE FOOTPRINT: 172.79 M² (1860 SQ.FT)
- TOTAL PROPOSED BUILDING COVERAGE: 222 M² (2400 SQ.FT) (25.99%)
- PROPOSED CABANA: 35.12 M² (378.00 SQ.FT) (4.01%)
- TOTAL COVERAGE INCLUDING CABANA: 258.08 M² (2778.00 SQ.FT) (30.00%)

REAR YARD CALC.

REAR YARD	189.72 M ²	2042.10 SQ.FT.
LESS CABANA	35.12 M ²	378.03 SQ.FT.
LESS INGROUND POOL	32.97 M ²	354.85 SQ.FT.
REAR YARD LANDSCAPE AREA	121.63 M ²	1309.22 SQ.FT.
LESS 135.00 SQ.M.	135.00 M ²	1453.13 SQ.FT.
REAR YARD AREA IN EXCESS OF 135.00 SQ.M.	-13.37 M ²	-143.91 SQ.FT.
BY-LAW 1-88, SECTION 4.1.2(B), DOES NOT APPLY. AS THERE IS NO PORTION OF THE REAR YARD AREA IN EXCESS OF 135.00 SQ.M.		
AREA OF REAR YARD SOFT LANDSCAPING	12.30 M ²	132.40 SQ.FT.



REAR YARD LANDSCAPE DIAGRAM (N.T.S.)

No.	Issued for:	Date
1	ISSUED FOR CLIENT REVIEW	11/11/20
2	ISSUED FOR COA	28/02/24

SEAL

contempostudio

1140 The Queensway, Toronto, Ontario M8Z 1P7
info@contempostudio.ca w. contempostudio.ca
t. (416) 770-0071 f. (416) 642-1691

The undersigned has reviewed and takes responsibility for this design, and has the qualifications and meets the requirements set out in the Ontario Building Code to design the work shown on the attached documents:

QUALIFICATION INFORMATION
Required unless design is exempt under 3.2.4.3.(5) Division C of the Ontario Building Code.

MARIN ZABZUNI SIGNATURE 45250 BCIN

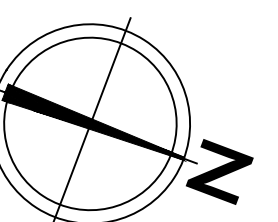
REGISTRATION INFORMATION

Required unless design is exempt under 3.2.4.7. Division C of the Ontario Building Code.
CONTEMPO STUDIO 46972 BCIN
FIRM NAME

PROPOSED DETACHED CABANA

38 DAVIDSON DRIVE
WOODBRIDGE, ON

SITE PLAN

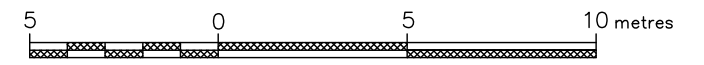


Project number: 2018-24
Rev. no.: 0
Scale: AS NOTED
Date: 2024.02.28
Drawn by: M.R.
Checked by: M.L.

Drawing number:

A1

**SURVEYOR'S REAL PROPERTY REPORT OF
PART 1:
PLAN OF PART W, BLOCK A
REGISTERED PLAN 4032
CITY OF VAUGHAN
(REGIONAL MUNICIPALITY OF YORK)**



SCALE = 1 : 200

A. AZIZ SURVEYORS INC., O.L.S.

METRIC: DISTANCES SHOWN HEREON ARE IN METRES AND CAN BE CONVERTED TO FEET BY DIVIDING BY 0.3048.

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THE REPRODUCTION, ALTERATION OR USE OF THIS REPORT IN WHOLE OR IN PART WITHOUT THE EXPRESS PERMISSION OF A. AZIZ SURVEYORS INC. O.L.S. IS STRICTLY PROHIBITED.

**PART 2 :
REPORT**
* THIS REPORT WAS PREPARED FOR SONJA PLACIDO HOMES LTD, AND THE UNDERSIGNED ACCEPTS NO RESPONSIBILITY FOR ITS USE BY OTHER PARTIES.

BOUNDARIES
* PART W, BLOCK A, REGISTERED PLAN 4032

TITLE SEARCH INDICATES
* NO EASEMENTS OR RIGHT OF WAYS REGISTERED ON TITLE.

ZONING
* NO INVESTIGATION WITH RESPECT TO MUNICIPAL ZONING BY LAW HAS BEEN MADE FOR THE SUBJECT PROPERTY (PROPERTIES).

FENCES
* PLEASE NOTE THE POSITION OF THE GLASS FENCES TOP OF RETTING WALL IN RELATION TO THE NORTHERLY, SOUTHERLY, WESTERLY & EASTERLY BOUNDARIES; THEY ARE LOCATED OVER THE SUBJECT BOUNDARIES TO THE EXTENT SHOWN ON THE PLAN.

BEARING NOTE
* BEARING ARE ASTRONOMIC AND ARE REFERRED TO THE EASTERLY LIMIT OF WAYMAR HEIGHTS BOULEVARD HAVING A BEARING OF N19°19'15"W AS SHOWN ON REGISTERED PLAN 4032

LEGEND:

□	DENOTES SURVEY MONUMENT FOUND	OU	DENOTES ORIGIN UNKNOWN
IB	" SURVEY MONUMENT SET	MS	" MEASURED
SIB	" IRON BAR	CC	" CUT CROSS
IP	" STANDARD IRON BAR	WIT	" WITNESS
N,E,S,W	" IRON PIPE	PROD'N	" PRODUCTION
DBF	" NORTH, EAST, SOUTH, WEST	WV	" WATER VALVE
RP	" DOUBLE BOARD FENCE	RW	" RETAINING WALL
P	" REGISTERED PLAN 4032	GU	" GUY WIRE
P1	" SURVEY BY P.SALNA O.L.S., DATED DECEMBER, 07, 1971	OH	" OVER HEAD LINE
P.S	" SURVEY BY H.H.GIBSON O.L.S., DATED DECEMBER, 16, 1955	DT	" DECIDUOUS TREE
TW	" P.SALNA O.L.S. TOP OF WALL ELEVATION	CT	" CONIFEROUS TREE
		MH	" MANHOLE
		HP	" HYDRO POLE
		DS	" DOOR SILL

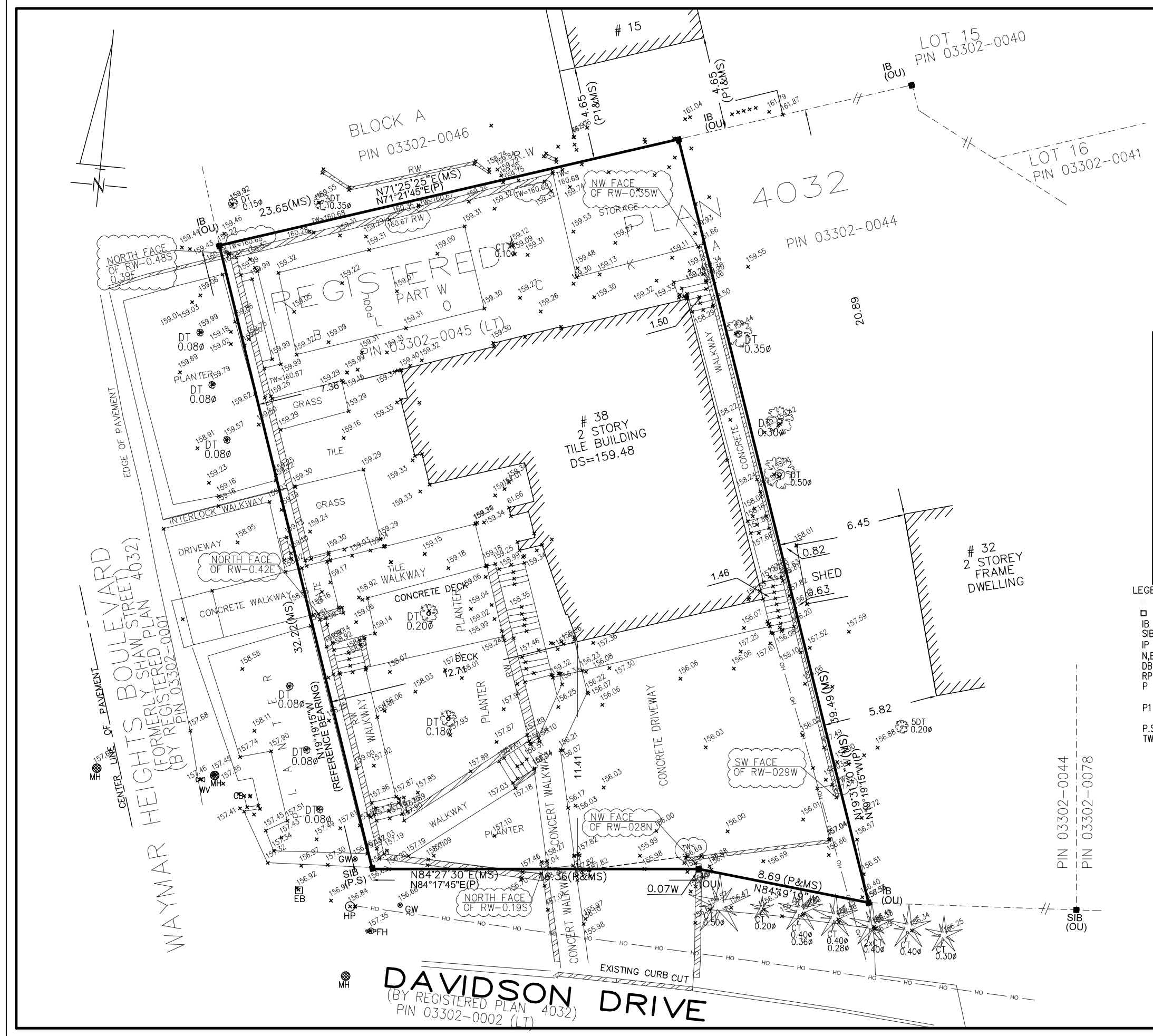
SURVEYOR'S CERTIFICATE
I CERTIFY THAT:
1. THIS SURVEY AND PLAN ARE CORRECT AND IN ACCORDANCE WITH THE SURVEYS ACT, THE SURVEYORS ACT AND THE REGULATIONS MADE UNDER THEM.
2. THE SURVEY WAS COMPLETED ON THE 07th DAY OF JULY, 2020

DATE: JULY 28, 2020

* SURVEY WAS UPDATED ON SEP 13, 2023 TO SHOW NEW CONSTRUCTED DWELLING.

A. ABDEL SHAHID
ONTARIO LAND SURVEYOR

A. AZIZ SURVEYORS INC.	
ONTARIO LAND SURVEYORS 120 NEWKIRK ROAD- #31, RICHMOND HILL, ONT. L4C-9S7 Tel. (905) 237-8224 Fax: (416) 477-5465 Website : M-Azizsurveyors.ca E-Mail : aziz@m-azizsurveyors.ca	
PROJECT NUMBER	PROJECT
016-392	38 DAVIDSON DRIVE (SR-PR)
DRAWN BY	CHECKED BY
M.SO	A.A



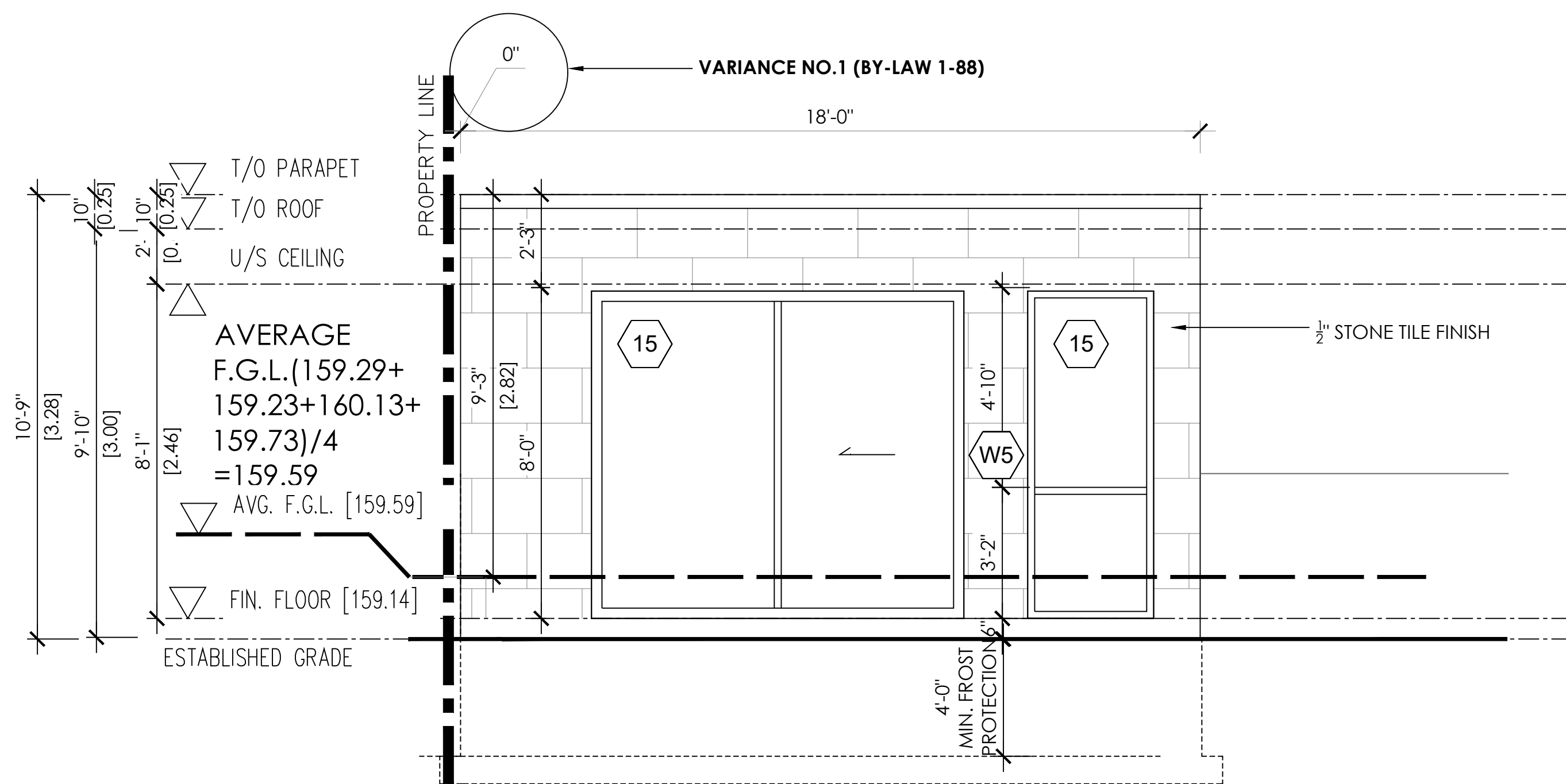
DAVIDSON DRIVE
(BY REGISTERED PLAN 4032)
PIN 03302-0002 (LT)

This drawing, as an instrument of service, is provided by and is the property of Contempo Studio. The contractor must verify and accept responsibility for all dimensions and conditions on site and must notify Contempo Studio of any variations from the supplied information.

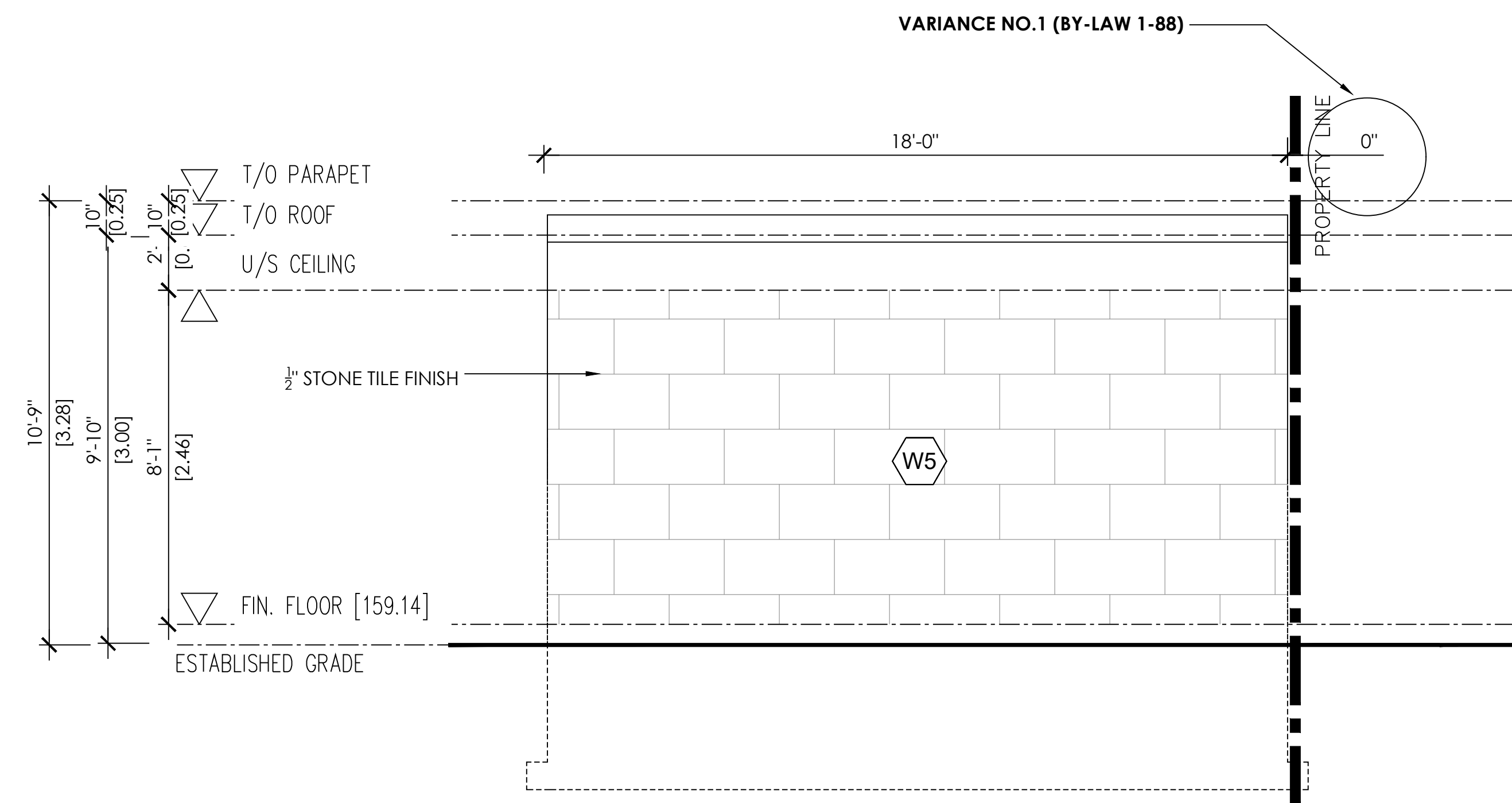
This drawing is not to be scaled.

The designer is not responsible for the accuracy of survey, structural, mechanical, electrical, etc., information shown on this drawing. Refer to the appropriate consultants drawings before proceeding with the work. Construction must conform to all applicable codes and requirements of authorities having jurisdiction. The contractor working from drawings not specifically marked for construction must assume full responsibility and bear costs for any corrections or damages resulting from his work.

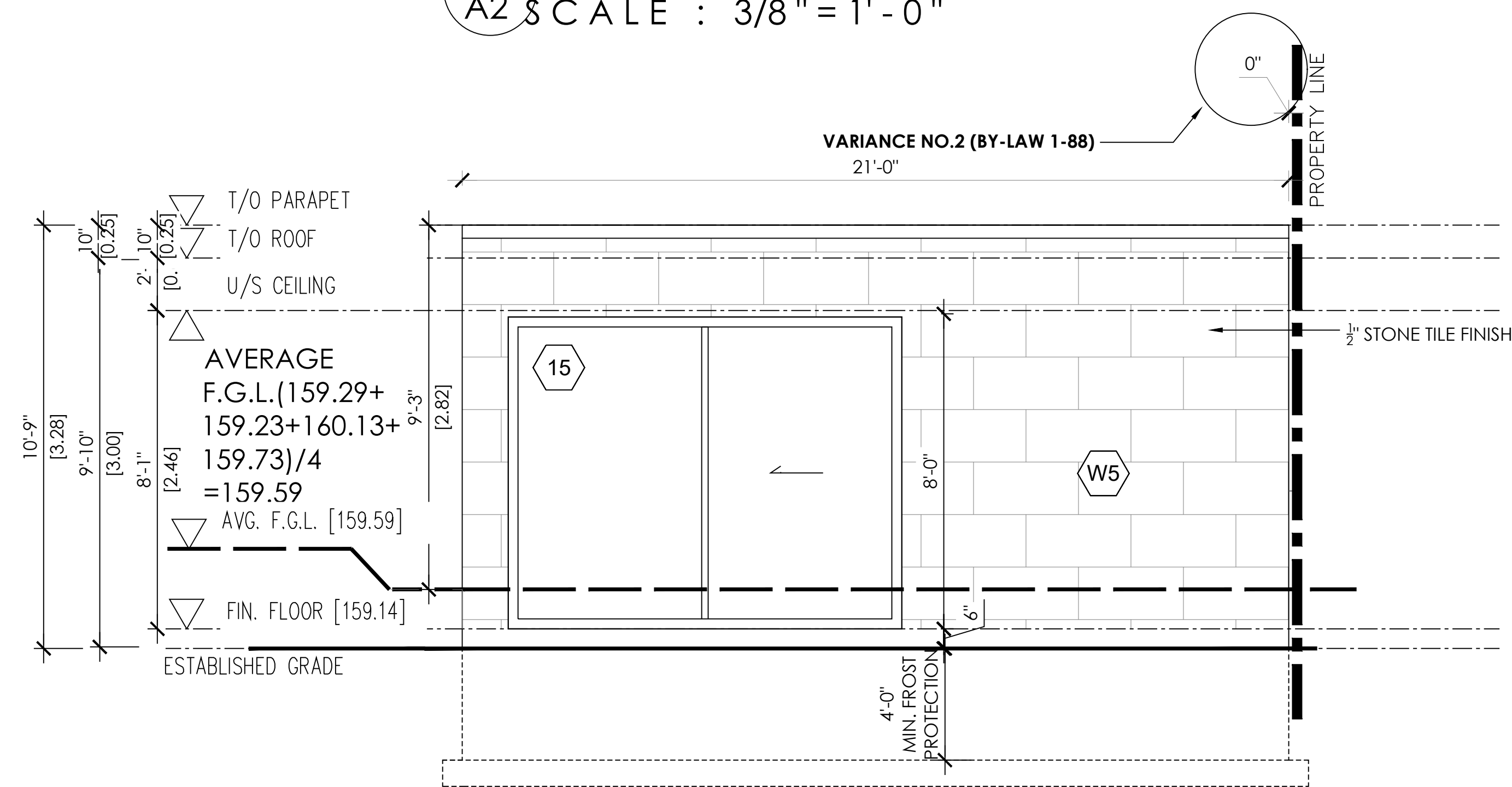
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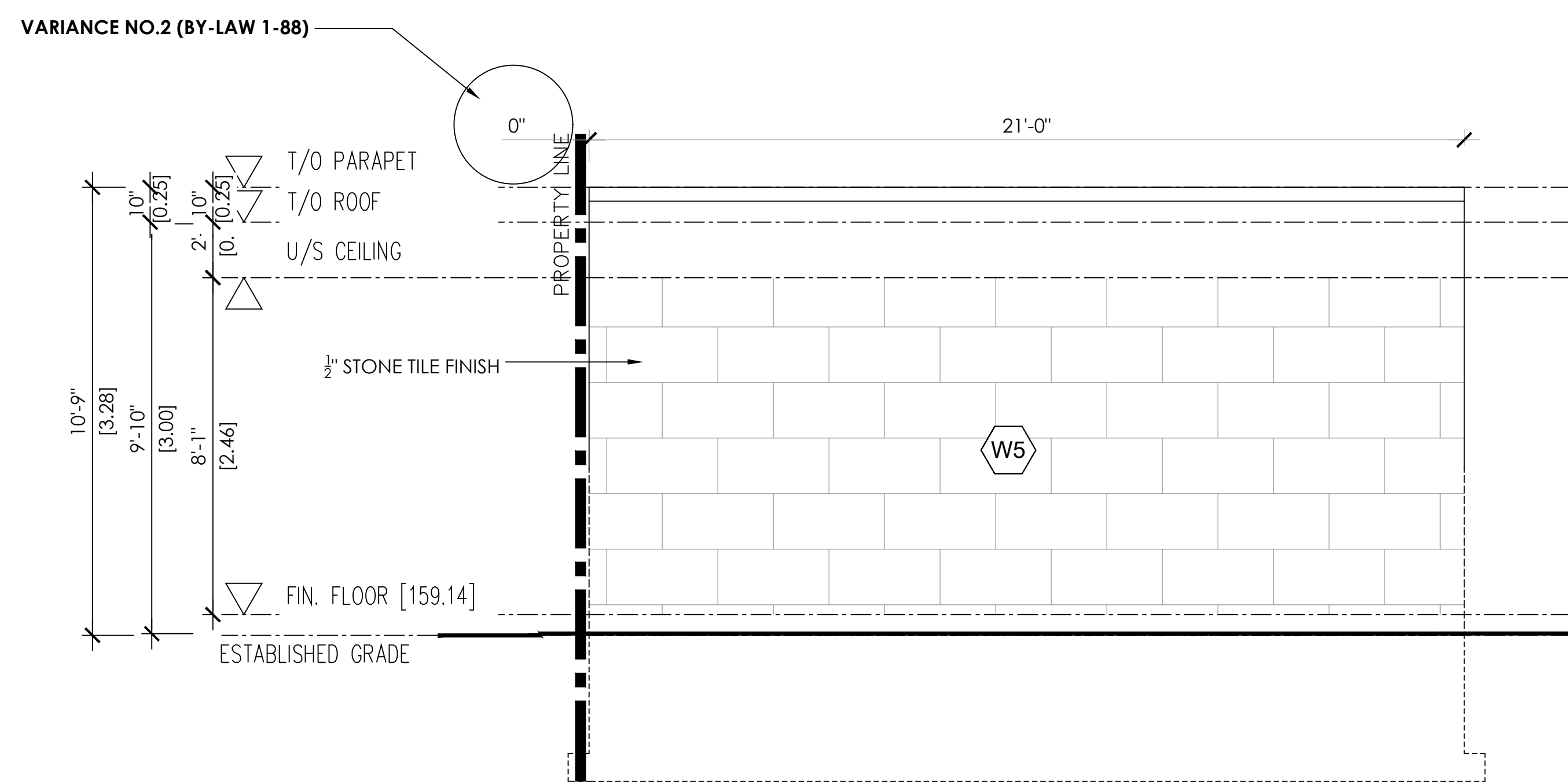
3 WEST(FRONT) ELEVATION
A2 SCALE : 3/8" = 1' - 0"



4 EAST(BACK) ELEVATION
A2 SCALE : 3/8" = 1' - 0"



5 SOUTH(SIDE) ELEVATION
A2 SCALE : 3/8" = 1' - 0"



6 NORTH(SIDE) ELEVATION
A2 SCALE : 3/8" = 1' - 0"

No.	Issued for:	Date
1	ISSUED FOR CLIENT REVIEW	11/11/20
2	ISSUED FOR COA	28/02/24

SEAL

contempostudio

1140 The Queensway, Toronto, Ontario M8Z 1P7
info@contempostudio.ca w. contempostudio.ca
t. (416) 770-0071 f. (416) 642-1691

The undersigned has reviewed and takes responsibility for this design, and has the qualifications and meets the requirements set out in the Ontario Building Code to design the work shown on the attached documents:

QUALIFICATION INFORMATION
Required unless design is exempt under 3.2.4.3.(5) Division C of the Ontario Building Code.

MARIN ZABZUNI SIGNATURE 45250
NAME REGISTRATION INFORMATION BCIN

Required unless design is exempt under 3.2.4.7. Division C of the Ontario Building Code.

CONTEMPO STUDIO 46972
FIRM NAME BCIN

PROPOSED
DETACHED CABANA

38 DAVIDSON DRIVE
WOODBRIDGE, ON

CABANA SECTION & DETAILS

Project number: 2018-24
Rev. no.: 0
Scale: AS NOTED
Date: 2024.02.28
Drawn by: M.R.
Checked by: M.L.

Drawing number:

A3

**SCHEDULE B:
COMMENTS FROM AGENCIES, BUILDING STANDARDS &
DEVELOPMENT PLANNING**

Department / Agency <small>*Comments Received</small>	Conditions Required		Nature of Comments
Building Standards (Zoning) *See Schedule B	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>	General Comments
Development Planning	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>	Recommend PARTIAL approval

External Agencies <small>*Comments Received</small>	Conditions Required		Nature of Comments <small>*See Schedule B for full comments</small>
Alectra	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>	General Comments
TRCA	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>	General Comments
TTC	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>	General Comments
Region of York	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>	General Comments

Date: February 20th 2024

Attention: **Christine Vigneault**

RE: Request for Comments

File No.: **A073-23**

Related Files:

Applicant Contemp Studio

Location 38 Davidson Drive

COMMENTS:

- We have reviewed the proposed Variance Application and have no comments or objections to its approval.
- We have reviewed the proposed Variance Application and have no objections to its approval, subject to the following comments (attached below).
- We have reviewed the proposed Variance Application and have the following concerns (attached below).

Alectra Utilities (formerly PowerStream) has received and reviewed the proposed Variance Application. This review, however, does not imply any approval of the project or plan.

All proposed billboards, signs, and other structures associated with the project or plan must maintain minimum clearances to the existing overhead or underground electrical distribution system as specified by the applicable standards, codes and acts referenced.

In the event that construction commences, and the clearance between any component of the work/structure and the adjacent existing overhead and underground electrical distribution system violates the Occupational Health and Safety Act, the customer will be responsible for 100% of the costs associated with Alectra making the work area safe. All construction work will be required to stop until the safe limits of approach can be established.

In the event construction is completed, and the clearance between the constructed structure and the adjacent existing overhead and underground electrical distribution system violates the any of applicable standards, acts or codes referenced, the customer will be responsible for 100% of Alectra's cost for any relocation work.

References:

- Ontario Electrical Safety Code, latest edition (Clearance of Conductors from Buildings)
- Ontario Health and Safety Act, latest edition (Construction Protection)
- Ontario Building Code, latest edition (Clearance to Buildings)
- PowerStream(Construction Standard 03-1, 03-4, 03-9), attached
- Canadian Standards Association, latest edition (Basic Clearances)

If more information is required, please contact either of the following:

Stephen Cranley, C.E.T

Mitchell Penner

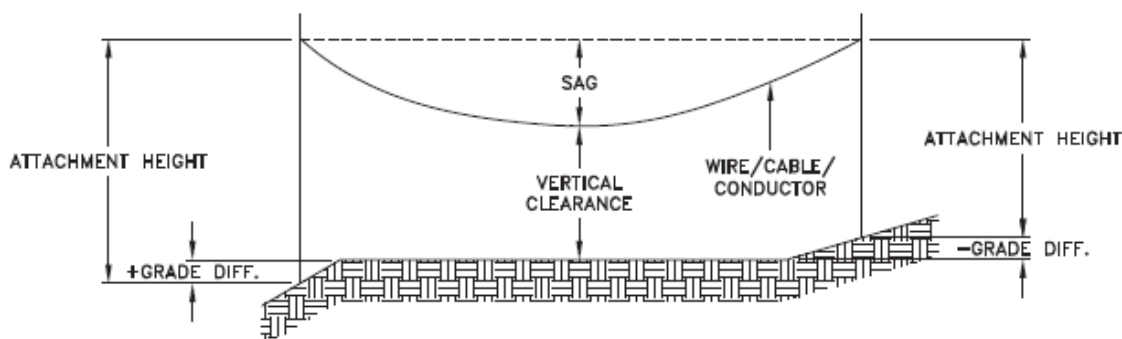
Supervisor, Distribution Design, ICI & Layouts (North)
Phone: 1-877-963-6900 ext. 31297

Supervisor, Distribution Design-Subdivisions
Phone: 416-302-6215

E-mail: stephen.cranley@alecrautilities.com

Email: Mitchell.Penner@alecrautilities.com

LOCATION OF WIRES, CABLES OR CONDUCTORS	SYSTEM VOLTAGE			
	SPAN GUYS AND COMMUNICATIONS WIRES	UP TO 600V AND NEUTRAL	4.16/2.4kV TO 27.6/16kV (SEE NOTE 1)	44kV
	MINIMUM VERTICAL CLEARANCES (SEE NOTE 2)			
OVER OR ALONGSIDE ROADS, DRIVEWAYS OR LANDS ACCESSIBLE TO VEHICLES	442cm	442cm	480cm	520cm
OVER GROUND ACCESSIBLE TO PEDESTRIANS AND BICYCLES ONLY	250cm	310cm	340cm	370cm
ABOVE TOP OF RAIL AT RAILWAY CROSSINGS	730cm	730cm	760cm	810cm



MINIMUM ATTACHMENT HEIGHT = MAXIMUM SAG
 + MINIMUM VERTICAL CLEARANCE (FROM ABOVE TABLE)
 ± GRADE DIFFERENCE
 + 0.3m (VEHICLE OR RAILWAY LOCATION)
 + SNOW DEPTH (PEDESTRIAN LOCATION, SEE NOTE 3)

NOTES:

1. THE MULTIGROUNDED SYSTEM NEUTRAL HAS THE SAME CLEARANCE AS THE 600V SYSTEM.
2. THE VERTICAL CLEARANCES IN THE ABOVE TABLE ARE UNDER MAXIMUM SAG CONDITIONS.
3. REFER TO CSA STANDARD C22.3 No.1, ANNEX D FOR LOCAL SNOW DEPTH VALUES.
4. ALL CLEARANCES ARE IN ACCORDANCE TO CSA STANDARD C22.3.

CONVERSION TABLE

METRIC	IMPERIAL (APPROX)
810cm	27'-0"
760cm	25'-4"
730cm	24'-4"
520cm	17'-4"
480cm	16'-0"
442cm	15'-5"
370cm	12'-4"
340cm	11'-4"
310cm	10'-4"
250cm	8'-4"

REFERENCES

SAGS AND TENSIONS | SECTION 02

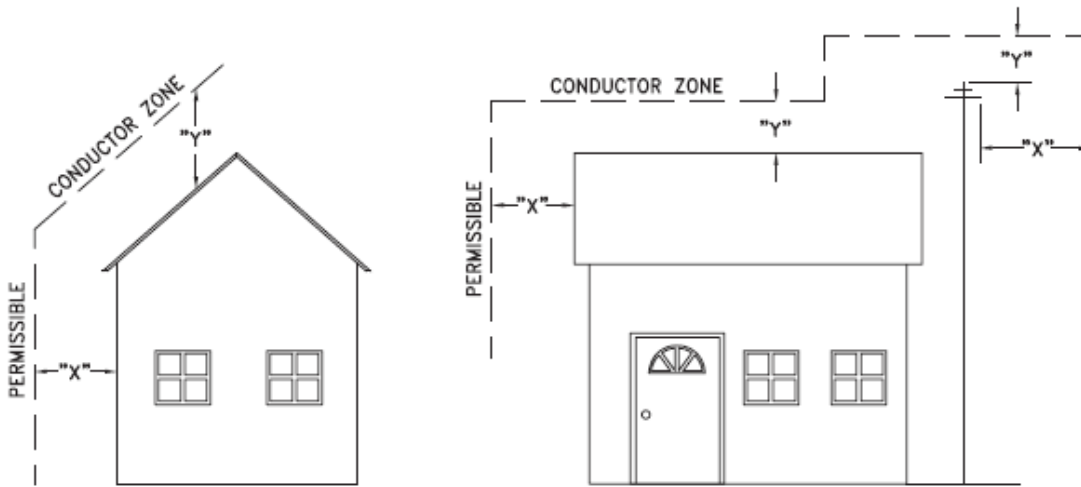
Certificate of Approval

This construction Standard meets the safety requirements of Section 4 of Regulation 22/04

Joe Crozier, P.Eng. 2012-JAN-09
 Name Date
 P.Eng. Approval By: Joe Crozier

MINIMUM VERTICAL CLEARANCES OF WIRES, CABLES AND CONDUCTORS ABOVE GROUND OR RAILS

ORIGINAL ISSUE DATE: 2010-DEC-24 REVISION NO: R1 REVISION DATE: 2012-JAN-09



VOLTAGE	MINIMUM HORIZONTAL CLEARNACE UNDER MAXIMUM SWING CONDITIONS DIMENSION "X" (SEE NOTES 1, 3 & 4)	MINIMUM VERTICAL CLEARANCE UNDER MAXIMUM DESIGN SAG CONDITIONS DIMENSION "Y" (SEE NOTES 1, 2, 4 & 5)
0-600V AND NEUTRAL	100cm	250cm
4.16/2.4 TO 44kV	300cm	480cm

NOTES

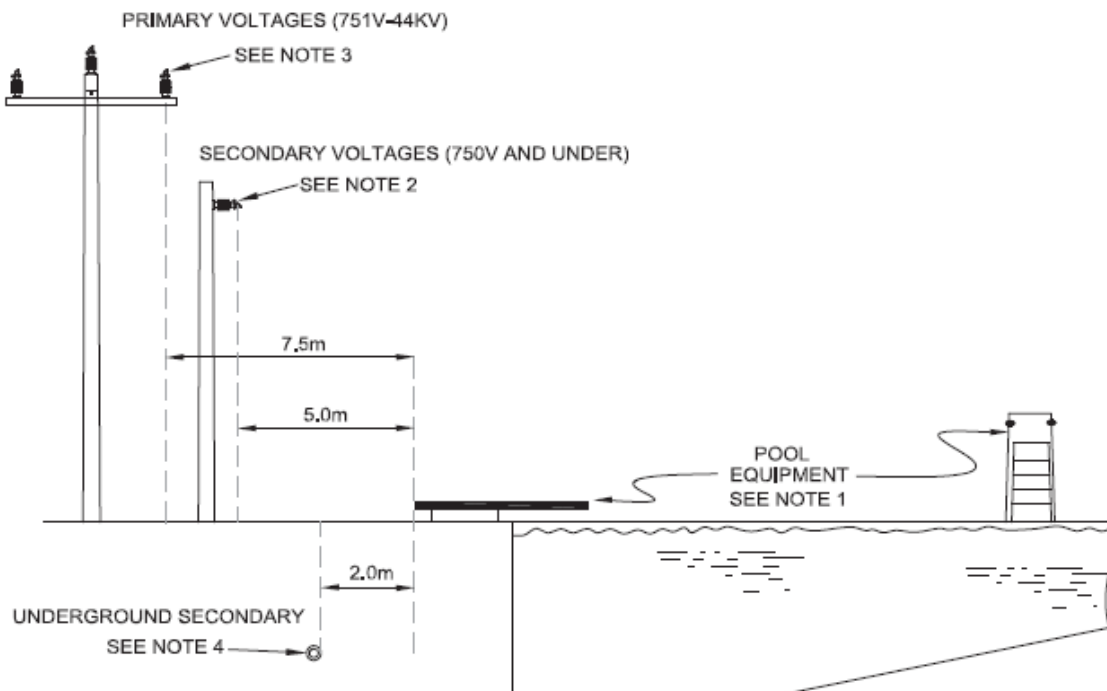
1. UNDER NO CIRCUMSTANCES SHALL A CONDUCTOR BE PERMITTED TO PENETRATE THE ENVELOPE SHOWN BY THE DOTTED LINE.
2. THE VERTICAL CLEARANCES ARE UNDER CONDITIONS OF MAXIMUM DESIGN SAG.
3. THE HORIZONTAL CLEARANCES ARE UNDER CONDITIONS OF MAXIMUM SWING. WHERE THE CONDUCTOR SWING IS NOT KNOWN A HORIZONTAL CLEARANCE OF 480CM SHALL BE USED.
4. BUILDINGS THAT EXCEED 3 STOREYS OR 15M IN HEIGHT, THE MINIMUM HORIZONTAL CLEARANCE OF THE SECONDARY CONDUCTORS SHOULD BE INCREASED TO 300cm WHERE IT IS NECESSARY TO ALLOW FOR THE RAISING OF LADDERS BY LOCAL FIRE DEPARTMENTS.
5. IN SITUATIONS SUCH AS MULTI-LEVEL GARAGES, WHERE ROOFS ARE NORMALLY USED BY PERSONS AND VEHICLES, THE VERTICAL CLEARANCES OF POWERSTREAM STANDARD 03-1 SHALL APPLY.
6. DISTRIBUTION LINES CONSTRUCTED NEAR BUILDINGS SHALL BE BUILT TO AVOID OVERHANG WHEREVER POSSIBLE. WHERE LINES MUST BE CONSTRUCTED OVER OR ADJACENT TO BUILDINGS THE APPLICABLE HORIZONTAL AND VERTICAL CLEARANCES SHALL BE AT CONDITIONS OF MAXIMUM CONDUCTOR SWING AND MAXIMUM SAG. THE ABOVE CLEARANCES ARE DESIGNED TO PREVENT PERSONS ON OR IN BUILDINGS AS WELL AS EXTERNAL MACHINERY USED IN CONJUNCTION WITH A BUILDING TO COME IN CONTACT WITH CONDUCTORS. EFFORTS SHOULD BE MADE TO INCREASE THESE CLEARANCES WHERE POSSIBLE.
7. ALL CLEARANCES ARE IN ACCORDANCE TO CSA C22.3 NO.1-06 (TABLE-9).

METRIC	IMPERIAL (APPROX)
480cm	16'-0"
300cm	10'-0"
250cm	8'-4"
100cm	3'-4"

MINIMUM VERTICAL & HORIZONTAL CLEARANCES OF CONDUCTORS FROM BUILDINGS OR OTHER PERMANENT STRUCTURES (CONDUCTORS NOT ATTACHED TO BUILDINGS)

Certificate of Approval
This construction Standard meets the safety requirements of Section 4 of Regulation 22/04
Debbie Dadwani, P.Eng. 2010-MAY-05
Name Date
P.Eng. Approval By: D. Dadwani

ORIGINAL ISSUE DATE: 2010-MAY-05 REVISION NO: REVISION DATE:
PS\System Planning and Standards\Standard Design\PowerStream Standards\PowerStream Standards working folder\Section 23-4\DWG 03-4 R0 May 5, 2010.dwg, 5/5/2010 9:22:02 AM, Adobe PDF



NOTES:

1. ANY STRUCTURE WITHIN 5.0 METRES OF POOL EDGE SHALL BE CONSIDERED PART OF THE POOL.
2. THERE SHALL NOT BE ANY OVERHEAD SECONDARY OR COMMUNICATION WIRING (750V OR LESS) ABOVE THE POOL, AND ABOVE OTHER ELEVATED SURFACES ASSOCIATED WITH THE POOL, INCLUDING BUT NOT RESTRICTED TO A DIVING STRUCTURE, SLIDE, SWINGS, OBSERVATION STAND, TOWER OR PLATFORM, OR ABOVE THE ADJACENT AREA EXTENDING 5.0M HORIZONTALLY FROM THE POOL EDGE.
3. THERE SHALL NOT BE ANY OVERHEAD PRIMARY WIRING (751V - 44KV) ABOVE THE POOL AND OTHER ELEVATED SURFACES ASSOCIATED WITH THE POOL, OR ABOVE THE ADJACENT AREA EXTENDING 7.5M HORIZONTALLY FROM THE POOL EDGE.
4. ANY UNDERGROUND CONDUCTORS SHALL BE 2.0M AWAY FROM POOL EDGE IN DUCT WITH NON-CONDUCTING JACKET. FOR DEPTH AND DUCT DETAILS REFER TO FIGURE 3 IN 25-100 FOR 200A SERVICE AND 25-101 FOR 400A SERVICE RESPECTIVELY, AS PER POWERSTREAM SERVICE DESIGN SPECIFICATIONS.
5. THESE DIMENSIONS APPLY TO ALL SIDES OF THE POOL.

CONVERSION TABLE	
METRIC	IMPERIAL (APPROX.)
7.5m	24'-6"
5.0m	16'-3"
2.0m	6'-6"

REFERENCES

FIGURE 3, 25-100	SECTION 25
FIGURE 3, 25-101	SECTION 25

Certificate of Approval

This construction Standard meets the safety requirements of Section 4 of Regulation 22/04

Joe Crozier, P.Eng.	2013-JUN-12
Name	Date
P.Eng. Approval By:	Joe Crozier

MINIMUM CLEARANCES FOR CONDUCTORS ADJACENT TO SWIMMING POOLS

ORIGINAL ISSUE DATE: 2013-JUNE-12 REVISION NO: R0 REVISION DATE:

To: Committee of Adjustment

From: Niloufar Youssefi, Building Standards Department

Date: February 16, 2024

Applicant: Contempo Studio

Location: 38 Davidson Drive
PLAN RP4032 Part of Block A

File No.(s): A073/23

Zoning Classification:

The subject lands are zoned R1 Residential Zone and subject to the provisions of Exception 9 (1349) under Zoning By-law 1-88, as amended.

Zoning By-law 1-88		Variance requested
1	A minimum setback of 7.5m is required from the rear lot line to a detached residential accessory structure (Cabana) [Schedule A].	To permit a minimum rear yard setback of 0.0 for a detached residential accessory structure (Cabana)
2	A minimum setback of 1.5m is required from the interior lot line to a detached residential accessory structure (Cabana) [Schedule A].	To permit a minimum interior side yard setback of 0.0 for a detached residential accessory structure (Cabana)
3	Not more than one (1) driveway per lot shall be permitted [4.1.4. (f) (iv)]. The site plan indicates an extra driveway on exterior side within municipality's land.	To permit two (2) driveways located at front and exterior yards. The proposed driveway on exterior side is out of property lines.
4	A private swimming pool shall be constructed not nearer to any exterior side lot line than the required setback of the main dwelling of unit on the lot (4.5 m) [Section 4.1.1 (i)].	To permit a private swimming pool to be located 2.46 m to the exterior side lot line.
5	A maximum driveway width of 9.0 m is permitted for lots with frontage of 12.0 m or more. [Section 4.1.4 (f) (v)].	To permit a maximum driveway width of 13.0m.
6	The maximum height of any retaining wall constructed on a property line between two (2) residential lots shall be one (1) metre. Height shall be measured from the finished ground level to the highest point of the wall. A retaining wall which exceeds one (1) metre in height must be set back from the nearest property line a distance equal to its height. If the height of the wall on one side is different than the height on the other side, for the purposes of this paragraph the height of the wall shall be the greater of the two [Section 4.1.1.j)].	To permit a retaining wall with the maximum height of 1.36m to be setback 0.48m from rear lot line.

Staff Comments:

Stop Work Order(s) and Order(s) to Comply:

Order to comply number 20-111408 OB has been issued for the construction of a cabana having been undertaken prior to obtaining the required building permit.

Order to comply number 20-000512 EP has been issued for the construction of an outdoor pool having been undertaken prior to obtaining the required building permit.

Building Permit(s) Issued:

Building permit application number 20-113649 has been submitted for Cabana.
Building permit application number 20-000512 has been submitted for Swimming Pool.

Other Comments:

General Comments

7	The applicant shall be advised that additional variances may be required upon review of detailed drawing for building permit/site plan approval.
---	--

To: Christine Vigneault, Committee of Adjustment Secretary Treasurer
From: Nancy Tuckett, Director of Development Planning
Date: July 2, 2024
Name of Owner: Sonja Placido
Location: 38 Davidson Drive
File No.(s): A073/23

Proposed Variances (By-law 1-88):

1. To permit a minimum rear yard setback of **0.0 m** for a detached residential accessory structure (Cabana).
2. To permit a minimum interior side yard setback of **0.0 m** for a detached residential accessory structure (Cabana).
3. To permit two (2) driveways located in the front and exterior yards. The proposed driveway on the exterior side is outside of the property lines.
4. To permit a private swimming pool to be located **2.46 m** to the exterior side lot line.
5. To permit a maximum driveway width of **13.0 m**.
6. To permit a retaining wall with the maximum height of **1.36 m** to be setback **0.48 m** from rear lot line.

By-Law Requirements (By-law 1-88):

1. A minimum setback of **7.5 m** is required from the rear lot line to a detached residential accessory structure (Cabana).
2. A minimum setback of **1.5 m** is required from the interior lot line to a detached residential accessory structure (Cabana).
3. Not more than one (1) driveway per lot shall be permitted.
4. A private swimming pool shall be constructed not nearer to any exterior side lot line than the required setback of the main dwelling of unit on the lot (**4.5 m**)
5. A maximum driveway width of **9.0 m** is permitted for lots with frontage of **12.0 m** or more.
6. The maximum height of any retaining wall constructed on a property line between two (2) residential lots shall be one (1) metre. Height shall be measured from the finished ground level to the highest point of the wall. A retaining wall which exceeds one (1) metre in height must be set back from the nearest property line a distance equal to its height. If the height of the wall on one side is different than the height on the other side, for the purposes of this paragraph the height of the wall shall be the greater of the two.

Official Plan:

Vaughan Official Plan 2010 ('VOP 2010'): "Low-Rise Residential" by Volume 2, Section 11.11 – Woodbridge Centre Secondary Plan.

Comments:

The Owner is requesting relief to permit an existing accessory structure (Cabana) and an existing in-ground pool within the rear yard of 38 Davidson Drive, as well as 2 existing driveways and a retaining wall with the above noted variances.

The Development Planning Department ('Development Planning') does not support Variances 1 and 2 for the 0.0 m rear and interior side yard setbacks for the accessory structure (Cabana). The structure has a flat roof design and is fully enclosed. The Subject Lands are a corner lot which abuts 15 Waymar Heights Boulevard to the north and 32 Davidson Drive to the east. The north wall of the Cabana faces the front and interior side yard of 15 Waymar Heights Boulevard, and the east wall of the Cabana faces the rear yard of 32 Davidson Drive.

One intent of an interior side and rear yard setback is to provide space for maintenance access to any structures near a lot line to avoid trespass onto abutting lands. As the proposed interior side and rear setbacks are 0.0 m, the Cabana wall is abutting two lot lines. Wall vents on the Cabana's east wall were also observed. In its current position,

permission from the abutting landowner(s) is/are required to maintain the Cabana north and east walls and vents on the east Cabana wall. Another intent of the setback is to provide spatial separation to facilitate plantings and/or the installation of a privacy fence to further buffer residential yards from one another, which is impaired with the current placement of the Cabana. Additionally, adverse massing impacts were observed as a result of the 0.0 m setback on the two abutting properties, and in particular the dwelling located on 15 Waymar Heights Road, which is in proximity to the mutual lot line where the cabana is located.

The rear wall of the dwelling on the Subject Lands, which is largely parallel to the rear lot line, maintains a minimum setback of 7.84 m to the rear lot line. This is a relatively modest rear yard depth within this neighbourhood. The Cabana has an approximate footprint of 5.52 m x 6.53 m (35.12 m²). With a 0.0 m setback to the rear lot line, it maintains a modest setback of 2.40 m from the dwelling's rear wall, occupying approximately 70% of the rear yard's depth. The placement of the Cabana represents an overbuilding of the rear yard as there is insufficient yard depth to contain an accessory structure of this size while maintaining sufficient spatial separation from the dwelling and lot lines.

Therefore, for Variances 1 and 2, it is Development Planning's opinion that permitting a structure of this scale where a 0.0 m setback to the interior side and rear lot lines exist, is a substantial deviation from the zoning by-law's intent, is not minor in nature, nor desirable and appropriate for the use of the land.

Variance 4 is to permit a private swimming pool to be located 2.46 m to the exterior side lot line. Approximately half of the length of the pool projects beyond the west wall of the main dwelling. No adverse impacts are anticipated to the existing streetscape (Davidson Drive and Waymar Heights Boulevard) or the greater neighbourhood. Davidson Drive is relatively lower than the rear yard of the Subject Lands where the pool sits, and there is a substantial amount of vegetation (tree and bushes) that screen the rear yard from Davidson Drive. The pool is partially screened from the exterior side yard (Waymar Heights Boulevard) due to the existing retaining wall with frosted privacy glass and the planting of several trees within the Waymar Heights Boulevard road allowance. As such, no adverse use or privacy impacts are anticipated from the private swimming pool.

Development Planning supports Variances 3 and 5 to permit two (2) driveways on the Subject Lands (one in the front yard and one in the exterior side yard), as it is a corner lot with primary driveway access onto Davidson Drive within the front yard, with an additional driveway (parking pad) in the exterior side yard that provides access to Waymar Heights Boulevard. The front yard and exterior side yard are both sufficiently sized to maintain an appropriate amount of soft landscaping and vegetation.

The front yard driveway has a proposed maximum width of 13.0m (Variance 5). Near the front lot line, the driveway width reduces to approximately 5.60 m. The widest part of the front yard driveway is sunken in relation to the surrounding topography and is further screened from the street by retaining walls with frosted privacy glass panels above on 3 sides and the frosted glass entry gate. The width facilitates access to the 3 car garage. The exterior side yard driveway is a modest parking pad abutting a pedestrian walkway to the dwelling. Development and Transportation Engineering Staff have reviewed Variance 5 and have no objection to the proposed driveways.

Variance 6 is to permit an increased maximum height of a retaining wall located 0.48 m from the rear lot line. The retaining wall requiring relief runs the length of the shared rear property line with 15 Waymar Heights Boulevard with the exception of where the Cabana walls are proposed, as the Cabana walls also provide retaining wall functions. The retaining wall addresses the lower grade on the Subject Lands relative to 15 Waymar Heights Boulevard. The 0.36 m increase in maximum height is not anticipated to adversely impact the neighbouring property to the north that is where the higher grade is located so less of the wall is exposed on that side. Further, the setback is in place to fully contain the wall on the Subject Lands in the event of a failure. However, the retaining wall would fall south away from the neighbouring property, not towards it, due to the lot's topography if it were to experience a failure. Development Engineering Staff have reviewed the proposal and have no objections to the retaining wall.

Accordingly, the Development Planning Department cannot support Variances 1 and 2 and is of the opinion that the portion of the proposal is not minor in nature, does not

maintain the general intent and purpose of the Zoning By-law, and is not desirable and appropriate for the development of the land.

The Development Planning Department can support Variances 3, 4, 5 and 6 and is of the opinion that the portion of the proposal is minor in nature, maintains the general intent and purpose of the Official Plan and Zoning By-law, and is desirable for the appropriate development of the land.

Recommendation:

The Development Planning Department recommends **refusal** of Variances 1 and 2 and **approval** of Variances 3,4, 5, and 6.

Conditions of Approval:

If the Committee finds merit in the application, the following conditions of approval are recommended:

None.

Comments Prepared by:

Nicholas Del Prete, Planner I
David Harding, Senior Planner

Lenore Providence

Subject: FW: [External] RE: A073/23 (38 DAVIDSON DRIVE) - REQUEST FOR COMMENTS

From: Kristen Regier <Kristen.Regier@trca.ca>
Sent: Friday, February 16, 2024 3:22 PM
To: Committee of Adjustment <CofA@vaughan.ca>
Cc: Pravina Attwala <Pravina.Attwala@vaughan.ca>
Subject: [External] RE: A073/23 (38 DAVIDSON DRIVE) - REQUEST FOR COMMENTS

CAUTION! This is an external email. Verify the sender's email address and carefully examine any links or attachments before clicking. If you believe this may be a phishing email, please use the Phish Alert Button.

Hello,

The subject property at 38 Davidson Drive, Vaughan is not located within TRCA's Regulated Area. TRCA's Planning and Regulatory policy interests are not impacted.

As such, TRCA has no comments on the application.

Best,

Kristen Regier, MA (she / her)
Planner
Development Planning and Permits | Development and Engineering Services
Toronto and Region Conservation Authority (TRCA)

T: [437-880-2129](tel:437-880-2129)
E: kristen.regier@trca.ca
A: [101 Exchange Avenue, Vaughan, ON, L4K 5R6](https://www.trca.ca) | [trca.ca](https://www.trca.ca)



TORONTO TRANSIT COMMISSION

TO Project Development & Planning Department

FROM Ealy Fong

DATE February 20, 2024

SUBJECT Development Review Comments: 38 Davidson Drive, Minor
Variance Application File A073/23

TTC's Property, Planning, and Development Department (PPD) has reviewed the Minor Site Variance application for the proposed alterations at 38 Davidson Drive. The application is to permit the construction of a proposed detached cabana and pool.

The proposed development is located outside the TTC's 60 metre Development Review Zone (DRZ). Therefore, Property, Planning, and Development (PPD) have no comments to provide regarding these files.

Ealy Fong
Planning and Development Assistant
Property, Planning and Development

87-11- **EF**
SP#: 03078-37-2488

Copy: Floyd Heath

Pravina Attwala

Subject: FW: [External] RE: A073/23 (38 DAVIDSON DRIVE) - REQUEST FOR COMMENTS

From: Development Services <developmentsservices@york.ca>
Sent: Thursday, February 29, 2024 5:28 PM
To: Pravina Attwala <Pravina.Attwala@vaughan.ca>
Cc: Committee of Adjustment <CofA@vaughan.ca>
Subject: [External] RE: A073/23 (38 DAVIDSON DRIVE) - REQUEST FOR COMMENTS

CAUTION! This is an external email. Verify the sender's email address and carefully examine any links or attachments before clicking. If you believe this may be a phishing email, please use the Phish Alert Button.

Hi Pravina,

The Regional Municipality of York has completed its review of the minor variance application – A073/23 (38 Davidson Drive) and has no comment.

Please provide us with a digital copy of the notice of decision for our records.

Many thanks,

Our working hours may be different. Please do not feel obligated to reply outside of your scheduled working hours. Let's work together to help foster healthy work-life boundaries.

Niranjan Rajevan, M.Pl. | Associate Planner, Development Services, Planning and Economic Development, Corporate Services

The Regional Municipality of York | 17250 Yonge Street | Newmarket, ON L3Y 6Z1
1-877-464-9675 ext. 71521 | niranjan.rajevan@york.ca | www.york.ca

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Our Mission: **Working together to serve our thriving communities – today and tomorrow**

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SCHEDULE C: PUBLIC & APPLICANT CORRESPONDENCE

None

SCHEDULE D: BACKGROUND

None