

ITEM: 6.1	REPORT SUMMARY MINOR VARIANCE APPLICATION FILE NUMBER A017/24
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Report Date: July 4, 2024

**THIS REPORT CONTAINS COMMENTS FROM THE FOLLOWING
DEPARTMENTS & AGENCIES (SEE SCHEDULE B):**

Additional comments from departments and agencies received after the publication of the report will be made available on the City's [website](#).

Internal Departments <small>*Comments Received</small>	Conditions Required		Nature of Comments
Building Standards (Zoning) *See Schedule B	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>	General Comments
Committee of Adjustment	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>	General Comments
Development Planning	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>	Recommend Approval/No Conditions
Development Engineering	Yes <input checked="" type="checkbox"/>	No <input type="checkbox"/>	General Comments w/Conditions
Development Finance	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>	General Comments

External Agencies <small>*Comments Received</small>	Conditions Required		Nature of Comments <small>*See Schedule B for full comments</small>
Alectra	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>	General Comments
TRCA	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>	General Comments
Region of York	Yes <input checked="" type="checkbox"/>	No <input type="checkbox"/>	General Comments w/Conditions

PUBLIC & APPLICANT CORRESPONDENCE (SEE SCHEDULE C)				
<p>All personal information collected because of this public meeting (including both written and oral submissions) is collected under the authority of the Municipal Act, the Municipal Freedom of Information and Protection of Privacy Act (MFIPPA), the Planning Act and all other relevant legislation, and will be used to assist in deciding on this matter. All personal information (as defined by MFIPPA), including (but not limited to) names, addresses, opinions and comments collected will become property of the City of Vaughan, will be made available for public disclosure (including being posted on the internet) and will be used to assist the Committee of Adjustment and staff to process this application.</p>				
Correspondence Type	Name	Address	Date Received <small>(mm/dd/yyyy)</small>	Summary
None				

BACKGROUND (SCHEDULE D, IF REQUIRED)	
<p>* Background Information contains historical development approvals considered to be related to this file. This information should not be considered comprehensive.</p>	
Application No. (City File)	Application Description <small>(i.e. Minor Variance Application; Approved by COA / OLT)</small>
N/A	N/A

ADJOURNMENT HISTORY	
<p>* Previous hearing dates where this application was adjourned by the Committee and public notice issued.</p>	
Hearing Date	Reason for Adjournment <small>(to be obtained from NOD_ADJ)</small>
N/A	N/A

SCHEDULES	
Schedule A	Drawings & Plans Submitted with the Application
Schedule B	Comments from Agencies, Building Standards & Development Planning
Schedule C (if required)	Public & Applicant Correspondence
Schedule D (if required)	Background



**MINOR VARIANCE APPLICATION
FILE NUMBER A017/24
16 Venkata Dr Kleinburg ON L4H 3X9**

CITY WARD #:	1
APPLICANT:	Shams Al Deen Yousif
AGENT:	Ken Dimakarakos
PROPERTY:	16 Venkata Drive, Kleinburg
ZONING DESIGNATION:	See below.
VAUGHAN OFFICIAL PLAN (2010) DESIGNATION:	Vaughan Official Plan 2010 ('VOP 2010'): "Low-Rise Residential".
RELATED DEVELOPMENT APPLICATIONS:	None
PROPOSAL:	Relief from the Zoning By-law is being requested to permit proposed walk-up stairs in the southerly side yard and an existing cabana, shed and swimming pool.

The following variances have been requested from the City's Zoning By-law:

The subject lands are zoned R2A E(EN) – Second Density Residential Zone and subject to the provisions of Exception 14.953 under Zoning By-law 001-2021.

#	Zoning By-law 001-2021	Variance requested
1	Access stairs, open and unenclosed, shall not encroach more than 0.3 m into the minimum required interior side yard setback of 1.2 m for a side entrance into a dwelling for a Secondary Suite. (A minimum setback of 0.9 m is required from the interior side lot line to access stairs, open and unenclosed) [Section 4.13, 7.2.3].	To permit access stairs, open and unenclosed, to encroach to a maximum of 0.6 m into the minimum required interior side yard setback of 1.2 m for a side entrance into a dwelling for Secondary Suite. (A minimum setback of 0.6 m is proposed from the interior side lot line to access stairs, open and unenclosed).
2	A minimum setback of 2.4 m is required from the southerly interior side lot line to a residential accessory structure (shed) with a height greater than 3.0 m. [4.1.2.1.b]	To permit a minimum setback of 0.79 m from the southerly interior side lot line to a residential accessory structure (shed) with a height of 3.14 m measured from established grade to the mid-point of the roof.
3	A minimum setback of 2.4 m is required from the rear lot line to a residential accessory structure (shed) with a height greater than 3.0 m. [4.1.2.1.b]	To permit a minimum setback of 1.22 m from the rear lot line to a residential accessory structure (shed) with a height of 3.14 m measured from established grade to the mid-point of the roof.
4	A minimum setback of 1.5 m from the rear lot line to an outdoor swimming pool is required (measured to the inside wall). [4.21.3]	To permit a minimum setback of 1.22 m from the rear lot line to an outdoor swimming pool (measured to the inside wall).
5	A minimum setback of 2.4 m is required from the rear lot line to a residential accessory structure (cabana) with a height greater than 3.0 m. [4.1.2.1.b]	To permit a minimum setback of 1.72 m from the northerly interior side lot line to a residential accessory structure (cabana) with a height of 3.45 m measured from established grade to the mid-point of the roof.
7	A maximum height of 3.0 m is permitted for a residential accessory structure. [4.1.4.1]	To permit a residential accessory structure (shed) with a height of 3.14 m measured from established grade to the mid-point of the roof.
8	A maximum height of 3.0 m is permitted for a residential accessory structure. [4.1.4.1]	To permit a residential accessory structure (cabana) with a height of 3.45 m measured from established grade to the mid-point of the roof.

HEARING INFORMATION

DATE OF MEETING: Wednesday, July 10, 2024
TIME: 6:00 p.m.
MEETING LOCATION: Vaughan City Hall, Woodbridge Room (2nd Floor), 2141 Major Mackenzie Drive

HEARING INFORMATION

LIVE STREAM LINK: Vaughan.ca/LiveCouncil

PUBLIC PARTICIPATION

If you would like to speak to the Committee of Adjustment at the meeting, either remotely or in person, please complete the [Request to Speak Form](#) and submit to cofa@vaughan.ca

If you would like to submit written comments, please quote file number above and submit by mail or email to:

Email: cofa@vaughan.ca

Mail: City of Vaughan, Office of the City Clerk, Committee of Adjustment, 2141 Major Mackenzie Drive, Vaughan, ON, L6A 1T1

To speak electronically, pre-registration is required by completing the [Request to Speak Form](#) on-line and submitting it to cofa@vaughan.ca no later than NOON on the last business day before the meeting.

THE DEADLINE TO REGISTER TO SPEAK ELECTRONICALLY OR SUBMIT WRITTEN COMMENTS ON THE ABOVE NOTED FILE(S) IS NOON ON THE LAST BUSINESS DAY BEFORE THE MEETING.

INTRODUCTION

Staff and Agencies act as advisory bodies to the Committee of Adjustment. The comments contained in this report are presented as recommendations to the Committee.

Section 45(1) of the Planning Act sets the criteria for authorizing minor variances to the City of Vaughan's Zoning By-law. Accordingly, review of the application may consider the following:

- That the general intent and purpose of the by-law will be maintained.
- That the general intent and purpose of the official plan will be maintained.
- That the requested variance(s) is/are acceptable for the appropriate development of the subject lands.
- That the requested variance(s) is/are minor in nature.

Public written and oral submissions relating to this application are taken into consideration by the Committee of Adjustment as part of its deliberations and final decision on this matter.

COMMITTEE OF ADJUSTMENT

Date Public Notice Mailed:	June 26, 2024
Date Applicant Confirmed Posting of Sign:	June 20, 2024
Applicant Justification for Variances: <small>*As provided in Application Form</small>	Section 3.24 of by-law 1-88. Section does not permit encroachments beyond 1.2m from the property line. A setback of 1.2 m is required from the stairs to the interior lot line. 0.60 m is proposed.
Was a Zoning Review Waiver (ZRW) Form submitted by Applicant: <small>*ZRW Form may be used by applicant in instances where a revised submission is made, and zoning staff do not have an opportunity to review and confirm variances prior to the issuance of public notice.</small>	Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>
COMMENTS:	
None	
Committee of Adjustment Recommended Conditions of Approval:	None

BUILDING STANDARDS (ZONING)

**See Schedule B for Building Standards (Zoning) Comments

Building Standards Recommended Conditions of Approval:	None
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DEVELOPMENT PLANNING

**See Schedule B for Development Planning Comments.

Development Planning Recommended Conditions of Approval:	None
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DEVELOPMENT ENGINEERING

[Link to Grading Permit](#)
 [Link to Pool Permit](#)
 [Link to Curb Curt Permit](#)
 [Link Culvert Installation](#)

Due to the size of the existing shed and cabana on the subject property, which measures a total of 17.2 m², the Owner/Applicant must acquire a Lot Grading Permit from the Development Inspection and Lot Grading Division of the City's Development Engineering Department. It's important note that any in-ground structure exceeding 10 m² necessitates a Grading Permit. Once the Grading Permit is obtained, please reach out to the Development Engineering Reviewer to clear the Condition imposed on this application. Development Engineering does not object to the Minor Variance application A017/24, subject to the following condition(s).

Development Engineering Recommended Conditions of Approval:	The Owner/Applicant shall submit an application and obtain an approved Grading Permit before initiating any work on the property. The Final Lot Grading and/or Servicing Plan will be required for the Grading Permit Application. Please visit the Permits page of the City of Vaughan's website: https://www.vaughan.ca/about-city-vaughan/departments/development-engineering/permits to apply for a Grading Permit. For any inquiries regarding the Grading Permit, please email DEPermits@vaughan.ca .
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PARKS, FORESTRY & HORTICULTURE (PFH)

No comments received to date.

PFH Recommended Conditions of Approval:	None
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DEVELOPMENT FINANCE

No comment no concerns.

Development Finance Recommended Conditions of Approval:	None
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BY-LAW AND COMPLIANCE, LICENSING AND PERMIT SERVICES

No comments received to date.

BCLPS Recommended Conditions of Approval:	None
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BUILDING INSPECTION (SEPTIC)

No comments received to date.

Building Inspection Recommended Conditions of Approval:	None
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FIRE DEPARTMENT

No comments received to date.

Fire Department Recommended Conditions of Approval:	None
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RECOMMENDED CONDITIONS OF APPROVAL SUMMARY

Should the Committee find it appropriate to approve this application in accordance with request and the sketch submitted with the application, as required by Ontario Regulation 200/96, the following conditions have been recommended:

#	DEPARTMENT / AGENCY	CONDITION
1	Development Engineering Rex.bondad@vaughan.ca	The Owner/Applicant shall submit an application and obtain an approved Grading Permit before initiating any work on the property. The Final Lot Grading and/or Servicing Plan will be required for the Grading Permit Application. Please visit the Permits page of the City of Vaughan's website: https://www.vaughan.ca/about-city-vaughan/departments/development-engineering/permits to apply for a Grading Permit. For any inquiries regarding the Grading Permit, please email DEPermits@vaughan.ca .
2	York Region developmentsservices@york.ca	The Owner shall provide to the Region the following documentation to confirm that water and wastewater services

RECOMMENDED CONDITIONS OF APPROVAL SUMMARY

Should the Committee find it appropriate to approve this application in accordance with request and the sketch submitted with the application, as required by Ontario Regulation 200/96, the following conditions have been recommended:

		<p>are available to the proposed secondary dwelling and have been allocated by the City of Vaughan:</p> <ul style="list-style-type: none"> a) a copy of the Council resolution confirming that the City of Vaughan has allocated servicing capacity, specifying the specific source of the capacity, for the proposed secondary dwelling. b) a copy of an email confirmation by a City of Vaughan staff member stating that the allocation to the subject development remains valid at the time of the request for regional clearance of this condition
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All conditions of approval, unless otherwise stated, are considered to be incorporated into the approval "if required". If a condition is no longer required after an approval is final and binding, the condition may be waived by the respective department or agency requesting conditional approval. A condition cannot be waived without written consent from the respective department or agency.

IMPORTANT INFORMATION

CONDITIONS: It is the responsibility of the owner/applicant and/or authorized agent to obtain and provide a clearance letter from respective department and/or agency (**see condition chart above for contact**). This letter must be provided to the Secretary-Treasurer to be finalized. All conditions must be cleared prior to the issuance of a Building Permit.

APPROVALS: Making any changes to your proposal after a decision has been made may impact the validity of the Committee's decision.

An approval obtained from the Committee of Adjustment, where applicable, is tied to the building envelope shown on the plans and drawings submitted with the application and subject to the variance approval.

A building envelope is defined by the setbacks of the buildings and/or structures shown on the plans and drawings submitted with the application, as required by Ontario Regulation 200/96. Future development outside of an approved building envelope, where a minor variance was obtained, must comply with the provisions of the City's Zoning By-law.

Elevation drawings are provided to reflect the style of roof (i.e. flat, mansard, gable etc.) to which a building height variance has been applied. Where a height variance is approved, building height is applied to the style of roof (as defined in the City's Zoning By-law) shown on the elevation plans submitted with the application.

Architectural design features that are not regulated by the City's Zoning By-law are not to be considered part of an approval unless specified in the Committee's decision.

DEVELOPMENT CHARGES: That the payment of the Regional Development Charge, if required, is payable to the City of Vaughan before issuance of a building permit in accordance with the Development Charges Act and the Regional Development Charges By-law in effect at the time of payment.

That the payment of the City Development Charge, if required, is payable to the City of Vaughan before issuance of a building permit in accordance with the Development Charges Act and the City's Development Charges By-law in effect at the time of payment.

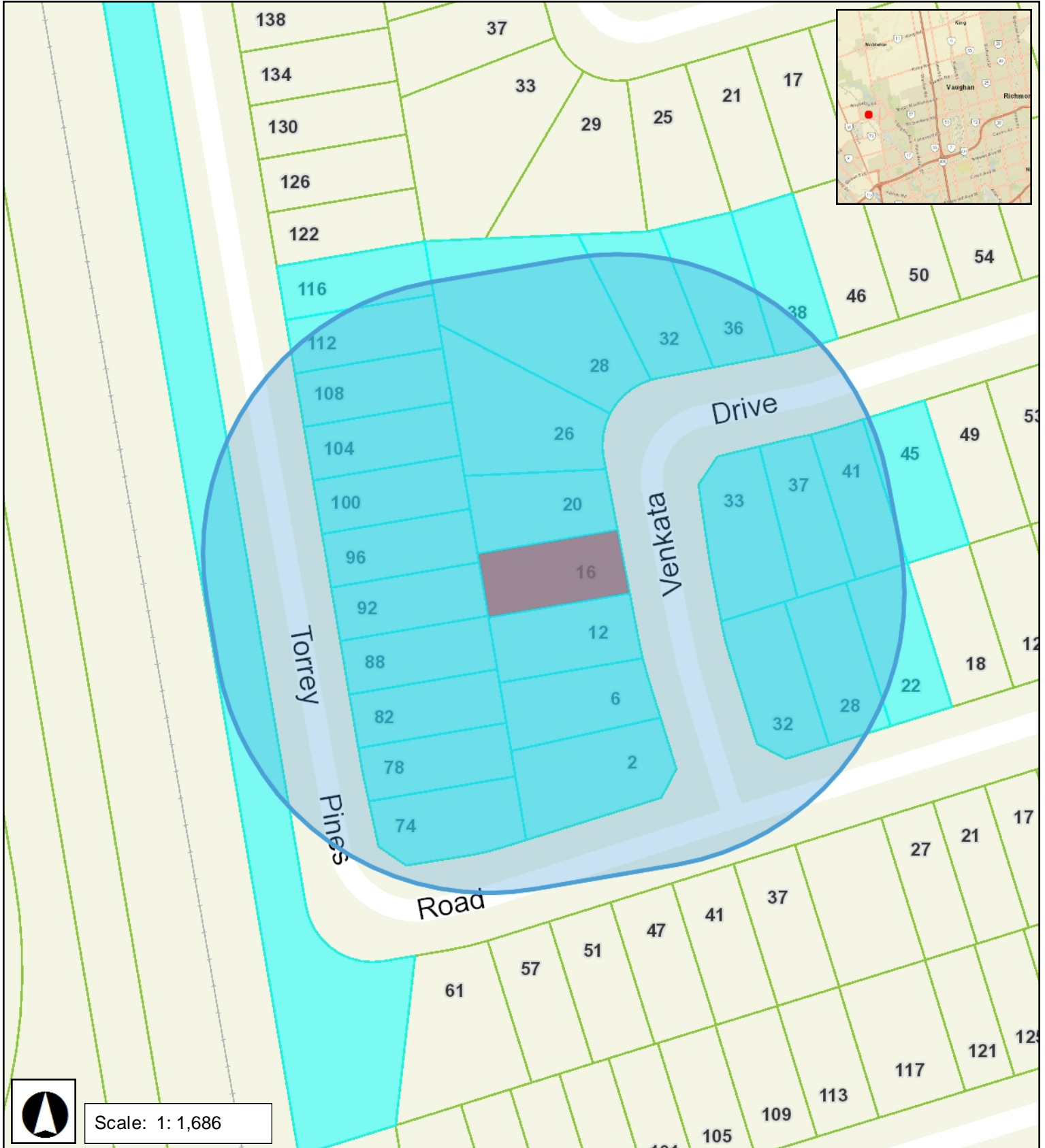
That the payment of the Education Development Charge if required, is payable to the City of Vaughan before issuance of a building permit in accordance with the Development Charges Act and the Boards of Education By-laws in effect at the time of payment

That the payment of Special Area Development charge, if required, is payable to the City of Vaughan before issuance of a building permit in accordance with the Development Charges Act and The City's Development Charge By-law in effect at the time of Building permit issuance to the satisfaction of the Reserves/Capital Department.

NOTICE OF DECISION: If you wish to be notified of the decision in respect to this application or a related Ontario Land Tribunal (OLT) hearing you must complete a Request for Decision form and submit to the Secretary Treasurer (ask staff for details). In the absence of a written request to be notified of the Committee's decision you will **not** receive notice.

SCHEDULE A: DRAWINGS & PLANS

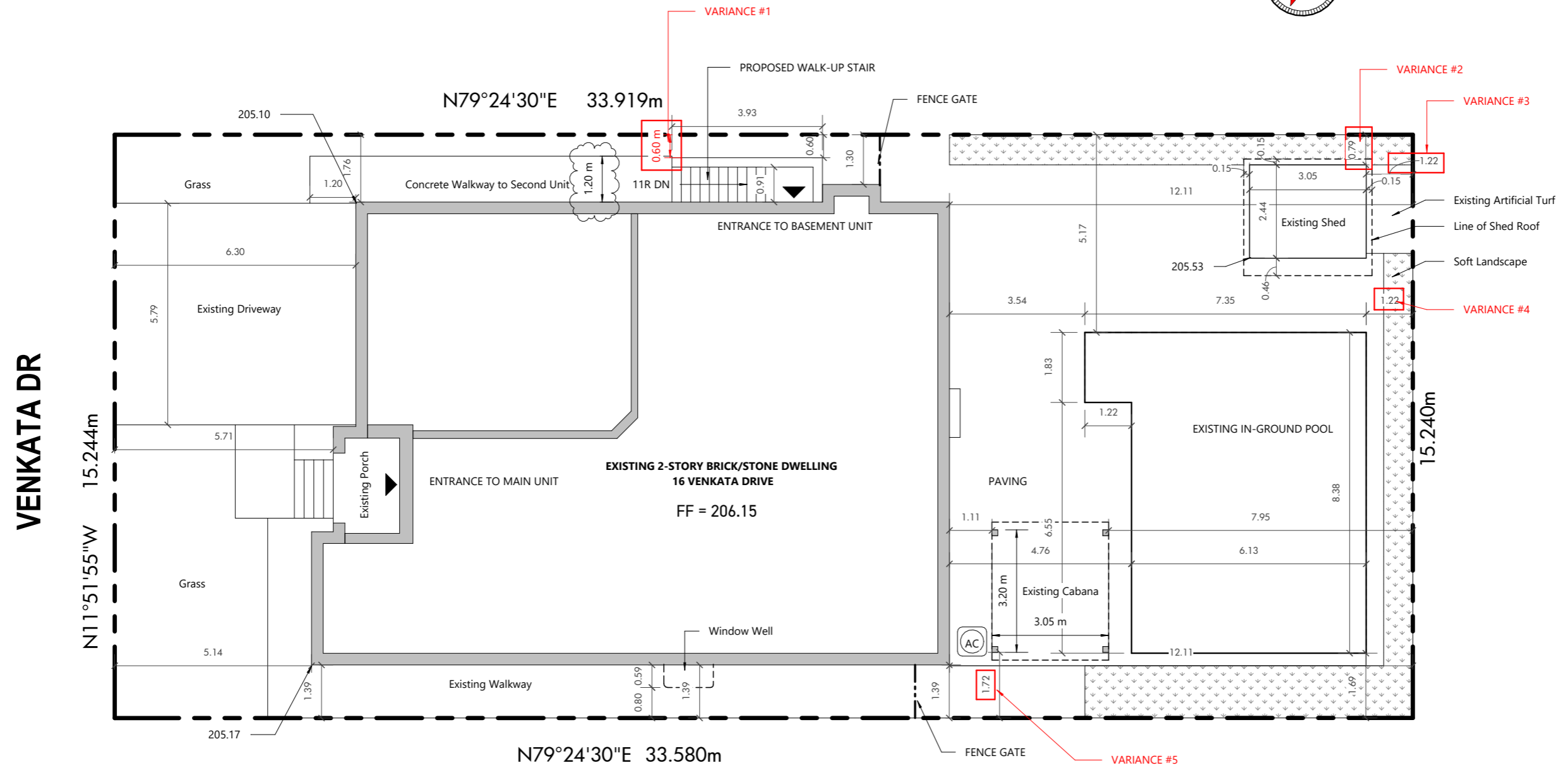
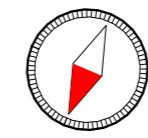
16 Venkata Drive, Kleinburg



Scale: 1: 1,686

PROPOSED BASEMENT SECOND UNIT WITH SIDE WALK-UP STAIR

ESTABLISHED GRADE: $(205.10 + 205.17)/2 = 205.13$



1 SITE PLAN
A000 1 : 125

Lot Coverage Calculation

Lot Area	516 sqm
Existing Building Area	194 sqm
Shed Area	7.44 sqm
Cabana	14.5 sqm
Total Lot Coverage	215.94 sqm = 41.8%

Rear Yard Landscape Calculation

Rear Yard Area	184 sqm
Pool Area	53.6 sqm
Soft Landscape	31.1 sqm
Total Soft Landscape	84.7 sqm = 46%

ARCHON
p : 647 297 0751
w : www.archondesignpermits.ca
e : info@archondesignpermits.ca

ALL DRAWINGS ARE PROPERTY OF DESIGNER AND MUST BE RETURNED UPON REQUEST
DRAWINGS REPRODUCTION IN WHOLE OR IN PART IS FORBIDDEN WITHOUT THE PERMISSION OF THE DESIGNER
THIS DRAWING IS NOT TO BE USED FOR CONSTRUCTION PURPOSES UNTIL COUNTERSIGNED

BUILDING CODE QUALIFICATION
THE UNDERSIGNED HAS REVIEWED AND TAKES RESPONSIBILITY FOR THIS DESIGN, AND HAS THE QUALIFICATIONS AND MEETS THE REQUIREMENTS SET OUT IN THE ONTARIO BUILDING CODE TO BE A DESIGNER

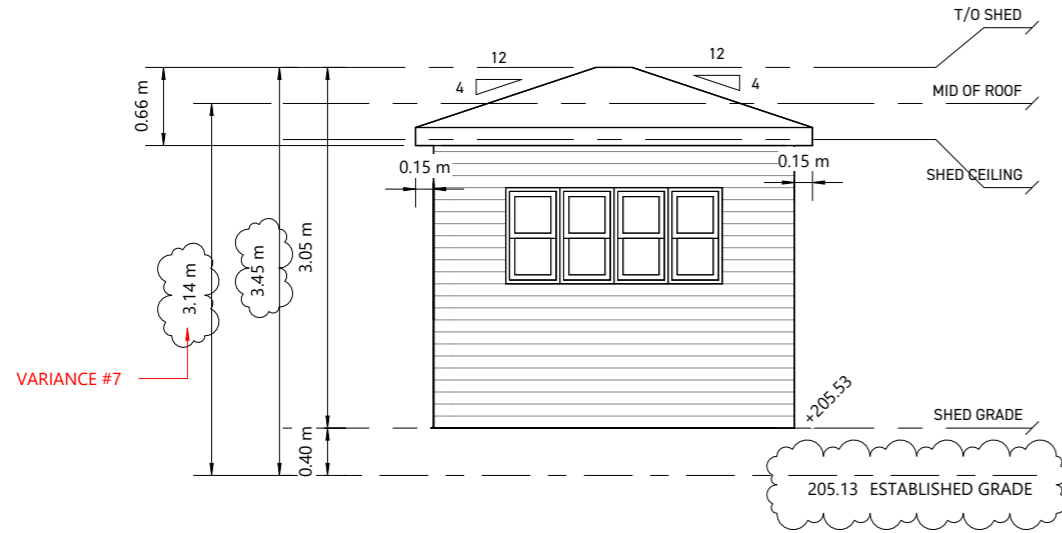
QUALIFICATION INFORMATION:
INDIVIDUAL: THANH LONG NGUYEN 114398
FIRM: ARCHON ARCHITECTURAL SERVICES 121647

PROJECT:
**16 VENKATA DR,
MARKHAM, ON**

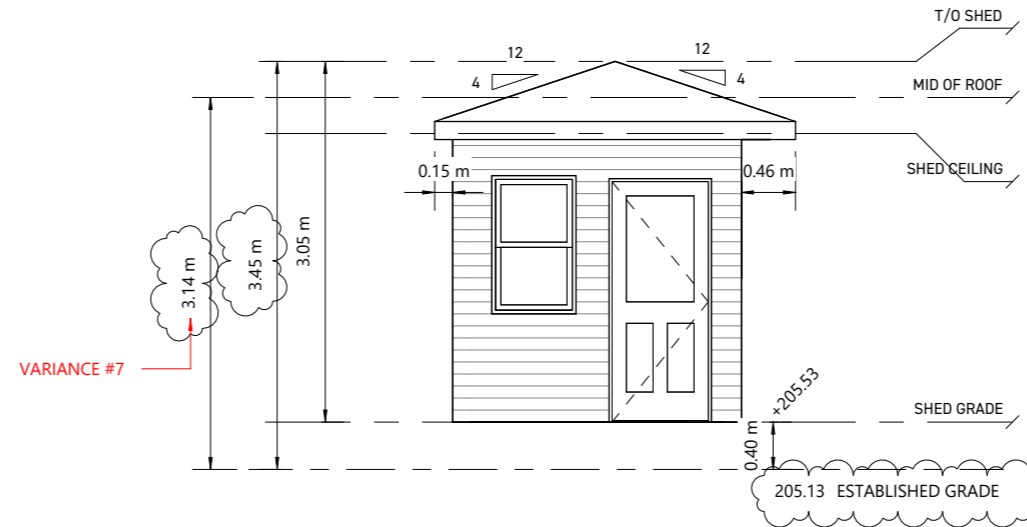
DRAWING:
SITE PLAN

SCALE: 1 : 125	DATE: 03/31/2023	DRAWN: Author	CHECKED: Checker
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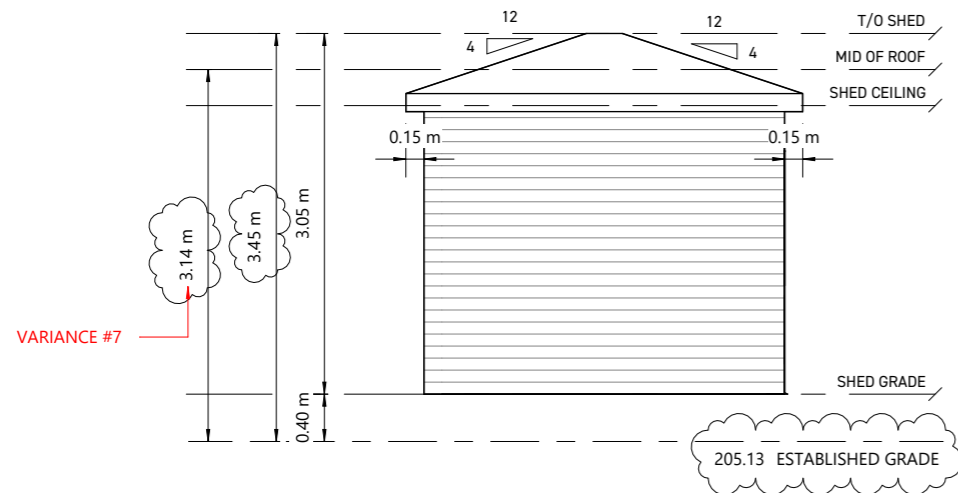
A000



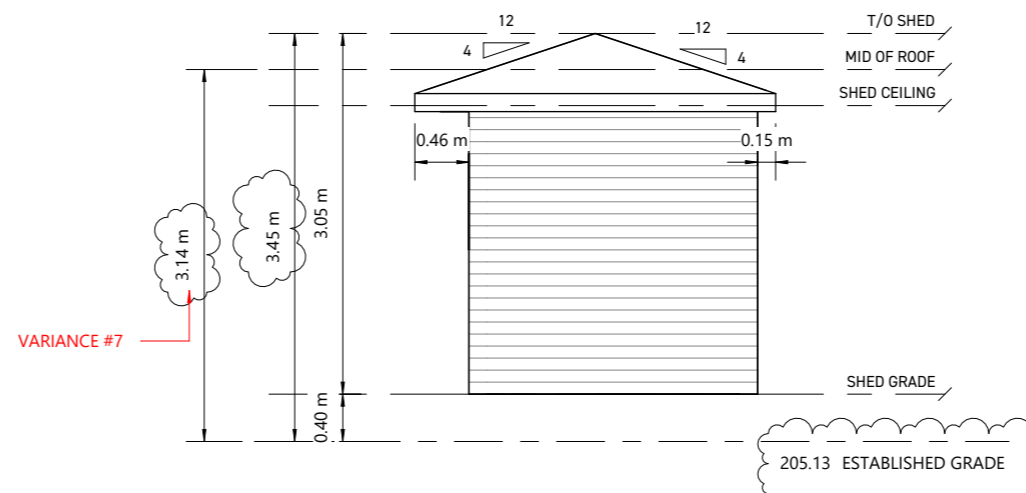
1 SHED - SOUTH ELEVATION
A302 3/16" = 1'-0"



2 SHED - WEST ELEVATION
A302 3/16" = 1'-0"



3 SHED - NORTH ELEVATION
A302 3/16" = 1'-0"



4 SHED - EAST ELEVATION
A302 3/16" = 1'-0"

ARCHON

p : 647 297 0751
w : www.archondesignpermits.ca
e : info@archondesignpermits.ca

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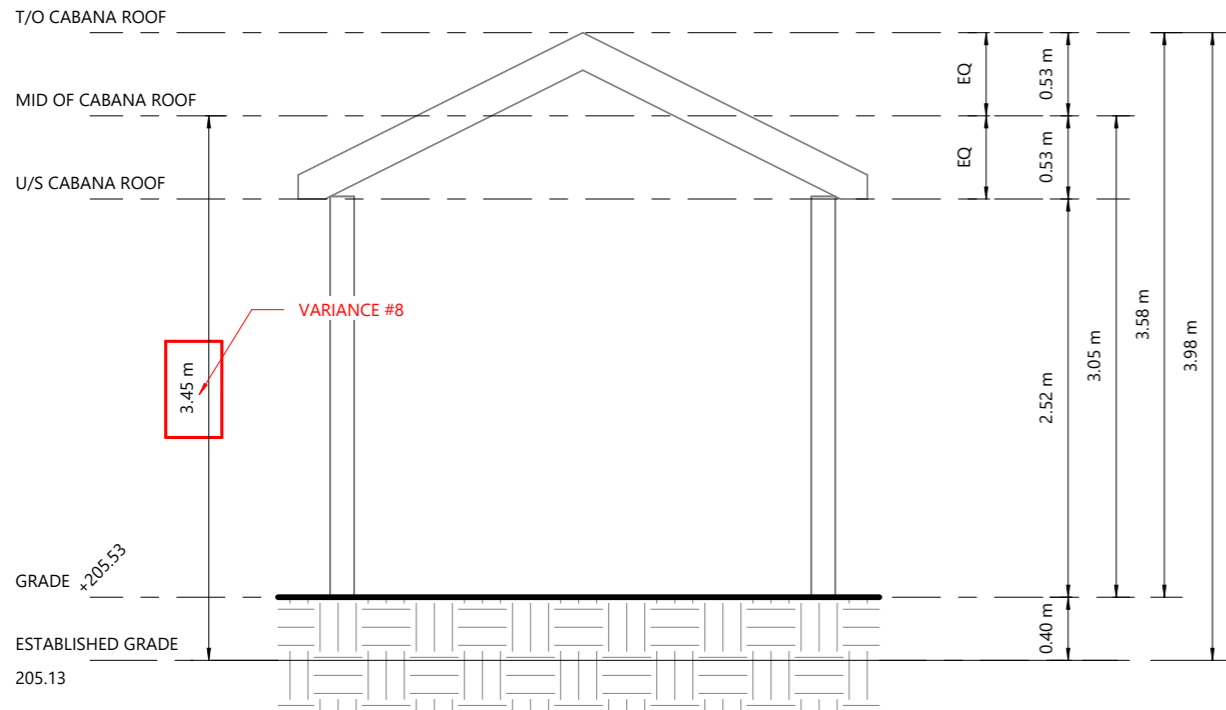
QUALIFICATION INFORMATION:
INDIVIDUAL: THANH LONG NGUYEN 114398
FIRM: ARCHON ARCHITECTURAL SERVICES 121647

PROJECT:
**16 VENKATA DR,
MARKHAM, ON**

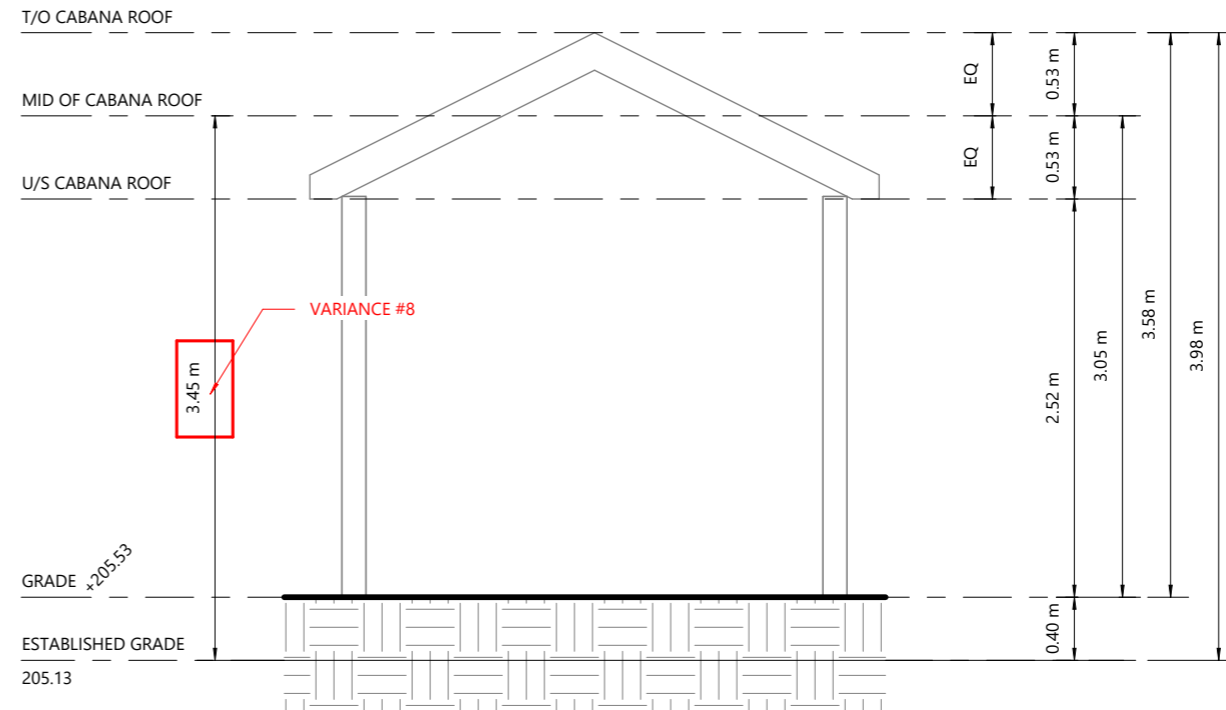
DRAWING:
SHED ELEVATIONS

SCALE: 3/16" = 1'-0"	DATE: 03/31/2023	DRAWN: Author	CHECKED: Checker
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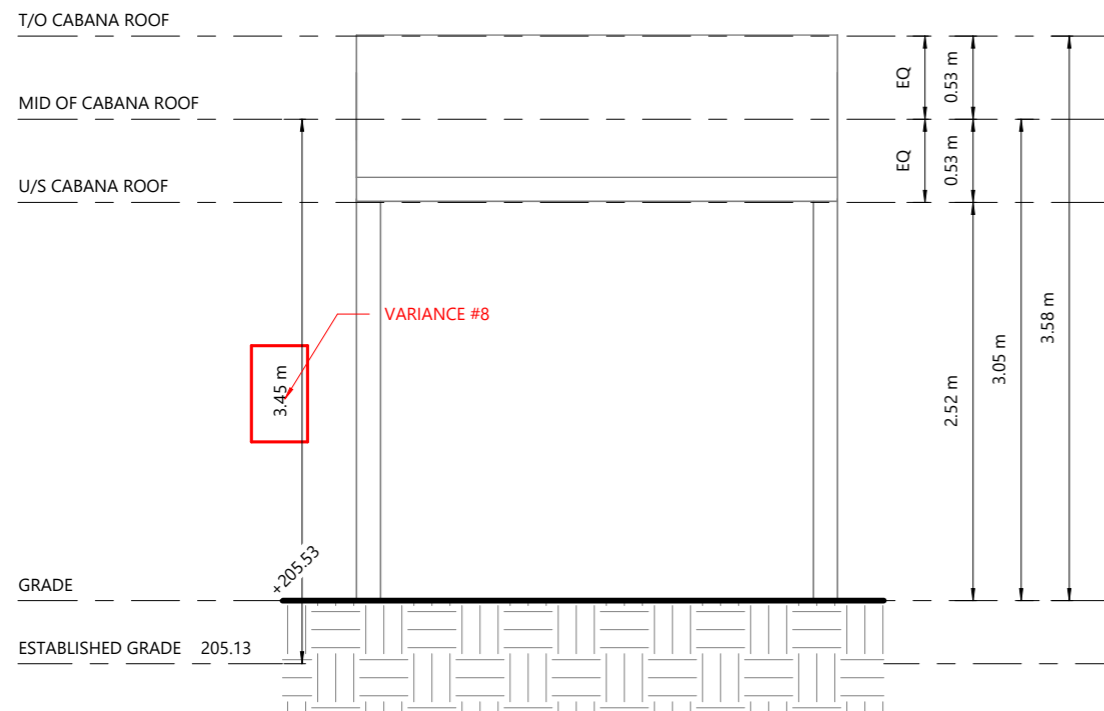
A302



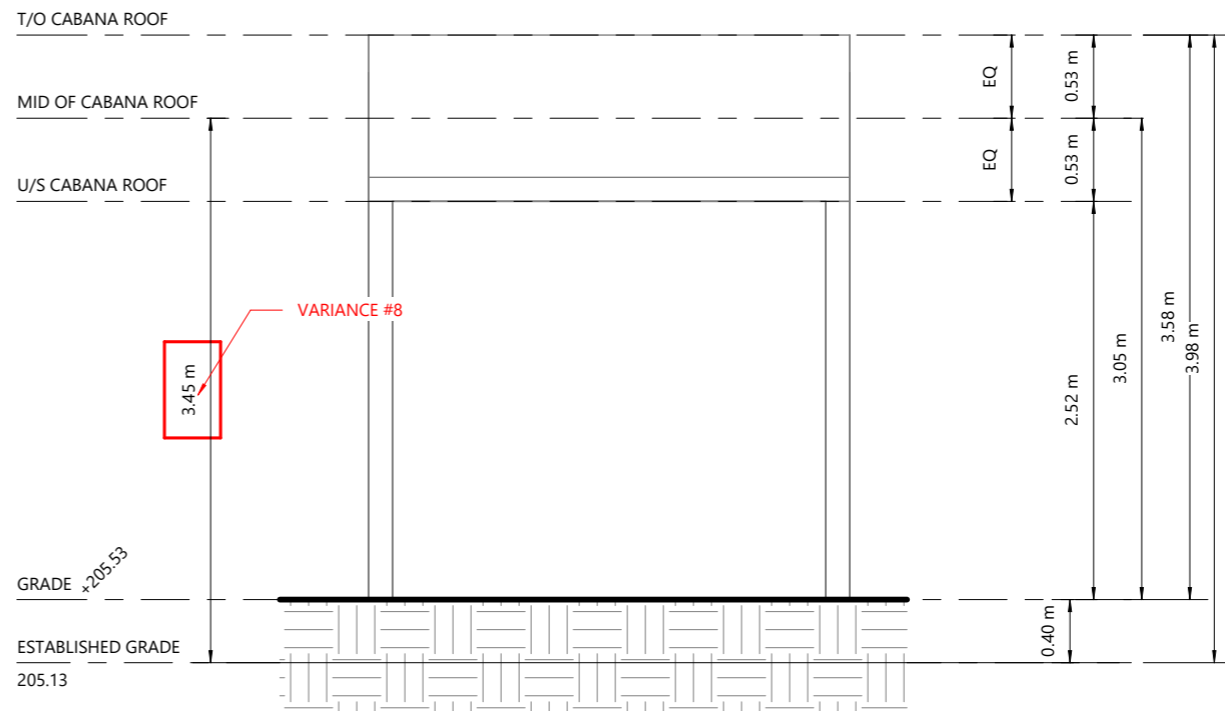
1 CABANA WEST ELEVATION
A303 1/4" = 1'-0"



4 CABANA EAST ELEVATION
A303 1/4" = 1'-0"



3 CABANA - SOUTH ELEVATION
A303 1/4" = 1'-0"



2 CABANA - NORTH ELEVATION
A303 1/4" = 1'-0"

ARCHON

p : 647 297 0751
w : www.archondesignpermits.ca
e : info@archondesignpermits.ca

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QUALIFICATION INFORMATION:
INDIVIDUAL: THANH LONG NGUYEN 114398
FIRM: ARCHON ARCHITECTURAL SERVICES 121647

PROJECT:
16 VENKATA DR,
MARKHAM, ON

DRAWING:
CABANA ELEVATIONS

SCALE: 1/4" = 1'-0"	DATE: 03/31/2023	DRAWN: Author	CHECKED: Checker
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A303

**SCHEDULE B:
COMMENTS FROM AGENCIES, BUILDING STANDARDS &
DEVELOPMENT PLANNING**

Internal Departments <small>*Comments Received</small>	Conditions Required		Nature of Comments
Committee of Adjustment	Yes <input type="checkbox"/>	No <input type="checkbox"/>	General Comments
Development Planning	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>	Recommend Approval/No Conditions

External Agencies <small>*Comments Received</small>	Conditions Required		Nature of Comments <small>*See Schedule B for full comments</small>
Alectra	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>	General Comments
TRCA	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>	General Comments
Region of York	Yes <input checked="" type="checkbox"/>	No <input type="checkbox"/>	General Comments w/Conditions

Date: April 30th 2024

Attention: Christine Vigneault

RE:

File No.: A017-24

Related Files:

Applicant Shams Al Deen Yousif

Location 16 Venkata Drive



Discover the possibilities

COMMENTS:

- We have reviewed the proposed Variance Application and have no comments or objections to its approval.
- We have reviewed the proposed Variance Application and have no objections to its approval, subject to the following comments (attached below).
- We have reviewed the proposed Variance Application and have the following concerns (attached below).

Alectra Utilities (formerly PowerStream) has received and reviewed the proposed Variance Application. This review, however, does not imply any approval of the project or plan.

All proposed billboards, signs, and other structures associated with the project or plan must maintain minimum clearances to the existing overhead or underground electrical distribution system as specified by the applicable standards, codes and acts referenced.

In the event that construction commences, and the clearance between any component of the work/structure and the adjacent existing overhead and underground electrical distribution system violates the Occupational Health and Safety Act, the customer will be responsible for 100% of the costs associated with Alectra making the work area safe. All construction work will be required to stop until the safe limits of approach can be established.

In the event construction is completed, and the clearance between the constructed structure and the adjacent existing overhead and underground electrical distribution system violates the any of applicable standards, acts or codes referenced, the customer will be responsible for 100% of Alectra's cost for any relocation work.

References:

- Ontario Electrical Safety Code, latest edition (Clearance of Conductors from Buildings)
- Ontario Health and Safety Act, latest edition (Construction Protection)
- Ontario Building Code, latest edition (Clearance to Buildings)
- PowerStream (Construction Standard 03-1, 03-4), attached
- Canadian Standards Association, latest edition (Basic Clearances)

If more information is required, please contact either of the following:

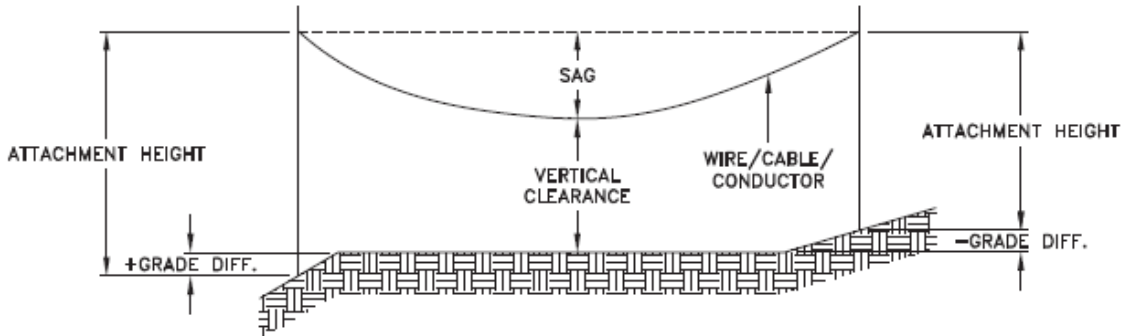
Mr. Stephen Cranley, C.E.T
Supervisor, Distribution Design, ICI & Layouts (North)
Phone: 1-877-963-6900 ext. 31297

E-mail: stephen.cranley@alectrautilities.com

Mitchell Penner
Supervisor, Distribution Design-Subdivisions
Phone: 416-302-6215

Email: Mitchell.Penner@alectrautilities.com

LOCATION OF WIRES, CABLES OR CONDUCTORS	SYSTEM VOLTAGE			
	SPAN GUYS AND COMMUNICATIONS WIRES	UP TO 600V AND NEUTRAL	4.16/2.4kV TO 27.6/16kV (SEE NOTE 1)	44kV
MINIMUM VERTICAL CLEARANCES (SEE NOTE 2)				
OVER OR ALONGSIDE ROADS, DRIVEWAYS OR LANDS ACCESSIBLE TO <u>VEHICLES</u>	442cm	442cm	480cm	520cm
OVER GROUND ACCESSIBLE TO <u>PEDESTRIANS AND BICYCLES ONLY</u>	250cm	310cm	340cm	370cm
ABOVE TOP OF RAIL AT <u>RAILWAY CROSSINGS</u>	730cm	730cm	760cm	810cm



MINIMUM ATTACHMENT HEIGHT = MAXIMUM SAG
 + MINIMUM VERTICAL CLEARANCE (FROM ABOVE TABLE)
 ± GRADE DIFFERENCE
 + 0.3m (VEHICLE OR RAILWAY LOCATION)
 + SNOW DEPTH (PEDESTRIAN LOCATION, SEE NOTE 3)

NOTES:

1. THE MULTIGROUNDED SYSTEM NEUTRAL HAS THE SAME CLEARANCE AS THE 600V SYSTEM.
2. THE VERTICAL CLEARANCES IN THE ABOVE TABLE ARE UNDER MAXIMUM SAG CONDITIONS.
3. REFER TO CSA STANDARD C22.3 No.1, ANNEX D FOR LOCAL SNOW DEPTH VALUES.
4. ALL CLEARANCES ARE IN ACCORDANCE TO CSA STANDARD C22.3.

CONVERSION TABLE

METRIC	IMPERIAL (APPROX)
810cm	27'-0"
760cm	25'-4"
730cm	24'-4"
520cm	17'-4"
480cm	16'-0"
442cm	15'-5"
370cm	12'-4"
340cm	11'-4"
310cm	10'-4"
250cm	8'-4"

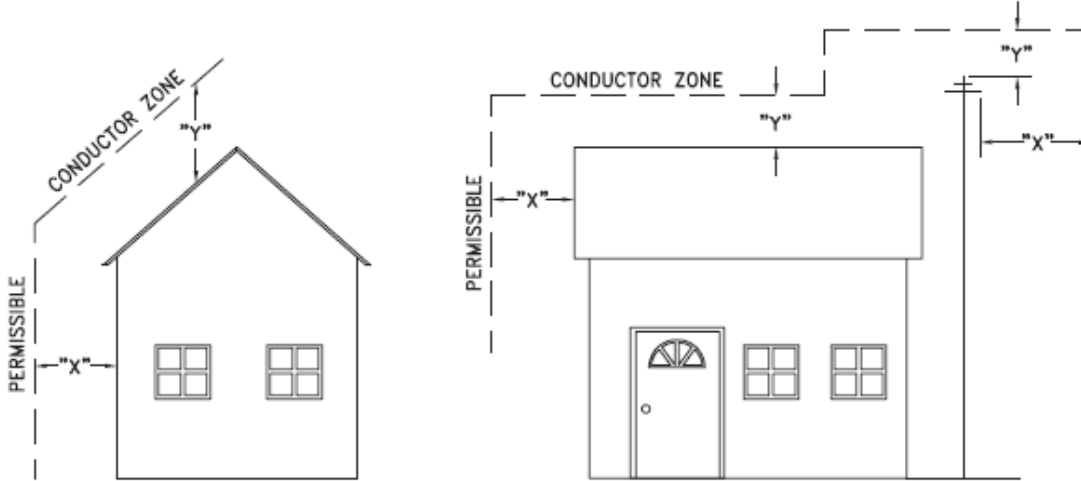
REFERENCES

SAGS AND TENSIONS | SECTION 02

MINIMUM VERTICAL CLEARANCES OF WIRES, CABLES AND CONDUCTORS ABOVE GROUND OR RAILS

ORIGINAL ISSUE DATE: 2010-DEC-24 REVISION NO: R1 REVISION DATE: 2012-JAN-09

Certificate of Approval	
This construction Standard meets the safety requirements of Section 4 of Regulation 22/04	
Joe Crozier, P.Eng.	2012-JAN-09
Name	Date
P.Eng. Approval By:	Joe Crozier



VOLTAGE	MINIMUM HORIZONTAL CLEARANCE UNDER MAXIMUM SWING CONDITIONS DIMENSION "X" (SEE NOTES 1, 3 & 4)	MINIMUM VERTICAL CLEARANCE UNDER MAXIMUM DESIGN SAG CONDITIONS DIMENSION "Y" (SEE NOTES 1, 2, 4 & 5)
0-600V AND NEUTRAL	100cm	250cm
4.16/2.4 TO 44kV	300cm	480cm

NOTES

1. UNDER NO CIRCUMSTANCES SHALL A CONDUCTOR BE PERMITTED TO PENETRATE THE ENVELOPE SHOWN BY THE DOTTED LINE.
2. THE VERTICAL CLEARANCES ARE UNDER CONDITIONS OF MAXIMUM DESIGN SAG.
3. THE HORIZONTAL CLEARANCES ARE UNDER CONDITIONS OF MAXIMUM SWING. WHERE THE CONDUCTOR SWING IS NOT KNOWN A HORIZONTAL CLEARANCE OF 480CM SHALL BE USED.
4. BUILDINGS THAT EXCEED 3 STOREYS OR 15M IN HEIGHT, THE MINIMUM HORIZONTAL CLEARANCE OF THE SECONDARY CONDUCTORS SHOULD BE INCREASED TO 300cm WHERE IT IS NECESSARY TO ALLOW FOR THE RAISING OF LADDERS BY LOCAL FIRE DEPARTMENTS.
5. IN SITUATIONS SUCH AS MULTI-LEVEL GARAGES, WHERE ROOFS ARE NORMALLY USED BY PERSONS AND VEHICLES, THE VERTICAL CLEARANCES OF POWERSTREAM STANDARD 03-1 SHALL APPLY.
6. DISTRIBUTION LINES CONSTRUCTED NEAR BUILDINGS SHALL BE BUILT TO AVOID OVERHANG WHEREVER POSSIBLE. WHERE LINES MUST BE CONSTRUCTED OVER OR ADJACENT TO BUILDINGS THE APPLICABLE HORIZONTAL AND VERTICAL CLEARANCES SHALL BE AT CONDITIONS OF MAXIMUM CONDUCTOR SWING AND MAXIMUM SAG. THE ABOVE CLEARANCES ARE DESIGNED TO PREVENT PERSONS ON OR IN BUILDINGS AS WELL AS EXTERNAL MACHINERY USED IN CONJUNCTION WITH A BUILDING TO COME IN CONTACT WITH CONDUCTORS. EFFORTS SHOULD BE MADE TO INCREASE THESE CLEARANCES WHERE POSSIBLE.
7. ALL CLEARANCES ARE IN ACCORDANCE TO CSA C22.3 NO.1-06 (TABLE-9).

METRIC	IMPERIAL (APPROX)
480cm	16'-0"
300cm	10'-0"
250cm	8'-4"
100cm	3'-4"

MINIMUM VERTICAL & HORIZONTAL CLEARANCES OF CONDUCTORS FROM BUILDINGS OR OTHER PERMANENT STRUCTURES (CONDUCTORS NOT ATTACHED TO BUILDINGS)

Certificate of Approval
This construction Standard meets the safety requirements of Section 4 of Regulation 22/04
Debbie Dadwani, P.Eng. 2010-MAY-05
Name Date
P. Eng. Approval By: *D. Dadwani*

ORIGINAL ISSUE DATE: 2010-MAY-05 REVISION NO: REVISION DATE:
PS:\System Planning and Standards\Standard Design\PowerStream Standards\PowerStream Standards working files\Section 3-1-02\WG 03-4 R0 May 5, 2010.dwg, 5/5/2010 10:22:02 AM, Adobe PDF

To: Committee of Adjustment

From: Catherine Saluri, Building Standards Department

Date: June 10, 2024

Applicant: Shams Al Deen Yousif

Location: 16 Venkata Drive
Plan 65M4361 Lot 128

File No.(s): A017/24

Zoning Classification:

The subject lands are zoned R2A E(EN) – Second Density Residential Zone and subject to the provisions of Exception 14.953 under Zoning By-law 001-2021.

#	Zoning By-law 001-2021	Variance requested
1	Access stairs, open and unenclosed, shall not encroach more than 0.3 m into the minimum required interior side yard setback of 1.2 m for a side entrance into a dwelling for a Secondary Suite. (A minimum setback of 0.9 m is required from the interior side lot line to access stairs, open and unenclosed) [Section 4.13, 7.2.3].	To permit access stairs, open and unenclosed, to encroach to a maximum of 0.6 m into the minimum required interior side yard setback of 1.2 m for a side entrance into a dwelling for Secondary Suite. (A minimum setback of 0.6 m is proposed from the interior side lot line to access stairs, open and unenclosed).
2	A minimum setback of 2.4 m is required from the southerly interior side lot line to a residential accessory structure (shed) with a height greater than 3.0 m. [4.1.2.1.b]	To permit a minimum setback of 0.79 m from the southerly interior side lot line to a residential accessory structure (shed) with a height of 3.14 m measured from established grade to the mid-point of the roof.
3	A minimum setback of 2.4 m is required from the rear lot line to a residential accessory structure (shed) with a height greater than 3.0 m. [4.1.2.1.b]	To permit a minimum setback of 1.22 m from the rear lot line to a residential accessory structure (shed) with a height of 3.14 m measured from established grade to the mid-point of the roof.
4	A minimum setback of 1.5 m from the rear lot line to an outdoor swimming pool is required (measured to the inside wall). [4.21.3]	To permit a minimum setback of 1.22 m from the rear lot line to an outdoor swimming pool (measured to the inside wall).
5	A minimum setback of 2.4 m is required from the rear lot line to a residential accessory structure (cabana) with a height greater than 3.0 m. [4.1.2.1.b]	To permit a minimum setback of 1.72 m from the northerly interior side lot line to a residential accessory structure (cabana) with a height of 3.45 m measured from established grade to the mid-point of the roof.
7	A maximum height of 3.0 m is permitted for a residential accessory structure. [4.1.4.1]	To permit a residential accessory structure (shed) with a height of 3.14 m measured from established grade to the mid-point of the roof.
8	A maximum height of 3.0 m is permitted for a residential accessory structure. [4.1.4.1]	To permit a residential accessory structure (cabana) with a height of 3.45 m measured from established grade to the mid-point of the roof.

Staff Comments:

Stop Work Order(s) and Order(s) to Comply:

There are no outstanding Orders on file.

Building Permit(s) Issued:

Building Permit Application No. 22 134858 has been submitted for a Secondary Suite in an existing dwelling.

Applicant to please consult with the Building Standards Department at (905) 832-8510 to determine if building permits are required for the residential accessory structures shown on the Site Plan.

General Comments	
1	The applicant shall be advised that additional variances may be required upon review of detailed drawing for building permit.

Conditions of Approval:

If the committee finds merit in the application, the following conditions of approval are recommended.

None

* Comments are based on the review of documentation supplied with this application.

To: Christine Vigneault, Committee of Adjustment Secretary Treasurer
From: Nancy Tuckett, Director of Development Planning
Date: June 25, 2024
Name of Owner: Shams Al Deen Yousif
Location: 16 Venkata Drive
File No.(s): A017/24

Proposed Variance(s) (By-law 001-2021):

1. To permit access stairs, open and unenclosed, to encroach to a maximum of **0.6 m** into the minimum required interior side yard setback of **1.2 m** for a side entrance into a dwelling for Secondary Suite. (A minimum setback of **0.6 m** is proposed from the interior side lot line to access stairs, open and unenclosed).
2. To permit a minimum setback of **0.79 m** from the southerly interior side lot line to a residential accessory structure (shed) with a height of **3.14 m** measured from established grade to the mid-point of the roof.
3. To permit a minimum setback of **1.22 m** from the rear lot line to a residential accessory structure (shed) with a height of **3.14 m** measured from established grade to the mid-point of the roof.
4. To permit a minimum setback of **1.22 m** from the rear lot line to an outdoor swimming pool (measured to the inside wall).
5. To permit a minimum setback of **1.72 m** from the northerly interior side lot line to a residential accessory structure (cabana) with a height of **3.45 m** measured from established grade to the mid-point of the roof.
6. To permit a residential accessory structure (shed) with a height of **3.14 m** measured from established grade to the mid-point of the roof.
7. To permit a residential accessory structure (cabana) with a height of **3.45 m** measured from established grade to the mid-point of the roof.

By-Law Requirement(s) (By-law 001-2021):

1. Access stairs, open and unenclosed, shall not encroach more than **0.3 m** is into the minimum required interior side yard setback of **1.2 m** for a side entrance into a dwelling for a Secondary Suite. (A minimum setback of **0.9 m** is required from the interior side lot line to access stairs, open and unenclosed).
2. A minimum setback of **2.4 m** is required from the southerly interior side lot line to a residential accessory structure (shed) with a height greater than **3.0 m**.
3. A minimum setback of **2.4 m** is required from the rear lot line to a residential accessory structure (shed) with a height greater than **3.0 m**.
4. A minimum setback of **1.5 m** from the rear lot line to an outdoor swimming pool is required (measured to the inside wall).
5. A minimum setback of **2.4 m** is required from the rear lot line to a residential accessory structure (cabana) with a height greater than **3.0 m**.
6. A maximum height of **3.0 m** is permitted for a residential accessory structure.
7. A maximum height of **3.0 m** is permitted for a residential accessory structure.

Official Plan:

Vaughan Official Plan 2010 ('VOP 2010'): "Low-Rise Residential"

Comments:

The Owner is requesting relief to permit a proposed entrance to a secondary suite within a basement along with an existing shed, existing cabana, and an existing in-ground swimming pool in the rear yard, with the above-noted variances.

Development Planning Department Staff ('Development Planning Staff') have no objection to the requested variance for an encroachment into the required interior side yard setback for the proposed stairs to the basement unit (Variance 1). The secondary suite (basement) door is proposed to be located on the south wall of the dwelling in the interior side yard, below grade. The door would be accessed via a sunken landing with

eleven (11) descending risers on the landing's east side. In addition to providing access to the secondary suite, the lowered stair and landing combination would maintain the western interior side yard's ability to facilitate exterior access between the front and rear yards, albeit in a more limited way. The width is also sufficient to provide for maintenance access for the fence and the land between it and the below grade stairway. As the stairs and landing would be below grade, no encroachment onto the abutting property is anticipated to conduct maintenance on the proposed features. The Development Engineering Department has reviewed the proposed landing and stairs and is satisfied that drainage will be maintained.

Development Planning Staff have no objection to the request to permit a reduced interior side yard setback (Variance 2), a reduced rear yard setback (Variance 3), as well as an increased maximum height (Variance 6) for the existing shed. The requested 0.14 m increase to maximum height permitted for an accessory structure (shed) is negligible from a visual perspective when paired with the modest footprint and hip roof design. The shed exists in the south-west corner of the rear yard and complies with maximum lot coverage requirements of the Zoning By-law for accessory buildings and structures. Its modest footprint ensures the length of wall facing the abutting lot lines is minimal. Sufficient space remains between the shed and fence for maintenance access. Therefore, the shed is not anticipated to have adverse use (privacy) or massing impacts on the neighbouring property to the south (12 Venkata Drive) or properties to the west (82 and 88 Torrey Pines Road), and the 0.79 m minimum interior side yard setback from the accessory structure provides sufficient space for maintenance and access purposes.

Development Planning Staff have no objection to Variance 4 for the in-ground swimming pool. A 0.28 m reduction to the required rear lot line setback for the existing in-ground swimming pool is proposed. There are existing cedars planted along the rear yard lot line which helps provide a vegetative buffer between the existing pool and rear lot line to buffer any adverse impacts the modest reduction may generate, which is not anticipated to be perceptible. The requested rear yard setback provides sufficient space for safe maintenance access of the pool.

Development Planning Staff have no objection to the request to permit a reduced interior side yard setback (Variance 5) and an increased maximum height (0.45 m measured to the mid-point of the roof) for the existing cabana (Variance 7). The cabana exists in the north-east corner of the rear yard and is modest in size and it complies with maximum lot coverage requirements of the Zoning By-law for accessory buildings and structures. The structure is fully open on all four (4) sides, the peak of the gable roof faces the rear lot line, and it will be partially screened by cedar trees planted along the side (north) lot line. All these features assist in alleviating any perceived concerns with the massing of the structure on the neighbouring property, 20 Venkata Drive, to the side (north) as a result of the requested height increase. No adverse impacts are anticipated to yards to the rear (west) due to the spatial separation the cabana maintains to the rear lot line. As such, the cabana is not anticipated to have adverse use (privacy) or massing impacts on the neighbouring property to the north (20 Venkata Drive) and the 1.72 m minimum interior side yard setback from the accessory structure provides sufficient space for maintenance and access purposes, as well as for the existing cedar plantings.

Accordingly, Development Planning Staff support the requested variances and are of the opinion that the proposal is minor in nature, maintains the general intent and purpose of the Official Plan and Zoning By-law, and is desirable for the appropriate development of the land.

Recommendation:

Development Planning Department Staff recommends approval of the application.

Conditions of Approval:

If the Committee finds merit in the application, the following conditions of approval are recommended:

None.

Comments Prepared by:

Nicholas Del Prete, Planner 1
David Harding, Senior Planner



Prabhdeep Kaur

From: Kristen Regier <Kristen.Regier@trca.ca>
Sent: Wednesday, May 1, 2024 11:08 AM
To: Committee of Adjustment
Subject: [External] RE: A017/24 (16 Venkata Drive) REQUEST FOR COMMENTS, CITY OF VAUGHAN

CAUTION! This is an external email. Verify the sender's email address and carefully examine any links or attachments before clicking. If you believe this may be a phishing email, please use the Phish Alert Button.

Hello,

The subject property at 16 Venkata Drive, Vaughan is not located within TRCA's Regulated Area. TRCA's Planning and Regulatory policy interests are not impacted.

As such, TRCA has no comments on the application.

Best,

Kristen Regier, MA (she / her)

Planner

Development Planning and Permits | Development and Engineering Services
Toronto and Region Conservation Authority (TRCA)

T: [437-880-2129](tel:437-880-2129)

E: kristen.regier@trca.ca

A: [101 Exchange Avenue, Vaughan, ON, L4K 5R6](https://www.trca.ca) | [trca.ca](https://www.trca.ca)



Prabhdeep Kaur

From: Development Services <developmentservices@york.ca>
Sent: Friday, May 10, 2024 12:56 PM
To: Christine Vigneault
Cc: Committee of Adjustment
Subject: [External] RE: A017/24 (16 Venkata Drive) REQUEST FOR COMMENTS, CITY OF VAUGHAN

CAUTION! This is an external email. Verify the sender's email address and carefully examine any links or attachments before clicking. If you believe this may be a phishing email, please use the Phish Alert Button.

Hi Christine,

The Regional Municipality of York has completed its review of the minor variance application – A017/24 (142 Fifth Avenue) and has the following condition:

Prior to final approval of the application, the Owner shall provide to the Region the following documentation to confirm that water and wastewater services are available to the proposed secondary dwelling and have been allocated by the City of Vaughan:

a) a copy of the Council resolution confirming that the City of Vaughan has allocated servicing capacity, specifying the specific source of the capacity, for the proposed secondary dwelling.

b) a copy of an email confirmation by a City of Vaughan staff member stating that the allocation to the subject development remains valid at the time of the request for regional clearance of this condition

Please provide us with a digital copy of the notice of decision for our records.

Many thanks,

Our working hours may be different. Please do not feel obligated to reply outside of your scheduled working hours. Let's work together to help foster healthy work-life boundaries.

Niranjan Rajevan, M.Pl. | Associate Planner, Development Services, Planning and Economic Development, Corporate Services

The Regional Municipality of York | 17250 Yonge Street | Newmarket, ON L3Y 6Z1
1-877-464-9675 ext. 71521 | niranjan.rajevan@york.ca | www.york.ca

Our Values: Integrity, Commitment, Accountability, Respect, Excellence



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SCHEDULE C: PUBLIC & APPLICANT CORRESPONDENCE

None

SCHEDULE D: BACKGROUND

None