

ITEM: 6.6	REPORT SUMMARY MINOR VARIANCE APPLICATION FILE NUMBER A048/24
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Report Date: July 4, 2024

**THIS REPORT CONTAINS COMMENTS FROM THE FOLLOWING
DEPARTMENTS & AGENCIES (SEE SCHEDULE B):**

Additional comments from departments and agencies received after the publication of the report will be made available on the City's [website](#).

Internal Departments <small>*Comments Received</small>	Conditions Required		Nature of Comments
Committee of Adjustment	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>	General Comments
Building Standards (Zoning)	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>	General Comments
Development Planning	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>	Recommend Approval/No Conditions
Development Engineering	Yes <input type="checkbox"/>	No <input type="checkbox"/>	Recommend Approval w/Conditions
Development Finance	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>	General Comments
By-law & Compliance	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>	General Comments

External Agencies <small>*Comments Received</small>	Conditions Required		Nature of Comments <small>*See Schedule B for full comments</small>
Alectra	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>	General Comments
TRCA	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>	General Comments

PUBLIC & APPLICANT CORRESPONDENCE (SEE SCHEDULE C)				
<p>All personal information collected because of this public meeting (including both written and oral submissions) is collected under the authority of the Municipal Act, the Municipal Freedom of Information and Protection of Privacy Act (MFIPPA), the Planning Act and all other relevant legislation, and will be used to assist in deciding on this matter. All personal information (as defined by MFIPPA), including (but not limited to) names, addresses, opinions and comments collected will become property of the City of Vaughan, will be made available for public disclosure (including being posted on the internet) and will be used to assist the Committee of Adjustment and staff to process this application.</p>				
Correspondence Type	Name	Address	Date Received <small>(mm/dd/yyyy)</small>	Summary
Applicant			04/31/2024	Application Cover Letter

BACKGROUND (SCHEDULE D, IF REQUIRED)	
<p>* Background Information contains historical development approvals considered to be related to this file. This information should not be considered comprehensive.</p>	
Application No. (City File)	Application Description <small>(i.e. Minor Variance Application; Approved by COA / OLT)</small>
N/A	N/A

ADJOURNMENT HISTORY	
<p>* Previous hearing dates where this application was adjourned by the Committee and public notice issued.</p>	
Hearing Date	Reason for Adjournment (to be obtained from NOD_ADJ)
N/A	N/A

SCHEDULES	
Schedule A	Drawings & Plans Submitted with the Application
Schedule B	Comments from Agencies, Building Standards & Development Planning
Schedule C (if required)	Public & Applicant Correspondence
Schedule D (if required)	Background



MINOR VARIANCE APPLICATION FILE NUMBER A048/24

CITY WARD #:	2
APPLICANT:	Francesco Cozzolino
AGENT:	Permitguys.ca Inc.
PROPERTY:	108 Jackman Crescent, Woodbridge
ZONING DESIGNATION:	See below.
VAUGHAN OFFICIAL PLAN (2010) DESIGNATION:	Vaughan Official Plan 2010 ('VOP 2010'): "Low-Rise Residential"
RELATED DEVELOPMENT APPLICATIONS:	None
PROPOSAL:	Relief from the Zoning By-law has been requested to permit a proposed walkway in the easterly side yard to accommodate access to a secondary suite. Relief is also required to permit an existing sunroom and shed located in the rear yard.

The following variances have been requested from the City's Zoning By-law:

The subject lands are zoned R4 (EN) Fourth Density Residential Zone (Established Neighbourhood) and subject to the provisions of Exception 14.161 under Zoning By-law 001-2021.

#	Zoning By-law 001-2021	Variance requested
1	An entrance to a secondary suite shall be accessible from the street by an unobstructed hard landscaped surface walkway measuring a minimum of 1.2 m in width, or from a driveway. [5.21.10 b]	To permit an unobstructed hard landscaped surface walkway measuring minimum of 0.86 m to access an entrance to a secondary suite.
2	A maximum lot coverage of 40% is permitted. [Exception 14.161]	To permit a maximum lot coverage of 44.77%
3	A minimum setback of 1.2 m is required from the interior side lot line to a residential accessory structure. (shed). [4.1.2.1a & Exception 14.161]	To permit a minimum setback of 0.48 m from the interior side lot line to a residential accessory structure. (shed).
4	A minimum setback of 0.6 m is required from the rear lot line to a residential accessory structure (shed). [4.1.2.1b & Exception 14.161]	To permit a minimum setback of 0.4 m from the rear lot line to a residential accessory structure (shed).
5	A minimum setback of 7.5 m is required from the rear lot line to the dwelling with a sunroom addition. [Exception 14.161]	To permit a minimum setback of 6.18 m from the rear lot line to a dwelling with a sunroom addition.

HEARING INFORMATION

DATE OF MEETING: Wednesday, July 10, 2024
TIME: 6:00 p.m.
MEETING LOCATION: Vaughan City Hall, Woodbridge Room (2nd Floor), 2141 Major Mackenzie Drive
LIVE STREAM LINK: [Vaughan.ca/LiveCouncil](https://vaughan.ca/LiveCouncil)

PUBLIC PARTICIPATION

If you would like to speak to the Committee of Adjustment at the meeting, either remotely or in person, please complete the [Request to Speak Form](#) and submit to cofa@vaughan.ca

If you would like to submit written comments, please quote file number above and submit by mail or email to:

Email: cofa@vaughan.ca

HEARING INFORMATION

Mail: City of Vaughan, Office of the City Clerk, Committee of Adjustment, 2141 Major Mackenzie Drive, Vaughan, ON, L6A 1T1

To speak electronically, pre-registration is required by completing the [Request to Speak Form](#) on-line and submitting it to cofa@vaughan.ca no later than NOON on the last business day before the meeting.

THE DEADLINE TO REGISTER TO SPEAK ELECTRONICALLY OR SUBMIT WRITTEN COMMENTS ON THE ABOVE NOTED FILE(S) IS NOON ON THE LAST BUSINESS DAY BEFORE THE MEETING.

INTRODUCTION

Staff and Agencies act as advisory bodies to the Committee of Adjustment. The comments contained in this report are presented as recommendations to the Committee.

Section 45(1) of the Planning Act sets the criteria for authorizing minor variances to the City of Vaughan's Zoning By-law. Accordingly, review of the application may consider the following:

- That the general intent and purpose of the by-law will be maintained.
- That the general intent and purpose of the official plan will be maintained.
- That the requested variance(s) is/are acceptable for the appropriate development of the subject lands.
- That the requested variance(s) is/are minor in nature.

Public written and oral submissions relating to this application are taken into consideration by the Committee of Adjustment as part of its deliberations and final decision on this matter.

COMMITTEE OF ADJUSTMENT

Date Public Notice Mailed:	June 26, 2024
Date Applicant Confirmed Posting of Sign:	June 21, 2024
Applicant Justification for Variances: <small>*As provided in Application Form</small>	We do not have the required 1.2M of walkway.
Was a Zoning Review Waiver (ZRW) Form submitted by Applicant: <small>*ZRW Form may be used by applicant in instances where a revised submission is made, and zoning staff do not have an opportunity to review and confirm variances prior to the issuance of public notice.</small>	Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>
COMMENTS:	
None	
Committee of Adjustment Recommended Conditions of Approval:	None

BUILDING STANDARDS (ZONING)

**See Schedule B for Building Standards (Zoning) Comments	
Building Standards Recommended Conditions of Approval:	None

DEVELOPMENT PLANNING

**See Schedule B for Development Planning Comments.	
Development Planning Recommended Conditions of Approval:	None

DEVELOPMENT ENGINEERING

[Link to Grading Permit](#)
 [Link to Pool Permit](#)
 [Link to Curb Curt Permit](#)
 [Link Culvert Installation](#)

The existing concrete patio in the backyard is increasing the lot coverage on the subject property 12%. The added hardscape may have impacts on the City's Storm Water management system. Development Engineering strongly encourages the Owner / Applicant introduce Low-Impact Development (LID) measures (e.g., bioswales, permeable pavers, rain gardens, rain barrels etc.) to reduce the impacts to the stormwater system. Should further information be required, please contact the Development Engineering COA reviewer. The Owner / Applicant has installed interlocking stones on the east and west sideyards as access walkway to the secondary suite. Development Engineering Department does not object to the Minor Variance application A048/24, to permit a basement apartment subject to the following condition(s):

DEVELOPMENT ENGINEERING

[Link to Grading Permit](#)
 [Link to Pool Permit](#)
 [Link to Curb Curt Permit](#)
 [Link Culvert Installation](#)

Development Engineering Recommended Conditions of Approval:	The Owner/Applicant shall submit an application and obtain an approved Grading Permit before initiating any work on the property. The Final Lot Grading and/or Servicing Plan will be required for the Grading Permit Application. Please visit the Permits page of the City of Vaughan's website: https://www.vaughan.ca/about-city-vaughan/departments/development-engineering/permits to apply for a Grading Permit. For any inquiries regarding the Grading Permit, please email DEPermits@vaughan.ca .
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PARKS, FORESTRY & HORTICULTURE (PFH)

No comments received to date.	
PFH Recommended Conditions of Approval:	None

DEVELOPMENT FINANCE

No comment no concerns.	
Development Finance Recommended Conditions of Approval:	None

BY-LAW AND COMPLIANCE, LICENSING AND PERMIT SERVICES

No comment.	
BCLPS Recommended Conditions of Approval:	None

BUILDING INSPECTION (SEPTIC)

No comments received to date.	
Building Inspection Recommended Conditions of Approval:	

FIRE DEPARTMENT

No comments received to date.	
Fire Department Recommended Conditions of Approval:	None

RECOMMENDED CONDITIONS OF APPROVAL SUMMARY

Should the Committee find it appropriate to approve this application in accordance with request and the sketch submitted with the application, as required by Ontario Regulation 200/96, the following conditions have been recommended:

#	DEPARTMENT / AGENCY	CONDITION
1	Development Engineering Rex.bondad@vaughan.ca	The Owner/Applicant shall submit an application and obtain an approved Grading Permit before initiating any work on the property. The Final Lot Grading and/or Servicing Plan will be required for the Grading Permit Application. Please visit the Permits page of the City of Vaughan's website: https://www.vaughan.ca/about-city-vaughan/departments/development-engineering/permits to apply for a Grading Permit. For any inquiries regarding the Grading Permit, please email DEPermits@vaughan.ca .

All conditions of approval, unless otherwise stated, are considered to be incorporated into the approval "if required". If a condition is no longer required after an approval is final and binding, the condition may be waived by the respective department or agency requesting conditional approval. A condition cannot be waived without written consent from the respective department or agency.

IMPORTANT INFORMATION

CONDITIONS: It is the responsibility of the owner/applicant and/or authorized agent to obtain and provide a clearance letter from respective department and/or agency (**see condition chart above for contact**). This letter must be provided to the Secretary-Treasurer to be finalized. All conditions must be cleared prior to the issuance of a Building Permit.

APPROVALS: Making any changes to your proposal after a decision has been made may impact the validity of the Committee's decision.

An approval obtained from the Committee of Adjustment, where applicable, is tied to the building envelope shown on the plans and drawings submitted with the application and subject to the variance approval.

A building envelope is defined by the setbacks of the buildings and/or structures shown on the plans and drawings submitted with the application, as required by Ontario Regulation 200/96. Future development outside of an approved building envelope, where a minor variance was obtained, must comply with the provisions of the City's Zoning By-law.

Elevation drawings are provided to reflect the style of roof (i.e. flat, mansard, gable etc.) to which a building height variance has been applied. Where a height variance is approved, building height is applied to the style of roof (as defined in the City's Zoning By-law) shown on the elevation plans submitted with the application.

Architectural design features that are not regulated by the City's Zoning By-law are not to be considered part of an approval unless specified in the Committee's decision.

DEVELOPMENT CHARGES: That the payment of the Regional Development Charge, if required, is payable to the City of Vaughan before issuance of a building permit in accordance with the Development Charges Act and the Regional Development Charges By-law in effect at the time of payment.

That the payment of the City Development Charge, if required, is payable to the City of Vaughan before issuance of a building permit in accordance with the Development Charges Act and the City's Development Charges By-law in effect at the time of payment.

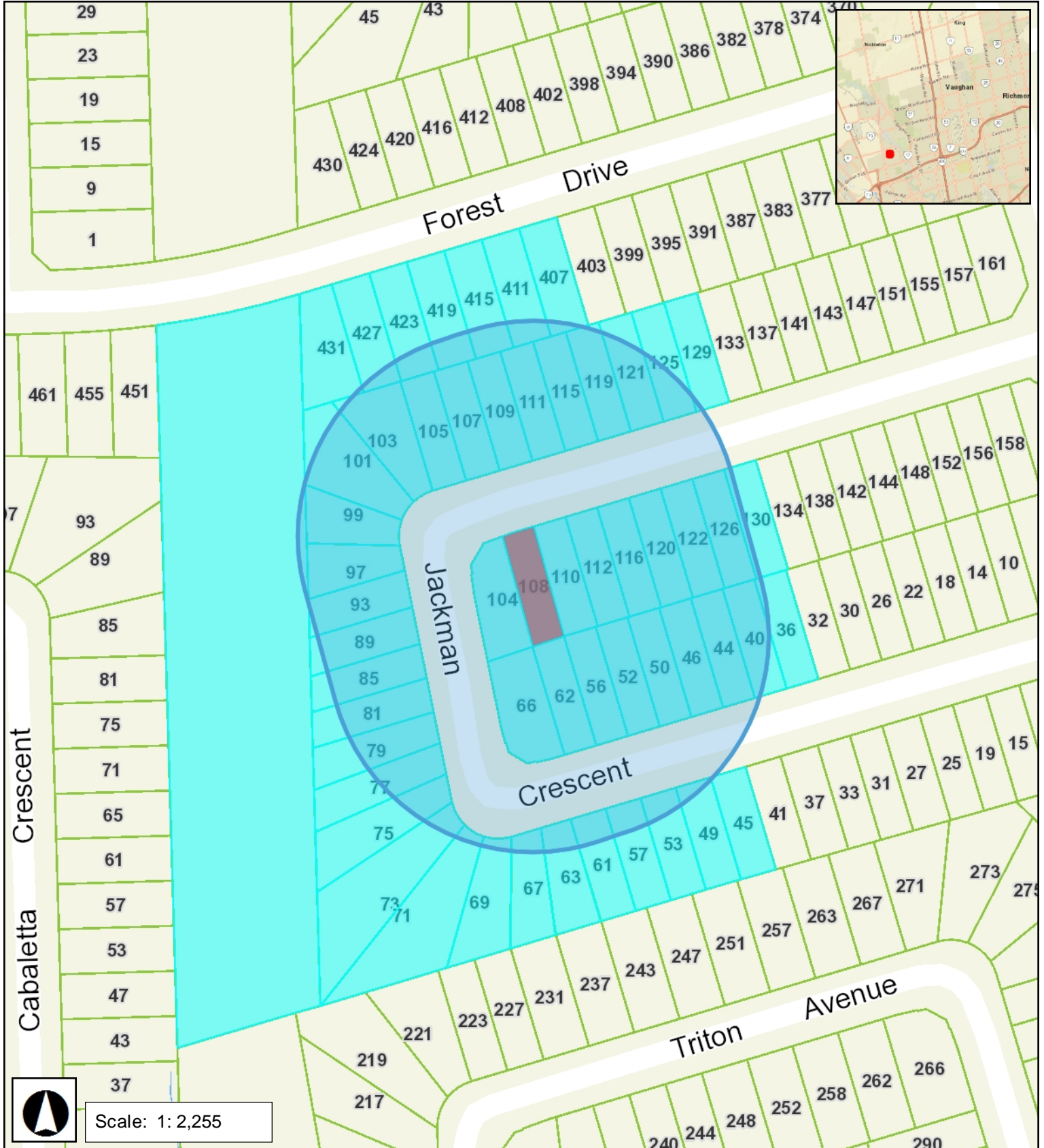
That the payment of the Education Development Charge if required, is payable to the City of Vaughan before issuance of a building permit in accordance with the Development Charges Act and the Boards of Education By-laws in effect at the time of payment

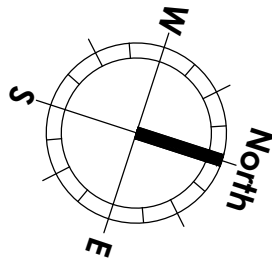
That the payment of Special Area Development charge, if required, is payable to the City of Vaughan before issuance of a building permit in accordance with the Development Charges Act and The City's Development Charge By-law in effect at the time of Building permit issuance to the satisfaction of the Reserves/Capital Department.

NOTICE OF DECISION: If you wish to be notified of the decision in respect to this application or a related Ontario Land Tribunal (OLT) hearing you must complete a Request for Decision form and submit to the Secretary Treasurer (ask staff for details). In the absence of a written request to be notified of the Committee's decision you will **not** receive notice.

SCHEDULE A: DRAWINGS & PLANS

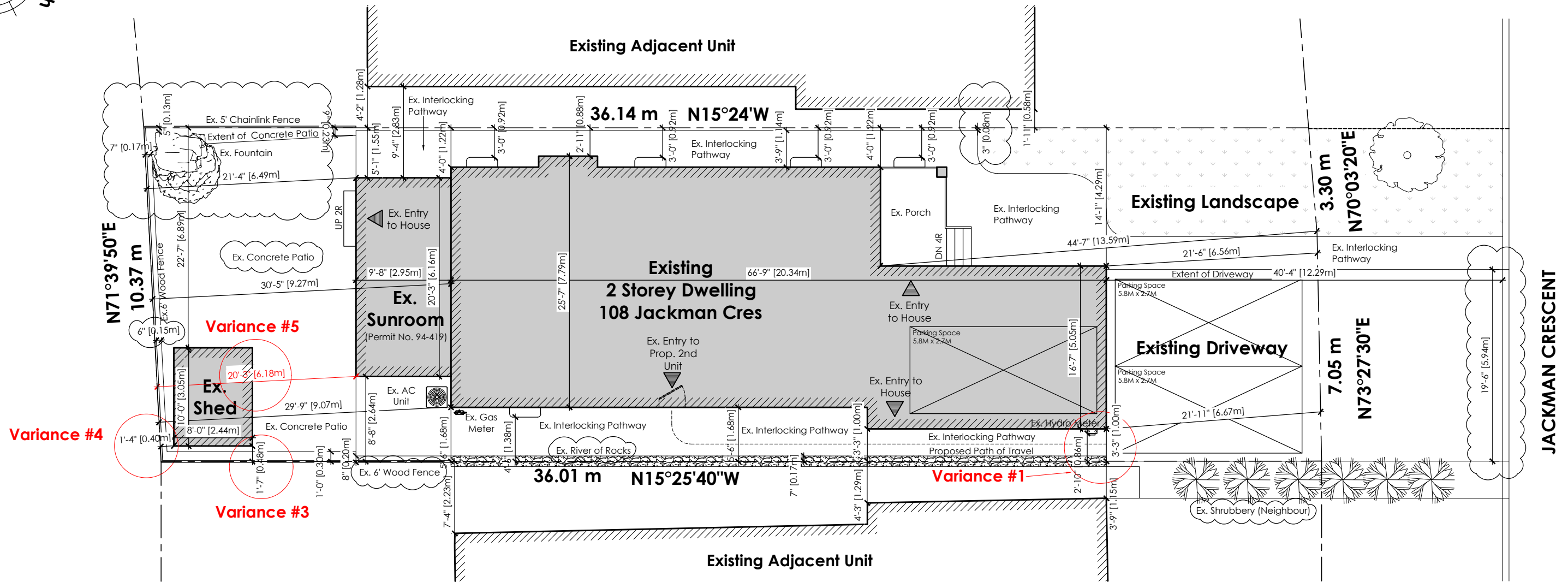
108 Jackman Crescent Woodbridge





RECEIVED

By providel at 12:59 pm, May 31, 2024



Accessory Basement Apartment Permit

Site Plan

General notes

- All dimensions to be checked and verified on site prior to commencement of work. Any discrepancies shall be brought to the attention of permitguys prior to continuation of work.
- The contractor shall take all precautionary measures under the occupational health and safety act as required by the ministry of labour.
- All work shall be done in accordance with the minimum standards and specifications of the municipality's engineering department.
- All work in the municipal road allowance shall meet the minimum standards and specifications of the municipality's engineering department. The contractor is required to obtain & pay for permit to work in municipal R.O.W.
- Prior to the commencing any work on the installation of services & grading, an approved set of plans and specifications must be available on the job site and shall remain there while work is being done.
- The owners of the utilities must be informed at least two weeks prior to construction on any existing municipal road allowance. All existing underground utilities within the limits of construction shall be located and marked. Any utilities, damaged or disturbed during construction, shall be repaired or replaced to the satisfaction of the governing body at the contractors expense.
- Prior to commencing any construction, all sewer outlet information, benchmarks, elevations, dimensions and grades must be checked by the contractor and verified and any discrepancies reported to the engineer.
- The contractor is responsible for ensuring that there is no interruption of any surface or subsurface drainage flow that would adversely affect neighboring properties

Legal Information

LOT 34, PART 2
 PLAN OF SURVEY OF LOTS 31, 32, 33 & 34
 REGISTERED PLAN 65M-2235,
 TOWN OF VAUGHAN
 REGIONAL MUNICIPALITY OF YORK

Scope of Work

Convert basement to basement apartment.

Existing Dwelling

- More than 5 year old
- Less than 5 year old

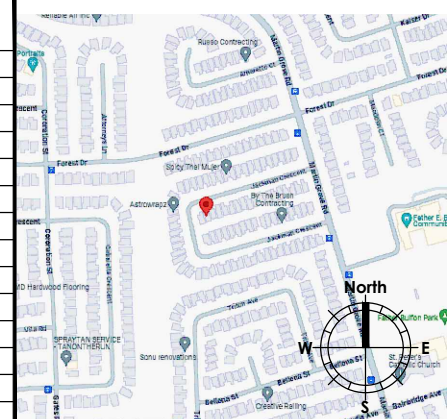
Revision Block

- Illustrated Ex. Shrubbery
 - Illustrated full extent of driveway + width
 - Illustrated Ex. River of Rocks
 - Illustrated Ex. Rock Fountain
 - Illustrated Ex. Concrete in Rear Yard
 - Illustrated Ex. Fencing
- Revised May 31 2024

Variance #2

Site Statistics (All Units in Metric)

Lot Information		Ground Floor GFA	
Lot Depth	36.14	Ground Floor GFA	102.3
Lot Frontage	10.35	Second Floor GFA	100.0
Lot Area	374.00	Total	202.3
Zone	R4 - 161	Basement Area	95.4
Lot Coverage		Accessory APT.	89.7
Dwelling Area	135.57	Accessory APT.(%)	30.1%
Ex. Sunroom	18.15		
Ex. Porch	6.30		
Ex. Shed	7.43		
Total Area	171.84		
Total Coverage (%)	44.77%		



permitguys

80 Clementine Dr, Unit 15
 Brampton ON L6Y 5R5
 Tel: 416 479 9556
 Email: info@permitguys.ca

The undersigned has reviewed and takes responsibility for this design, as well as having the qualifications and requirements mandated by the Ontario Building Code (O.B.C.) to be a Designer.
 Qualification Information
Shaofeng Lei 124174
 Name
 Registration Info. Permitguys.ca Inc. 110882

Title
Site Plan

Project Name
108 Jackman Cres

Project No. 24-07
 Drawn By BT
 Checked By MZ
 Date 2024-03-20
 Scale 3/32"=1'-0"

Municipality
Woodbridge, ON
 File Name
 108 JACKMAN CRES_V9

Sheet No.
A1

**SCHEDULE B:
COMMENTS FROM AGENCIES, BUILDING STANDARDS &
DEVELOPMENT PLANNING**

Internal Departments <small>*Comments Received</small>	Conditions Required		Nature of Comments
Building Standards (Zoning)	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>	General Comments
Development Planning	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>	Recommend Approval/No Conditions

External Agencies <small>*Comments Received</small>	Conditions Required		Nature of Comments <small>*See Schedule B for full comments</small>
Alectra	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>	General Comments
TRCA	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>	General Comments

Date: April 24th 2024

Attention: Christine Vigneault

RE:

File No.: A048-24

Related Files:

Applicant Francesco Cozzolino

Location 108 Jackman Crescent



Discover the possibilities

COMMENTS:

- We have reviewed the proposed Variance Application and have no comments or objections to its approval.
- We have reviewed the proposed Variance Application and have no objections to its approval, subject to the following comments (attached below).
- We have reviewed the proposed Variance Application and have the following concerns (attached below).

Alectra Utilities (formerly PowerStream) has received and reviewed the proposed Variance Application. This review, however, does not imply any approval of the project or plan.

All proposed billboards, signs, and other structures associated with the project or plan must maintain minimum clearances to the existing overhead or underground electrical distribution system as specified by the applicable standards, codes and acts referenced.

In the event that construction commences, and the clearance between any component of the work/structure and the adjacent existing overhead and underground electrical distribution system violates the Occupational Health and Safety Act, the customer will be responsible for 100% of the costs associated with Alectra making the work area safe. All construction work will be required to stop until the safe limits of approach can be established.

In the event construction is completed, and the clearance between the constructed structure and the adjacent existing overhead and underground electrical distribution system violates the any of applicable standards, acts or codes referenced, the customer will be responsible for 100% of Alectra's cost for any relocation work.

References:

- Ontario Electrical Safety Code, latest edition (Clearance of Conductors from Buildings)
- Ontario Health and Safety Act, latest edition (Construction Protection)
- Ontario Building Code, latest edition (Clearance to Buildings)
- PowerStream (Construction Standard 03-1, 03-4), attached
- Canadian Standards Association, latest edition (Basic Clearances)

If more information is required, please contact either of the following:

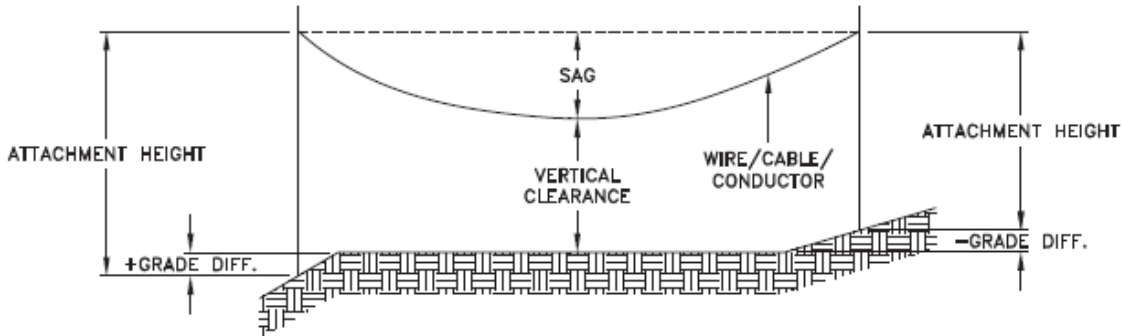
Mr. Stephen Cranley, C.E.T
Supervisor, Distribution Design, ICI & Layouts (North)
Phone: 1-877-963-6900 ext. 31297

E-mail: stephen.cranley@alectrautilities.com

Mitchell Penner
Supervisor, Distribution Design-Subdivisions
Phone: 416-302-6215

Email: Mitchell.Penner@alectrautilities.com

LOCATION OF WIRES, CABLES OR CONDUCTORS	SYSTEM VOLTAGE			
	SPAN GUYS AND COMMUNICATIONS WIRES	UP TO 600V AND NEUTRAL	4.16/2.4kV TO 27.6/16kV (SEE NOTE 1)	44kV
MINIMUM VERTICAL CLEARANCES (SEE NOTE 2)				
OVER OR ALONGSIDE ROADS, DRIVEWAYS OR LANDS ACCESSIBLE TO <u>VEHICLES</u>	442cm	442cm	480cm	520cm
OVER GROUND ACCESSIBLE TO <u>PEDESTRIANS AND BICYCLES ONLY</u>	250cm	310cm	340cm	370cm
ABOVE TOP OF RAIL AT <u>RAILWAY CROSSINGS</u>	730cm	730cm	760cm	810cm



MINIMUM ATTACHMENT HEIGHT = MAXIMUM SAG
 + MINIMUM VERTICAL CLEARANCE (FROM ABOVE TABLE)
 ± GRADE DIFFERENCE
 + 0.3m (VEHICLE OR RAILWAY LOCATION)
 + SNOW DEPTH (PEDESTRIAN LOCATION, SEE NOTE 3)

NOTES:

1. THE MULTIGROUNDED SYSTEM NEUTRAL HAS THE SAME CLEARANCE AS THE 600V SYSTEM.
2. THE VERTICAL CLEARANCES IN THE ABOVE TABLE ARE UNDER MAXIMUM SAG CONDITIONS.
3. REFER TO CSA STANDARD C22.3 No.1, ANNEX D FOR LOCAL SNOW DEPTH VALUES.
4. ALL CLEARANCES ARE IN ACCORDANCE TO CSA STANDARD C22.3.

CONVERSION TABLE

METRIC	IMPERIAL (APPROX)
810cm	27'-0"
760cm	25'-4"
730cm	24'-4"
520cm	17'-4"
480cm	16'-0"
442cm	15'-5"
370cm	12'-4"
340cm	11'-4"
310cm	10'-4"
250cm	8'-4"

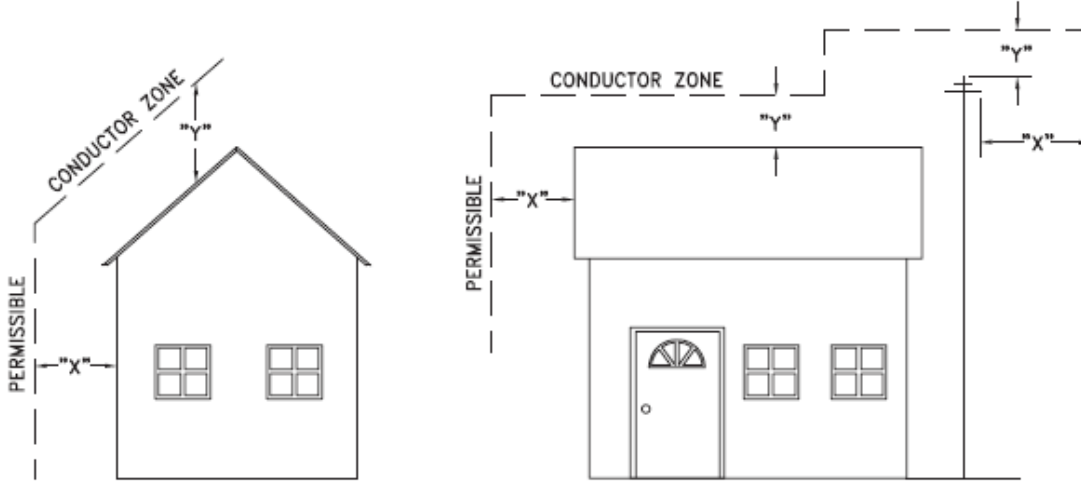
REFERENCES

SAGS AND TENSIONS | SECTION 02

MINIMUM VERTICAL CLEARANCES OF WIRES, CABLES AND CONDUCTORS ABOVE GROUND OR RAILS

ORIGINAL ISSUE DATE: 2010-DEC-24 REVISION NO: R1 REVISION DATE: 2012-JAN-09

Certificate of Approval	
This construction Standard meets the safety requirements of Section 4 of Regulation 22/04	
Joe Crozier, P.Eng.	2012-JAN-09
Name	Date
P.Eng. Approval By:	Joe Crozier



VOLTAGE	MINIMUM HORIZONTAL CLEARANCE UNDER MAXIMUM SWING CONDITIONS DIMENSION "X" (SEE NOTES 1, 3 & 4)	MINIMUM VERTICAL CLEARANCE UNDER MAXIMUM DESIGN SAG CONDITIONS DIMENSION "Y" (SEE NOTES 1, 2, 4 & 5)
0-600V AND NEUTRAL	100cm	250cm
4.16/2.4 TO 44kV	300cm	480cm

NOTES

1. UNDER NO CIRCUMSTANCES SHALL A CONDUCTOR BE PERMITTED TO PENETRATE THE ENVELOPE SHOWN BY THE DOTTED LINE.
2. THE VERTICAL CLEARANCES ARE UNDER CONDITIONS OF MAXIMUM DESIGN SAG.
3. THE HORIZONTAL CLEARANCES ARE UNDER CONDITIONS OF MAXIMUM SWING. WHERE THE CONDUCTOR SWING IS NOT KNOWN A HORIZONTAL CLEARANCE OF 480CM SHALL BE USED.
4. BUILDINGS THAT EXCEED 3 STOREYS OR 15M IN HEIGHT, THE MINIMUM HORIZONTAL CLEARANCE OF THE SECONDARY CONDUCTORS SHOULD BE INCREASED TO 300cm WHERE IT IS NECESSARY TO ALLOW FOR THE RAISING OF LADDERS BY LOCAL FIRE DEPARTMENTS.
5. IN SITUATIONS SUCH AS MULTI-LEVEL GARAGES, WHERE ROOFS ARE NORMALLY USED BY PERSONS AND VEHICLES, THE VERTICAL CLEARANCES OF POWERSTREAM STANDARD 03-1 SHALL APPLY.
6. DISTRIBUTION LINES CONSTRUCTED NEAR BUILDINGS SHALL BE BUILT TO AVOID OVERHANG WHEREVER POSSIBLE. WHERE LINES MUST BE CONSTRUCTED OVER OR ADJACENT TO BUILDINGS THE APPLICABLE HORIZONTAL AND VERTICAL CLEARANCES SHALL BE AT CONDITIONS OF MAXIMUM CONDUCTOR SWING AND MAXIMUM SAG. THE ABOVE CLEARANCES ARE DESIGNED TO PREVENT PERSONS ON OR IN BUILDINGS AS WELL AS EXTERNAL MACHINERY USED IN CONJUNCTION WITH A BUILDING TO COME IN CONTACT WITH CONDUCTORS. EFFORTS SHOULD BE MADE TO INCREASE THESE CLEARANCES WHERE POSSIBLE.
7. ALL CLEARANCES ARE IN ACCORDANCE TO CSA C22.3 NO.1-06 (TABLE-9).

METRIC	IMPERIAL (APPROX)
480cm	16'-0"
300cm	10'-0"
250cm	8'-4"
100cm	3'-4"

MINIMUM VERTICAL & HORIZONTAL CLEARANCES OF CONDUCTORS FROM BUILDINGS OR OTHER PERMANENT STRUCTURES (CONDUCTORS NOT ATTACHED TO BUILDINGS)

Certificate of Approval
This construction Standard meets the safety requirements of Section 4 of Regulation 22/04
Debbie Dadwani, P.Eng. 2010-MAY-05
Name Date
P. Eng. Approval By: *D. Dadwani*

ORIGINAL ISSUE DATE: 2010-MAY-05 REVISION NO: REVISION DATE:
PS\System Planning and Standards\Standard Design\PowerStream Standards\PowerStream Standards working files\Section 3.3-6\DWG 03-4 R0 May 5, 2010.dwg, 5/5/2010 10:22:02 AM, Adobe PDF

To: Committee of Adjustment

From: Catherine Saluri, Building Standards Department

Date: June 7, 2024

Applicant: Francesco Cozzolino

Location: 108 Jackman Crescent
Plan 65M2235 Part of Lot 34

File No.(s): A048/24

Zoning Classification:

The subject lands are zoned R4 (EN) Fourth Density Residential Zone (Established Neighbourhood) and subject to the provisions of Exception 14.161 under Zoning By-law 001-2021.

#	Zoning By-law 001-2021	Variance requested
1	An entrance to a secondary suite shall be accessible from the street by an unobstructed hard landscaped surface walkway measuring a minimum of 1.2 m in width, or from a driveway. [5.21.10 b]	To permit an unobstructed hard landscaped surface walkway measuring minimum of 0.86 m to access an entrance to a secondary suite.
2	A maximum lot coverage of 40% is permitted. [Exception 14.161]	To permit a maximum lot coverage of 44.77%
3	A minimum setback of 1.2 m is required from the interior side lot line to a residential accessory structure. (shed). [4.1.2.1a & Exception 14.161]	To permit a minimum setback of 0.48 m from the interior side lot line to a residential accessory structure. (shed).
4	A minimum setback of 0.6 m is required from the rear lot line to a residential accessory structure (shed). [4.1.2.1b & Exception 14.161]	To permit a minimum setback of 0.4 m from the rear lot line to a residential accessory structure (shed).
5	A minimum setback of 7.5 m is required from the rear lot line to the dwelling with a sunroom addition. [Exception 14.161]	To permit a minimum setback of 6.18 m from the rear lot line to a dwelling with a sunroom addition.

Staff Comments:

Stop Work Order(s) and Order(s) to Comply:

There are no outstanding Orders on file.

Building Permit(s) Issued:

Building Permit Application No. 2023 - 130141 has been submitted for a Secondary Suite in an existing dwelling.

Other Comments:

Zoning By-law 001-2021	
1	The Agent has confirmed that the height of the existing shed is 1.88 m.
2	Eaves and gutters appurtenant to the existing shed shall not encroach more than 0.5 m into a minimum required yard and shall not extend beyond the limits of the property.

General Comments	
1	The applicant shall be advised that additional variances may be required upon review of detailed drawing for building permit.

2	The Applicant shall be advised that drawings submitted for minor variance and building permit shall match.
3	Variances identified and comments provided are based on drawings submitted for minor variance.

Conditions of Approval:

If the committee finds merit in the application, the following conditions of approval are recommended.

None

* Comments are based on the review of documentation supplied with this application.

To: Christine Vigneault, Committee of Adjustment Secretary Treasurer
From: Nancy Tuckett, Director of Development Planning
Date: July 2, 2024
Name of Owner: Francesco Cozzolino
Location: 108 Jackman Crescent
File No.(s): A048/24

Proposed Variance(s) (By-law 001-2021):

1. To permit an unobstructed hard landscaped surface walkway measuring minimum of **0.86 m** to access an entrance to a secondary suite.
2. To permit a maximum lot coverage of **44.77%**
3. To permit a minimum setback of **0.48 m** from the interior side lot line to a residential accessory structure (shed).
4. To permit a minimum setback of **0.40 m** from the rear lot line to a residential accessory structure (shed).
5. To permit a minimum setback of **6.18 m** from the rear lot line to a dwelling with a sunroom addition.

By-Law Requirement(s) (By-law 001-2021):

1. An entrance to a secondary suite shall be accessible from the street by an unobstructed hard landscaped surface walkway measuring a minimum of **1.2 m** in width, or from a driveway.
2. A maximum lot coverage of **40%** is permitted.
3. A minimum setback of **1.2 m** is required from the interior side lot line to a residential accessory structure. (shed).
4. A minimum setback of **0.6 m** is required from the rear lot line to a residential accessory structure (shed).
5. A minimum setback of **7.5 m** is required from the rear lot line to the dwelling with a sunroom addition.

Official Plan:

Vaughan Official Plan 2010 ('VOP 2010'): "Low-Rise Residential"

Comments:

The Owner is requesting relief to permit the existing shed and sunroom in the rear yard and to permit a reduced walkway width to a secondary suite entrance with the above noted variances.

The Development Planning Department ('Development Planning') has no objection to Variance 1 for the reduced width of the proposed walkway in the east interior side yard leading to an existing side entrance proposed to be converted into a secondary suite entrance. The walkway is proposed against the east interior side wall of the dwelling. The width of the interior side yard where the walkway and entrance are proposed is 1.68 m. The requested relief is proposed towards the front of the dwelling where the house/garage bumps out towards the east side lot line. The bump out maintains a 1.0 m setback to the interior side lot line, further narrowing to 0.86 m where the existing gas meter is located. Except for where the gas meter is located, the pathway maintains a 1.0 m width. The gas meter is of minimal height, which allows for the passage of larger items over it if needed. Therefore, the reduction of 0.34 m to the required walkway width is minor in nature and remains adequate to facilitate access to the secondary suite entrance at the side of the dwelling and the rear yard.

Development Planning has no objection to Variance 2 to permit an increased maximum lot coverage of 44.77%. The proposed 4.77% increase is to accommodate the existing sunroom addition (approximately 4.85%) and accessory shed (approximately 1.98%). Both structures are one storey, and as such provide minimal mass with respect to the surrounding rear yards. The existing dwelling accounts for approximately 36.24% of the

total lot coverage which is well below the 40% maximum lot coverage requirement of the Zoning By-law 001-2021. It is of the opinion of Development Planning that the proposed increase in maximum lot coverage is minor in nature as it does not adversely impact the neighbouring properties or the functionality of the rear yard. The proposal maintains an appropriate area for landscaped rear yard amenity space, access, and drainage, and is not anticipated to adversely impact the abutting properties.

Development Planning has no objection to Variances 3 and 4 to permit the existing accessory structure (shed). Variance 3 is to permit a reduced interior side yard setback of 0.48 m and a reduced rear yard setback of 0.40 m. The shed is modest in mass and complies with maximum height and maximum lot coverage requirements within Zoning By-law 001-2021 for accessory structures. The proposed minimum setbacks from the interior side and rear lot lines for the shed provide sufficient space for maintenance access and are not anticipated to pose significant adverse impacts to the abutting property to the south (62 Jackman Crescent) and the east (110 Jackman Crescent) as there is no overhang over the property line. Potential adverse massing impacts anticipated from the shed wall's proximity to the interior and rear lot lines is further mitigated by the existing tall wooden privacy fence. Development Engineering Department has also reviewed the proposal and is satisfied that drainage will be maintained. As such, Development Planning is of the opinion that the shed will have minor massing and visual (privacy) impacts on the properties to the south and the east.

Variance 5 is to permit a reduced minimum rear yard setback for the existing sunroom (6.18 m). The 1.32 m encroachment into the required rear yard is anticipated to have minimal use and massing impacts on the neighbouring properties to the east (110 Jackman Crescent) and west (104 Jackman Crescent) as appropriate interior side yard setbacks are maintained, and the sunroom is generally in line with the rear wall of the dwelling at 104 Jackman Crescent. The reduction to the rear yard setback will not pose a significant visual impact to, nor impact the function of the abutting rear neighbouring property (62 Jackman Crescent) and will not adversely impact the functionality of the rear yard as sufficient amenity space remains.

Accordingly, Development Planning Department Staff can support the requested variances and is of the opinion that the proposal is minor in nature, maintains the general intent and purpose of the Official Plan and Zoning By-law, and is desirable for the appropriate development of the land.

Recommendation:

Development Planning Department Staff recommends approval of the application.

Conditions of Approval:

If the Committee finds merit in the application, the following conditions of approval are recommended:

None.

Comments Prepared by:

Nicholas Del Prete, Planner I
David Harding, Senior Planner

Prabhdeep Kaur

From: Kristen Regier <Kristen.Regier@trca.ca>
Sent: Wednesday, April 24, 2024 1:15 PM
To: Committee of Adjustment
Subject: [External] RE: A048/24 (108 Jackman Crescent) - REQUEST FOR COMMENTS, CITY OF VAUGHAN

CAUTION! This is an external email. Verify the sender's email address and carefully examine any links or attachments before clicking. If you believe this may be a phishing email, please use the Phish Alert Button.

Hello,

The subject property at 108 Jackman Crescent, Vaughan is not located within TRCA's Regulated Area. TRCA's Planning and Regulatory policy interests are not impacted.

As such, TRCA has no comments on the application.

Best,

Kristen Regier, MA (she / her)

Planner

Development Planning and Permits | Development and Engineering Services
Toronto and Region Conservation Authority (TRCA)

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SCHEDULE C: PUBLIC & APPLICANT CORRESPONDENCE

Correspondence Type	Name	Address	Date Received (mm/dd/yyyy)	Summary
Applicant			04/31/2024	Application Cover Letter



Cover Letter

Project Address: 108 Jackman Cres, Woodbridge, ON, L4L 6P4

Re: In accordance with File A048/24

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The intention of this letter is to further describe the reasoning for the Minor Variance application at 108 Jackman Cres, Woodbridge, ON. This application is being made to request a zoning relief of the side yard setbacks, rear yard setbacks, and lot coverage of the property.

We are seeking to propose a secondary dwelling unit at the basement level. In order to achieve this, the Zoning Bylaw states the following: “The entrance shall be accessible from the street by an unobstructed hard landscaped surface walkway measuring a minimum of 1.2 m in width, or from a driveway” (Section 5.22 – Sentence 10(b)). This includes any window wells, chimneys, or utility equipment.

Also, the maximum permitted lot coverage for the property is 40%, as per the Zoning Bylaw, Exception 14.161.

Finally, the zoning bylaw states the following: A minimum yard of 7.5m is required from the rear lot line to the dwelling [Exception 14.161]

In the case of 108 Jackman Cres, the zoning bylaws cannot be met for the following reasons:

- The existing garage is set back 1.00m from the East side property line, with an existing hydro meter lessening the width to approximately 0.86m.
- The lot coverage with all existing structures is 44.77%.
- The rear yard setback is 6.18m from the existing sunroom.
- The rear and side yard setbacks for the existing shed are 0.40m and 0.48m.

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We believe a minor variance is reasonable for the following reasons:

- The existing exterior door at the East facing side yard along the garage wall currently leads to a concrete stairwell down to the basement. The aim would be to use this as the secondary means of exit for the secondary dwelling unit and access to the coldroom for the homeowner only rather than providing an egress/escape window, which would require larger window wells that can encroach into the side yards.
- The homeowner will occupy the secondary dwelling unit with his children, who currently reside in the main dwelling.
- The extra 4.77% of allowable lot coverage does not pose any major conflicts, as the existing shed is less than 10 sqm and only 1.88m high, as well as the sunroom not being more than 1 storey, does not cause any visual inconveniences for neighboring lots.
- The rear yard setback of the existing sunroom may be less than the allowable 7.50m, however there are several lots along the street which also have similar sunrooms encroaching past the minimum requirement. Also, it hardly interferes with the open space in the rear yard and still allows for ample space. Furthermore, it allows for a great living experience to connect to the outdoors, while enjoying the comfort of an enclosed space.
- The side yard and rear yard setback for the existing shed can be considered amended since the mean height of the shed is only 1.88m, which barely extends up above the fence. The shed is a common pre-built type widely available in department stores, and simply used for gardening and storage purposes.

SCHEDULE D: BACKGROUND

None