

ITEM: 6.9	REPORT SUMMARY MINOR VARIANCE APPLICATION FILE NUMBER A061/24
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Report Date: July 4, 2024

**THIS REPORT CONTAINS COMMENTS FROM THE FOLLOWING
DEPARTMENTS & AGENCIES (SEE SCHEDULE B):**

Additional comments from departments and agencies received after the publication of the report will be made available on the City's [website](#).

Internal Departments <small>*Comments Received</small>	Conditions Required		Nature of Comments
Committee of Adjustment	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>	General Comments
Building Standards (Zoning)	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>	General Comments
Development Planning	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>	Recommend Approval/No Conditions
Development Engineering	Yes <input checked="" type="checkbox"/>	No <input type="checkbox"/>	Recommend Approval w/Conditions
Development Finance	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>	General Comments
Forestry	Yes <input checked="" type="checkbox"/>	No <input type="checkbox"/>	General Comments w/Conditions

External Agencies <small>*Comments Received</small>	Conditions Required		Nature of Comments <small>*See Schedule B for full comments</small>
Alectra	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>	General Comments
TRCA	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>	General Comments
Region of York	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>	General Comments

PUBLIC & APPLICANT CORRESPONDENCE (SEE SCHEDULE C)

All personal information collected because of this public meeting (including both written and oral submissions) is collected under the authority of the Municipal Act, the Municipal Freedom of Information and Protection of Privacy Act (MFIPPA), the Planning Act and all other relevant legislation, and will be used to assist in deciding on this matter. All personal information (as defined by MFIPPA), including (but not limited to) names, addresses, opinions and comments collected will become property of the City of Vaughan, will be made available for public disclosure (including being posted on the internet) and will be used to assist the Committee of Adjustment and staff to process this application.

Correspondence Type	Name	Address	Date Received <small>(mm/dd/yyyy)</small>	Summary
None				

BACKGROUND (SCHEDULE D, IF REQUIRED)

* Background Information contains historical development approvals considered to be related to this file.
This information should not be considered comprehensive.

Application No. (City File)	Application Description <small>(i.e. Minor Variance Application; Approved by COA / OLT)</small>
N/A	N/A

ADJOURNMENT HISTORY

* Previous hearing dates where this application was adjourned by the Committee and public notice issued.

Hearing Date	Reason for Adjournment <small>(to be obtained from NOD_ADJ)</small>
N/A	N/A

SCHEDULES

Schedule A	Drawings & Plans Submitted with the Application
Schedule B	Comments from Agencies, Building Standards & Development Planning
Schedule C (if required)	Public & Applicant Correspondence
Schedule D (if required)	Background



MINOR VARIANCE APPLICATION FILE NUMBER A061/24

CITY WARD #:	5
APPLICANT:	Vivekanand & Rupali Shakergayen
AGENT:	Ravinder Singh
PROPERTY:	215 Anthony Lane, Concord
ZONING DESIGNATION:	See below.
VAUGHAN OFFICIAL PLAN (2010) DESIGNATION:	Vaughan Official Plan 2010 ('VOP 2010'): "Low-Rise Residential"
RELATED DEVELOPMENT APPLICATIONS:	None
PROPOSAL:	Relief from the Zoning By-law is being requested to permit access to a proposed secondary suite.

The following variances have been requested from the City's Zoning By-law:

The subject lands are zoned R4(EN) Fourth Density Residential Zone (Established Neighbourhood) and subject to the provisions of Exception 14.289 under Zoning By-law 001-2021, as amended.

#	Zoning By-law 001-2021	Variance requested
1	The entrance to the secondary suite shall be separate from the main entrance and located on a side wall or rear wall of the dwelling. Section 5.21 10a	To permit the entrance to the secondary suite on the front wall of the dwelling.
2	The entrance to the secondary suite shall not be located closer to the front lot line than the main entrance of the dwelling unit on the abutting lot. Section 5.21 10c	To permit the entrance to the secondary suite to be closer to the front lot line than the main entrance of the dwelling unit on the abutting lot.

HEARING INFORMATION

DATE OF MEETING: Wednesday, July 10, 2024

TIME: 6:00 p.m.

MEETING LOCATION: Vaughan City Hall, Woodbridge Room (2nd Floor), 2141 Major Mackenzie Drive

LIVE STREAM LINK: Vaughan.ca/LiveCouncil

PUBLIC PARTICIPATION

If you would like to speak to the Committee of Adjustment at the meeting, either remotely or in person, please complete the [Request to Speak Form](#) and submit to cofa@vaughan.ca

If you would like to submit written comments, please quote file number above and submit by mail or email to:

Email: cofa@vaughan.ca

Mail: City of Vaughan, Office of the City Clerk, Committee of Adjustment, 2141 Major Mackenzie Drive, Vaughan, ON, L6A 1T1

To speak electronically, pre-registration is required by completing the [Request to Speak Form](#) on-line and submitting it to cofa@vaughan.ca no later than NOON on the last business day before the meeting.

THE DEADLINE TO REGISTER TO SPEAK ELECTRONICALLY OR SUBMIT WRITTEN COMMENTS ON THE ABOVE NOTED FILE(S) IS NOON ON THE LAST BUSINESS DAY BEFORE THE MEETING.

INTRODUCTION

Staff and Agencies act as advisory bodies to the Committee of Adjustment. The comments contained in this report are presented as recommendations to the Committee.

Section 45(1) of the Planning Act sets the criteria for authorizing minor variances to the City of Vaughan's Zoning By-law. Accordingly, review of the application may consider the following:

That the general intent and purpose of the by-law will be maintained.

That the general intent and purpose of the official plan will be maintained.

That the requested variance(s) is/are acceptable for the appropriate development of the subject lands.

That the requested variance(s) is/are minor in nature.

Public written and oral submissions relating to this application are taken into consideration by the Committee of Adjustment as part of its deliberations and final decision on this matter.

COMMITTEE OF ADJUSTMENT

Date Public Notice Mailed:	June 26, 2024
Date Applicant Confirmed Posting of Sign:	TBC (sent follow up to applicant July 3, 2024)
Applicant Justification for Variances: <small>*As provided in Application Form</small>	As per zoning by-law below grade entrance is not permitted on front yard
Was a Zoning Review Waiver (ZRW) Form submitted by Applicant: <small>*ZRW Form may be used by applicant in instances where a revised submission is made, and zoning staff do not have an opportunity to review and confirm variances prior to the issuance of public notice.</small>	Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>
COMMENTS:	
None	
Committee of Adjustment Recommended Conditions of Approval:	None

BUILDING STANDARDS (ZONING)

**See Schedule B for Building Standards (Zoning) Comments	
Building Standards Recommended Conditions of Approval:	None

DEVELOPMENT PLANNING

**See Schedule B for Development Planning Comments.	
Development Planning Recommended Conditions of Approval:	None

DEVELOPMENT ENGINEERING

[Link to Grading Permit](#) [Link to Pool Permit](#) [Link to Curb Curt Permit](#) [Link Culvert Installation](#)

The proposed work by the Owner/Applicant is increasing the lot coverage on the subject property. The added hardscape may have impacts on the City's Storm Water management system. Development Engineering strongly encourages the Owner / Applicant introduce Low-Impact Development (LID) measures (e.g., bioswales, permeable pavers, rain gardens, rain barrels etc.) to reduce the impacts to the stormwater system. Should further information be required, please contact the Development Engineering COA reviewer. The Owner/ Applicant needs to obtain a 'Lot Grading Permit' from the Development Inspection and Lot Grading Division of the City's Development Engineering Department for the proposed basement walkout. Please contact the Development Engineering Reviewer after receiving the Grading Permit to clear the condition. (Condition attached)

Development Engineering Recommended Conditions of Approval:	The Owner/Applicant shall submit an application and obtain an approved Grading Permit before initiating any work on the property. The Final Lot Grading and/or Servicing Plan will be required for the Grading Permit Application. Please visit the Permits page of the City of Vaughan's website: Permits City of Vaughan to apply for a Grading Permit. For any inquiries regarding the Grading Permit, please email DEPermits@vaughan.ca
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PARKS, FORESTRY & HORTICULTURE (PFH)

Recommended condition of approval:

PARKS, FORESTRY & HORTICULTURE (PFH)

PFH Recommended Conditions of Approval:	Applicant must obtain a tree protection permit from Vaughan Forestry. Applicant must also obtain a letter of agreement from their neighbour (209 Anthony Lane) regarding potential negative impacts to their trees.
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DEVELOPMENT FINANCE

No comment no concerns	
Development Finance Recommended Conditions of Approval:	None

BY-LAW AND COMPLIANCE, LICENSING AND PERMIT SERVICES

No comments received to date.	
BCLPS Recommended Conditions of Approval:	None

BUILDING INSPECTION (SEPTIC)

No comments received to date.	
Building Inspection Recommended Conditions of Approval:	None

FIRE DEPARTMENT

No comments received to date.	
Fire Department Recommended Conditions of Approval:	None

RECOMMENDED CONDITIONS OF APPROVAL SUMMARY

Should the Committee find it appropriate to approve this application in accordance with request and the sketch submitted with the application, as required by Ontario Regulation 200/96, the following conditions have been recommended:

#	DEPARTMENT / AGENCY	CONDITION
1	Development Engineering jonal.hall@vaughan.ca	The Owner/Applicant shall submit an application and obtain an approved Grading Permit before initiating any work on the property. The Final Lot Grading and/or Servicing Plan will be required for the Grading Permit Application. Please visit the Permits page of the City of Vaughan's website: Permits City of Vaughan to apply for a Grading Permit. For any inquiries regarding the Grading Permit, please email DEPermits@vaughan.ca
2	Parks, Forestry and Horticulture Operations zachary.quizzetti@vaughan.ca	Applicant must obtain a tree protection permit from Vaugahn Forestry. Applicant must also obtain a letter of agreement from their neighbour (209 Anthony Lane) regarding potential negative impacts to their trees.

All conditions of approval, unless otherwise stated, are considered to be incorporated into the approval "if required". If a condition is no longer required after an approval is final and binding, the condition may be waived by the respective department or agency requesting conditional approval. A condition cannot be waived without written consent from the respective department or agency.

IMPORTANT INFORMATION

CONDITIONS: It is the responsibility of the owner/applicant and/or authorized agent to obtain and provide a clearance letter from respective department and/or agency (**see condition chart above for contact**). This letter must be provided to the Secretary-Treasurer to be finalized. All conditions must be cleared prior to the issuance of a Building Permit.

IMPORTANT INFORMATION

APPROVALS: Making any changes to your proposal after a decision has been made may impact the validity of the Committee's decision.

An approval obtained from the Committee of Adjustment, where applicable, is tied to the building envelope shown on the plans and drawings submitted with the application and subject to the variance approval.

A building envelope is defined by the setbacks of the buildings and/or structures shown on the plans and drawings submitted with the application, as required by Ontario Regulation 200/96. Future development outside of an approved building envelope, where a minor variance was obtained, must comply with the provisions of the City's Zoning By-law.

Elevation drawings are provided to reflect the style of roof (i.e. flat, mansard, gable etc.) to which a building height variance has been applied. Where a height variance is approved, building height is applied to the style of roof (as defined in the City's Zoning By-law) shown on the elevation plans submitted with the application.

Architectural design features that are not regulated by the City's Zoning By-law are not to be considered part of an approval unless specified in the Committee's decision.

DEVELOPMENT CHARGES: That the payment of the Regional Development Charge, if required, is payable to the City of Vaughan before issuance of a building permit in accordance with the Development Charges Act and the Regional Development Charges By-law in effect at the time of payment.

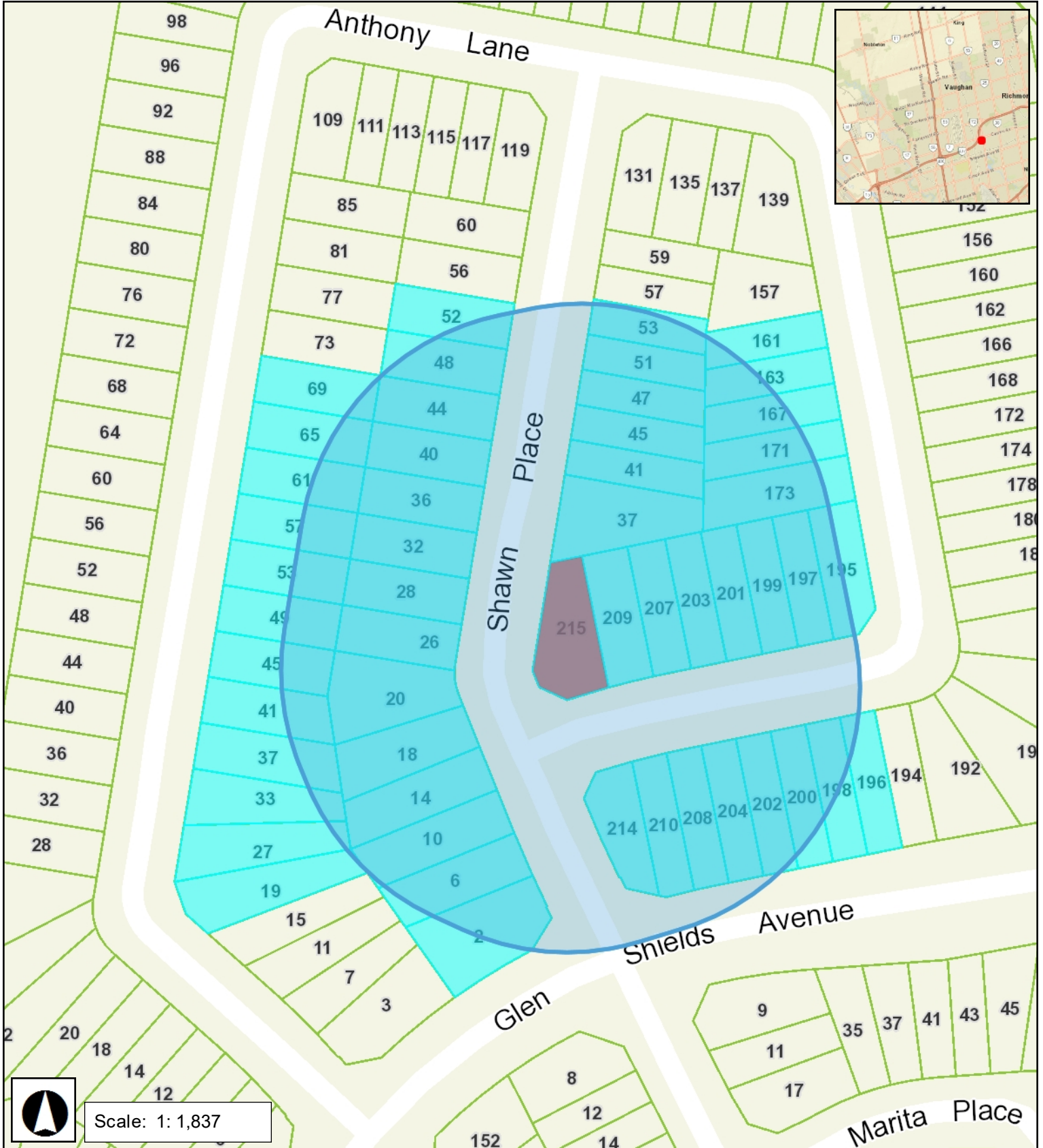
That the payment of the City Development Charge, if required, is payable to the City of Vaughan before issuance of a building permit in accordance with the Development Charges Act and the City's Development Charges By-law in effect at the time of payment.

That the payment of the Education Development Charge if required, is payable to the City of Vaughan before issuance of a building permit in accordance with the Development Charges Act and the Boards of Education By-laws in effect at the time of payment

That the payment of Special Area Development charge, if required, is payable to the City of Vaughan before issuance of a building permit in accordance with the Development Charges Act and The City's Development Charge By-law in effect at the time of Building permit issuance to the satisfaction of the Reserves/Capital Department.

NOTICE OF DECISION: If you wish to be notified of the decision in respect to this application or a related Ontario Land Tribunal (OLT) hearing you must complete a Request for Decision form and submit to the Secretary Treasurer (ask staff for details). In the absence of a written request to be notified of the Committee's decision you will **not** receive notice.

SCHEDULE A: DRAWINGS & PLANS



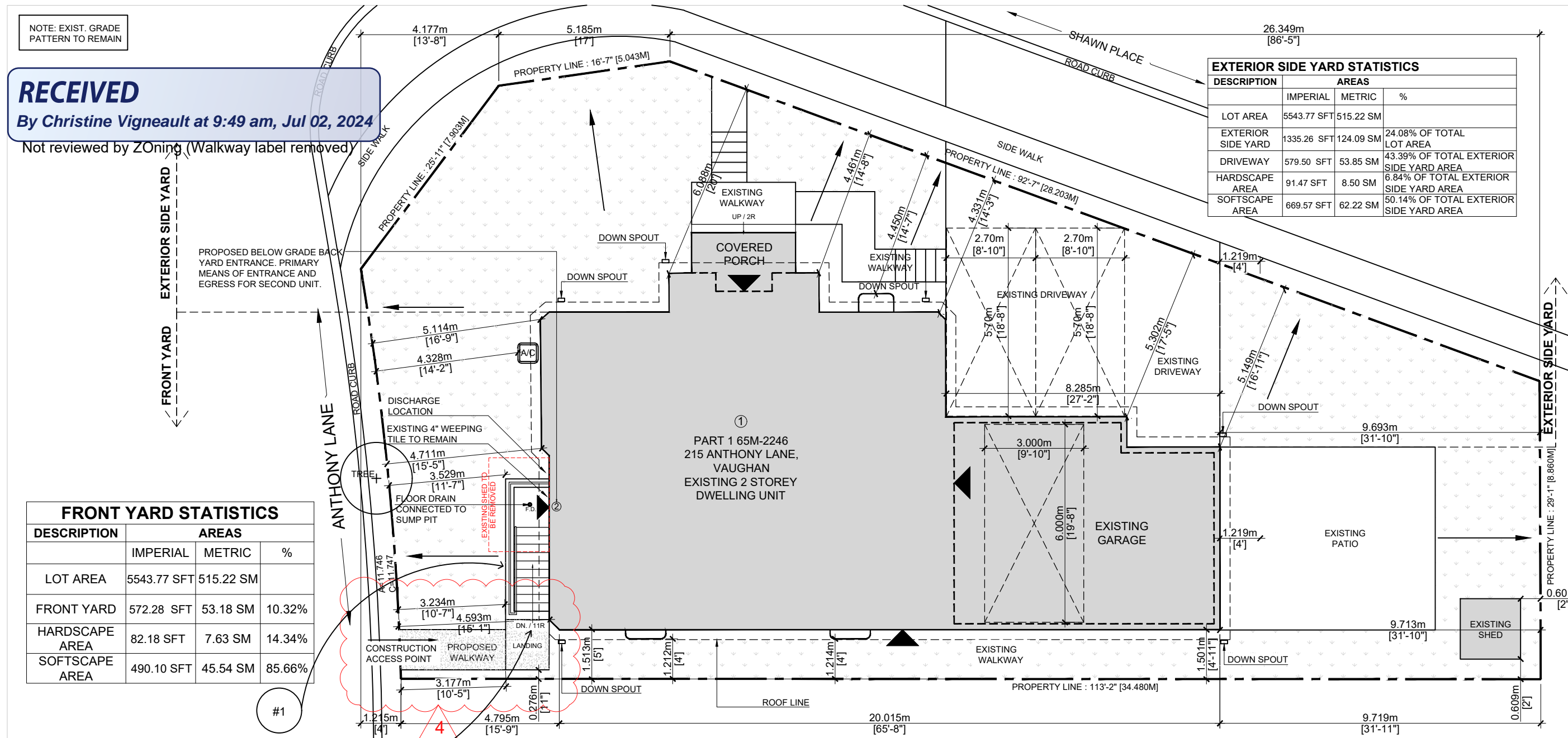
NOTE: EXIST. GRADE PATTERN TO REMAIN

RECEIVED
By Christine Vigneault at 9:49 am, Jul 02, 2024

Not reviewed by ZOning (Walkway label removed)

EXTERIOR SIDE YARD STATISTICS			
DESCRIPTION	AREAS		
	IMPERIAL	METRIC	%
LOT AREA	5543.77 SFT	515.22 SM	
EXTERIOR SIDE YARD	1335.26 SFT	124.09 SM	24.08% OF TOTAL LOT AREA
DRIVEWAY	579.50 SFT	53.85 SM	43.39% OF TOTAL EXTERIOR SIDE YARD AREA
HARDSCAPE AREA	91.47 SFT	8.50 SM	6.84% OF TOTAL EXTERIOR SIDE YARD AREA
SOFTSCAPE AREA	669.57 SFT	62.22 SM	50.14% OF TOTAL EXTERIOR SIDE YARD AREA

FRONT YARD STATISTICS			
DESCRIPTION	AREAS		
	IMPERIAL	METRIC	%
LOT AREA	5543.77 SFT	515.22 SM	
FRONT YARD	572.28 SFT	53.18 SM	10.32%
HARDSCAPE AREA	82.18 SFT	7.63 SM	14.34%
SOFTSCAPE AREA	490.10 SFT	45.54 SM	85.66%



1 SITE PLAN
A-001 SCALE : 3/32" = 1'-0"

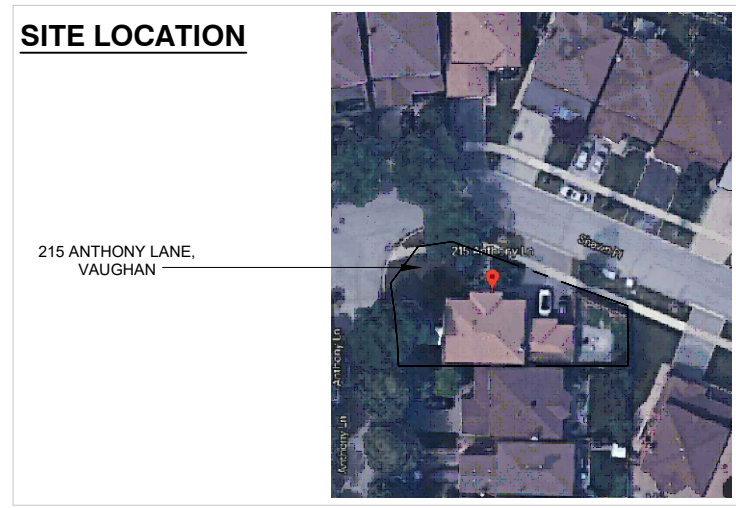
LEGEND
 - - - PROPERTY LINE
 ▲ ENTRANCE & EGRESS

PARKING SPACES PROVIDED
 THREE PARKING SPACES PROVIDED (TWO OUTSIDE & ONE INSIDE THE GARAGE)

AREA STATISTICS	
MAIN FLOOR AREA	= 1304.46 SFT / 121.23 SM
SECOND FLOOR AREA	= 1304.46 SFT / 121.23 SM
TOTAL ABOVE GRADE GFA	= 2608.92 SFT / 242.46 SM
GARAGE AREA	= 402.96 SFT / 37.44 SM
PORCH	= 51.56 SFT / 4.79 SM
BASEMENT	
- SECOND UNIT GFA	= 940.22 SFT / 87.38 SM
- FURNACE AREA	= 34.49 SFT / 3.20 SM
- PRINCIPAL RESIDENCE AREA	= 329.74 SFT / 30.64 SM
TOTAL BASEMENT GFA	= 1304.46 SFT / 121.23 SM
BASEMENT APARTMENT GFA IS	27.85 % OF PRINCIPAL RESIDENCE GFA
TOTAL LOT AREA	: 5543.77 SFT / 515.22 SM

SCOPE OF WORK

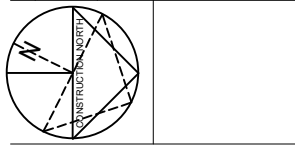
- BASEMENT APARTMENT
- PROPOSED BELOW GRADE SIDE YARD ENTRANCE. PRIMARY MEANS OF ENTRANCE AND EGRESS FOR SECOND UNIT.



RELEASED FOR BUILDING PERMIT
 CONTRACTOR SHALL SITE VERIFY ALL DIMENSIONS AND REPORT DISCREPANCIES IF ANY TO THE CONSULTANT'S BEFORE CONSTRUCTION.
 ALL DRAWINGS AND SPECIFICATIONS ARE THE PROPERTY OF CONSULTANTS AND MUST BE RETURNED AT THE COMPLETION OF WORK.
 THIS DRAWING IS NOT TO BE USED FOR CONSTRUCTION UNLESS SIGNED BY THE ARCHITECT / P.ENG.
 IF THIS SHEET IS NOT 11" x 17", IT IS A REDUCED / ENLARGED PRINT. READ DRAWING ACCORDINGLY.

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 THE COPYRIGHTS TO ALL DESIGNS AND DRAWINGS ARE THE PROPERTY OF ARCHITECT. REPRODUCTION OR USE FOR ANY PURPOSE OTHER THAN THAT AUTHORIZED BY ARCHITECT IS FORBIDDEN.

NO	DATE	REVISION / ISSUED
00	2023.08.07	SCHEMATIC DESIGN
00	2023.10.12	PERMIT APPLICATION
01	2024.01.05	CITY COMMENTS
02	2024.02.23	CITY COMMENTS
03	2024.04.30	CITY COMMENTS
04	2024.05.10	REVISION



OWNER
 VIVEKANAND
 DESIGNER
AEM DESIGNS
 225 - 2980 DREW RD, MISSISSAUGA, ON L4T 0A7
 c: 647.896.9785, e: ravinder@aemdesigns.ca
 www.aemdesigns.ca
 ARCHITECT

C-Architecture Ltd
 202 - 3485 REBECCA ST, OAKVILLE ON L6L 0H4
 c: 905.847.7177, e: info@c-archi.com
 SEAL

ALTERATIONS (SU)

215 ANTHONY LANE, VAUGHAN

SITE PLAN

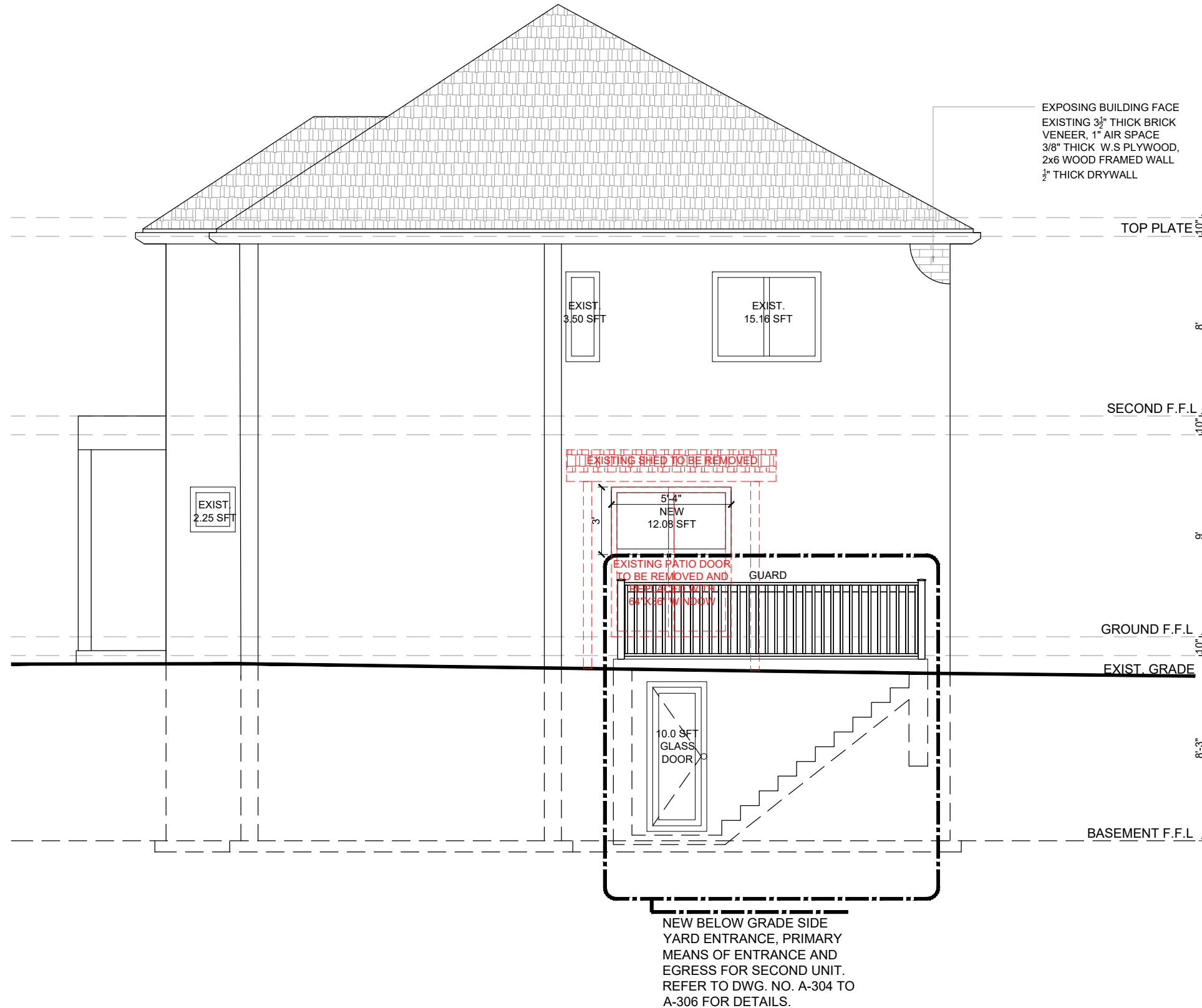
SCALE: 3/32" = 1'-0"
 DATE: 2024.05.10
 PROJECT: 23-592
 DRAWING NO:

A-001

REVISION: 04

RECEIVED

By Christine Vigneault at 8:55 am, May 06, 2024



EXPOSING BUILDING FACE
 EXISTING 3 1/2" THICK BRICK
 VENEER, 1" AIR SPACE
 3/8" THICK W.S PLYWOOD,
 2x6 WOOD FRAMED WALL
 1/2" THICK DRYWALL

RELEASED FOR BUILDING PERMIT
 - CONTRACTOR SHALL SITE VERIFY ALL DIMENSIONS AND REPORT DISCREPANCIES IF ANY TO THE CONSULTANT'S BEFORE CONSTRUCTION.
 - ALL DRAWINGS AND SPECIFICATIONS ARE THE PROPERTY OF CONSULTANTS AND MUST BE RETURNED AT THE COMPLETION OF WORK.
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NO	DATE	REVISION / ISSUED
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00	2023.10.12	PERMIT APPLICATION
01	2024.01.05	CITY COMMENTS
02	2024.02.23	CITY COMMENTS
03	2024.04.30	CITY COMMENTS

OWNER

VIVEKANAND
DESIGNER

AEM DESIGNS
 225 - 2980 DREW RD, MISSISSAUGA,
 ON L4T 0A7
 c: 647.896.9785, e:
 ravinder@aemdesigns.ca
 www.aemdesigns.ca

ARCHITECT

C-Architecture Ltd
 202 - 3485 REBECCA ST, OAKVILLE
 ON L6L 0H4
 c: 905.847.7177, e: info@c-archi.com
 SEAL

ALTERATIONS
(SU)

215 ANTHONY LANE,
VAUGHAN

SOUTH ELEVATION

SCALE: 3/16"=1'-0"

DATE: 2024.04.30

PROJECT: 23-592

DRAWING NO:

A-201

REVISION: 03

SPECIFICATION:

① FOUNDATION WALL INSULATION
EXISTING FOUNDATION WALL, MOISTURE BARRIER, 2 BY 4 STUDS @ 16" O.C., R12 INSULATION, 6 MIL POLYETHYLENE V.B., 1/2" GYPSUM DRYWALL JOINTS TAPED AND SEALED AND PAINTED.

①A FOUNDATION WALL INSULATION
EXISTING FOUNDATION WALL, MOISTURE BARRIER, 2 BY 6 STUDS WOODEN OR STEEL @ 16" O.C OR 24" O.C R22 INSULATION, 6 MIL POLYETHYLENE FOR WOOD STUDS VAPOUR BARRIER., 1/2" OR 5/8" GYPSUM DRYWALL JOINTS TAPED AND SEALED AND PAINTED

② INTERNAL WALLS
1/2" DRY WALL ON BOTH SIDES OF NEW OR EXISTING FRAMED WALL CONSISTING OF 2 BY 4 WOOD STUDS @ 16" O.C. WITH JOINTS TAPED AND SEALED. **SB-3: W1** (WATER RESISTANT GWB ON BATHROOMS' WALLS).

②A INTERNAL WALLS
1/2" TYPE X DRYWALL ON BOTH SIDES OF NEW OR EXISTING FRAMED WALL CONSISTING OF 2 BY 4 WOOD STUDS @ 16" O.C. WITH ABSORPTIVE MATERIAL (INSULATION). **SB-3: W1b. FIRE RESISTANCE : 45 MIN, STC: 34**

②B INTERNAL WALLS
TWO 5/8" TYPE X DRYWALL ON ONE SIDE AND ONE 5/8" TYPE X DRYWALL ON RESILIENT CHANNEL ON THE OTHER SIDE OF NEW OR EXISTING FRAMED WALL CONSISTING OF 2 BY 4 WOOD STUDS @ 16" O.C. WITH ABSORPTIVE MATERIAL (INSULATION). **SB-3: W4a. FIRE RESISTANCE : 1 HOUR, STC: 51**

③ CEILING
1/2" DRY WALL CEILING ATTACHED TO BOTTOM OF JOISTS OF FLOOR ASSEMBLY ABOVE. **SB-3: F3e**

③A CEILING
5/8" TYPE X DRY WALL CEILING(WITH SONOPAN) ATTACHED TO RESILIENT CHANNELS WITH OR WITHOUT ABSORPTIVE MATERIAL IN CAVITY, TO BOTTOM OF JOISTS OF FLOOR ASSEMBLY ABOVE . **FIRE RESISTANCE : 30 MIN WITHOUT INSULATION SB-3: F10c & 45 Min WITH INSULATION SB-3: F10c STC: 51**

③B CEILING
5/8" TYPE X DRY WALL CEILING ATTACHED TO BOTTOM OF JOISTS OF FLOOR ASSEMBLY ABOVE ABSORPTIVE MATERIAL IN CAVITY. **SB-3: F3b. FIRE RESISTANCE : 31 MIN, STC : 30.**

③C CEILING (FOR COLD ROOMS TO BE FINISHED)
DRY WALL CEILING ATTACHED TO BOTTOM OF JOISTS OF FLOOR ASSEMBLY ABOVE. 1/2" REGULAR GYPSUM BOARD WITH ABSORPTIVE MATERIAL IN CAVITY AND R31 INSULATION.

④ 20 MIN. RATED DOOR FOR FURNACE ROOM AND BETWEEN BASEMENT APARTMENT AND BASEMENT AREA WHICH IS PART OF PRINCIPAL RESIDENCE

⑤ EXISTING DUCT WORK LOCATED IN THE CEILING SHALL BE RELOCATED SO THAT THE DIRECTION OF THE HEAT FLOW IS TOWARDS THE FLOOR

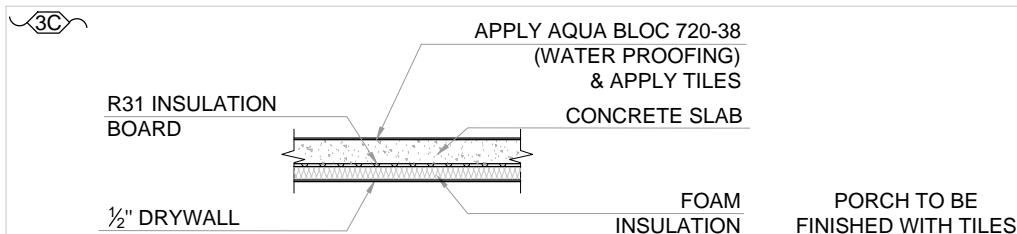
⑥ MECHANICAL VENTILATION
5 L/S EXHAUST FANS IN KITCHEN AND WASHROOM AND 37.5 L.S FOR PRINCIPAL EXHAUST

⑦ INTERCONNECTED AND WIRED SMOKE ALARMS AT EACH FLOOR AND EACH UNIT INCLUDING FINISHED BASEMENT AND LEGAL BASEMENT THROUGH ENTIRE HOUSE ALARM - AS PER OBC 9.10.19.

⑧ PERMANENTLY CONNECTED TO ELECTRICAL CIRCUIT CARBON MONOXIDE DETECTOR AS PER OBC 2012 B 9.33.4.3.

⑨ FOR ALL ELECTRICAL WORK AND PERMIT CONTACT ELECTRICAL SAFETY AUTHORITY

⑩ SELF CONTAINED EMERGENCY LIGHTING UNIT CONFORMING TO CSA C22.2 NO.141, *EMERGENCY LIGHTING EQUIPMENT* - AS PER OBC 9.9.12



SCHEDULES

ROOM FINISH SCHEDULE

RM. NO	ROOM NAME	FLOOR		BASE		WALLS		CEILING		HEIGHT	REMARKS
		MATERIAL	FINISH	MATERIAL	FINISH	MATERIAL	FINISH	MATERIAL	FINISH		
BASEMENT FLOOR											
1	LIVING / DINING / KITCHEN	WOOD	STAIN	VINYL		DRYWALL	PAINT	DRYWALL	PAINT	8'-3"	
2	BEDROOM	WOOD	STAIN	VINYL		DRYWALL	PAINT	DRYWALL	PAINT	8'-3"	
3	STORAGE	WOOD	STAIN	VINYL		DRYWALL	PAINT	DRYWALL	PAINT	8'-3"	
4	CLOSET	WOOD	STAIN	VINYL		DRYWALL	PAINT	DRYWALL	PAINT	8'-3"	
5	RECREATIONAL AREA	WOOD	STAIN	VINYL		DRYWALL	PAINT	DRYWALL	PAINT	8'-3"	
6	BATH	CERAMIC		VINYL		DRYWALL	PAINT	DRYWALL	PAINT	8'-3"	

DOOR SCHEDULE

- ALL INTERIOR DOORS ARE SLAB DOOR 1-3/8 TH. HOLLOW CORE OR SLIDING DOORS. THE SIZES ARE MENTIONED ON THE FLOOR PLAN. THE HEIGHT OF ALL DOORS ARE 80".
- ALL FIRE RATED DOORS SHALL HAVE SELF-CLOSING DEVICES

GENERAL NOTES

- ALL WORK ACCORDING TO ONTARIO BUILDING CODE 2012 AND AHJ BY-LAWS AND STANDARDS
- ALL DIMENSIONS AND LOCATIONS TO BE VERIFIED ON SITE PRIOR TO CONSTRUCTION.
- ALL WOOD USED IN THE CONSTRUCTION SHALL BE SPF NO.1 OR NO.2
- MINIMUM BEARING OF STEEL LINTELS 150 MM.
- MINIMUM BEARING OF WOOD BEAM / LINTELS 90 MM
- MINIMUM BEARING OF WOOD JOISTS 40MM
- VERIFY EXISTING SUPPORT SYSTEM, INCLUDING FOUNDATIONS, FOR LOADS IMPOSED BY THE PROPOSED CONSTRUCTION
- PROVIDE ALL BRACING, SHORING AND NEEDLING NECESSARY FOR THE SAFE EXECUTION OF THIS WORK
- INFORM CITY OF ALL INSPECTION AHEAD OF TIME AND AT EACH STAGE OF CONSTRUCTION

\$₃
4

3 OR 4 WAY SWITCH
E EXISTING
N NEW

INSTALL AT 3'-3" AFF
3 DENOTES 3-WAY SWITCH
SPECIFICATION GRADE WHITE, WITH WHITE COVER PLATE
4 DENOTES 4-WAY SWITCH
SHALL BE INSTALLED AT THE ENDS OF EACH STAIRWAYS

C GFI
WP

15A, 120V DUPLEX RECEPTACLE SPECIFICATION GRADE, WHITE C/W WHITE COVER PLATE
GFI- GROUND FAULT TYPE WP- WEATHERPROOF COVER C - ABOVE COUNTER

INSTALL DUCT TYPE SMOKE DETECTOR IN FURNACE.

NEW CEILING TO BE 45 MIN. FIRE RATED WITH ABSORPTIVE MATERIAL IN CAVITY. RESILIENT METAL CHANNELS @ 610MM O.C. WITH 2 LAYERS OF 12.7 MM TYPE X GYP. BD. ON CEILING SIDE AS PER "TABLE 2, FLOORS & CEILINGS F9h OF SB-3"

2/ 2x10 SPR WOOD LINTEL.

EGRESS WINDOW:
TO BE OPERABLE FROM INSIDE WITHOUT USE OF ANY TOOLS UNOBSTRUCTED OPEN PORTION HAVING A MINIMUM AREA OF 0.35M²/3.76 Sq.Ft WITH NO DIMENSION LESS THAN 1'-3" 380MM)

BULKHEAD / STAIR CEILING 45 MIN. FIRE SEPARATION, 2 LAYERS 1/2" TYPE X GYPSUM (NOTE: NO OPENINGS PERMITTED THIS MEMBRANE ONLY FIRE SEPARATION.

A

RECEPTACLE 50A, 208V, STOVE OR DRYER OUTLET.

⊕

EXHAUST FAN

⊗

FD: FLOOR DRAIN

⊕

SPRINKLER

⊕

EMERGENCY LIGHT

⊕

SD: SMOKE ALARM W/ STROBE LIGHT

⊕

CO: CARBON MONOXIDE ALARM

⊕

LIGHT

⊕

POT LIGHT

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SEAL



ALTERATIONS (SU)

215 ANTHONY LANE, VAUGHAN

GENERAL NOTES

SCALE: N.T.S

DATE: 2023.10.12

PROJECT: 23-592

DRAWING NO:

A-002

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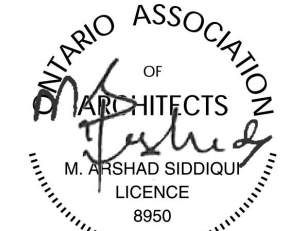
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SEAL



ALTERATIONS
 (SU)

215 ANTHONY LANE,
 VAUGHAN

SOUTH ELEVATION

SCALE: 3/16" = 1'-0"

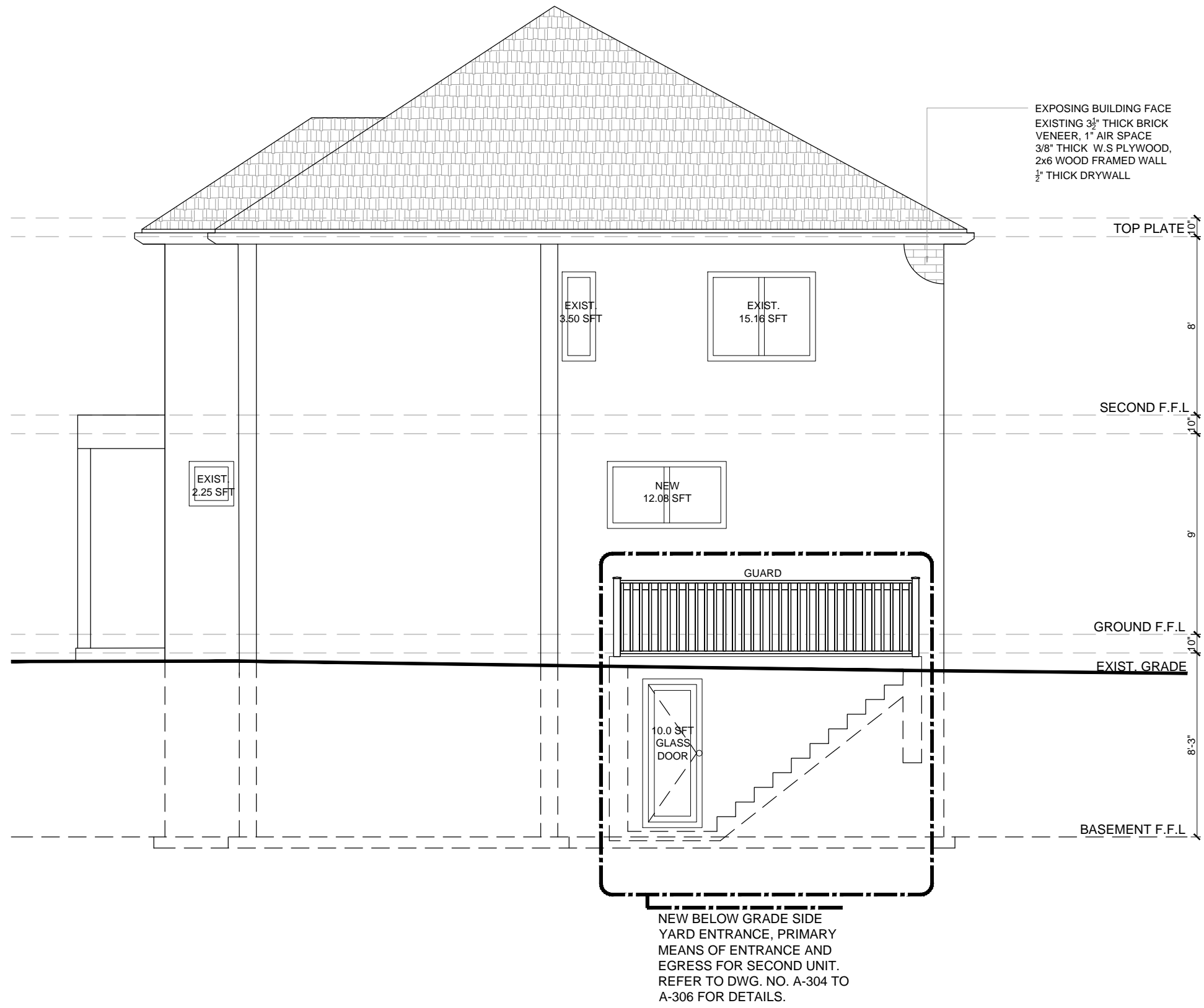
DATE: 2023.10.12

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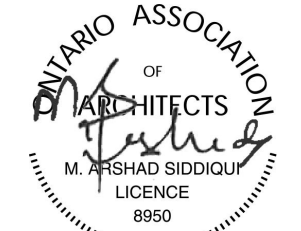


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ALTERATIONS (SU)

215 ANTHONY LANE, VAUGHAN

EAST ELEVATION

SCALE: 3/16" = 1'-0"

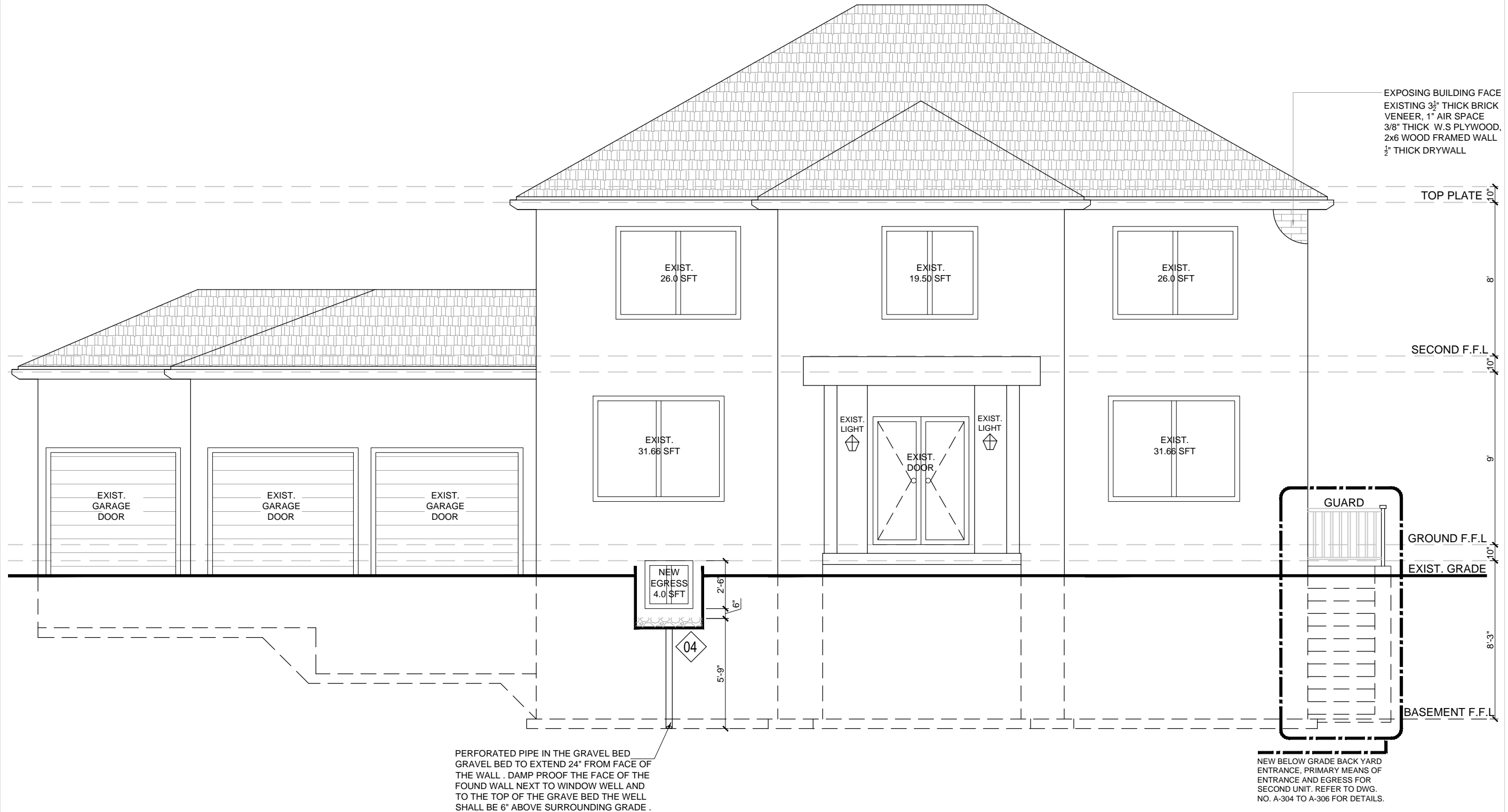
DATE: 2023.10.12

PROJECT: 23-592

DRAWING NO:

A-202

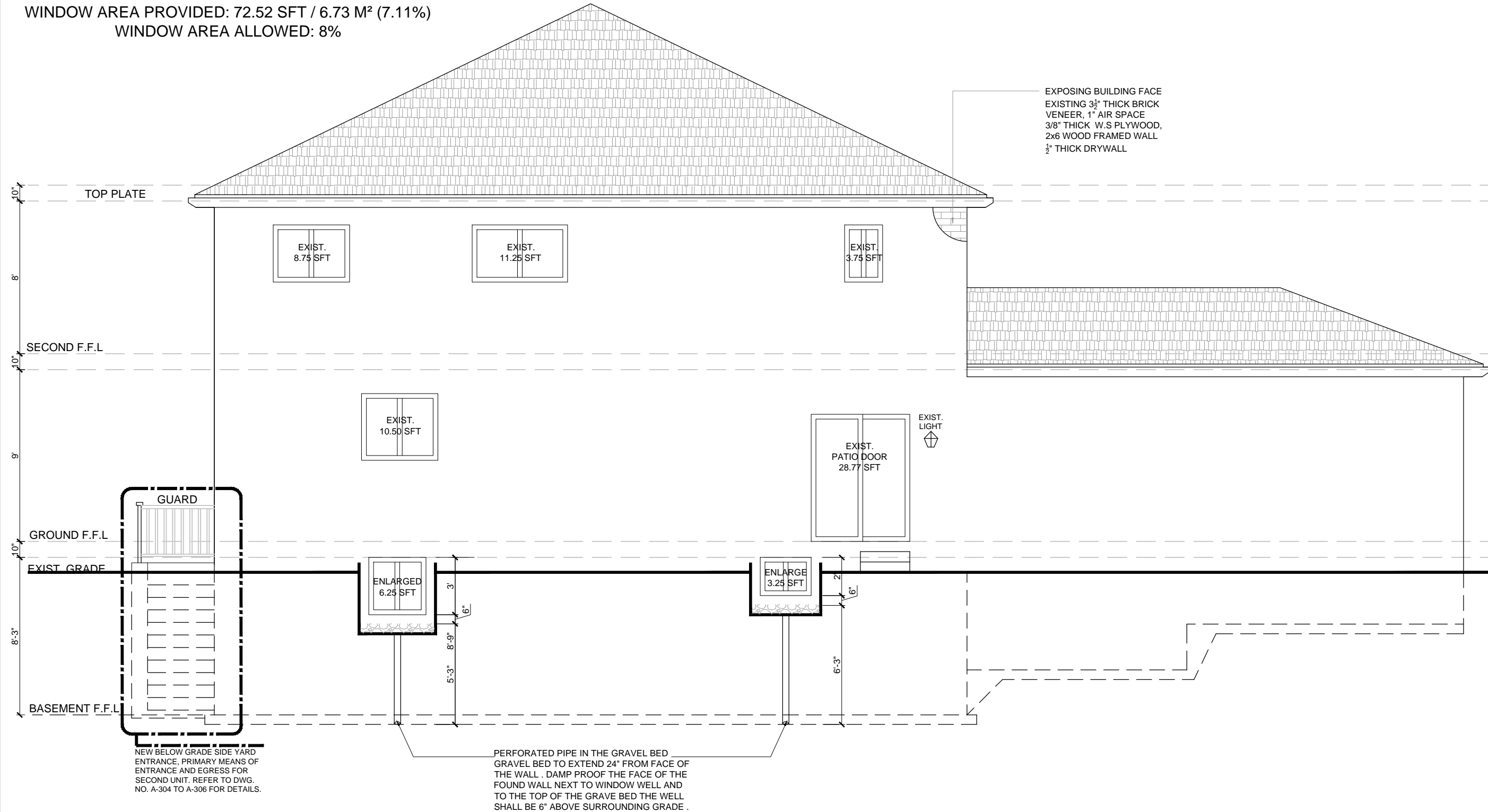
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1 EAST ELEVATION
 A-202 SCALE : 3/16" = 1'-0"

GLAZED OPENINGS:

WALL AREA: = 1019.81 SFT / 94.77
 LIMITING DISTANCE: 1.50 M
 WINDOW AREA PROVIDED: 72.52 SFT / 6.73 M² (7.11%)
 WINDOW AREA ALLOWED: 8%



EXPOSING BUILDING FACE
 EXISTING 3 1/2" THICK BRICK VENEER, 1" AIR SPACE
 3/8" THICK W.S PLYWOOD,
 2x6 WOOD FRAMED WALL
 1/2" THICK DRYWALL

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ALTERATIONS (SU)

 215 ANTHONY LANE, VAUGHAN

WEST ELEVATION

 SCALE: 3/16" = 1'-0"
 DATE: 2023.10.12
 PROJECT: 23-592
 DRAWING NO:

GENERAL NOTES

- ALL WORK ACCORDING TO ONTARIO BUILDING CODE 2012 AND CITY OF VAUGHAN BY-LAWS
- ALL WORKING ACCORDING TO GOOD CONSTRUCTION PRACTICES
- ALL FOOTINGS SHALL REST ON NATURAL UNDISTURBED SOIL OR COMPACTED GRANULAR FILL WITH A MINIMUM BEARING CAPACITY OF 75 KPA
- WHERE THE FOUNDATIONS OF A BUILDING ARE TO BE CONSTRUCTED BELOW THE LEVEL OF THE FOOTINGS OF AN ADJACENT BUILDING AND WITHIN THE ANGLE OF REPOSE OF THE SOIL, OR THE UNDERPINNING EXCEEDS 1200MM OF LATERALLY UNSUPPORTED HEIGHT OR THE SOIL IS CLAY OR SILT, THE UNDERPINNING & RELATED CONSECUTION SHALL BE DESIGNED BY A PROFESSIONAL ENGINEER.
- EXCAVATION SHALL BE UNDERTAKEN IN A MANNER SO AS TO PREVENT MOVEMENT WHICH WOULD CAUSE DAMAGE TO ADJACENT PROPERTIES, STRUCTURES, UTILITIES, ROADS & SIDEWALKS. CONTACT YOUR LOCAL UTILITIES PRIOR TO COMMENCING EXCAVATION.
- SHORE & BRACE WHERE NECESSARY TO ENSURE THE SAFETY & STABILITY OF THE EXISTING STRUCTURE DURING UNDERPINNING.

CONCRETE

1. MINIMUM COMPRESSIVE STRENGTH OF CONCRETE 32MPA @ 28 DAYS W/5% TO 8% AIR ENTRAINMENT.
2. MINIMUM YIELD STRENGTH OF STEEL 60 KSI.

1. EXTERIOR DOOR

EXTERIOR TYPE DOOR (42MM INSULATED STEEL DOOR) SIZE 2'-8"x6'-8", W/ DEADBOLT AS PER OBC 9.6.5 & 9.6.8 TO RESIST FORCED ENTRY. PROVIDE LINTEL AS FOLLOWS:

SL1: STEEL LINTEL 3 $\frac{1}{2}$ " X 3 $\frac{1}{2}$ " X $\frac{3}{8}$ "
 WL1: WOOD LINTEL 2 - 2 X 8 SPF NO.1 OR 2

MIN. CLEAR OPENING AREA OF
035 SM (3.8 SFT)

RIGIDLY FASTEN WINDOW

NO DIMENSION LESS THAN
380MM (15") CEILING

MIN. 550MM
(22") CLEAR

MIN. CLEAR OPENING AREA OF
0.35 SM (3.8 SFT)

WINDOW IN OPEN POSITION

NO DIMENSION LESS THAN
380MM (15")

NO LIMIT

FLOOR

FIN. GRADE

WINDOW WELL
DRAIN TO
WEEPING TILE

MIN. 48"

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SEAL



ALTERATIONS
(SU)

215 ANTHONY LANE,
VAUGHAN

EGRESS WINDOW
DETAIL

SCALE: $\frac{3}{8}$ " = 1'-0"

DATE: 2023.10.12

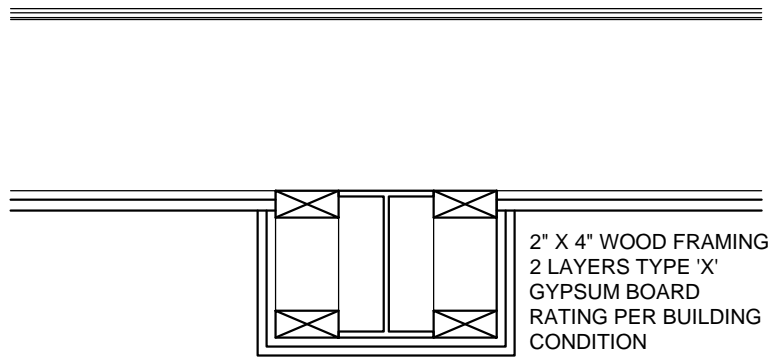
PROJECT: 23-592

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A-301

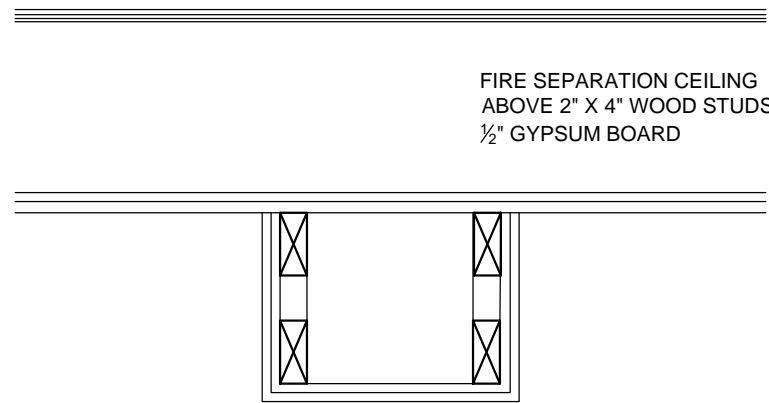
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1
A-301 EGRESS WINDOW DETAIL
SCALE : $\frac{3}{8}$ " = 1'-0"



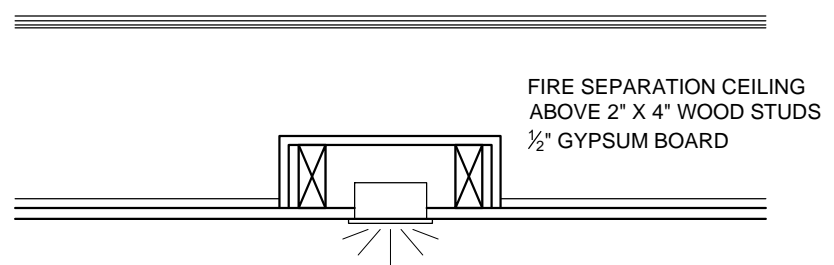
2" X 4" WOOD FRAMING
2 LAYERS TYPE 'X'
GYPSUM BOARD
RATING PER BUILDING
CONDITION

1 STEEL BEAM SEPERATION
A-302



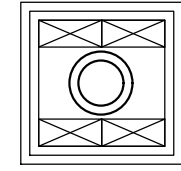
FIRE SEPERATION CEILING
ABOVE 2" X 4" WOOD STUDS
1/2" GYPSUM BOARD

2 BULKHEAD BELOW FIRE SEPERATION
A-302



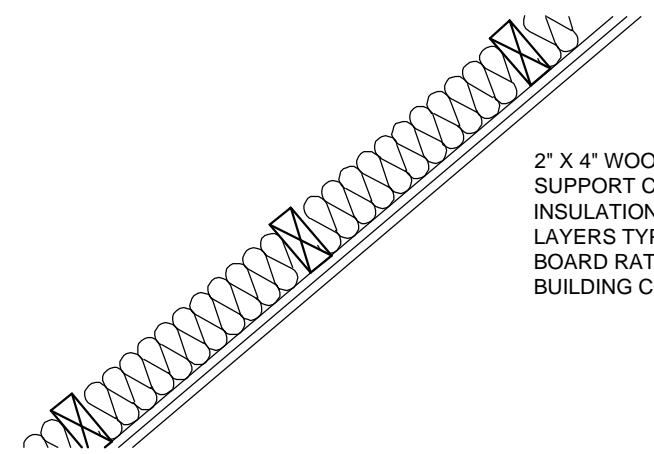
FIRE SEPERATION CEILING
ABOVE 2" X 4" WOOD STUDS
1/2" GYPSUM BOARD

3 POT LIGHT FIRE SEPERATION
A-302



2" X 4" WOOD FRAMING
2 LAYERS TYPE 'X'
GYPSUM BOARD
RATING PER BUILDING
CONDITION

4 STEEL COLUMN SEPERATION
A-302



2" X 4" WOOD STUDS TO
SUPPORT CEILING SOUND
INSULATION (OPTIONAL) 2
LAYERS TYPE 'X' GYPSUM
BOARD RATING PER
BUILDING CONDITION

5 UNDERSIDE OF STAIR FIRE SEPERATION
A-302

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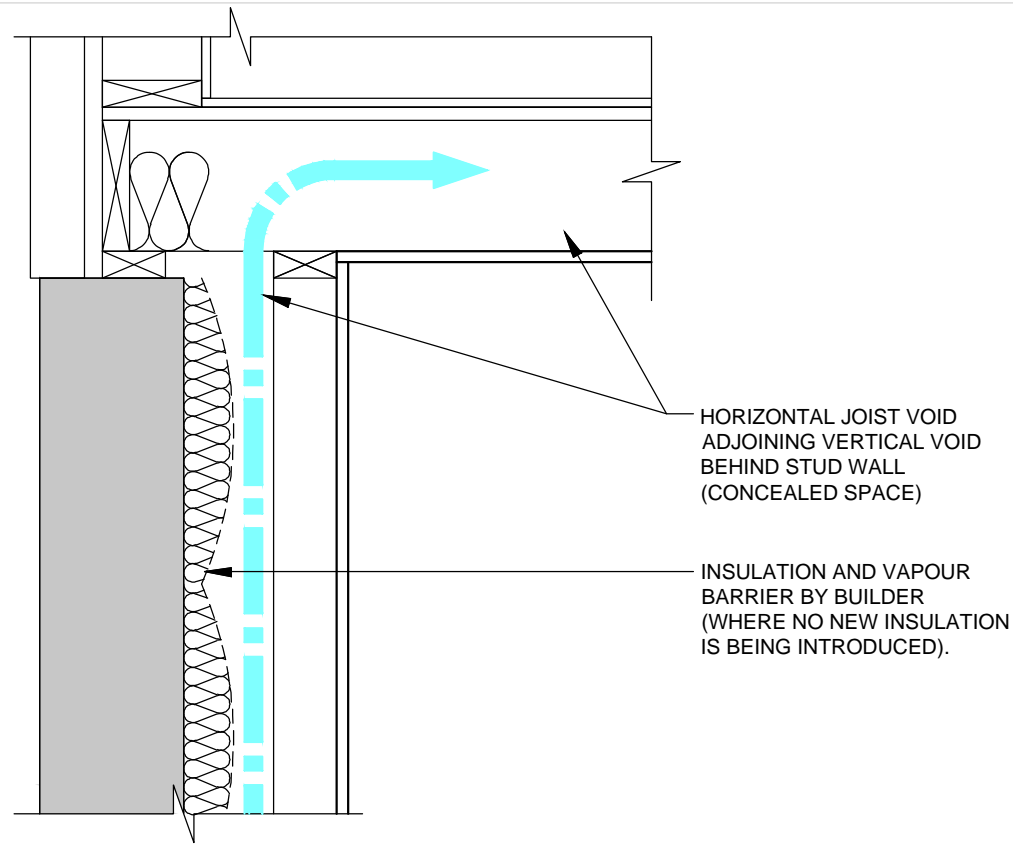
215 ANTHONY LANE,
VAUGHAN

TYPICAL DETAILS

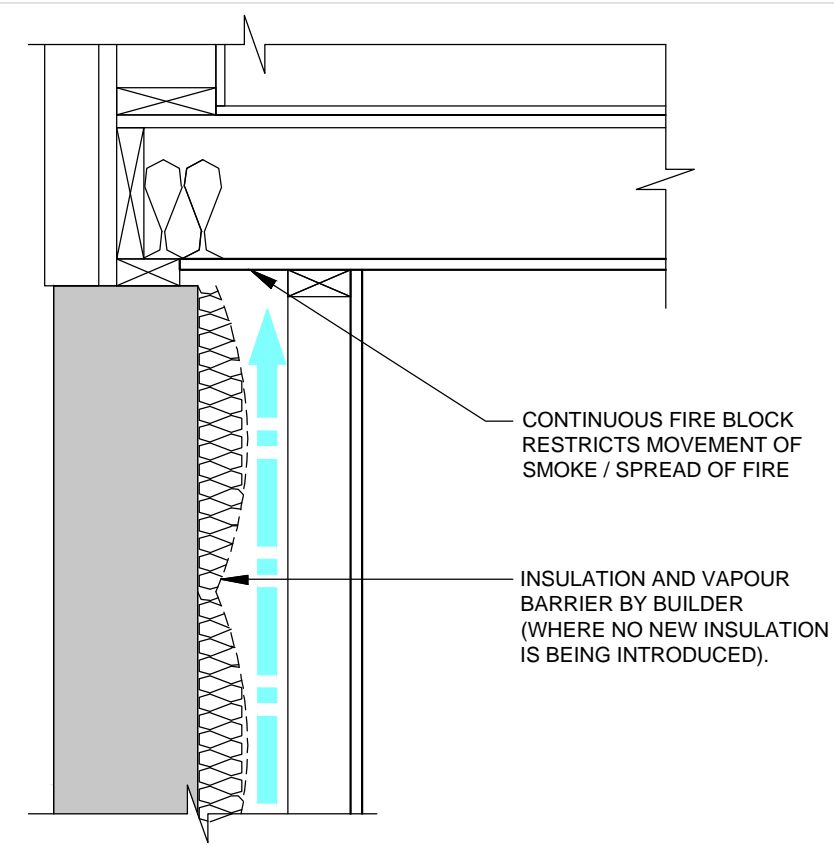
SCALE: 3/8" = 1'-0"
DATE: 2023.10.12
PROJECT: 23-592
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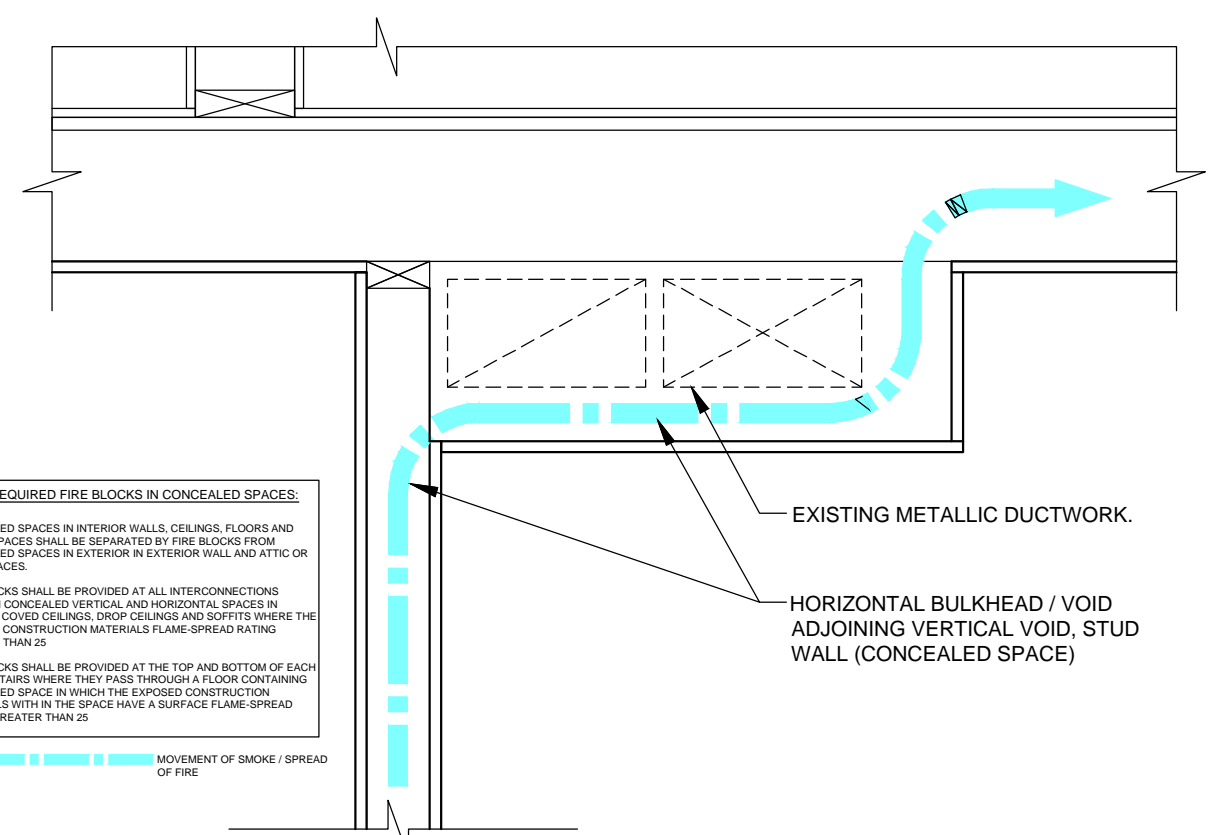
REVISION: 00



4 NON COMPLIANT FIRE BLOCKING DETAIL PERIMETER WALL CONDITION
A-303



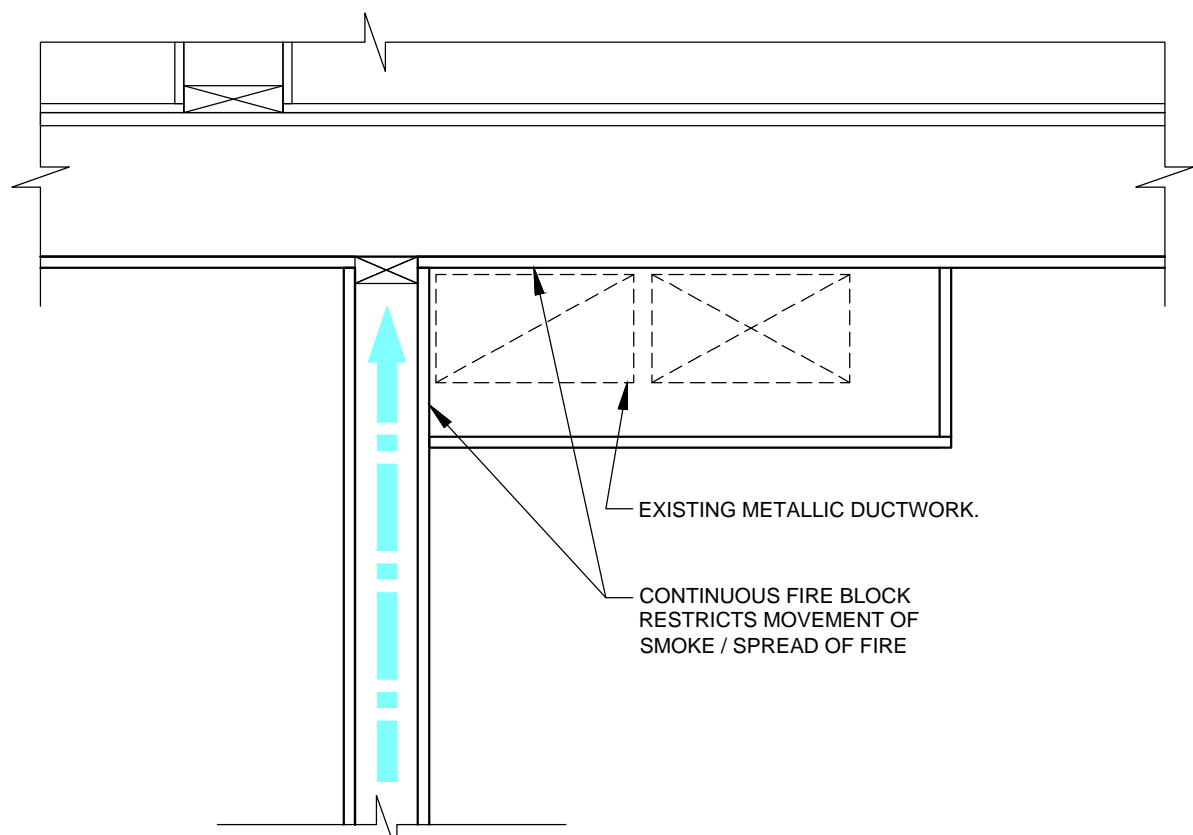
2 COMPLIANT FIRE BLOCKING DETAIL PERIMETER WALL CONDITION
A-303



3 NON COMPLIANT FIRE BLOCKING DETAIL INTERIOR WALL / FIRE SEPARATION
A-303

9.10.16.1. REQUIRED FIRE BLOCKS IN CONCEALED SPACES:

- 1) CONCEALED SPACES IN INTERIOR WALLS, CEILINGS, FLOORS AND CRAWL SPACES SHALL BE SEPARATED BY FIRE BLOCKS FROM CONCEALED SPACES IN EXTERIOR WALL AND ATTIC OR ROOF SPACES.
- 2) FIRE BLOCKS SHALL BE PROVIDED AT ALL INTERCONNECTIONS BETWEEN CONCEALED VERTICAL AND HORIZONTAL SPACES IN INTERIOR COVERED CEILINGS, DROP CEILINGS AND SOFFITS WHERE THE EXPOSED CONSTRUCTION MATERIALS FLAME-SPREAD RATING GREATER THAN 25
- 3) FIRE BLOCKS SHALL BE PROVIDED AT THE TOP AND BOTTOM OF EACH RUN OF STAIRS WHERE THEY PASS THROUGH A FLOOR CONTAINING CONCEALED SPACE IN WHICH THE EXPOSED CONSTRUCTION MATERIALS WITH IN THE SPACE HAVE A SURFACE FLAME-SPREAD RATING GREATER THAN 25



1 COMPLIANT FIRE BLOCKING DETAIL INTERIOR WALL / FIRE SEPARATION
A-303

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ALTERATIONS (SU)
215 ANTHONY LANE,
VAUGHAN

FIRE BLOCKING DETAILS
SCALE: 3/8" = 1'-0"
DATE: 2023.10.12
PROJECT: 23-592
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REVISION: 00

CUT 32" OPENING FOR NEW EXTERIOR TYPE DOOR AND PROVIDE LINTEL

NEW WALL PINNED TO EXISTING WALL W/1-10M ROD 8" LONG ANS MIN.4" INTO WALL @ 16" O.C.

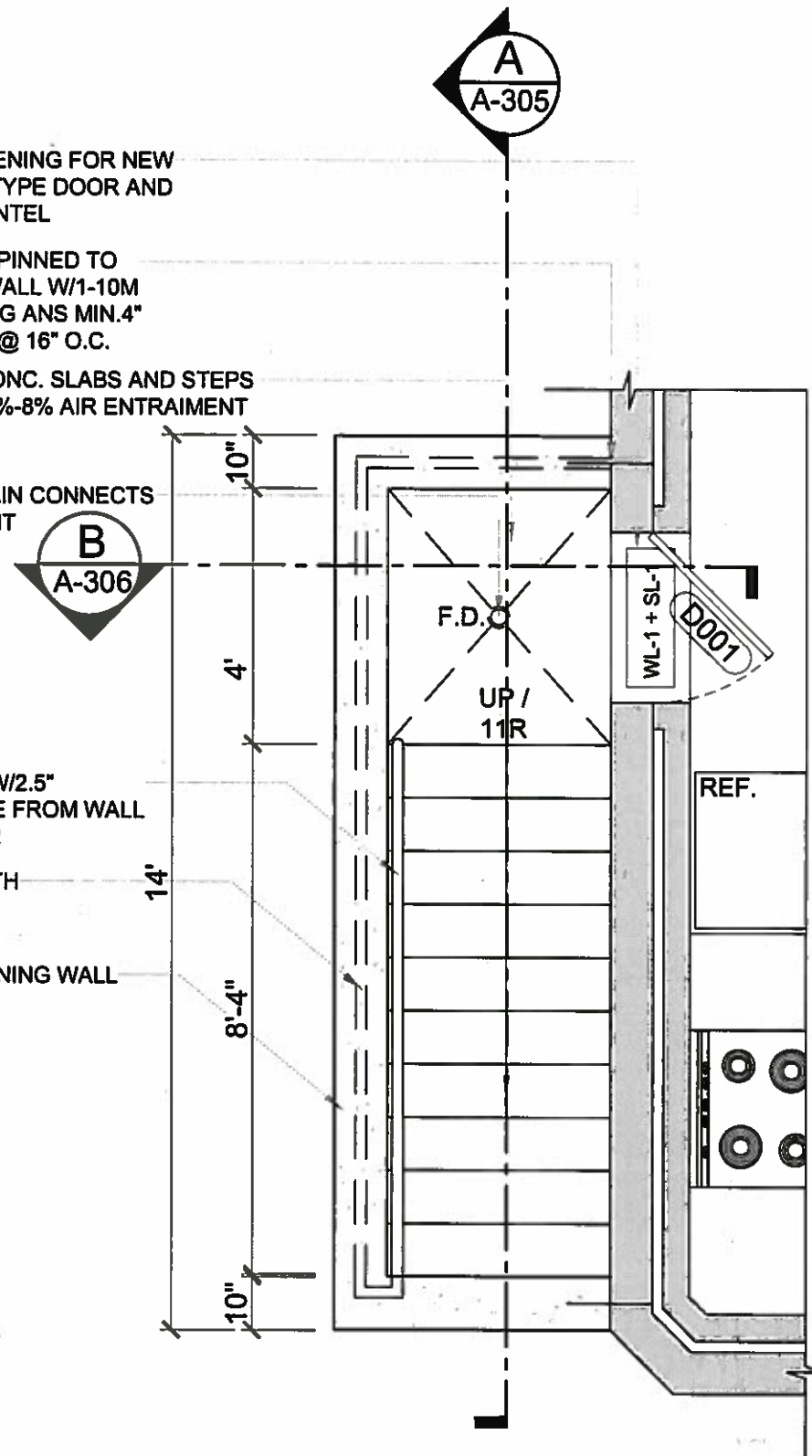
POURED CONC. SLABS AND STEPS 32MPa W/ 5%-8% AIR ENTRAINMENT

FLOOR DRAIN CONNECTS TO SUMP-PIT

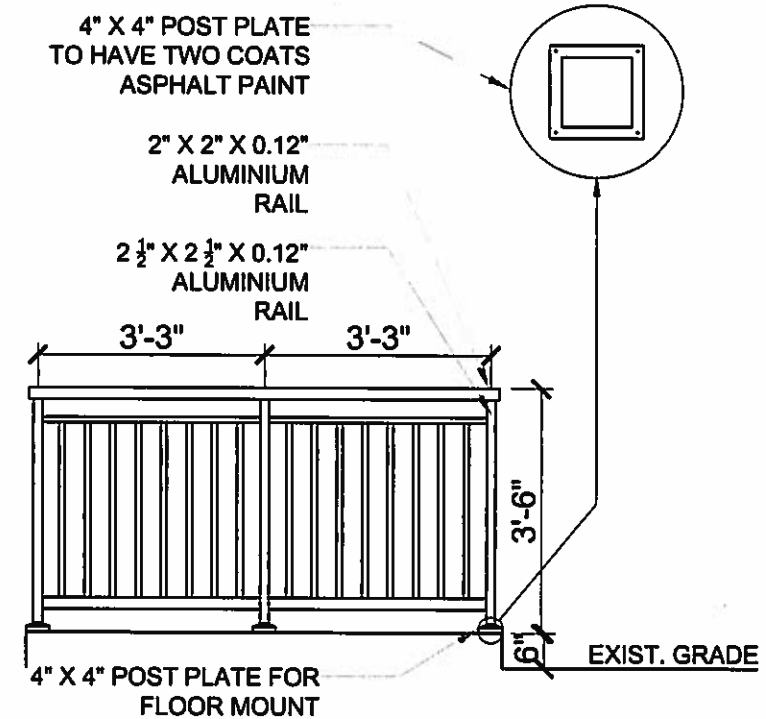
HANDRAIL W/2.5" CLEARANCE FROM WALL SEE NOTE 2

GUARD BOTH SIDES SEE NOTE 5

NEW RETAINING WALL



1 WALK-OUT PLAN
A-304 SCALE: 3/8" = 1'-0"



1 GUARD DETAIL
A-304 SCALE: 3/8" = 1'-0"

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SEAL



ALTERATIONS (SU)

215 ANTHONY LANE, VAUGHAN

BELOW GRADE DETAILS

SCALE: 3/8" = 1'-0"
DATE: 2023.10.12
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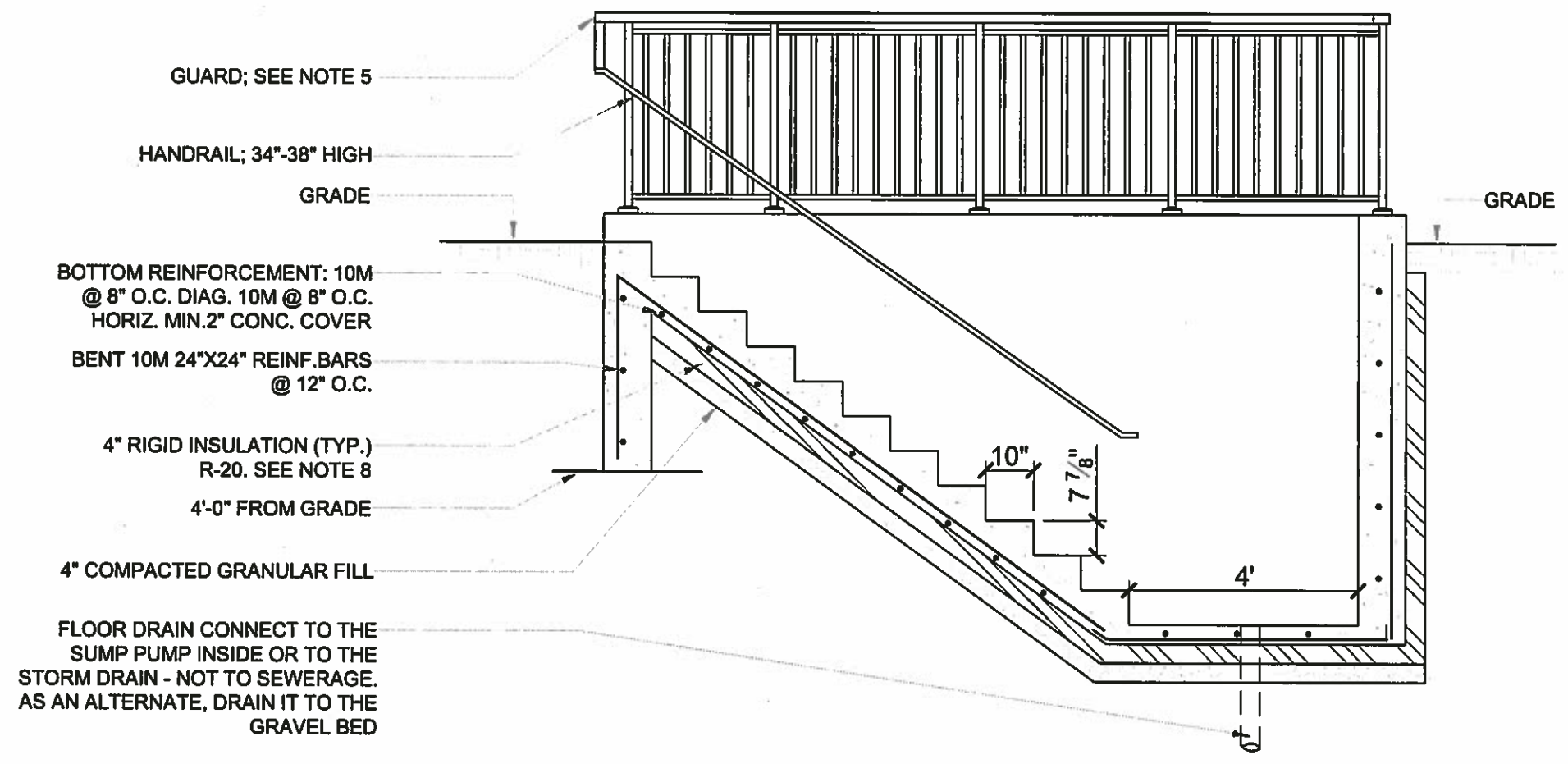
215 ANTHONY LANE,
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BELOW GRADE
 DETAILS

SCALE: 3/8" = 1'-0"
 DATE: 2023.10.12
 PROJECT: 23-592
 DRAWING NO:

A-305

REVISION: 00



GUARD; SEE NOTE 5
 HANDRAIL; 34"-38" HIGH
 GRADE
 GRADE
 BOTTOM REINFORCEMENT: 10M
 @ 8" O.C. DIAG. 10M @ 8" O.C.
 HORIZ. MIN. 2" CONC. COVER
 BENT 10M 24"X24" REINF. BARS
 @ 12" O.C.
 4" RIGID INSULATION (TYP.)
 R-20. SEE NOTE 8
 4'-0" FROM GRADE
 4" COMPACTED GRANULAR FILL
 FLOOR DRAIN CONNECT TO THE
 SUMP PUMP INSIDE OR TO THE
 STORM DRAIN - NOT TO SEWERAGE.
 AS AN ALTERNATE, DRAIN IT TO THE
 GRAVEL BED

1 SECTION - A
 A-305 SCALE: 3/8" = 1'-0"

GENERAL NOTES

1. FOOTING

FOOTINGS SHALL REST ON NATURAL UNDISTURBED SOIL OR COMPACTED GRANULAR FILL WITH A MINIMUM SOIL BEARING CAPACITY OF 75 KPa

2. HANDRAILS

HANDRAILS SHOULD BE BETWEEN 34 TO 38 ABOVE THE TREAD AT THE LEADING EDGE LINE
2 IN CLEARANCE FROM THE WALL IS REQUIRED
START AND END POINT OF HANDRAILS MUST NOT OBSTRUCT PEDESTRIAN TRAFFIC OR CREATE A HAZARD BOTH SIDE HANDRAILS REQUIRED IF STAIRS ARE 43 IN OR WINDER

3. EXTERIOR

7 7/8" RISER MAXIMUM 4 7/8" MINIMUM
10" RUN MINIMUM 14" MAXIMUM
10" TREAD MINIMUM 14" MAXIMUM

4. RETAINING WALL

10" POURED CONCRETE WALL DOES NOT REQUIRED REBAR IF BACKFILL HEIGHT DOES NOT EXCEED 4'-7". PROVIDE 10M REBAR @12" O.C. EACH WAY FOR BACKFILL HEIGHTS EXCEEDING 4'-7"

5. GUARDS (PRE-ENGINEERED)

42 INCH HIGH WHERE DISTANCE FROM GRADE TO BOTTOM OF WALKOUT EXCEEDS 5'-11"
36" FOR LESSER HEIGHTS, MAXIMUM 4" BETWEEN VERTICAL PICKETS

6. LIGHT

ELECTRIC FEED FOR THE LIGHT TO BE SEPARATE FROM ANY OTHER SWITCHED CIRCUIT

7. EXTERNAL DOOR

EXTERIOR DOOR GENERAL PERFORMANCE CRITERIA AND THERMAL RESISTANCE TO COMPLY WITH OBC 9.7.3 INSTALLATION OF MANUFACTURED AND PRE-ASSEMBLED DOOR SHALL CONFORM TO THE MANUFACTURERS INSTRUCTIONS
ALL UNFINISHED PORTIONS OF THE FRAME AND OTHER COMPONENTS OF DOORS IN CONTACT WITH THE EDGES OF MASONRY OR CONCRETE SHALL BE PROTECTED WITH CAULKING

8. INSULATION DETAILS

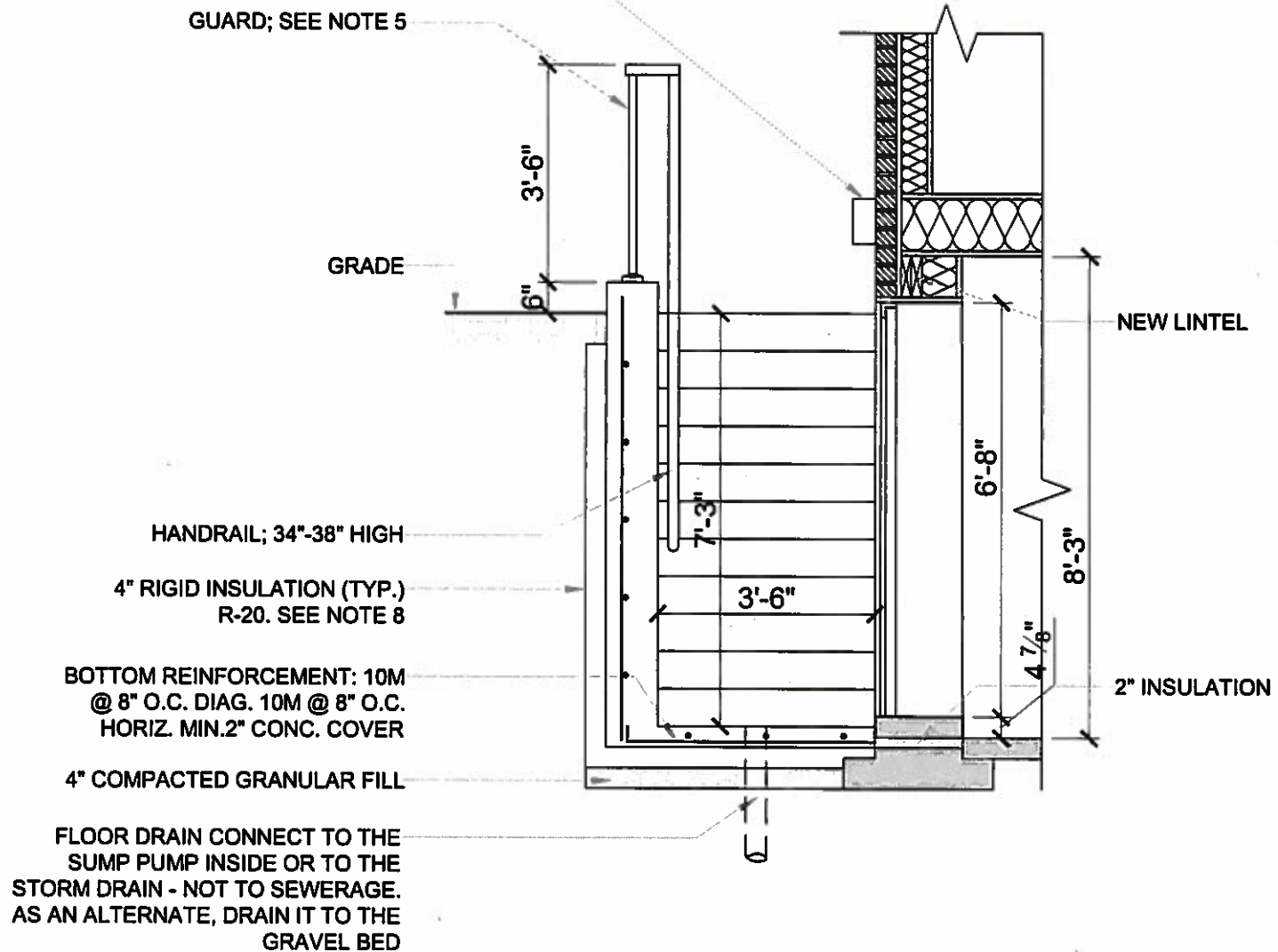
RIGID INSULATION TO HAVE FOLLOWING SPECIFICATION

- STYROFOAM BRAND SM EXTRUDED POLYSTYRENE FOAM INSULATION
- RSI VALUE 0.87/25MM [R-5 PER 1 INCH]
- BOARD SIZE : AS INDICATED ON DRAWINGS]
- COMPRESSIVE STRENGTH : 210 KPa
- DRAINING CAPACITY > 0.72 M3/ HR/ M

9. INSULATION FINISHING

INSTALL RIGID INSULATION ON EXISTING FOUNDATION WALL MIN 4FT ABOVE FOOTING
INSULATION TO BE INSTALLED ON EXPOSED FOUNDATION WALL ONLY STARTING FROM GRANULAR FILL UNDER STEPS COVER INSULATION WITH 1/2" CEMENT BOARD
INSTALL 21 1/2" GALVANIZED J TRACK ON SECURE AND PROTECT ALL EXPOSED EDGES ALL JOINTS TO THE EXISTING WALL NEW STEPS MUST BE CAULKED
APPLY SEAL GUARD TO ALL JOINTS ON CEMENT BOARD PARGE CEMENT BOARD OR APPLY ACRYLIC FINISH

EXTERIOR LIGHT
CONTROLLED BY
SWITCH INSIDE
GUARD; SEE NOTE 5



1 SECTION - B
A-306 SCALE : 3/8" = 1'-0"

RELEASED FOR BUILDING PERMIT
CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND REPORT DISCREPANCIES BY AWT TO THE CONSULTANTS BEFORE CONSTRUCTION
ALL DRAWINGS AND SPECIFICATIONS ARE THE PROPERTY OF CONSULTANTS AND MUST BE RETURNED AT THE COMPLETION OF WORK
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NO	DATE	REVISION/ISSUED
01	2023-09-07	SCHEMATIC DESIGN
02	2023-10-12	PERMIT APPLICATION

OWNER

VIVEKANAND
DESIGNER
AEM DESIGNS
225 - 2980 DREW RD, MISSISSAUGA,
ON L4T 0A7
c: 647.896.9785, e:
ravinder@aemdesigns.ca
www.aemdesigns.ca
ARCHITECT

C-Architecture Ltd.
202 - 3485 RIVERCHURCH BLVD, MARKHAM
ON L3L 0H1
c: 905.477.7172, e: info@c-arch.com
SEAL



ALTERATIONS
(SU)

215 ANTHONY LANE,
VAUGHAN

BELOW GRADE
DETAILS

SCALE: 3/8" = 1'-0"
DATE: 2023.10.12
PROJECT: 23-592
DRAWING NO:

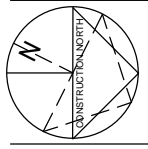
A-306

REVISION: 00

RELEASED FOR BUILDING PERMIT
 - CONTRACTOR SHALL SITE VERIFY ALL DIMENSIONS AND REPORT DISCREPANCIES IF ANY TO THE CONSULTANT'S BEFORE CONSTRUCTION.
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NO	DATE	REVISION / ISSUED
00	2023.08.07	SCHEMATIC DESIGN
00	2023.10.12	PERMIT APPLICATION



OWNER

VIVEKANAND

DESIGNER



225 - 2980 DREW RD, MISSISSAUGA, ON L4T 0A7
 c: 647.896.9785, e: ravinder@aemdesigns.ca
 www.aemdesigns.ca

ARCHITECT



C-Architecture Ltd

202 - 3485 REBECCA ST, OAKVILLE ON L6L 0H4
 c: 905.847.7177, e: info@c-archi.com

SEAL



ALTERATIONS (SU)

215 ANTHONY LANE, VAUGHAN

BASEMENT - ELECTRICAL LAYOUT

SCALE: 3/16" = 1'-0"

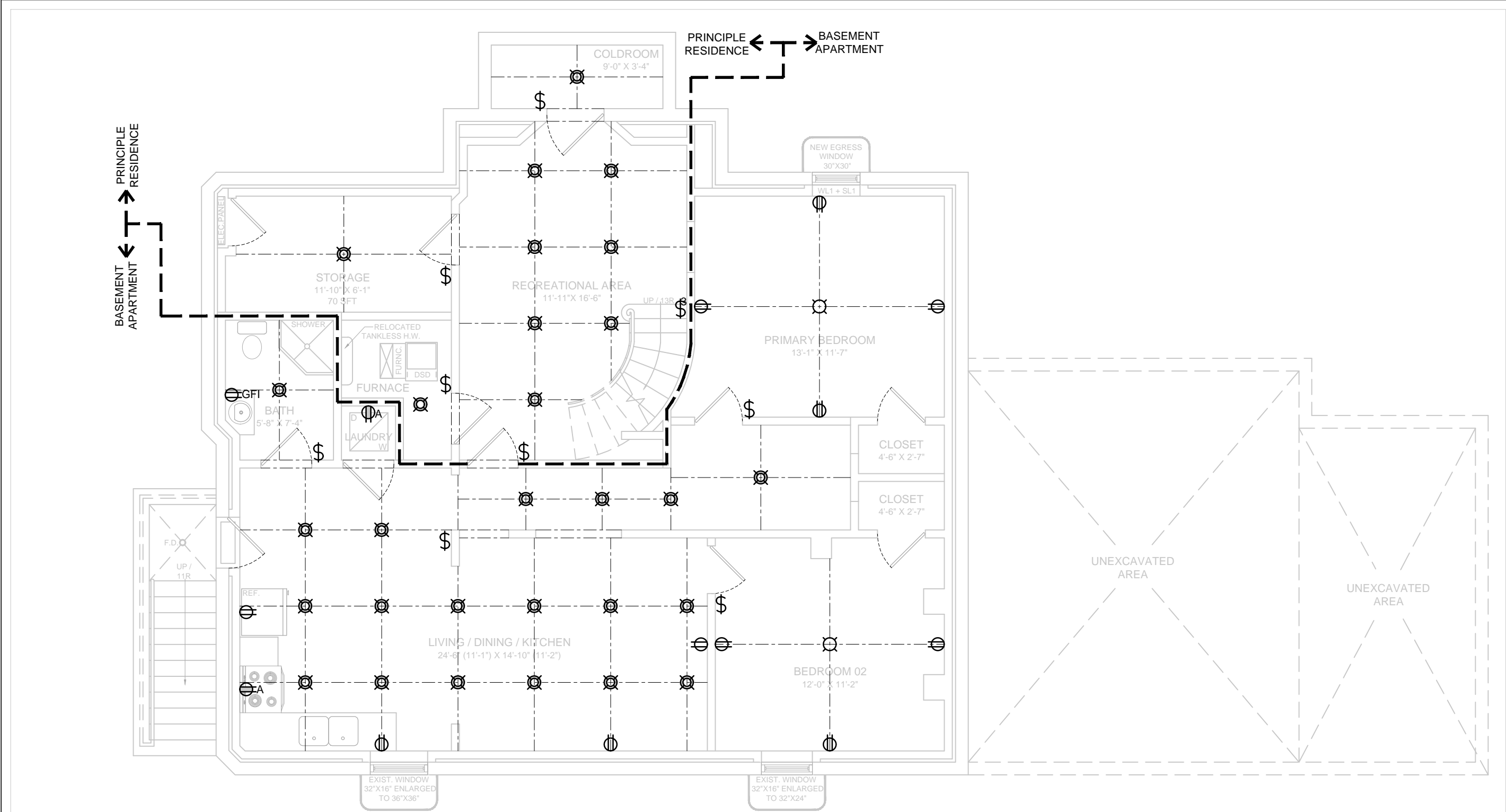
DATE: 2023.10.12

PROJECT: 23-592

DRAWING NO:

E-101

REVISION: 00



1 BASEMENT - ELECTRICAL LAYOUT
 E-101 SCALE : 3/16" = 1'-0"

ELECTRICAL SYMBOL :

\$ ₃	3 OR 4 WAY SWITCH
E	EXISTING
N	NEW
⊕	15A, 120V DUPLEX RECEPTACLE SPECIFICATION GRADE, WHITE C/W WHITE COVER PLATE
GFI	GFI- GROUND FAULT TYPE
WP	WP- WEATHERPROOF COVER
C	C - ABOVE COUNTER

ELECTRICAL SYMBOL :

⊕	RECEPTACLE 50A, 208V, STOVE OR DRYER OUTLET.
⊕	EXHAUST FAN
⊕	FD: FLOOR DRAIN
⊕	SPRINKLER
⊕	EMERGENCY LIGHT
⊕	SD: SMOKE ALARM W/ STROBE LIGHT
⊕	CO: CARBON MONOXIDE ALARM
⊕	LIGHT
⊕	POT LIGHT

ELECTRICAL NOTES

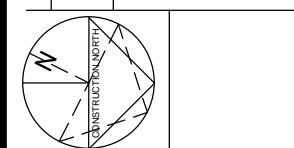
LOCATIONS OF ELECTRICAL ITEMS ARE APPROXIMATE, ACTUAL LOCATION MAY VARY AS PER SITE CONDITIONS

WHERE PENETRATING FIRE SEPARATION FOR POT LIGHT FIXTURES, USE FIRE RATED POT LIGHTS OR PROVIDE FIRE RATED ENCLOSURE BEHIND LIGHT FIXTURE TO ENSURE CONTINUITY OF FIRE SEPARATION

RELEASED FOR BUILDING PERMIT
 - CONTRACTOR SHALL SITE VERIFY ALL DIMENSIONS AND REPORT DISCREPANCIES IF ANY TO THE CONSULTANT'S BEFORE CONSTRUCTION.
 - ALL DRAWINGS AND SPECIFICATIONS ARE THE PROPERTY OF CONSULTANTS AND MUST BE RETURNED AT THE COMPLETION OF WORK.
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NO	DATE	REVISION / ISSUED
00	2023.08.07	SCHEMATIC DESIGN
00	2023.10.12	PERMIT APPLICATION



OWNER

VIVEKANAND
 DESIGNER

AEM DESIGNS
 225 - 2980 DREW RD, MISSISSAUGA, ON L4T 0A7
 c: 647.896.9785, e: ravinder@aemdesigns.ca
 www.aemdesigns.ca

ARCHITECT



C-Architecture Ltd
 202 - 3485 REBECCA ST, OAKVILLE ON L6L 0H4
 c: 905.847.7177, e: info@c-archi.com



ALTERATIONS (SU)

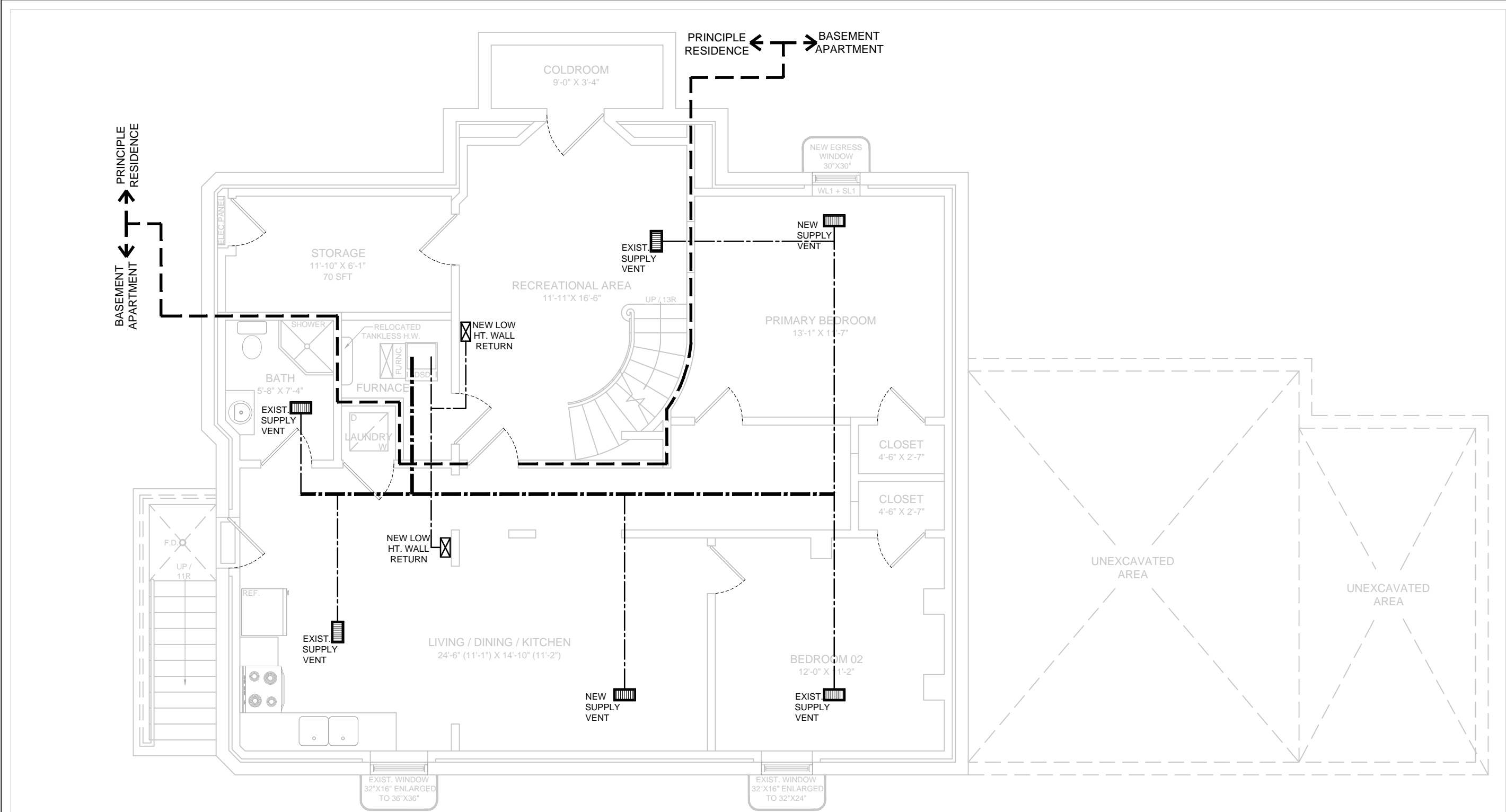
215 ANTHONY LANE, VAUGHAN

BASEMENT - MECHANICAL LAYOUT

SCALE: 3/16" = 1'-0"
 DATE: 2023.10.12
 PROJECT: 23-592
 DRAWING NO:

M-101

REVISION: 00



11 BASEMENT - MECHANICAL LAYOUT
 M-101 SCALE: 3/16" = 1'-0"

MECHANICAL NOTES

LOCATIONS OF MECHANICAL ITEMS ARE APPROXIMATE, ACTUAL LOCATION MAY VARY AS PER SITE CONDITIONS

DUCT-TYPE SMOKE DETECTOR TO BE INSTALLED IN THE SUPPLY OR RETURN AIR DUCT SYSTEM SERVING THE ENTIRE BUILDING THAT MUST TURN OFF THE FUEL SUPPLY AND ELECTRICAL POWER TO THE HEATING SYSTEM UPON ACTIVATION

- LOCATION OF SMOKE ALARMS AS PER O.B.C.DIV B. SEC 9.10.19.3**
- (1) WITHIN DWELLING UNITS, SUFFICIENT SMOKE ALARMS SHALL BE INSTALLED SO THAT,
 - A. THERE IS AT LEAST ONE SMOKE ALARM INSTALLED ON EACH STOREY, INCLUDING BASEMENT AND,
 - B. ON ANY STOREY OF A DWELLING CONTAINING SLEEPING ROOMS, A SMOKE ALARM IS INSTALLED
 - i. IN EACH ROOM AND,
 - ii. IN A LOCATION BETWEEN THE SLEEPING ROOM AND THE REMINDER OF THE STOREY AND IF THE SLEEPING ROOMS ARE SERVED BY A HALLWAY, THE SMOKE ALARM SHOULD BE LOCATED IN THE HALLWAY.
 - (2) PROVIDE SUPPLY AIR REGISTER (OBC DIV. B.9.33.1(1)). REGISTER SHALL BE LOCATED WITHIN 4' OF OUTSIDE WALL (7.6 HRAI DIGEST REQUIREMENTS)
 - (3) THE RETURN AIR GRILLE SHALL BE INSTALLED NEAR FLOOR LEVEL (7.7 HRAI DIGEST REQUIREMENTS). UNDERCUT BY MIN 1. THE DOOR TO ANY ROOM WITHOUT RETURN AIR GRILLE
 - (4) CLOTHES DRYER EXHAUST SHALL COMPLY WITH OBC DIV. B.6.2.4.11 REQUIREMENTS
 - (5) SEPARATE ANY INTAKES FROM BUILDING ENVELOPE PENETRATIONS THAT ARE POTENTIAL SOURCES OF CONTAMINANTS (GAS VENTS, OIL FILL PIPES, ETC. BY MIN 900MM (2'11") . OBC DIV B.9.32.3.12. ENSURE ADEQUATE VENTILATION & COMBUSTION AIR FOR THE OPTIMUM OPERATION OF THE FURNACE, PER MANUFACTURER'S REQUIREMENTS.

**SCHEDULE B:
COMMENTS FROM AGENCIES, BUILDING STANDARDS &
DEVELOPMENT PLANNING**

Department / Agency <small>*Comments Received</small>	Conditions Required		Nature of Comments
Building Standards (Zoning) *See Schedule B	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>	General Comments
Development Planning	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>	Recommend Approval/No Conditions

External Agencies <small>*Comments Received</small>	Conditions Required		Nature of Comments <small>*See Schedule B for full comments</small>
Alectra	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>	General Comments
TRCA	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>	General Comments
Region of York	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>	General Comments

Date: May 28th 2024

Attention: Christine Vigneault

RE:

File No.: A061-24

Related Files:

Applicant Aem Designs

Location 215 Anthony Lane



Discover the possibilities

COMMENTS:

- We have reviewed the proposed Variance Application and have no comments or objections to its approval.
- We have reviewed the proposed Variance Application and have no objections to its approval, subject to the following comments (attached below).
- We have reviewed the proposed Variance Application and have the following concerns (attached below).

Alectra Utilities (formerly PowerStream) has received and reviewed the proposed Variance Application. This review, however, does not imply any approval of the project or plan.

All proposed billboards, signs, and other structures associated with the project or plan must maintain minimum clearances to the existing overhead or underground electrical distribution system as specified by the applicable standards, codes and acts referenced.

In the event that construction commences, and the clearance between any component of the work/structure and the adjacent existing overhead and underground electrical distribution system violates the Occupational Health and Safety Act, the customer will be responsible for 100% of the costs associated with Alectra making the work area safe. All construction work will be required to stop until the safe limits of approach can be established.

In the event construction is completed, and the clearance between the constructed structure and the adjacent existing overhead and underground electrical distribution system violates the any of applicable standards, acts or codes referenced, the customer will be responsible for 100% of Alectra's cost for any relocation work.

References:

- Ontario Electrical Safety Code, latest edition (Clearance of Conductors from Buildings)
- Ontario Health and Safety Act, latest edition (Construction Protection)
- Ontario Building Code, latest edition (Clearance to Buildings)
- PowerStream (Construction Standard 03-1, 03-4), attached
- Canadian Standards Association, latest edition (Basic Clearances)

If more information is required, please contact either of the following:

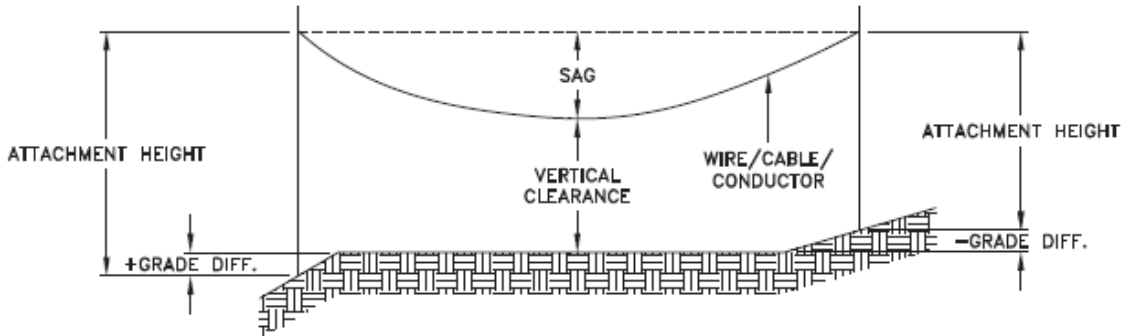
Mr. Stephen Cranley, C.E.T
Supervisor, Distribution Design, ICI & Layouts (North)
Phone: 1-877-963-6900 ext. 31297

E-mail: stephen.cranley@alectrautilities.com

Mitchell Penner
Supervisor, Distribution Design-Subdivisions
Phone: 416-302-6215

Email: Mitchell.Penner@alectrautilities.com

LOCATION OF WIRES, CABLES OR CONDUCTORS	SYSTEM VOLTAGE			
	SPAN GUYS AND COMMUNICATIONS WIRES	UP TO 600V AND NEUTRAL	4.16/2.4kV TO 27.6/16kV (SEE NOTE 1)	44kV
MINIMUM VERTICAL CLEARANCES (SEE NOTE 2)				
OVER OR ALONGSIDE ROADS, DRIVEWAYS OR LANDS ACCESSIBLE TO <u>VEHICLES</u>	442cm	442cm	480cm	520cm
OVER GROUND ACCESSIBLE TO <u>PEDESTRIANS AND BICYCLES ONLY</u>	250cm	310cm	340cm	370cm
ABOVE TOP OF RAIL AT <u>RAILWAY CROSSINGS</u>	730cm	730cm	760cm	810cm



MINIMUM ATTACHMENT HEIGHT = MAXIMUM SAG
 + MINIMUM VERTICAL CLEARANCE (FROM ABOVE TABLE)
 ± GRADE DIFFERENCE
 + 0.3m (VEHICLE OR RAILWAY LOCATION)
 + SNOW DEPTH (PEDESTRIAN LOCATION, SEE NOTE 3)

NOTES:

1. THE MULTIGROUNDED SYSTEM NEUTRAL HAS THE SAME CLEARANCE AS THE 600V SYSTEM.
2. THE VERTICAL CLEARANCES IN THE ABOVE TABLE ARE UNDER MAXIMUM SAG CONDITIONS.
3. REFER TO CSA STANDARD C22.3 No.1, ANNEX D FOR LOCAL SNOW DEPTH VALUES.
4. ALL CLEARANCES ARE IN ACCORDANCE TO CSA STANDARD C22.3.

CONVERSION TABLE

METRIC	IMPERIAL (APPROX)
810cm	27'-0"
760cm	25'-4"
730cm	24'-4"
520cm	17'-4"
480cm	16'-0"
442cm	15'-5"
370cm	12'-4"
340cm	11'-4"
310cm	10'-4"
250cm	8'-4"

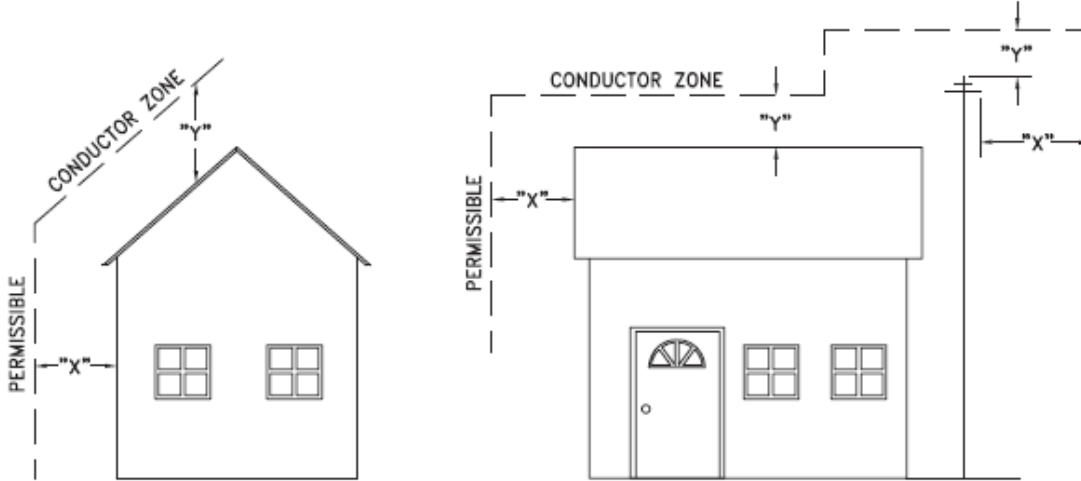
REFERENCES

SAGS AND TENSIONS | SECTION 02

MINIMUM VERTICAL CLEARANCES OF WIRES, CABLES AND CONDUCTORS ABOVE GROUND OR RAILS

ORIGINAL ISSUE DATE: 2010-DEC-24 REVISION NO: R1 REVISION DATE: 2012-JAN-09

Certificate of Approval	
This construction Standard meets the safety requirements of Section 4 of Regulation 22/04	
Joe Crozier, P.Eng.	2012-JAN-09
Name	Date
P.Eng. Approval By:	Joe Crozier



VOLTAGE	MINIMUM HORIZONTAL CLEARANCE UNDER MAXIMUM SWING CONDITIONS DIMENSION "X" (SEE NOTES 1, 3 & 4)	MINIMUM VERTICAL CLEARANCE UNDER MAXIMUM DESIGN SAG CONDITIONS DIMENSION "Y" (SEE NOTES 1, 2, 4 & 5)
0-600V AND NEUTRAL	100cm	250cm
4.16/2.4 TO 44kV	300cm	480cm

NOTES

1. UNDER NO CIRCUMSTANCES SHALL A CONDUCTOR BE PERMITTED TO PENETRATE THE ENVELOPE SHOWN BY THE DOTTED LINE.
2. THE VERTICAL CLEARANCES ARE UNDER CONDITIONS OF MAXIMUM DESIGN SAG.
3. THE HORIZONTAL CLEARANCES ARE UNDER CONDITIONS OF MAXIMUM SWING. WHERE THE CONDUCTOR SWING IS NOT KNOWN A HORIZONTAL CLEARANCE OF 480CM SHALL BE USED.
4. BUILDINGS THAT EXCEED 3 STOREYS OR 15M IN HEIGHT, THE MINIMUM HORIZONTAL CLEARANCE OF THE SECONDARY CONDUCTORS SHOULD BE INCREASED TO 300cm WHERE IT IS NECESSARY TO ALLOW FOR THE RAISING OF LADDERS BY LOCAL FIRE DEPARTMENTS.
5. IN SITUATIONS SUCH AS MULTI-LEVEL GARAGES, WHERE ROOFS ARE NORMALLY USED BY PERSONS AND VEHICLES, THE VERTICAL CLEARANCES OF POWERSTREAM STANDARD 03-1 SHALL APPLY.
6. DISTRIBUTION LINES CONSTRUCTED NEAR BUILDINGS SHALL BE BUILT TO AVOID OVERHANG WHEREVER POSSIBLE. WHERE LINES MUST BE CONSTRUCTED OVER OR ADJACENT TO BUILDINGS THE APPLICABLE HORIZONTAL AND VERTICAL CLEARANCES SHALL BE AT CONDITIONS OF MAXIMUM CONDUCTOR SWING AND MAXIMUM SAG. THE ABOVE CLEARANCES ARE DESIGNED TO PREVENT PERSONS ON OR IN BUILDINGS AS WELL AS EXTERNAL MACHINERY USED IN CONJUNCTION WITH A BUILDING TO COME IN CONTACT WITH CONDUCTORS. EFFORTS SHOULD BE MADE TO INCREASE THESE CLEARANCES WHERE POSSIBLE.
7. ALL CLEARANCES ARE IN ACCORDANCE TO CSA C22.3 NO.1-06 (TABLE-9).

METRIC	IMPERIAL (APPROX)
480cm	16'-0"
300cm	10'-0"
250cm	8'-4"
100cm	3'-4"

MINIMUM VERTICAL & HORIZONTAL CLEARANCES OF CONDUCTORS FROM BUILDINGS OR OTHER PERMANENT STRUCTURES (CONDUCTORS NOT ATTACHED TO BUILDINGS)

Certificate of Approval
This construction Standard meets the safety requirements of Section 4 of Regulation 22/04
Debbie Dadwani, P.Eng. 2010-MAY-05
Name Date
P. Eng. Approval By: *D. Dadwani*

ORIGINAL ISSUE DATE: 2010-MAY-05 REVISION NO: REVISION DATE:
PS:\System Planning and Standards\Standard Design\PowerStream Standards\PowerStream Standards working files\Section 3-1-02\WG 03-4 R0 May 5, 2010.dwg, 5/5/2010 10:22:02 AM, Adobe PDF

To: Committee of Adjustment
From: Bernd Paessler, Building Standards Department
Date: May 22, 2024
Applicant: Aem Designs
Location: 215 Anthony Lane
 PLAN 65M2246 Lot 78
File No.(s): A061/24

Zoning Classification:

The subject lands are zoned R4(EN) Fourth Density Residential Zone (Established Neighbourhood) and subject to the provisions of Exception 14.289 under Zoning By-law 001-2021, as amended.

#	Zoning By-law 001-2021	Variance requested
1	The entrance to the secondary suite shall be separate from the main entrance and located on a side wall or rear wall of the dwelling. Section 5.21 10a	To permit the entrance to the secondary suite on the front wall of the dwelling.
2	The entrance to the secondary suite shall not be located closer to the front lot line than the main entrance of the dwelling unit on the abutting lot. Section 5.21 10c	To permit the entrance to the secondary suite to be closer to the front lot line than the main entrance of the dwelling unit on the abutting lot.

Staff Comments:

Stop Work Order(s) and Order(s) to Comply:

There are no outstanding Orders on file

Building Permit(s) Issued:

A Building Permit has not been issued. The Ontario Building Code requires a building permit for structures that exceed 10m².

Other Comments:

General Comments	
1	The applicant shall be advised that additional variances may be required upon review of detailed drawing for building permit/site plan approval.

Conditions of Approval:

If the committee finds merit in the application, the following conditions of approval are recommended.

* Comments are based on the review of documentation supplied with this application.

To: Christine Vigneault, Committee of Adjustment Secretary Treasurer
From: Nancy Tuckett, Director of Development Planning
Date: July 3, 2024
Name of Owners: Vivekanand Shakergayen and Rupali Shakergayen
Location: 215 Anthony Lane
File No.(s): A061/24

Proposed Variance(s) (By-law 001-2021):

1. To permit the entrance to the secondary suite on the front wall of the dwelling.
2. To permit the entrance to the secondary suite to be closer to the front lot line than the main entrance of the dwelling unit on the abutting lot.

By-Law Requirement(s) (By-law 001-2021):

1. The entrance to the secondary suite shall be separate from the main entrance and located on a side wall or rear wall of the dwelling.
2. The entrance to the secondary suite shall not be located closer to the front lot line than the main entrance of the dwelling unit on the abutting lot.

Official Plan:

City of Vaughan Official Plan 2010 ('VOP 2010'): "Low-Rise Residential"

Comments:

The Owners are seeking relief to permit the construction of a secondary suite entrance, with the above noted variances. The Subject Lands are a corner lot at the northeast corner of the intersection of Shawn Place and Anthony Lane. The Subject Lands contain a 2-storey single detached dwelling whose front door and driveway face Shawn Place to the west. However, the Zoning By-law defines the south lot line bordering Anthony Lane as the front lot line. Therefore, the exterior side yard, which fronts onto Shawn Place, functions as the dwelling's front yard. The south yard, being the front yard as defined, is not fenced and contains a small covered patio area abutting a main-floor access on the dwelling's south wall. Therefore, the front yard, which fronts onto Anthony Lane, functions as the dwelling's exterior side yard.

The Development Planning Department has no objection to Variances 1 and 2 for the proposed location of the entrance to a secondary suite. With respect to Variance 1, the patio and patio entrance on the front (south) wall of the dwelling will be replaced by below-grade stairs leading to a secondary suite access. The proposed location of the secondary suite entrance along the front wall of the dwelling will not impact the prominence of the dwelling's existing primary entrance since that entrance is on a separate west-facing wall. Regarding Variance 2, the other dwellings along Anthony Lane face and address the street, and have front entrances that are visible from the street. The wall of the dwelling on the Subject Lands facing Anthony Lane does not address the street in the same way as its primary entrance faces Shawn Place. The proposed secondary suite entrance will be located below grade and as such will not be a prominent feature in comparison to the front entrance on the abutting property to the east, 209 Anthony Lane, even though that property's front door is set further back from the street.

Accordingly, Development Planning Department staff can support the requested variances and is of the opinion that the proposal is minor in nature, maintains the general intent and purpose of the Official Plan and Zoning By-law, and is desirable for the appropriate development of the land.

Recommendation:

Development Planning Department staff recommends approval of the application.

Conditions of Approval:

If the Committee finds merit in the application, the following conditions of approval are recommended:

None.

Comments Prepared by:

Alyssa Pangilinan, Planner 1
David Harding, Senior Planner

Lenore Providence

Subject: FW: [External] RE: A061/24 - 215 Anthony Lane - REQUEST FOR COMMENTS, CITY OF VAUGHAN

From: Cameron McDonald <Cameron.McDonald@trca.ca>
Sent: Friday, May 31, 2024 1:15 PM
To: Committee of Adjustment <CofA@vaughan.ca>
Subject: [External] RE: A061/24 - 215 Anthony Lane - REQUEST FOR COMMENTS, CITY OF VAUGHAN

CAUTION! This is an external email. Verify the sender's email address and carefully examine any links or attachments before clicking. If you believe this may be a phishing email, please use the Phish Alert Button.

Good afternoon,

Based on a review of our screening mapping, I can confirm that the subject property is not located within TRCA's Regulated Area. As such, any site alteration or development on the property would not require a permit from TRCA.

Based on the above, we have no comments/requirements.

Regards,

Cameron McDonald
Planner I
Development Planning and Permits | Development and Engineering Services

T: [\(437\) 880-1925](tel:4378801925)
E: cameron.mcdonald@trca.ca
A: [101 Exchange Avenue, Vaughan, ON, L4K 5R6](https://www.trca.ca) | [trca.ca](https://www.trca.ca)



Lenore Providence

Subject: FW: [External] RE: A061/24 - 215 Anthony Lane - REQUEST FOR COMMENTS, CITY OF VAUGHAN

From: Development Services <developmentsservices@york.ca>

Sent: Thursday, June 20, 2024 1:00 PM

To: Lenore Providence <Lenore.Providence@vaughan.ca>

Cc: Committee of Adjustment <CofA@vaughan.ca>

Subject: [External] RE: A061/24 - 215 Anthony Lane - REQUEST FOR COMMENTS, CITY OF VAUGHAN

CAUTION! This is an external email. Verify the sender's email address and carefully examine any links or attachments before clicking. If you believe this may be a phishing email, please use the Phish Alert Button.

Hi Lenore,

The Regional Municipality of York has completed its review of the minor variance application – A061/24 (215 Anthony Lane) and has no comment.

Please provide us with a digital copy of the notice of decision for our records.

Many thanks

Our working hours may be different. Please do not feel obligated to reply outside of your scheduled working hours. Let's work together to help foster healthy work-life boundaries.

Niranjan Rajevan, M.Pl. | Associate Planner, Development Services, Planning and Economic Development, Corporate Services

The Regional Municipality of York | 17250 Yonge Street | Newmarket, ON L3Y 6Z1

1-877-464-9675 ext. 71521 | niranjan.rajevan@york.ca | www.york.ca

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SCHEDULE C: PUBLIC & APPLICANT CORRESPONDENCE

None

SCHEDULE D: BACKGROUND

None