

ITEM: 6.13	REPORT SUMMARY MINOR VARIANCE APPLICATION FILE NUMBER A073/24
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Report Date: July 4, 2024

**THIS REPORT CONTAINS COMMENTS FROM THE FOLLOWING
DEPARTMENTS & AGENCIES (SEE SCHEDULE B):**

Additional comments from departments and agencies received after the publication of the report will be made available on the City's [website](#).

Internal Departments <small>*Comments Received</small>	Conditions Required		Nature of Comments
Building Standards (Zoning) *See Schedule B	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>	General Comments
Committee of Adjustment	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>	General Comments
Development Planning	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>	Recommend Approval/No Conditions
Development Engineering	Yes <input checked="" type="checkbox"/>	No <input type="checkbox"/>	Recommend Approval w/Conditions
Forestry	Yes <input checked="" type="checkbox"/>	No <input type="checkbox"/>	General Comments w/Conditions
Development Finance	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>	General Comments

External Agencies <small>*Comments Received</small>	Conditions Required		Nature of Comments <small>*See Schedule B for full comments</small>
Alectra	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>	General Comments
Region of York	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>	General Comments
TRCA	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>	General Comments

PUBLIC & APPLICANT CORRESPONDENCE (SEE SCHEDULE C)				
<p>All personal information collected because of this public meeting (including both written and oral submissions) is collected under the authority of the Municipal Act, the Municipal Freedom of Information and Protection of Privacy Act (MFIPPA), the Planning Act and all other relevant legislation, and will be used to assist in deciding on this matter. All personal information (as defined by MFIPPA), including (but not limited to) names, addresses, opinions and comments collected will become property of the City of Vaughan, will be made available for public disclosure (including being posted on the internet) and will be used to assist the Committee of Adjustment and staff to process this application.</p>				
Correspondence Type	Name	Address	Date Received <small>(mm/dd/yyyy)</small>	Summary
None				

BACKGROUND (SCHEDULE D, IF REQUIRED)	
<p>* Background Information contains historical development approvals considered to be related to this file. This information should not be considered comprehensive.</p>	
Application No. (City File)	Application Description <small>(i.e. Minor Variance Application; Approved by COA / OLT)</small>
N/A	N/A

ADJOURNMENT HISTORY	
<p>* Previous hearing dates where this application was adjourned by the Committee and public notice issued.</p>	
Hearing Date	Reason for Adjournment <small>(to be obtained from NOD_ADJ)</small>
N/A	N/A

SCHEDULES	
Schedule A	Drawings & Plans Submitted with the Application
Schedule B	Comments from Agencies, Building Standards & Development Planning
Schedule C (if required)	Public & Applicant Correspondence
Schedule D (if required)	Background



MINOR VARIANCE APPLICATION FILE NUMBER A073/24

CITY WARD #:	5
APPLICANT:	Andrea Conforti
AGENT:	John Coppa (3 Sixty Architect Inc.)
PROPERTY:	25 Shasta Drive, Thornhill
ZONING DESIGNATION:	See below.
VAUGHAN OFFICIAL PLAN (2010) DESIGNATION:	Vaughan Official Plan 2010 ('VOP 2010'): "Low-Rise Residential"
RELATED DEVELOPMENT APPLICATIONS:	None
PROPOSAL:	Relief from the Zoning By-law is being requested to permit the construction of a proposed dwelling.

The following variances have been requested from the City's Zoning By-law:

The subject lands are zoned R1E(EN) – First Density Residential Zone (Established Neighbourhood) under Zoning By-law 001-2021, as amended.

#	Zoning By-law 001-2021	Variance requested
1	The maximum building height shall be 8.5m [Section 4.5.1.b.]. (See note 1 below).	To permit a maximum height of 9.5m.
2	The maximum lot coverage shall be 23% provided the maximum height is 9.5 m [Section 7.2.2, Table 7-3] (See note 2 below).	To permit a maximum lot coverage of 25.1%.

HEARING INFORMATION

DATE OF MEETING: Wednesday, July 10, 2024
TIME: 6:00 p.m.
MEETING LOCATION: Vaughan City Hall, Woodbridge Room (2nd Floor), 2141 Major Mackenzie Drive
LIVE STREAM LINK: Vaughan.ca/LiveCouncil

PUBLIC PARTICIPATION

If you would like to speak to the Committee of Adjustment at the meeting, either remotely or in person, please complete the [Request to Speak Form](#) and submit to cofa@vaughan.ca

If you would like to submit written comments, please quote file number above and submit by mail or email to:

Email: cofa@vaughan.ca

Mail: City of Vaughan, Office of the City Clerk, Committee of Adjustment, 2141 Major Mackenzie Drive, Vaughan, ON, L6A 1T1

To speak electronically, pre-registration is required by completing the [Request to Speak Form](#) on-line and submitting it to cofa@vaughan.ca no later than NOON on the last business day before the meeting.

THE DEADLINE TO REGISTER TO SPEAK ELECTRONICALLY OR SUBMIT WRITTEN COMMENTS ON THE ABOVE NOTED FILE(S) IS NOON ON THE LAST BUSINESS DAY BEFORE THE MEETING.

INTRODUCTION

Staff and Agencies act as advisory bodies to the Committee of Adjustment. The comments contained in this report are presented as recommendations to the Committee.

Section 45(1) of the Planning Act sets the criteria for authorizing minor variances to the City of Vaughan's Zoning By-law. Accordingly, review of the application may consider the following:

INTRODUCTION

That the general intent and purpose of the by-law will be maintained.
 That the general intent and purpose of the official plan will be maintained.
 That the requested variance(s) is/are acceptable for the appropriate development of the subject lands.
 That the requested variance(s) is/are minor in nature.

Public written and oral submissions relating to this application are taken into consideration by the Committee of Adjustment as part of its deliberations and final decision on this matter.

COMMITTEE OF ADJUSTMENT

Date Public Notice Mailed:	June 26, 2024
Date Applicant Confirmed Posting of Sign:	June 19, 2024
Applicant Justification for Variances: <small>*As provided in Application Form</small>	Lot coverage does not allow for minimum living characteristics, conditions and minimum room sizes that the Owner is accustomed to. Existing single-story house limited the building height to 8.5m and new house design requires a higher building height.
Was a Zoning Review Waiver (ZRW) Form submitted by Applicant: <small>*ZRW Form may be used by applicant in instances where a revised submission is made, and zoning staff do not have an opportunity to review and confirm variances prior to the issuance of public notice.</small>	Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>
COMMENTS:	
None	
Committee of Adjustment Recommended Conditions of Approval:	None

BUILDING STANDARDS (ZONING)

**See Schedule B for Building Standards (Zoning) Comments	
Building Standards Recommended Conditions of Approval:	None

DEVELOPMENT PLANNING

**See Schedule B for Development Planning Comments.	
Development Planning Recommended Conditions of Approval:	None

DEVELOPMENT ENGINEERING

[Link to Grading Permit](#) [Link to Pool Permit](#) [Link to Curb Curt Permit](#) [Link Culvert Installation](#)

As the proposed dwelling in the subject property has a ground floor area of 201.16 m², the Owner/Applicant needs to obtain a 'Lot Grading Permit' from the Development Inspection and Lot Grading Division of the City's Development Engineering Department. Please note any in-ground structure over 10 m² requires a 'Grading Permit'. Please contact the Development Engineering Reviewer after receiving the Grading Permit to clear the condition. (Condition attached) The Owner/Applicant shall apply and obtain the necessary 'Curb Cut/Reinstating Permit' through the Transportation and Fleet Management Services. Please visit the Curb Cut Permits page at the City of Vaughan website to learn how to apply for the Curb Cut/ Reinstating Permit. The proposed work by the Owner/Applicant is increasing the lot coverage on the subject property. The added hardscape may have impacts on the City's Storm Water management system. Development Engineering strongly encourages the Owner / Applicant introduce Low-Impact Development (LID) measures (e.g., bioswales, permeable pavers, rain gardens, rain barrels etc.) to reduce the impacts to the stormwater system. Should further information be required, please contact the Development Engineering COA reviewer.

Development Engineering Recommended Conditions of Approval:	The Owner/Applicant shall submit an application and obtain an approved Grading Permit before initiating any work on the property. The Final Lot Grading and/or Servicing Plan will be required for the Grading Permit Application. Please visit the Permits page of the City of Vaughan's website: Permits City of Vaughan to apply for a Grading Permit. For any inquiries regarding the Grading Permit, please email DEPermits@vaughan.ca
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PARKS, FORESTRY & HORTICULTURE (PFH)

Recommended conditions of approval:

PFH Recommended Conditions of Approval:

Applicant/owner shall obtain a "Private Property Tree Removal & Protection" permit through the forestry division prior to any construction works on the subject property.

DEVELOPMENT FINANCE

That the payment of the City Development Charge is payable to the City of Vaughan prior to issuance of a building permit in accordance with the Development Charges Act and City-wide Development Charge By-law in effect at time of payment.

That the payment of Region of York Development Charge is payable to the City of Vaughan prior to issuance of a building permit in accordance with the Development Charges Act and Regional Development Charges By-laws in effect at time of payment.

That the payment of Education Development Charge is payable to the City of Vaughan prior to issuance of a building permit in accordance with the Education Act and York Region District School Board and York Catholic District School Board Development Charges By-laws in effect at time of payment.

That the payment of applicable Area Specific Development Charges are payable to the City of Vaughan prior to issuance of a building permit in accordance with the Development Charges Act and Area Specific Development Charge By-laws in effect at time of payment.

Demolition development charge credits valid for a period of 48 months from date of demolition permit issuance. After 48 months, full development charges apply as per by-laws.

Development Finance Recommended Conditions of Approval:

None

BY-LAW AND COMPLIANCE, LICENSING AND PERMIT SERVICES

No comments received to date.

BCLPS Recommended Conditions of Approval:

None

BUILDING INSPECTION (SEPTIC)

No comments received to date.

Building Inspection Recommended Conditions of Approval:

None

FIRE DEPARTMENT

No comments received to date.

Fire Department Recommended Conditions of Approval:

None

RECOMMENDED CONDITIONS OF APPROVAL SUMMARY

Should the Committee find it appropriate to approve this application in accordance with request and the sketch submitted with the application, as required by Ontario Regulation 200/96, the following conditions have been recommended:

#	DEPARTMENT / AGENCY	CONDITION
1	Development Engineering jonal.hall@vaughan.ca	The Owner/Applicant shall submit an application and obtain an approved Grading Permit before initiating any work on the property. The Final Lot Grading and/or Servicing Plan will be required for the Grading Permit Application. Please visit the Permits page of the City of Vaughan's website: Permits City of Vaughan to apply for a Grading Permit. For any inquiries regarding the Grading Permit, please email DEPermits@vaughan.ca
2	Parks, Forestry and Horticulture Operations zachary.quizzetti@vaughan.ca	Applicant/owner shall obtain a "Private Property Tree Removal & Protection" permit through the forestry division prior to any construction works on the subject property.

RECOMMENDED CONDITIONS OF APPROVAL SUMMARY

Should the Committee find it appropriate to approve this application in accordance with request and the sketch submitted with the application, as required by Ontario Regulation 200/96, the following conditions have been recommended:

All conditions of approval, unless otherwise stated, are considered to be incorporated into the approval "if required". If a condition is no longer required after an approval is final and binding, the condition may be waived by the respective department or agency requesting conditional approval. A condition cannot be waived without written consent from the respective department or agency.

IMPORTANT INFORMATION

CONDITIONS: It is the responsibility of the owner/applicant and/or authorized agent to obtain and provide a clearance letter from respective department and/or agency (**see condition chart above for contact**). This letter must be provided to the Secretary-Treasurer to be finalized. All conditions must be cleared prior to the issuance of a Building Permit.

APPROVALS: Making any changes to your proposal after a decision has been made may impact the validity of the Committee's decision.

An approval obtained from the Committee of Adjustment, where applicable, is tied to the building envelope shown on the plans and drawings submitted with the application and subject to the variance approval.

A building envelope is defined by the setbacks of the buildings and/or structures shown on the plans and drawings submitted with the application, as required by Ontario Regulation 200/96. Future development outside of an approved building envelope, where a minor variance was obtained, must comply with the provisions of the City's Zoning By-law.

Elevation drawings are provided to reflect the style of roof (i.e. flat, mansard, gable etc.) to which a building height variance has been applied. Where a height variance is approved, building height is applied to the style of roof (as defined in the City's Zoning By-law) shown on the elevation plans submitted with the application.

Architectural design features that are not regulated by the City's Zoning By-law are not to be considered part of an approval unless specified in the Committee's decision.

DEVELOPMENT CHARGES: That the payment of the Regional Development Charge, if required, is payable to the City of Vaughan before issuance of a building permit in accordance with the Development Charges Act and the Regional Development Charges By-law in effect at the time of payment.

That the payment of the City Development Charge, if required, is payable to the City of Vaughan before issuance of a building permit in accordance with the Development Charges Act and the City's Development Charges By-law in effect at the time of payment.

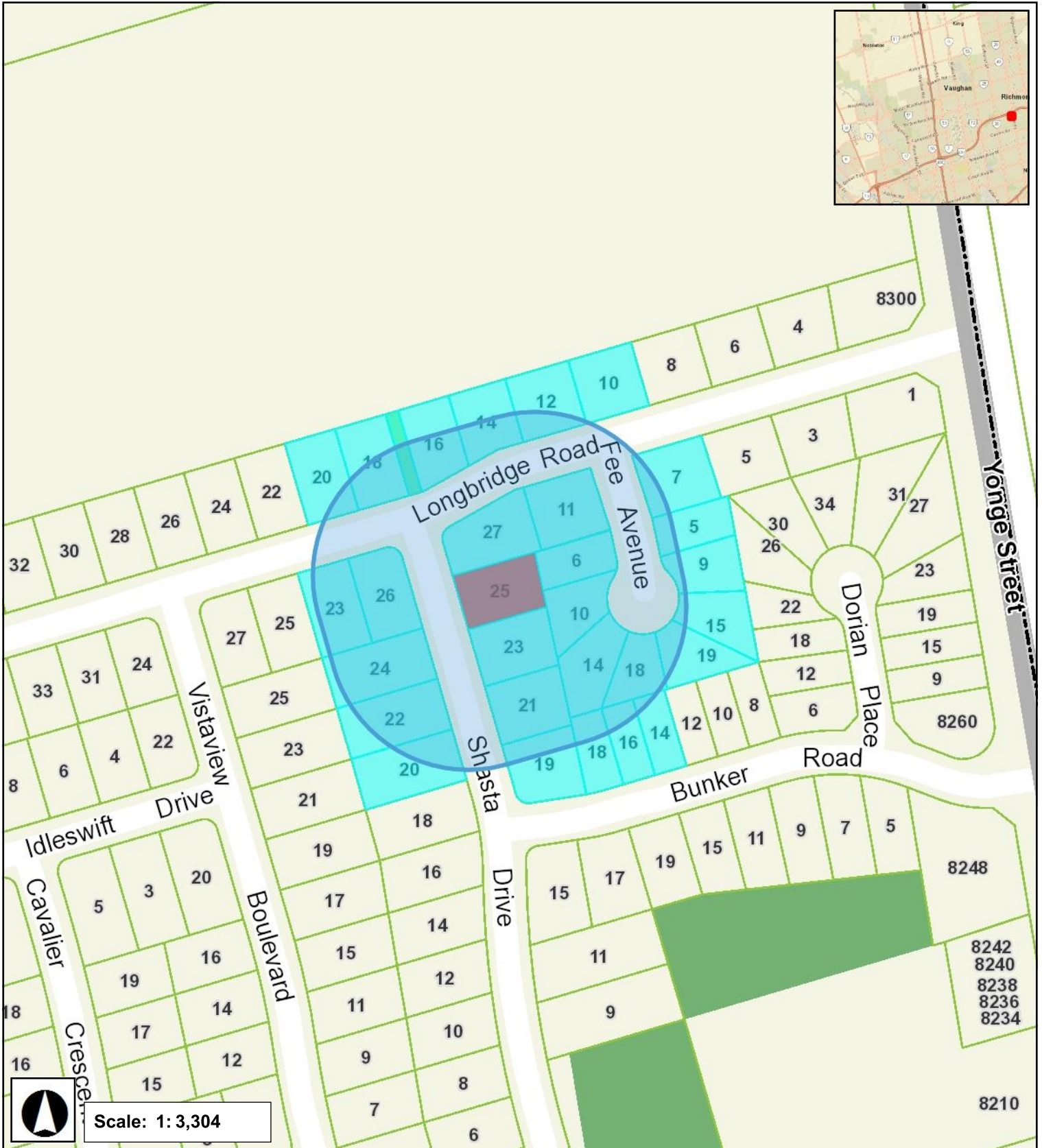
That the payment of the Education Development Charge if required, is payable to the City of Vaughan before issuance of a building permit in accordance with the Development Charges Act and the Boards of Education By-laws in effect at the time of payment

That the payment of Special Area Development charge, if required, is payable to the City of Vaughan before issuance of a building permit in accordance with the Development Charges Act and The City's Development Charge By-law in effect at the time of Building permit issuance to the satisfaction of the Reserves/Capital Department.

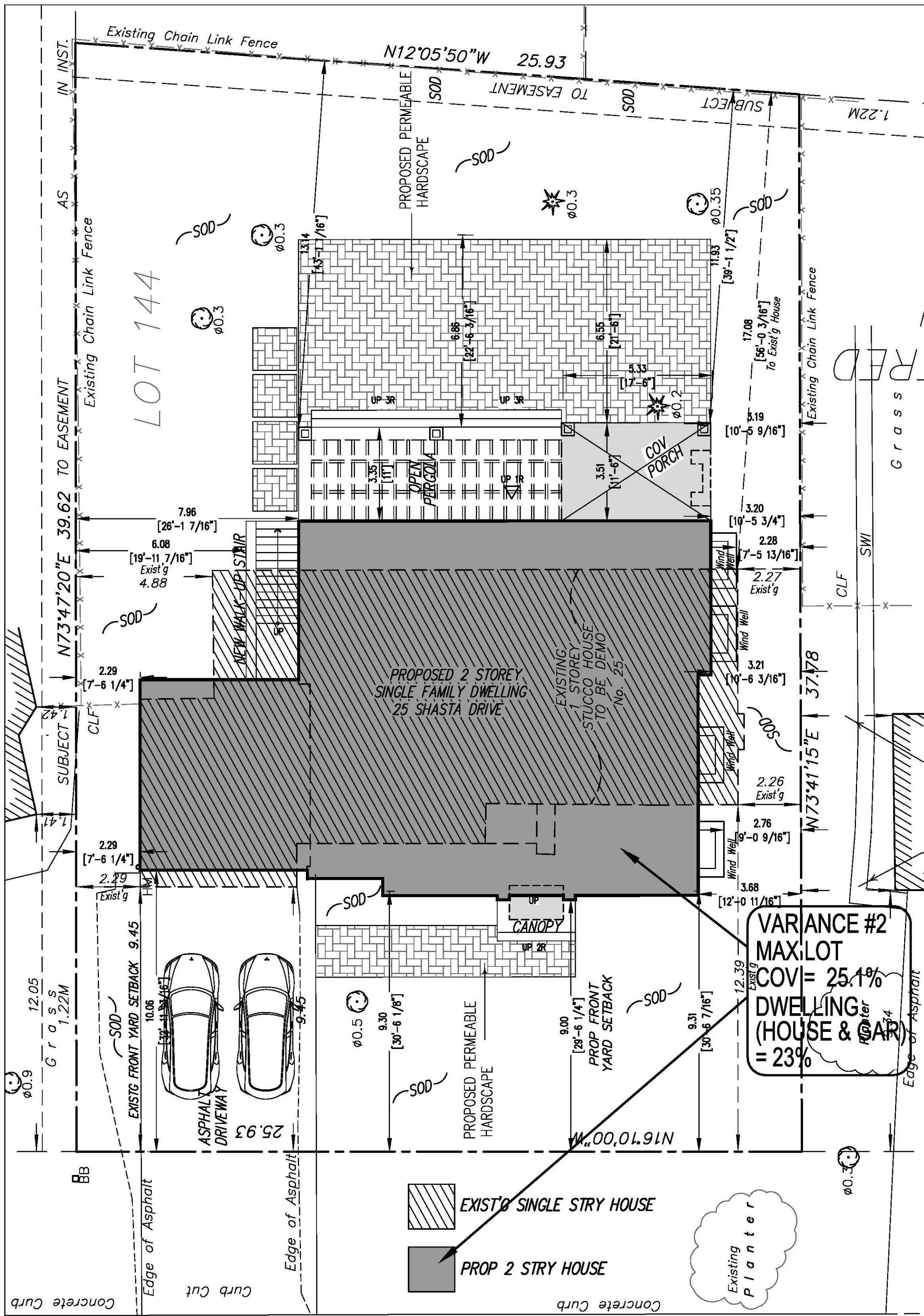
NOTICE OF DECISION: If you wish to be notified of the decision in respect to this application or a related Ontario Land Tribunal (OLT) hearing you must complete a Request for Decision form and submit to the Secretary Treasurer (ask staff for details). In the absence of a written request to be notified of the Committee's decision you will **not** receive notice.

SCHEDULE A: DRAWINGS & PLANS

25 SHASTA DRIVE, THORNHILL



PLANS PREPARED AND VARIANCES IDENTIFIED BY APPLICANT



VARIANCE #2
 MAX LOT COV = 25.1%
 DWELLING (HOUSE & CAR) = 23%

SHASTA DRIVE

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 3 Sixty architect inc.
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 @3sixty.architect

No.	DATE:	REVISION
1	April 9/2024	Issued for MV App
2	June 7/2024	Re-issued Revision to MV-Lot Cov
3		
4		

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PROJECT:	25 SHASTA DRIVE LOT 144 RP M681 Vaughan, Ontario
TITLE:	PROPOSED SITEPLAN
DRAWN BY:	JC
CHECKED BY:	JC
DATE:	MARCH 2024
SCALE:	NTS
PROJECT NO.:	0279
DRAWING NO.:	A1

SITE STATISTICS

2012 O.B.C. Classification – Group C Res
2012 O.B.C. Table 9.10.2.1.

ZONING R1E BYLAW 001–2021 First Density Residential Zone
(ESTABLISHED NEIGHBOURHOOD).

SITE AREA = 1002.17 m² (10787.62 ft²)
TAKEN FROM SURVEYOR'S 'TOPOGRAPHIC SURVEY' 'ALEX MARTON LIMITED' ONTARIO LAND SURVEYORS – PROJECT NO. 2022–177

EXISTING DWELLING NUMBER OF STORIES 1
PROPOSED DWELLING NUMBER OF STORIES 2

EXISTING DWELLING (TO BE DEMOLISHED)
EXIST'G BLDG HEIGHT = 4.28 m (TO MID-POINT OF SLOPED ROOF)
GROUND FLOOR G.F.A. = 195.76 m² (2107.21 ft²)
EXISTING OVERALL LOT COV
HOUSE + GARAGE + COVERED PORCH = 19.53 % Existing House

PROPOSED GROSS FLOOR AREAS:
GROUND FLOOR = 188.48 m² (2028.9 ft²)
SECOND FLOOR = 229.28 m² (2468.0 ft²)
INCLUDES 12.9 ft² (1.19 m²) OPEN TO BELOW
SUBTOTAL = 417.76 m² (4496.9 ft²)
ELEVATOR SHAFT = 2.71 m² (29.2 ft²) Each Floor
TOTAL NEW G.F.A. = 415.05 m² (4467.7 ft²)

PROPOSED OVERALL LOT COVERAGE
DWELLING AREA = 230.49 m² (2481.04 ft²) = 23.0 %
HOUSE & GARAGE
FRONT PORCH CANOPY = 1.66 m² (17.9 ft²) 0.16 %
REAR COVERED PORCH = 18.70 m² (201.3 ft²) 1.87 %
REQUIRED LOT COVERAGE = 23% WHEN MAX BLDG HT IS 9.5 m
TOTAL LOT COVERAGE = 250.85 m² (2700.24 ft²) = 25.03 %

VARIANCE #2

PROPOSED LANDSCAPE AREAS
REAR YARD AREA (TO FACE OF REAR COV PORCH) = 327.6 m²
REQ'D REAR YARD 327.6–135 = 192.6 m²
REQ'D REAR YRD SOFTSCAPE = 192.6 x 0.6 = 115.5 m² (60%)
PROPOSED REAR YRD HARDSCAPE = 101.35 m²
PROVIDED SOFT LANDSCAPING = 222.15 m² = 69.1%
(REAR YARD 327.6 MINUS HARDSCAPE 101.35 = 226.25 DIVIDED BY 327.6)

SET BACKS – HOUSE
FRONT YARD SETBACK REQUIRED = 9.0 m AS PER 7.2.2.(1) CLOSEST DIMENSION
PROVIDED = 9.0 m
FRONT YARD GARAGE SETBACK REQUIRED = 5.7 m AS PER 7.2.2.(4) CLOSEST DIMENSION
PROVIDED = 10.06 m
REAR YARD SETBACK REQUIRED = 7.5 m AS PER TABLE 7.3 CLOSEST DIMENSION
PROVIDED = 11.93 m
NORTH INT. YARD SETBACK REQUIRED = 1.5 m AS PER TABLE 7.3 CLOSEST DIMENSION
PROVIDED = 2.29 m
SOUTH INT. YARD SETBACK REQUIRED = 1.5 m AS PER TABLE 7.3 CLOSEST DIMENSION
PROVIDED = 2.28/3.19 m

VARIANCE #1

BUILDING HEIGHT = MAX ALLOWED = 8.5 m AS PER 4.5.1.(b)
PROVIDED FROM AVERAGE ESTABLISHED GRADE = 9.5 m

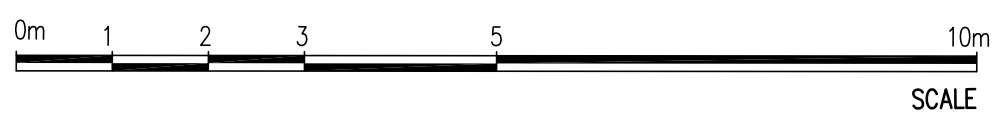
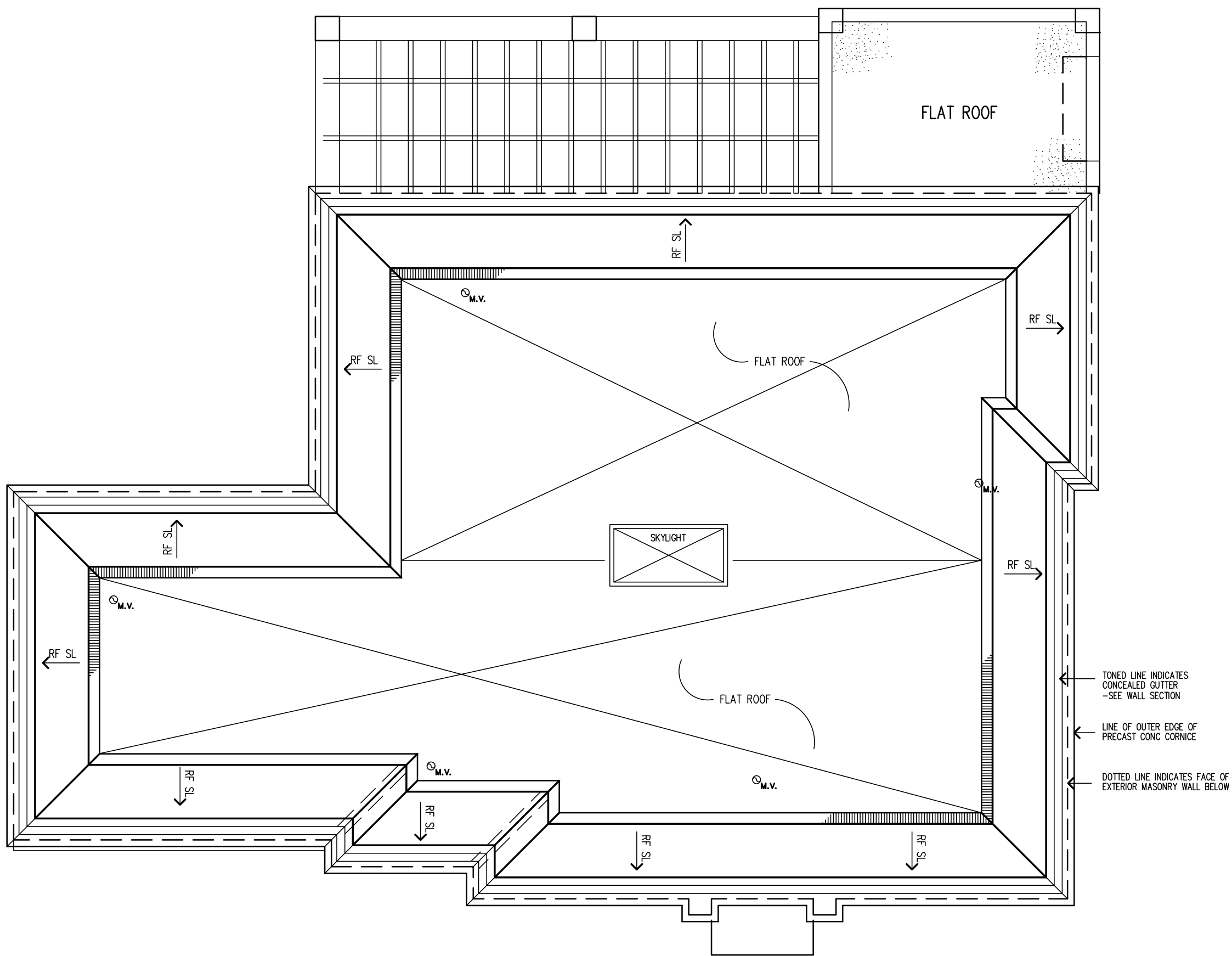


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@3sixty.architect

No.	DATE:	REVISION
1	April 9/2024	Issued for MV App
2	June 7/2024	Re-issued Revision to MV-Lot Cov
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PROJECT:	25 SHASTA DRIVE LOT 144 RP M681 Vaughan, Ontario	
TITLE:	SITE STATISTICS	
DRAWN BY:	JC	PROJECT NO.: 0279
CHECKED BY:	JC	DRAWING NO.:
DATE:	MARCH 2024	A2
SCALE:	NTS	



ROOF PLAN

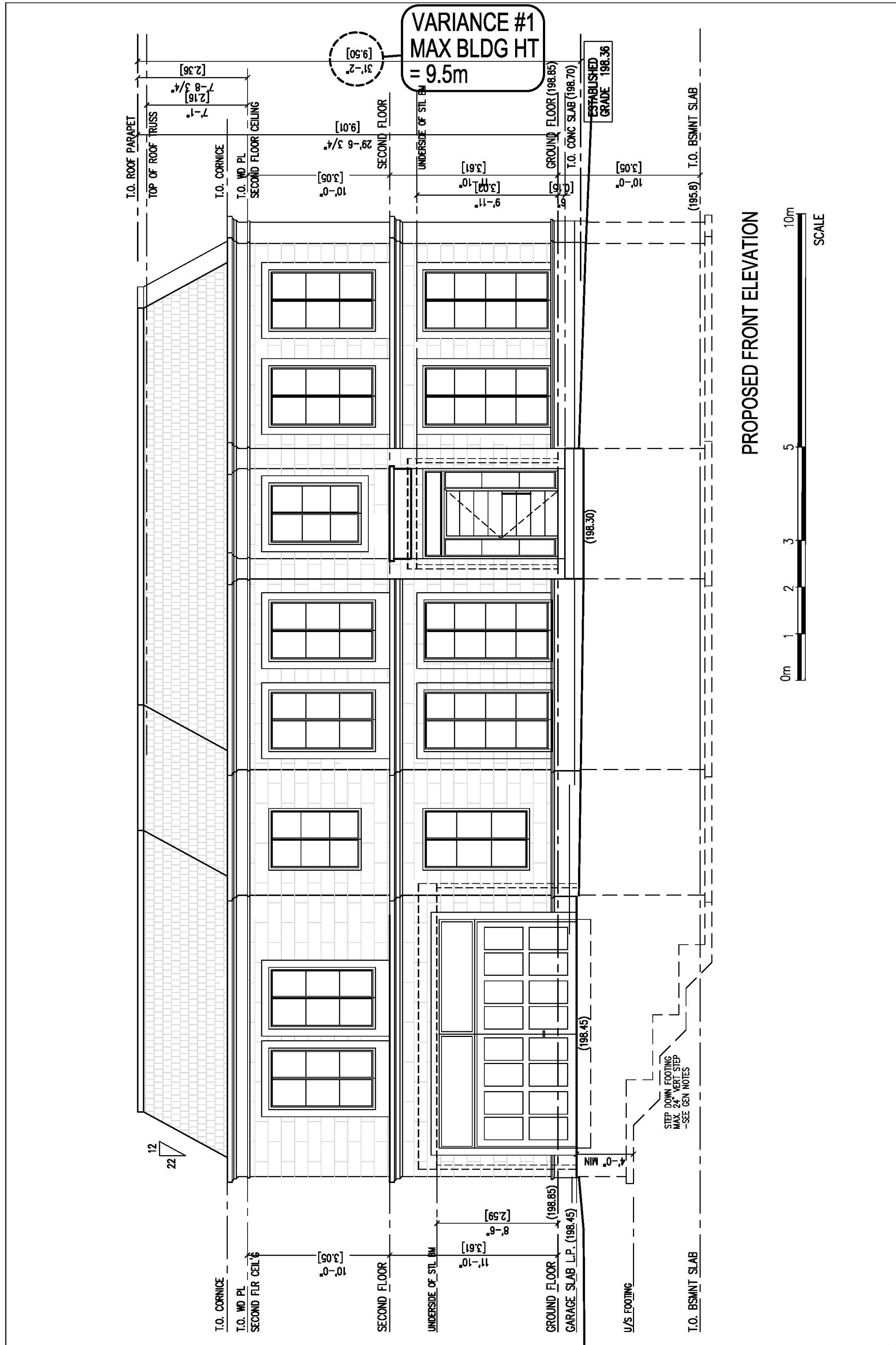


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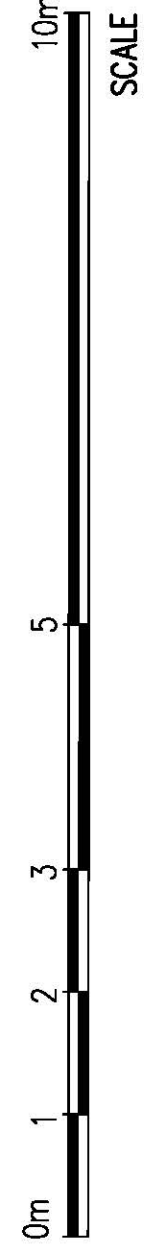
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TITLE: ROOF PLAN	
DRAWN BY: JC	PROJECT NO.: 0279
CHECKED BY: JC	DRAWING NO.:
DATE: MARCH 2024	A6
SCALE: N.T.S.	



PROPOSED FRONT ELEVATION



36ity
architect inc.

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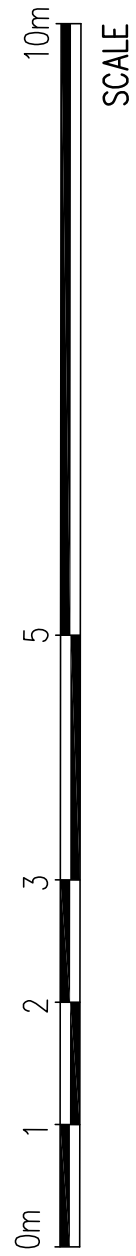
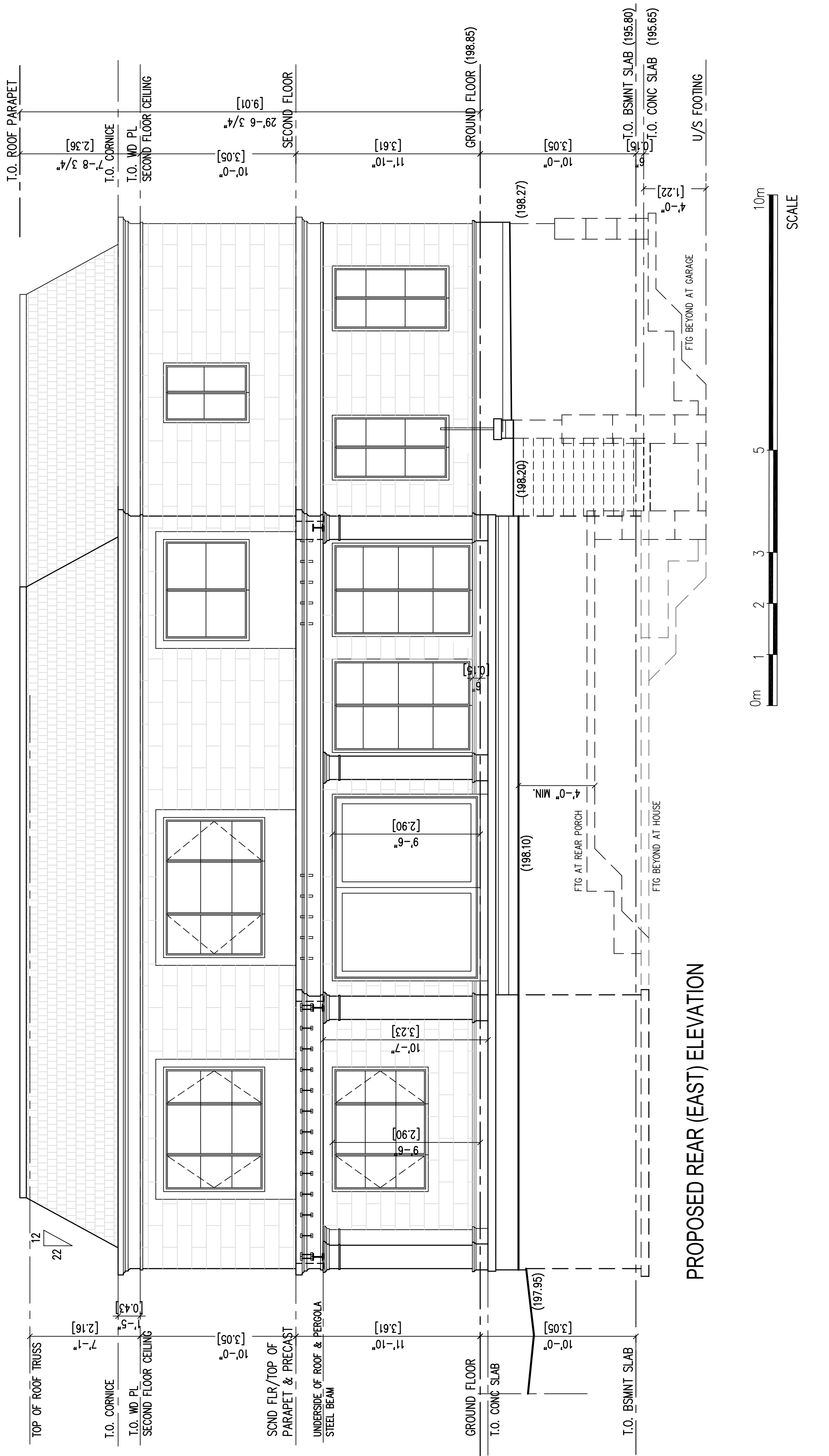
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No.	DATE:	REVISION
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2	June 7/2024	Re-issued Revision to MV-Lot Cov
3	April 26/2024	Building height clarification
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PROJECT:	25 SHASTA DRIVE LOT 144 RP M681 Vaughan, Ontario	
TITLE:	FRONT ELEVATION	
DRAWN BY:	JC	PROJECT NO.: 0279
CHECKED BY:	JC	DRAWING NO.:
DATE:	MARCH 2024	A7
SCALE:	NTS	



PROPOSED REAR (EAST) ELEVATION



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PROJECT: 25 SHASTA DRIVE
LOT 144 RP M681
Vaughan, Ontario

TITLE: REAR ELEVATION

DRAWN BY: JC

CHECKED BY: JC

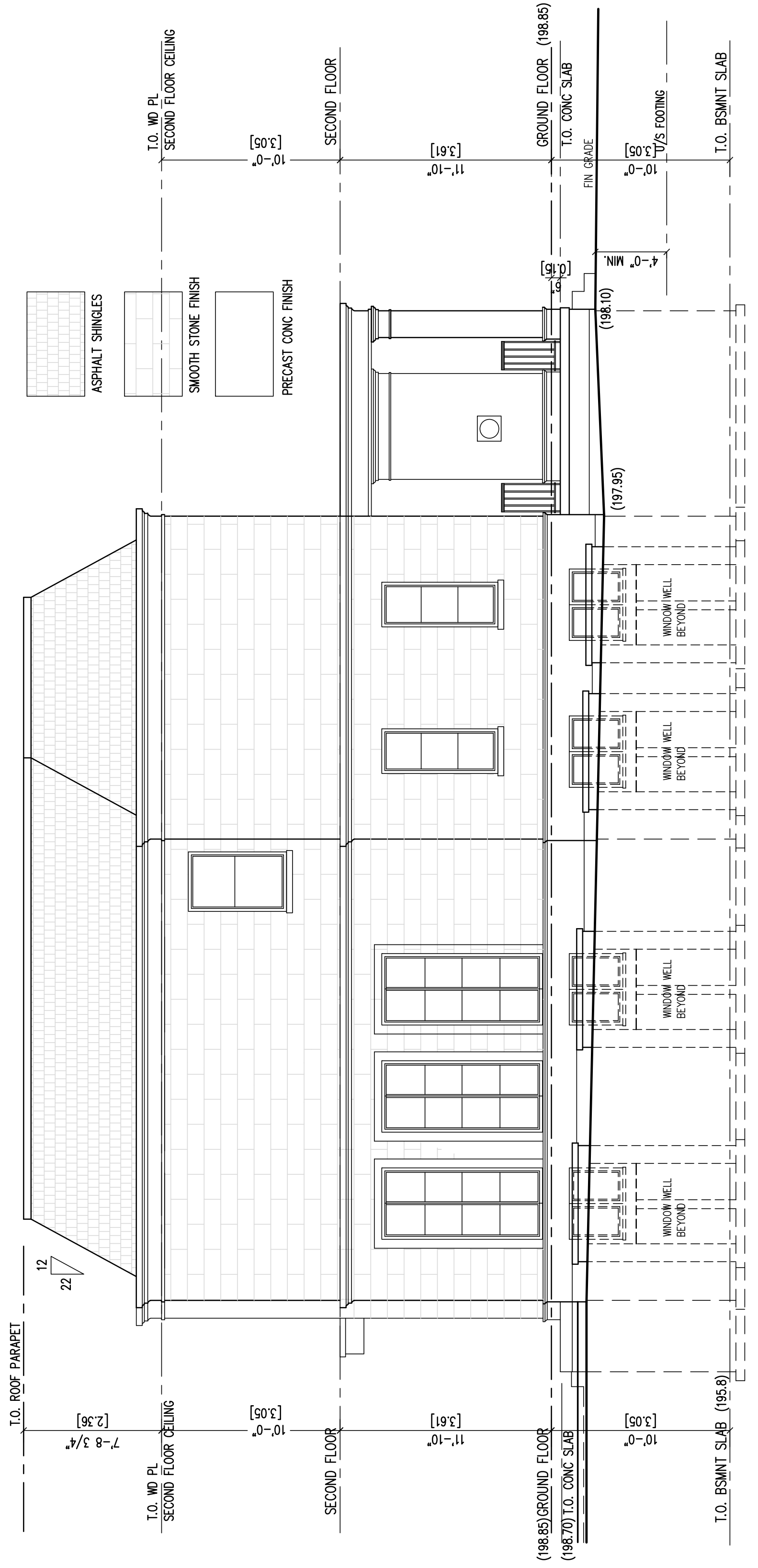
DATE: MARCH 2024

SCALE: NTS

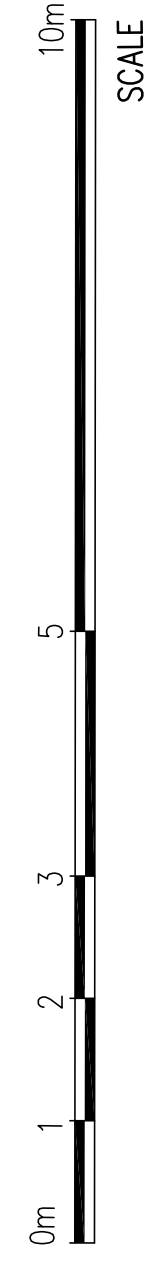
PROJECT NO.: 0279

DRAWING NO.:

A8



PROPOSED RIGHT (SOUTH) ELEVATION

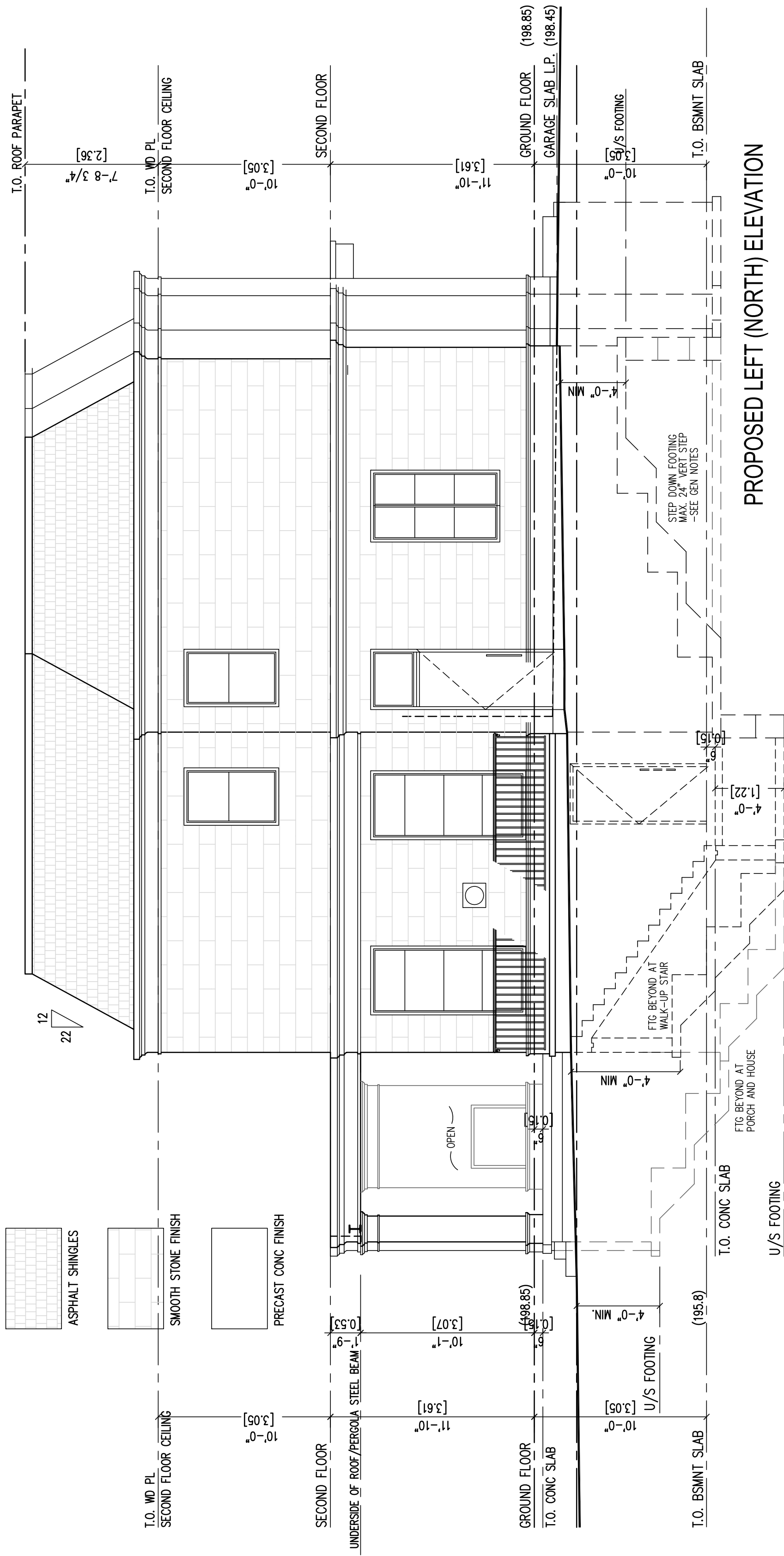


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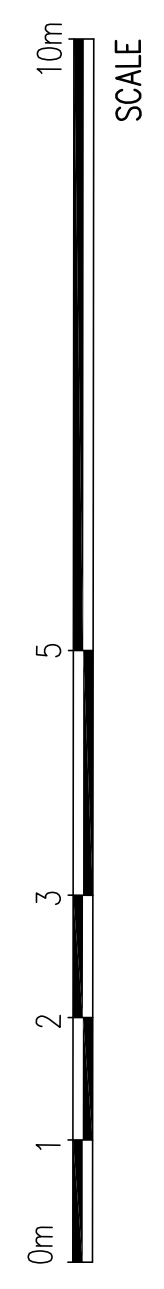
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PROJECT: 25 SHASTA DRIVE LOT 144 RP M681 Vaughan, Ontario	
TITLE: RIGHT ELEVATION	
DRAWN BY: JC	PROJECT NO.: 0279
CHECKED BY: JC	DRAWING NO.:
DATE: MARCH 2024	A9
SCALE: NTS	



PROPOSED LEFT (NORTH) ELEVATION



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PROJECT: 25 SHASTA DRIVE LOT 144 RP M681 Vaughan, Ontario	
TITLE: LEFT ELEVATION	
DRAWN BY: JC	PROJECT NO.: 0279
CHECKED BY: JC	DRAWING NO.:
DATE: MARCH 2024	A10
SCALE: NTS	

**SCHEDULE B:
COMMENTS FROM AGENCIES, BUILDING STANDARDS &
DEVELOPMENT PLANNING**

Department / Agency <small>*Comments Received</small>	Conditions Required		Nature of Comments
Building Standards (Zoning) *See Schedule B	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>	General Comments
Development Planning	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>	Recommend Approval/No Conditions

External Agencies <small>*Comments Received</small>	Conditions Required		Nature of Comments <small>*See Schedule B for full comments</small>
Alectra	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>	General Comments
Region of York	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>	General Comments
TRCA	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>	General Comments

Date: April 25th 2024

Attention: Christine Vigneault

RE:

File No.: A073-24

Related Files:

Applicant 3 sixty architect inc.

Location 25 Shasta Drive



Discover the possibilities

COMMENTS:

- We have reviewed the proposed Variance Application and have no comments or objections to its approval.
- We have reviewed the proposed Variance Application and have no objections to its approval, subject to the following comments (attached below).
- We have reviewed the proposed Variance Application and have the following concerns (attached below).

Alectra Utilities (formerly PowerStream) has received and reviewed the proposed Variance Application. This review, however, does not imply any approval of the project or plan.

All proposed billboards, signs, and other structures associated with the project or plan must maintain minimum clearances to the existing overhead or underground electrical distribution system as specified by the applicable standards, codes and acts referenced.

In the event that construction commences, and the clearance between any component of the work/structure and the adjacent existing overhead and underground electrical distribution system violates the Occupational Health and Safety Act, the customer will be responsible for 100% of the costs associated with Alectra making the work area safe. All construction work will be required to stop until the safe limits of approach can be established.

In the event construction is completed, and the clearance between the constructed structure and the adjacent existing overhead and underground electrical distribution system violates the any of applicable standards, acts or codes referenced, the customer will be responsible for 100% of Alectra's cost for any relocation work.

References:

- Ontario Electrical Safety Code, latest edition (Clearance of Conductors from Buildings)
- Ontario Health and Safety Act, latest edition (Construction Protection)
- Ontario Building Code, latest edition (Clearance to Buildings)
- PowerStream (Construction Standard 03-1, 03-4), attached
- Canadian Standards Association, latest edition (Basic Clearances)

If more information is required, please contact either of the following:

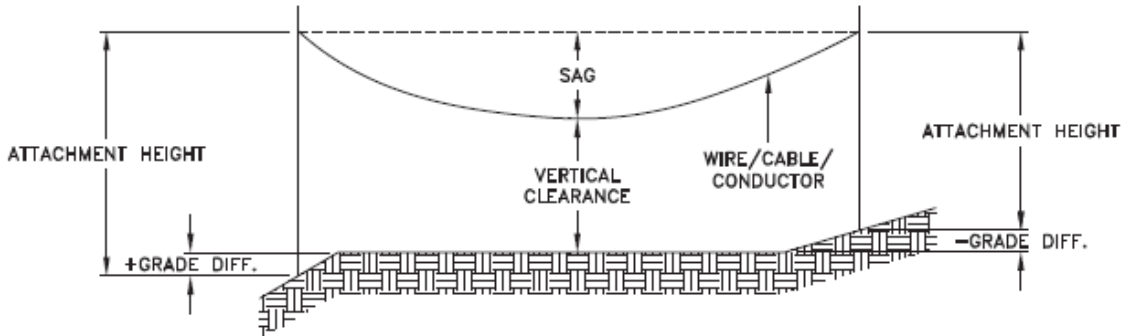
Mr. Stephen Cranley, C.E.T
Supervisor, Distribution Design, ICI & Layouts (North)
Phone: 1-877-963-6900 ext. 31297

E-mail: stephen.cranley@alectrautilities.com

Mitchell Penner
Supervisor, Distribution Design-Subdivisions
Phone: 416-302-6215

Email: Mitchell.Penner@alectrautilities.com

LOCATION OF WIRES, CABLES OR CONDUCTORS	SYSTEM VOLTAGE			
	SPAN GUYS AND COMMUNICATIONS WIRES	UP TO 600V AND NEUTRAL	4.16/2.4kV TO 27.6/16kV (SEE NOTE 1)	44kV
MINIMUM VERTICAL CLEARANCES (SEE NOTE 2)				
OVER OR ALONGSIDE ROADS, DRIVEWAYS OR LANDS ACCESSIBLE TO <u>VEHICLES</u>	442cm	442cm	480cm	520cm
OVER GROUND ACCESSIBLE TO <u>PEDESTRIANS AND BICYCLES ONLY</u>	250cm	310cm	340cm	370cm
ABOVE TOP OF RAIL AT <u>RAILWAY CROSSINGS</u>	730cm	730cm	760cm	810cm



MINIMUM ATTACHMENT HEIGHT = MAXIMUM SAG
 + MINIMUM VERTICAL CLEARANCE (FROM ABOVE TABLE)
 ± GRADE DIFFERENCE
 + 0.3m (VEHICLE OR RAILWAY LOCATION)
 + SNOW DEPTH (PEDESTRIAN LOCATION, SEE NOTE 3)

NOTES:

1. THE MULTIGROUNDED SYSTEM NEUTRAL HAS THE SAME CLEARANCE AS THE 600V SYSTEM.
2. THE VERTICAL CLEARANCES IN THE ABOVE TABLE ARE UNDER MAXIMUM SAG CONDITIONS.
3. REFER TO CSA STANDARD C22.3 No.1, ANNEX D FOR LOCAL SNOW DEPTH VALUES.
4. ALL CLEARANCES ARE IN ACCORDANCE TO CSA STANDARD C22.3.

CONVERSION TABLE

METRIC	IMPERIAL (APPROX)
810cm	27'-0"
760cm	25'-4"
730cm	24'-4"
520cm	17'-4"
480cm	16'-0"
442cm	15'-5"
370cm	12'-4"
340cm	11'-4"
310cm	10'-4"
250cm	8'-4"

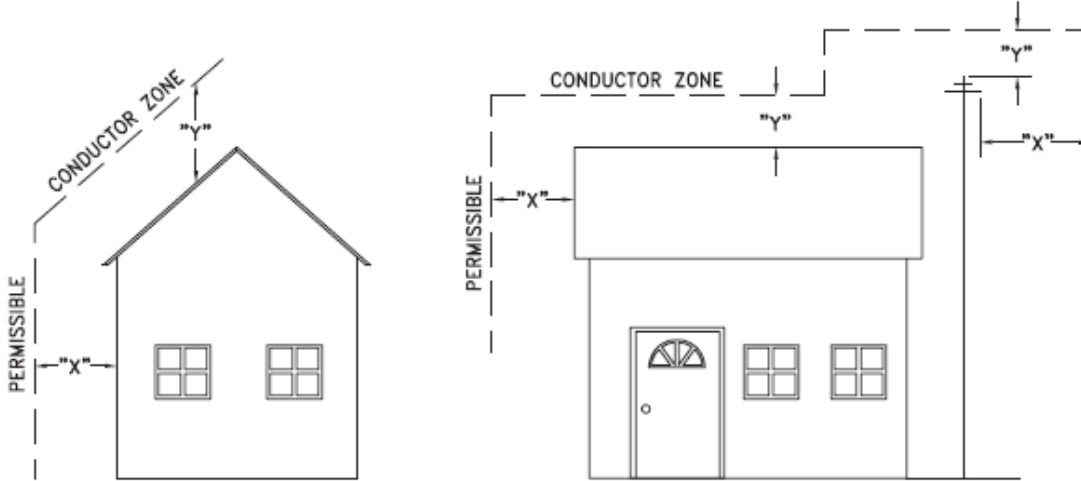
REFERENCES

SAGS AND TENSIONS | SECTION 02

MINIMUM VERTICAL CLEARANCES OF WIRES, CABLES AND CONDUCTORS ABOVE GROUND OR RAILS

ORIGINAL ISSUE DATE: 2010-DEC-24 REVISION NO: R1 REVISION DATE: 2012-JAN-09

Certificate of Approval	
This construction Standard meets the safety requirements of Section 4 of Regulation 22/04	
Joe Crozier, P.Eng.	2012-JAN-09
Name	Date
P.Eng. Approval By:	Joe Crozier



VOLTAGE	MINIMUM HORIZONTAL CLEARANCE UNDER MAXIMUM SWING CONDITIONS DIMENSION "X" (SEE NOTES 1, 3 & 4)	MINIMUM VERTICAL CLEARANCE UNDER MAXIMUM DESIGN SAG CONDITIONS DIMENSION "Y" (SEE NOTES 1, 2, 4 & 5)
0-600V AND NEUTRAL	100cm	250cm
4.16/2.4 TO 44kV	300cm	480cm

NOTES

1. UNDER NO CIRCUMSTANCES SHALL A CONDUCTOR BE PERMITTED TO PENETRATE THE ENVELOPE SHOWN BY THE DOTTED LINE.
2. THE VERTICAL CLEARANCES ARE UNDER CONDITIONS OF MAXIMUM DESIGN SAG.
3. THE HORIZONTAL CLEARANCES ARE UNDER CONDITIONS OF MAXIMUM SWING. WHERE THE CONDUCTOR SWING IS NOT KNOWN A HORIZONTAL CLEARANCE OF 480CM SHALL BE USED.
4. BUILDINGS THAT EXCEED 3 STOREYS OR 15M IN HEIGHT, THE MINIMUM HORIZONTAL CLEARANCE OF THE SECONDARY CONDUCTORS SHOULD BE INCREASED TO 300cm WHERE IT IS NECESSARY TO ALLOW FOR THE RAISING OF LADDERS BY LOCAL FIRE DEPARTMENTS.
5. IN SITUATIONS SUCH AS MULTI-LEVEL GARAGES, WHERE ROOFS ARE NORMALLY USED BY PERSONS AND VEHICLES, THE VERTICAL CLEARANCES OF POWERSTREAM STANDARD 03-1 SHALL APPLY.
6. DISTRIBUTION LINES CONSTRUCTED NEAR BUILDINGS SHALL BE BUILT TO AVOID OVERHANG WHEREVER POSSIBLE. WHERE LINES MUST BE CONSTRUCTED OVER OR ADJACENT TO BUILDINGS THE APPLICABLE HORIZONTAL AND VERTICAL CLEARANCES SHALL BE AT CONDITIONS OF MAXIMUM CONDUCTOR SWING AND MAXIMUM SAG. THE ABOVE CLEARANCES ARE DESIGNED TO PREVENT PERSONS ON OR IN BUILDINGS AS WELL AS EXTERNAL MACHINERY USED IN CONJUNCTION WITH A BUILDING TO COME IN CONTACT WITH CONDUCTORS. EFFORTS SHOULD BE MADE TO INCREASE THESE CLEARANCES WHERE POSSIBLE.
7. ALL CLEARANCES ARE IN ACCORDANCE TO CSA C22.3 NO.1-06 (TABLE-9).

METRIC	IMPERIAL (APPROX)
480cm	16'-0"
300cm	10'-0"
250cm	8'-4"
100cm	3'-4"

MINIMUM VERTICAL & HORIZONTAL CLEARANCES OF CONDUCTORS FROM BUILDINGS OR OTHER PERMANENT STRUCTURES (CONDUCTORS NOT ATTACHED TO BUILDINGS)

Certificate of Approval
This construction Standard meets the safety requirements of Section 4 of Regulation 22/04
Debbie Dadwani, P.Eng. 2010-MAY-05
Name Date
P. Eng. Approval By: *D. Dadwani*

ORIGINAL ISSUE DATE: 2010-MAY-05 REVISION NO: REVISION DATE:
PS:\System Planning and Standards\Standard Design\PowerStream Standards\PowerStream Standards working files\Section 3-1-02\WG 03-4 R0 May 5, 2010.dwg, 5/5/2010 10:22:02 AM, Adobe PDF

To: Committee of Adjustment
From: Niloufar Youssefi, Building Standards Department
Date: June 14, 2024
Applicant: 3 sixty architect inc.
Location: 25 Shasta Drive
 PLAN M681 Lot 144
File No.(s): A073/24

Zoning Classification:

The subject lands are zoned **R1E(EN) – First Density Residential Zone (Established Neighbourhood)** under **Zoning By-law 001-2021**, as amended.

#	Zoning By-law 001-2021	Variance requested
1	The maximum building height shall be 8.5m [Section 4.5.1.b.] . (See note 1 below).	To permit a maximum height of 9.5m .
2	The maximum lot coverage shall be 23% provided the maximum height is 9.5 m [Section 7.2.2, Table 7-3] (See note 2 below).	To permit a maximum lot coverage of 25.1% .

Staff Comments:

Stop Work Order(s) and Order(s) to Comply:

There are no outstanding Orders on file.

Building Permit(s) Issued:

A Building Permit has not been issued. The Ontario Building Code requires a building permit for structures that exceed 10 m².

Other Comments:

Zoning By-law 001-2021	
1	The existing building height appears to be 4.28m as per submitted drawings, therefore, maximum height of 8.5m is permitted [Section 4.5.1.b.] . Refer to Section 3.0 DEFINITIONS of Zoning By-law 001-2021 for Height definitions of flat roof.
2	The proposed lot coverage for the principal dwelling (house and garage) is 23%. The total lot coverage of 25.03% has been provided for principal dwelling, rear covered porch and front porch canopy.

General Comments	
3	The applicant shall be advised that additional variances may be required upon review of detailed drawing for building permit/site plan approval.

Conditions of Approval:

If the committee finds merit in the application, the following conditions of approval are recommended.

* Comments are based on the review of documentation supplied with this application.

To: Christine Vigneault, Committee of Adjustment Secretary Treasurer
From: Nancy Tuckett, Director of Development Planning
Date: June 27, 2024
Name of Owner: Andrea Conforti
Location: 25 Shasta Drive
File No.(s): A073/24

Proposed Variance(s) (By-law 001-2021):

1. To permit a maximum height of 9.5 m.
2. To permit a maximum lot coverage of 25.1%.

By-Law Requirement(s) (By-law 001-2021):

1. The maximum building height shall be 8.5 m.
2. The maximum lot coverage shall be 23% provided the maximum height is 9.5 m.

Official Plan:

City of Vaughan Official Plan 2010 ('VOP 2010'): "Low-Rise Residential"

Comments:

The Owner is seeking relief to permit the construction of a new two-storey detached residential dwelling, with the above noted variances.

Development Planning Department Staff have no objection to Variance 1 for the proposed height of 9.5 m. The proposed dwelling height is measured to the top of the roof parapet. The requested height increase is for the dwelling's roof, which presents a shingled surface to all lot lines and as such adds minimal mass. An increase of 1 m to the permissible height for the proposed dwelling is minor in nature and is not anticipated to have adverse massing effects to the surrounding properties.

Development Planning Department Staff have no objection to Variance 2 for the proposed 25.1% lot coverage. The percentage breakdown of the total proposed lot coverage is as follows; 23% represents the dwelling and garage, 0.16% for the front porch, and 1.87% for the rear porch. The porches are 1 storey in height and of open construction. In 2004, Vaughan City Council directed Development Planning staff to undertake a comprehensive study and review of the redevelopment occurring in certain established neighbourhoods, including the one the Subject Lands are within. The objective was to establish development criteria that balanced the evolution of neighbourhoods with existing built form and character. As a result of the report, a maximum 23% lot coverage for 2-storey detached dwellings was determined to be appropriate. The coverage relates to the enclosed space of and attached to the dwelling. Some additional lot coverage above the maximum for accessory structures, and covered but unclosed porches and decks may be considered through site specific analysis. The lot coverage of the proposed two-storey dwelling meets the 23% lot coverage allowance of the study, and the additional lot coverage associated with two unenclosed porches is moderate given their position, scale, and design. The proposed lot coverage of the dwelling meets the character and scale of the Old Thornhill residential neighbourhood. An arborist report prepared by Lothlorien Garden Consulting, dated February 21, 2023, inventoried and outlined protection requirements for 16 trees. Urban Design staff reviewed the arborist report and deferred to Forestry staff to determine if the proposed protective measures are sufficient, and advise the Owner to obtain necessary tree removal and injury permits through the Forestry Department.

Accordingly, Development Planning Department Staff can support the requested variances and are of the opinion that the proposal is minor in nature, maintains the general intent and purpose of the Official Plan and Zoning By-law, and is desirable for the appropriate development of the land.

Recommendation:

Development Planning Department staff recommends approval of the application.

Conditions of Approval:

If the Committee finds merit in the application, the following conditions of approval are recommended:

None.

Comments Prepared by:

Alyssa Pangilinan, Planner 1
David Harding, Senior Planner

Lenore Providence

Subject: FW: [External] RE: A073/24 (25 SHASTA DRIVE) - REQUEST FOR COMMENTS, CITY OF VAUGHAN

From: Kristen Regier <Kristen.Regier@trca.ca>

Sent: Thursday, April 25, 2024 2:49 PM

To: Committee of Adjustment <CofA@vaughan.ca>

Subject: [External] RE: A073/24 (25 SHASTA DRIVE) - REQUEST FOR COMMENTS, CITY OF VAUGHAN

CAUTION! This is an external email. Verify the sender's email address and carefully examine any links or attachments before clicking. If you believe this may be a phishing email, please use the Phish Alert Button.

Hello,

The subject property at 25 Shasta Drive, Vaughan is not located within TRCA's Regulated Area. TRCA's Planning and Regulatory policy interests are not impacted.

As such, TRCA has no comments on the application.

Best,

Kristen Regier, MA (she / her)

Planner

Development Planning and Permits | Development and Engineering Services

Toronto and Region Conservation Authority (TRCA)

T: [437-880-2129](tel:437-880-2129)

E: kristen.regier@trca.ca

A: [101 Exchange Avenue, Vaughan, ON, L4K 5R6](https://www.trca.ca) | [trca.ca](https://www.trca.ca)



From: [Development Services](#)
To: [Prabhdeep Kaur](#)
Cc: [Committee of Adjustment](#)
Subject: [External] RE: A073/24 (25 SHASTA DRIVE) - REQUEST FOR COMMENTS, CITY OF VAUGHAN
Date: Tuesday, May 7, 2024 9:57:08 AM
Attachments: [image002.png](#)
[image004.png](#)

CAUTION! This is an external email. Verify the sender's email address and carefully examine any links or attachments before clicking. If you believe this may be a phishing email, please use the Phish Alert Button.

Hi Prabhdeep,

The Regional Municipality of York has completed its review of the minor variance application – A073/24 (25 Shasta Drive) and has no comment.

Please provide us with a digital copy of the notice of decision for our records.

Many thanks,

Our working hours may be different. Please do not feel obligated to reply outside of your scheduled working hours. Let's work together to help foster healthy work-life boundaries.

Niranjan Rajevan, M.Pl. | Associate Planner, Development Services, Planning and Economic Development, Corporate Services

The Regional Municipality of York | 17250 Yonge Street | Newmarket, ON L3Y 6Z1
1-877-464-9675 ext. 71521 | niranjan.rajevan@york.ca | www.york.ca

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Our Mission: **Working together to serve our thriving communities – today and tomorrow**

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SCHEDULE C: PUBLIC & APPLICANT CORRESPONDENCE

None

SCHEDULE D: BACKGROUND

None