

<b>ITEM: 6.16</b>	<b>REPORT SUMMARY MINOR VARIANCE APPLICATION FILE NUMBER A071/24</b>
-------------------	--

Report Date: Friday, June 14, 2024

**THIS REPORT CONTAINS COMMENTS FROM THE FOLLOWING  
DEPARTMENTS & AGENCIES (SEE SCHEDULE B):**

Additional comments from departments and agencies received after the publication of the report will be made available on the City's [website](#).

Internal Departments <small>*Comments Received</small>	Conditions Required		Nature of Comments
Committee of Adjustment	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>	General Comments
Building Standards (Zoning)	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>	General Comments
Development Planning	Yes <input type="checkbox"/>	No <input type="checkbox"/>	Application Under Review
Development Engineering	Yes <input type="checkbox"/>	No <input type="checkbox"/>	Application Under Review
Development Finance	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>	General Comments

External Agencies <small>*Comments Received</small>	Conditions Required		Nature of Comments <small>*See Schedule B for full comments</small>
Alectra	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>	General Comments
TRCA	Yes <input checked="" type="checkbox"/>	No <input type="checkbox"/>	General Comments w/Conditions
Region of York	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>	General Comments
CN Rail	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>	General Comments

**PUBLIC & APPLICANT CORRESPONDENCE (SEE SCHEDULE C)**

All personal information collected because of this public meeting (including both written and oral submissions) is collected under the authority of the Municipal Act, the Municipal Freedom of Information and Protection of Privacy Act (MFIPPA), the Planning Act and all other relevant legislation, and will be used to assist in deciding on this matter. All personal information (as defined by MFIPPA), including (but not limited to) names, addresses, opinions and comments collected will become property of the City of Vaughan, will be made available for public disclosure (including being posted on the internet) and will be used to assist the Committee of Adjustment and staff to process this application.

Correspondence Type	Name	Address	Date Received <small>(mm/dd/yyyy)</small>	Summary
Applicant			04/18/2024	Cover Letter

<b>BACKGROUND (SCHEDULE D, IF REQUIRED)</b>	
<small>* Background Information contains historical development approvals considered to be related to this file. This information should not be considered comprehensive.</small>	
Application No. (City File)	Application Description <small>(i.e. Minor Variance Application; Approved by COA / OLT)</small>
None	None

<b>ADJOURNMENT HISTORY</b>	
<small>* Previous hearing dates where this application was adjourned by the Committee and public notice issued.</small>	
Hearing Date	Reason for Adjournment (to be obtained from NOD_ADJ)
None	None

<b>SCHEDULES</b>	
<b>Schedule A</b>	Drawings & Plans Submitted with the Application
<b>Schedule B</b>	Comments from Agencies, Building Standards & Development Planning
<b>Schedule C (if required)</b>	Public & Applicant Correspondence
<b>Schedule D (if required)</b>	Background



## MINOR VARIANCE APPLICATION FILE NUMBER A071/24

<b>CITY WARD #:</b>	4
<b>APPLICANT:</b>	2465900 Ontario Ltd.
<b>AGENT:</b>	Goldberg Group
<b>PROPERTY:</b>	582 Rivermede Road, Concord
<b>ZONING DESIGNATION:</b>	See below.
<b>VAUGHAN OFFICIAL PLAN (2010) DESIGNATION:</b>	Vaughan Official Plan 2010 ('VOP 2010'): "General Employment"
<b>RELATED DEVELOPMENT APPLICATIONS:</b>	19CDM-23V007
<b>PURPOSE OF APPLICATION:</b>	Relief from the Zoning By-law is being requested to permit the conversion of the existing building into a condominium tenure. No physical redevelopment or demolition on the subject property is being proposed and all existing conditions are to be maintained with the exception of painting of parking lines as indicted on the site plan submitted.

The following variances have been requested from the City's Zoning By-law:

**The subject lands are zoned EM2 – General Employment Zone and subject to the provisions of Exception 14.103 under Zoning By-law 001-2021, as amended.**

#	Zoning By-law 001-2021	Variance requested
1	Lot: Means a parcel of land which can be conveyed as a separate parcel pursuant to the provisions of the Planning Act. [Section 3.0, definition of Lot]	For the purposes of zoning conformity only, the subject lands shall be deemed to be one lot, regardless of the number of buildings constructed thereon, the creation of separate units and/or lots by way of plan of condominium, consent, or other permissions and easements or registrations that are granted.
2	Where a use is subject to a minimum parking requirement, and there is more than one use on a lot, the total required parking spaces shall be the sum of the required parking spaces applicable to each use on the lot. [Section 6.2.1.1]	To permit the use of the Industrial Mall parking requirement for the purpose of calculating parking on the site.

### HEARING INFORMATION

**DATE OF MEETING:** Thursday, June 20, 2024

**TIME:** 6:00 p.m.

**MEETING LOCATION:** Vaughan City Hall, Woodbridge Room (2<sup>nd</sup> Floor), 2141 Major Mackenzie Drive

**LIVE STREAM LINK:** [Vaughan.ca/LiveCouncil](http://Vaughan.ca/LiveCouncil)

#### PUBLIC PARTICIPATION

If you would like to speak to the Committee of Adjustment at the meeting, either remotely or in person, please complete the [Request to Speak Form](#) and submit to [cofa@vaughan.ca](mailto:cofa@vaughan.ca)

If you would like to submit written comments, please quote file number above and submit by mail or email to:

**Email:** [cofa@vaughan.ca](mailto:cofa@vaughan.ca)

**Mail:** City of Vaughan, Office of the City Clerk, Committee of Adjustment, 2141 Major Mackenzie Drive, Vaughan, ON, L6A 1T1

### HEARING INFORMATION

To speak electronically, pre-registration is required by completing the [Request to Speak Form](#) on-line and submitting it to [cofa@vaughan.ca](mailto:cofa@vaughan.ca) no later than NOON on the last business day before the meeting.

**THE DEADLINE TO REGISTER TO SPEAK ELECTRONICALLY OR SUBMIT WRITTEN COMMENTS ON THE ABOVE NOTED FILE(S) IS NOON ON THE LAST BUSINESS DAY BEFORE THE MEETING.**

### INTRODUCTION

Staff and Agencies act as advisory bodies to the Committee of Adjustment. The comments contained in this report are presented as recommendations to the Committee.

Section 45(1) of the Planning Act sets the criteria for authorizing minor variances to the City of Vaughan's Zoning By-law. Accordingly, review of the application may consider the following:

- That the general intent and purpose of the by-law will be maintained.
- That the general intent and purpose of the official plan will be maintained.
- That the requested variance(s) is/are acceptable for the appropriate development of the subject lands.
- That the requested variance(s) is/are minor in nature.

Public written and oral submissions relating to this application are taken into consideration by the Committee of Adjustment as part of its deliberations and final decision on this matter.

### COMMITTEE OF ADJUSTMENT

<b>Date Public Notice Mailed:</b>	June 7, 2024
<b>Date Applicant Confirmed Posting of Sign:</b>	May 23, 2024
<b>Applicant Justification for Variances:</b> <small>*As provided in Application Form</small>	After meeting with Zoning staff, the parking rate of an Industrial Mall is appropriate, however, Industrial Mall is not listed as a permitted use within the General Employment Zone (EM2).
<b>Was a Zoning Review Waiver (ZRW) Form submitted by Applicant:</b> <small>*ZRW Form may be used by applicant in instances where a revised submission is made, and zoning staff do not have an opportunity to review and confirm variances prior to the issuance of public notice.</small>	Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>
<b>COMMENTS:</b>	
None.	
<b>Committee of Adjustment Recommended Conditions of Approval:</b>	None.

### BUILDING STANDARDS (ZONING)

<b>**See Schedule B for Building Standards (Zoning) Comments</b>	
<b>Building Standards Recommended Conditions of Approval:</b>	None.

### DEVELOPMENT PLANNING

<b>**See Schedule B for Development Planning Comments. **Application Under Review</b>	
<b>Development Planning Recommended Conditions of Approval:</b>	TBD

### DEVELOPMENT ENGINEERING

<a href="#">Link to Grading Permit</a> <a href="#">Link to Pool Permit</a> <a href="#">Link to Curb Curt Permit</a> <a href="#">Link Culvert Installation</a>	
Application Under Review.	
<b>Development Engineering Recommended Conditions of Approval:</b>	TBD

### PARKS, FORESTRY & HORTICULTURE (PFH)

No comments received to date	
<b>PFH Recommended Conditions of Approval:</b>	None.

## DEVELOPMENT FINANCE

No comment no concerns.

<b>Development Finance Recommended Conditions of Approval:</b>	None.
--	-------

## BY-LAW AND COMPLIANCE, LICENSING AND PERMIT SERVICES

No comments received to date

<b>BCLPS Recommended Conditions of Approval:</b>	None.
--	-------

## BUILDING INSPECTION (SEPTIC)

No comments received to date.

<b>Building Inspection Recommended Conditions of Approval:</b>	None.
--	-------

## FIRE DEPARTMENT

No comments received to date.

<b>Fire Department Recommended Conditions of Approval:</b>	None.
--	-------

## RECOMMENDED CONDITIONS OF APPROVAL SUMMARY

Should the Committee find it appropriate to approve this application in accordance with request and the sketch submitted with the application, as required by Ontario Regulation 200/96, the following conditions have been recommended:

#	DEPARTMENT / AGENCY	CONDITION
1	TRCA <a href="mailto:Kristen.Regier@trca.ca">Kristen.Regier@trca.ca</a>	That the applicant provides the required fee amount of \$1,250.00 payable to the Toronto and Region Conservation Authority.
2	Development Planning <a href="mailto:Nicholas.delprete@vaughan.ca">Nicholas.delprete@vaughan.ca</a>	TBD
3	Development Engineering <a href="mailto:Jonal.hall@vaughan.ca">Jonal.hall@vaughan.ca</a>	TBD

*All conditions of approval, unless otherwise stated, are considered to be incorporated into the approval "if required". If a condition is no longer required after an approval is final and binding, the condition may be waived by the respective department or agency requesting conditional approval. A condition cannot be waived without written consent from the respective department or agency.*

## IMPORTANT INFORMATION

**CONDITIONS:** It is the responsibility of the owner/applicant and/or authorized agent to obtain and provide a clearance letter from respective department and/or agency (**see condition chart above for contact**). This letter must be provided to the Secretary-Treasurer to be finalized. All conditions must be cleared prior to the issuance of a Building Permit.

**APPROVALS:** Making any changes to your proposal after a decision has been made may impact the validity of the Committee's decision.

An approval obtained from the Committee of Adjustment, where applicable, is tied to the building envelope shown on the plans and drawings submitted with the application and subject to the variance approval.

A building envelope is defined by the setbacks of the buildings and/or structures shown on the plans and drawings submitted with the application, as required by Ontario Regulation 200/96. Future development outside of an approved building envelope, where a minor variance was obtained, must comply with the provisions of the City's Zoning By-law.

Elevation drawings are provided to reflect the style of roof (i.e. flat, mansard, gable etc.) to which a building height variance has been applied. Where a height variance is approved, building height is applied to the style of roof (as defined in the City's Zoning By-law) shown on the elevation plans submitted with the application.

Architectural design features that are not regulated by the City's Zoning By-law are not to be considered part of an approval unless specified in the Committee's decision.

**DEVELOPMENT CHARGES:** That the payment of the Regional Development Charge, if required, is payable to the City of Vaughan before issuance of a building permit in accordance with the Development Charges Act and the Regional Development Charges By-law in effect at the time of payment.

## IMPORTANT INFORMATION

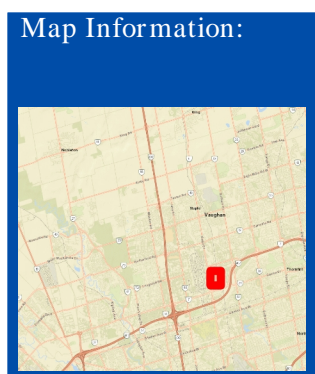
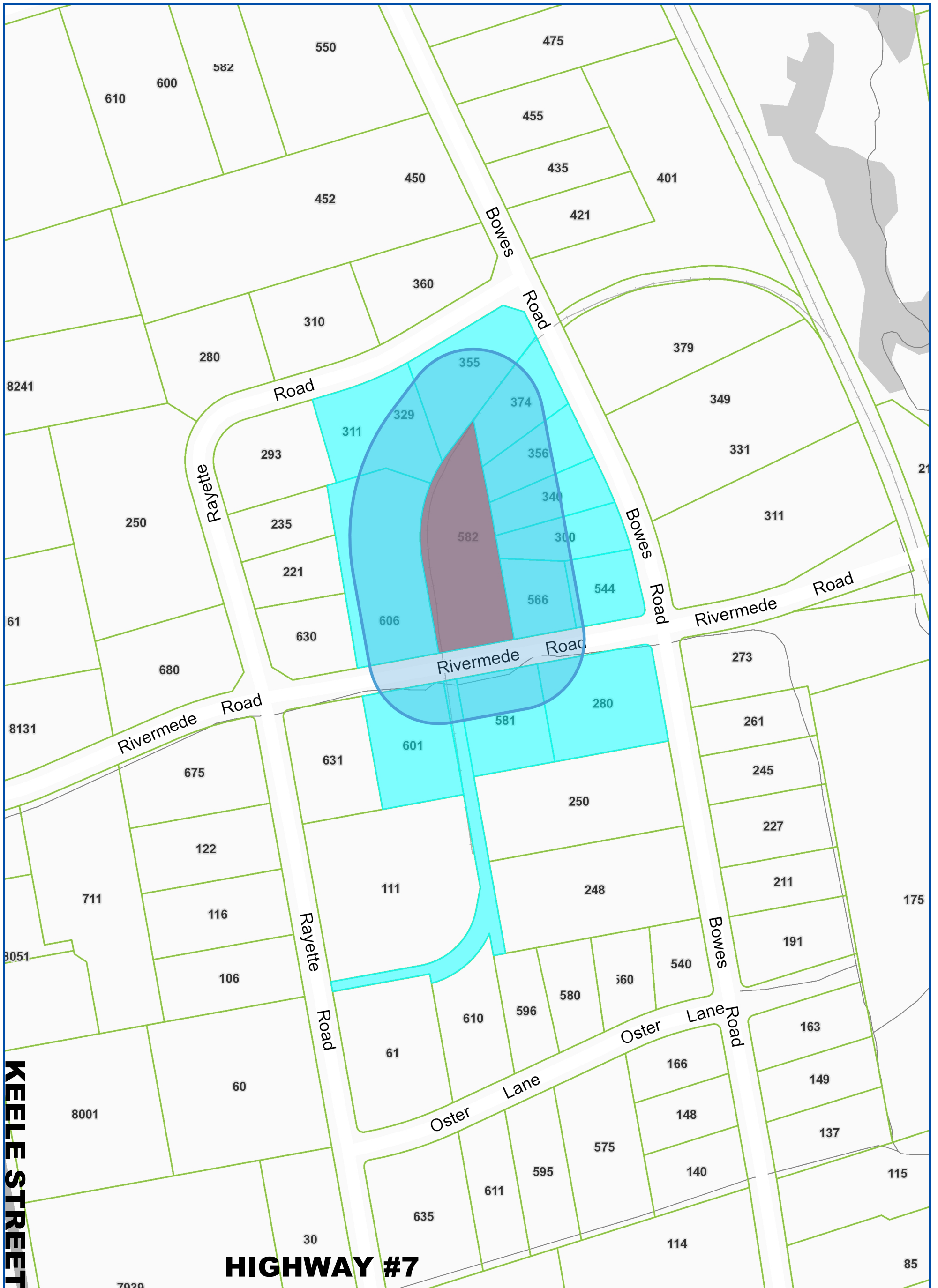
That the payment of the City Development Charge, if required, is payable to the City of Vaughan before issuance of a building permit in accordance with the Development Charges Act and the City's Development Charges By-law in effect at the time of payment.

That the payment of the Education Development Charge if required, is payable to the City of Vaughan before issuance of a building permit in accordance with the Development Charges Act and the Boards of Education By-laws in effect at the time of payment

That the payment of Special Area Development charge, if required, is payable to the City of Vaughan before issuance of a building permit in accordance with the Development Charges Act and The City's Development Charge By-law in effect at the time of Building permit issuance to the satisfaction of the Reserves/Capital Department.

**NOTICE OF DECISION:** If you wish to be notified of the decision in respect to this application or a related Ontario Land Tribunal (OLT) hearing you must complete a Request for Decision form and submit to the Secretary Treasurer (ask staff for details). In the absence of a written request to be notified of the Committee's decision you will **not** receive notice.

**SCHEDULE A: DRAWINGS & PLANS**



Title: **NOTIFICATION MAP - A071/24**

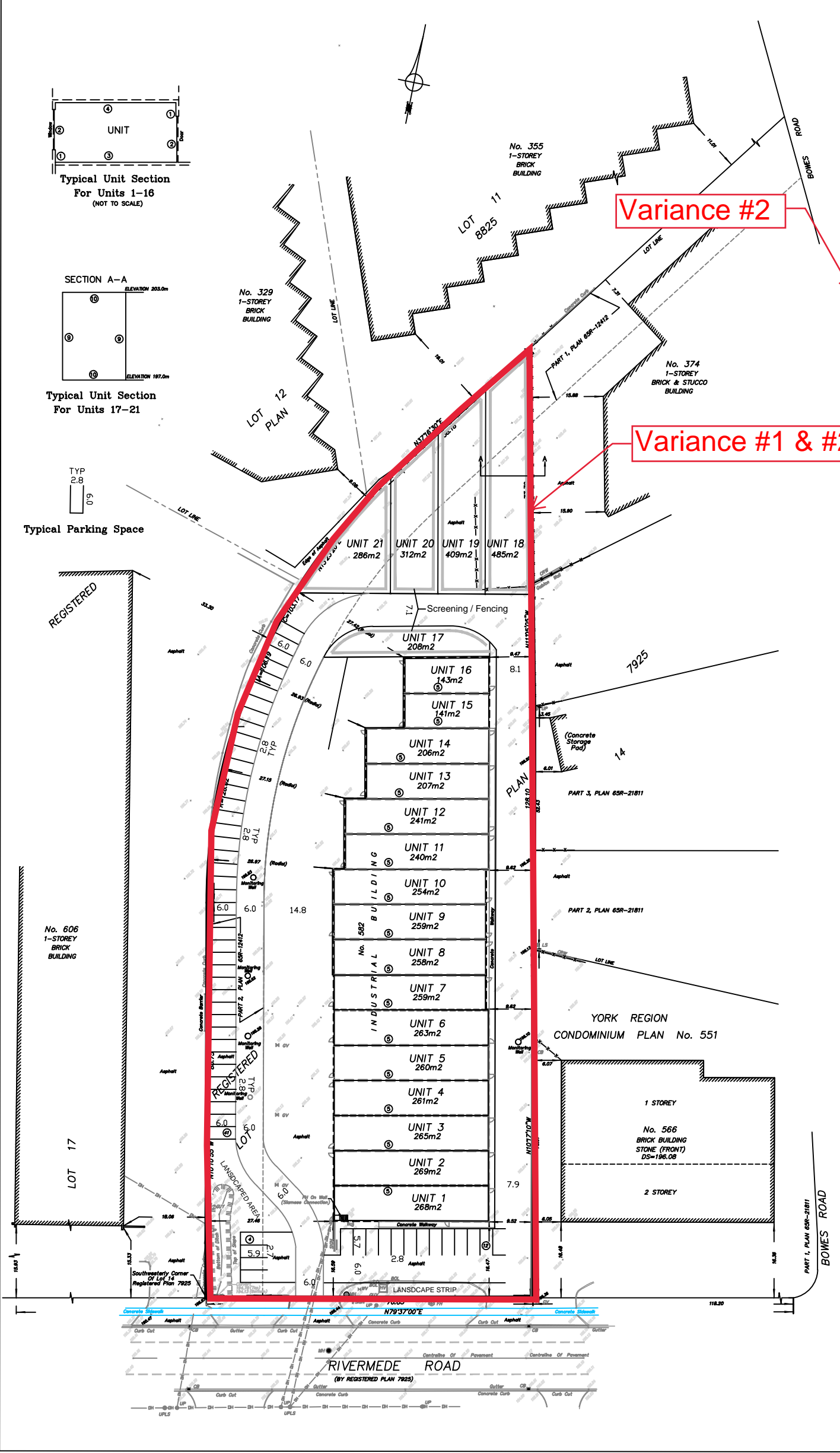
**582 Rivermede Road, Concord**

Disclaimer: Every reasonable effort has been made to ensure that the information appearing on this map is accurate and current. We believe the information to be reliable, however the City of Vaughan assumes no responsibility or liability due to errors or omissions. Please report any discrepancies to Infrastructure Programming.

Scale: 1:4,514  
0 0.07 km

Created By: Infrastructure Delivery Department  
April 18, 2024 11:42 AM

Projection: NAD 83 UTM Zone 17N



582 RIVERMEDE ROAD SITE STATISTICS TABLE

LOT AND BUILDING STATISTICS  
 Zoning: General Employment (EM2)  
 Exception 103

Lot Area	Required	Provided
Setbacks		
Min. Lot Frontage (m)	30	70.8
Min. Lot Area (m <sup>2</sup> )	1800	Appx 11815
Min. Front Yard (m)	6	6.6
Min. Rear Yard (m)	12	Appx 38
Min. Int. Side Yard (m)	7.5	9.64
Min. Ext. Side Yard (m)	6	n/a
Min. Lot Coverage %	n/a	n/a
Min. Building Height (m)	15	
Parking Spaces Parking rate - 1.5 space per 100m <sup>2</sup>	57	57
Required landscape strip abutting a street line (width in m)	3	Appx 6

Gross Building Floor Area	GFA (m <sup>2</sup> )
1.	268
2.	269
3.	265
4.	261
5.	260
6.	263
7.	259
8.	258
9.	259
10.	254
11.	240
12.	241
13.	207
14.	206
15.	141
16.	143
Total	3794

Outdoor Storage	GFA (m <sup>2</sup> )
17.	208
18.	485
19.	409
20.	312
21.	286
Total	1700

**SITE PLAN**  
 582 RIVERMEDE ROAD  
 PART OF LOT 14  
 REGISTERED PLAN 7925  
 CITY OF VAUGHAN  
 REGIONAL MUNICIPALITY OF YORK

Scale:

**EVANS PLANNING**  
 8481 Keele Street  
 Unit 18  
 Vaughan, Ontario  
 L4K 1Z7  
 Tel.: (905) 669-6992 Fax: (905) 669-8992  
 evansplanning@sympatico.ca



I REQUIRE THIS PLAN TO BE DEPOSITED UNDER THE LAND TITLES ACT.		<b>PLAN 65R-</b> RECEIVED AND DEPOSITED	
DATE _____		DATE _____	
TOM A. SENKUS ONTARIO LAND SURVEYOR		REPRESENTATIVE FOR THE LAND REGISTRAR FOR THE LAND TITLES DIVISION OF YORK (No. 65)	
SCHEDULE			
PART	LOT	REGISTERED PLAN	AREA (m <sup>2</sup> )
1	PART OF 14	7925	ALL OF 03273-0125 11887.8

PLAN OF SURVEY OF  
PART OF LOT 14,  
REGISTERED PLAN 7925  
CITY OF VAUGHAN  
REGIONAL MUNICIPALITY OF YORK  
SCALE 1 : 400 METRES  
0 1 2 3 4 5 15 30

**LEGEND**

- DENOTES SURVEY MONUMENT FOUND
- DENOTES SURVEY MONUMENT SET
- SB DENOTES STANDARD IRON BAR
- IB DENOTES IRON BAR
- CC DENOTES CUT CROSS
- CP DENOTES CONCRETE PIN
- WT DENOTES WITNESS
- M DENOTES MEASURED
- OJ DENOTES ORIGIN UNKNOWN
- RP DENOTES REGISTERED PLAN 7925
- P DENOTES SURVEY BY ERTL SURVEYORS, O.L.S. DATED AUGUST 14, 2023
- 936 DENOTES ROBERT B. LEE, O.L.S.
- 1215 DENOTES ERTL-HUNT SURVEYORS, O.L.S.
- 1345 DENOTES GUIDO PAPA, O.L.S.
- CLF DENOTES CHAIN LINK FENCE
- CRW DENOTES CONCRETE RETAINING WALL
- N,S,E,W DENOTES NORTH, SOUTH, EAST, WEST

ALL BEARINGS AND DISTANCES AGREE WITH CITED PLANS UNLESS OTHERWISE NOTED.

**BEARING NOTES**  
BEARINGS ARE UTM GRID, DERIVED FROM OBSERVED REFERENCE POINTS A AND B, BY REAL TIME NETWORK OBSERVATIONS, UTM ZONE 17 (81° WEST LONGITUDE), NAD83(CSRs)(2010). FOR BEARING COMPARISONS, THE FOLLOWING ROTATION WAS APPLIED  
P, RP = 0°58'00" COUNTER-CLOCKWISE

**DISTANCE NOTES - METRIC**  
DISTANCES AND COORDINATES ARE IN METRES AND CAN BE CONVERTED TO FEET BY DIVIDING BY 0.3048. DISTANCES ARE GROUND AND CAN BE CONVERTED TO GRID BY MULTIPLYING BY THE COMBINED SCALE FACTOR OF 0.999758

**SURVEYOR'S CERTIFICATE**  
I CERTIFY THAT:  
1. THIS SURVEY AND PLAN ARE CORRECT AND IN ACCORDANCE WITH THE SURVEYS ACT, THE SURVEYORS ACT, THE LAND TITLES ACT AND THE REGULATIONS MADE UNDER THEM.  
2. THE SURVEY WAS COMPLETED ON JULY 20, 2023  
DECEMBER 7, 2023  
DATE  
TOM A. SENKUS, O.L.S.

THIS PLAN OF SURVEY RELATES TO AOLS PLAN SUBMISSION FORM NUMBER V-68382

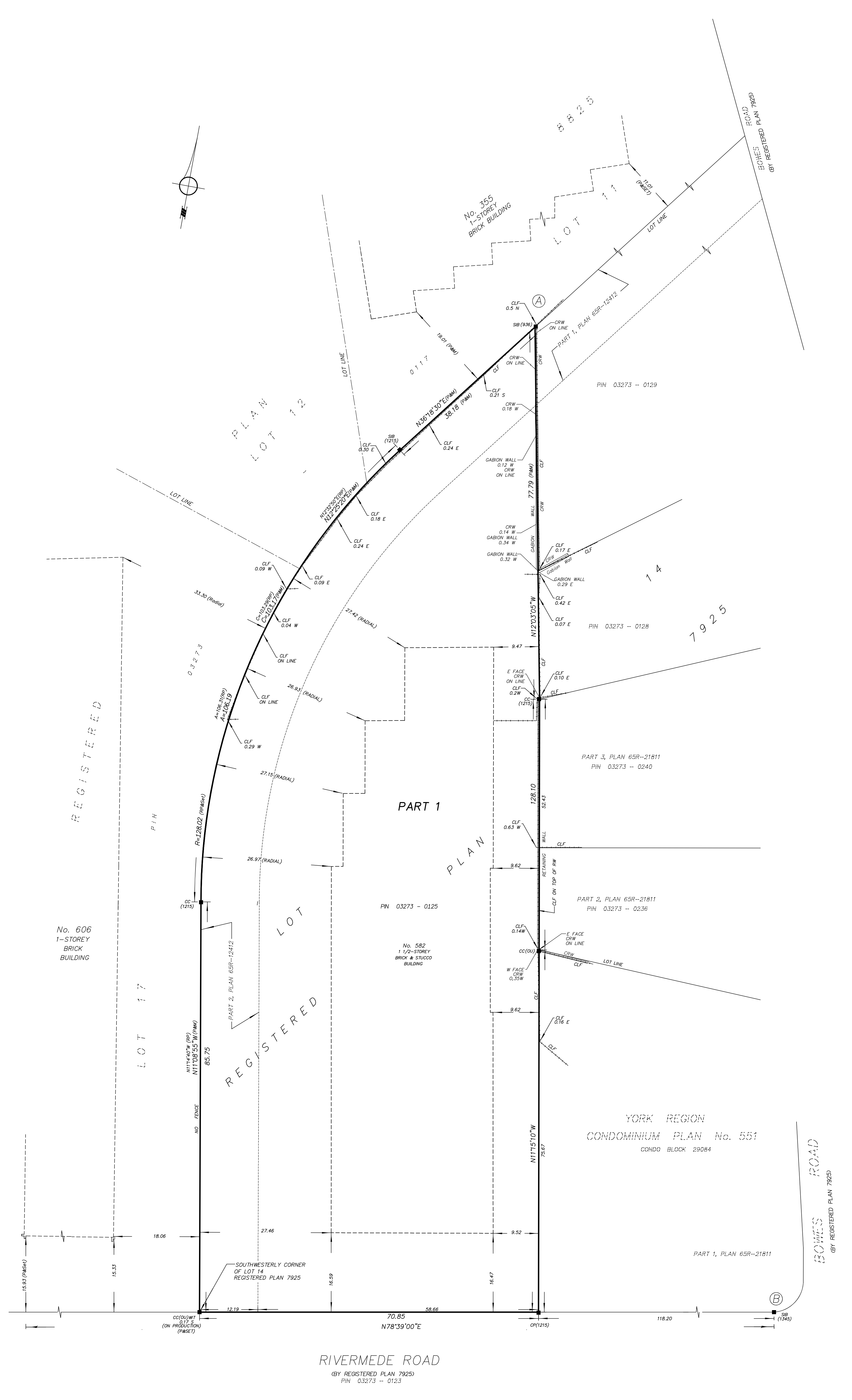
**INTEGRATION DATA**  
OBSERVED REFERENCE POINTS DERIVED FROM GPS OBSERVATIONS USING A REAL TIME NETWORK AND ARE REFERRED TO UTM ZONE 17 (81° WEST LONGITUDE) NAD83(CSRs)(2010).  
URBAN ACCURACY PER SEC. 14(2), O.REG. 216/10.

POINT ID	NORTHING	EASTING
A	4852084.42	621020.98
B	4851905.98	621178.10

CAUTION: COORDINATES CANNOT, IN THEMSELVES, BE USED TO RE-ESTABLISH CORNERS OR BOUNDARIES SHOWN ON THIS PLAN.

**ERTL-HUNT SURVEYORS**  
A division of IBW Surveyors Ltd.  
IBWSURVEYORS.COM | 1.800.667.0696

PARTY CHIEF: KR | DRAWN BY: DV | CHECKED BY: TAS | PLOT DATE: DECEMBER 7, 2023  
FILE NAME: A-042023-RPLAN-V4 | 1 copies available at LandSurveyRecords.com



RIVERMEDE ROAD  
(BY REGISTERED PLAN 7925)  
PIN 03273 - 0123

YORK REGION  
CONDOMINIUM PLAN No. 551  
CONDO BLOCK 29084

**SCHEDULE B:  
COMMENTS FROM AGENCIES, BUILDING STANDARDS &  
DEVELOPMENT PLANNING**

Department / Agency <small>*Comments Received</small>	Conditions Required		Nature of Comments
Building Standards (Zoning) *See Schedule B	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>	General Comments
Development Planning	Yes <input type="checkbox"/>	No <input type="checkbox"/>	Application Under Review
Alectra	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>	General Comments
TRCA	Yes <input checked="" type="checkbox"/>	No <input type="checkbox"/>	General Comments w/Conditions
Region of York	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>	General Comments
CN Rail	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>	General Comments

**Date:** May 16<sup>th</sup> 2024

**Attention:** Christine Vigneault

**RE:**

**File No.:** A071-24

**Related Files:**

**Applicant** Evans Planning Inc.

**Location** 582 Rivermede Road



Discover the possibilities

### COMMENTS:

- We have reviewed the proposed Variance Application and have no comments or objections to its approval.
- We have reviewed the proposed Variance Application and have no objections to its approval, subject to the following comments (attached below).
- We have reviewed the proposed Variance Application and have the following concerns (attached below).

Alectra Utilities (formerly PowerStream) has received and reviewed the proposed Variance Application. This review, however, does not imply any approval of the project or plan.

All proposed billboards, signs, and other structures associated with the project or plan must maintain minimum clearances to the existing overhead or underground electrical distribution system as specified by the applicable standards, codes and acts referenced.

In the event that construction commences, and the clearance between any component of the work/structure and the adjacent existing overhead and underground electrical distribution system violates the Occupational Health and Safety Act, the customer will be responsible for 100% of the costs associated with Alectra making the work area safe. All construction work will be required to stop until the safe limits of approach can be established.

In the event construction is completed, and the clearance between the constructed structure and the adjacent existing overhead and underground electrical distribution system violates the any of applicable standards, acts or codes referenced, the customer will be responsible for 100% of Alectra's cost for any relocation work.

### References:

- Ontario Electrical Safety Code, latest edition (Clearance of Conductors from Buildings)
- Ontario Health and Safety Act, latest edition (Construction Protection)
- Ontario Building Code, latest edition (Clearance to Buildings)
- PowerStream (Construction Standard 03-1, 03-4), attached
- Canadian Standards Association, latest edition (Basic Clearances)

If more information is required, please contact either of the following:

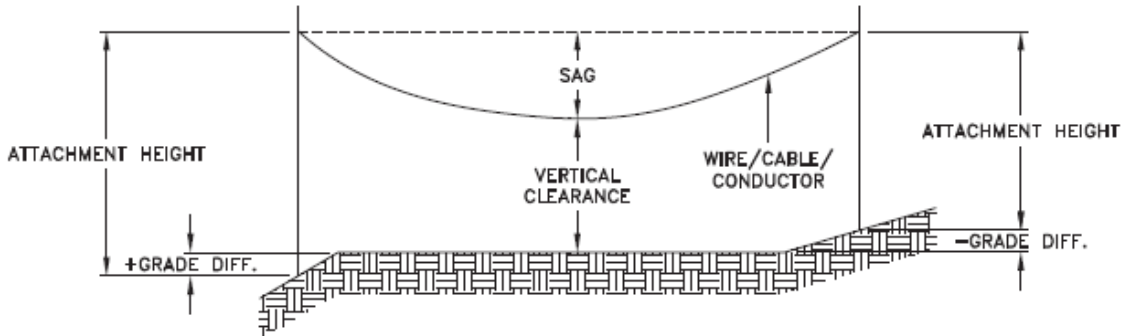
Mr. Stephen Cranley, C.E.T  
Supervisor, Distribution Design, ICI & Layouts (North)  
**Phone:** 1-877-963-6900 ext. 31297

**E-mail:** [stephen.cranley@alectrautilities.com](mailto:stephen.cranley@alectrautilities.com)

Mitchell Penner  
Supervisor, Distribution Design-Subdivisions  
**Phone:** 416-302-6215

**Email:** [Mitchell.Penner@alectrautilities.com](mailto:Mitchell.Penner@alectrautilities.com)

LOCATION OF WIRES, CABLES OR CONDUCTORS	SYSTEM VOLTAGE			
	SPAN GUYS AND COMMUNICATIONS WIRES	UP TO 600V AND NEUTRAL	4.16/2.4kV TO 27.6/16kV (SEE NOTE 1)	44kV
MINIMUM VERTICAL CLEARANCES (SEE NOTE 2)				
OVER OR ALONGSIDE ROADS, DRIVEWAYS OR LANDS ACCESSIBLE TO <u>VEHICLES</u>	442cm	442cm	480cm	520cm
OVER GROUND ACCESSIBLE TO <u>PEDESTRIANS AND BICYCLES ONLY</u>	250cm	310cm	340cm	370cm
ABOVE TOP OF RAIL AT <u>RAILWAY CROSSINGS</u>	730cm	730cm	760cm	810cm



MINIMUM ATTACHMENT HEIGHT = MAXIMUM SAG  
 + MINIMUM VERTICAL CLEARANCE (FROM ABOVE TABLE)  
 ± GRADE DIFFERENCE  
 + 0.3m (VEHICLE OR RAILWAY LOCATION)  
 + SNOW DEPTH (PEDESTRIAN LOCATION, SEE NOTE 3)

**NOTES:**

1. THE MULTIGROUNDED SYSTEM NEUTRAL HAS THE SAME CLEARANCE AS THE 600V SYSTEM.
2. THE VERTICAL CLEARANCES IN THE ABOVE TABLE ARE UNDER MAXIMUM SAG CONDITIONS.
3. REFER TO CSA STANDARD C22.3 No.1, ANNEX D FOR LOCAL SNOW DEPTH VALUES.
4. ALL CLEARANCES ARE IN ACCORDANCE TO CSA STANDARD C22.3.

**CONVERSION TABLE**

METRIC	IMPERIAL (APPROX)
810cm	27'-0"
760cm	25'-4"
730cm	24'-4"
520cm	17'-4"
480cm	16'-0"
442cm	15'-5"
370cm	12'-4"
340cm	11'-4"
310cm	10'-4"
250cm	8'-4"

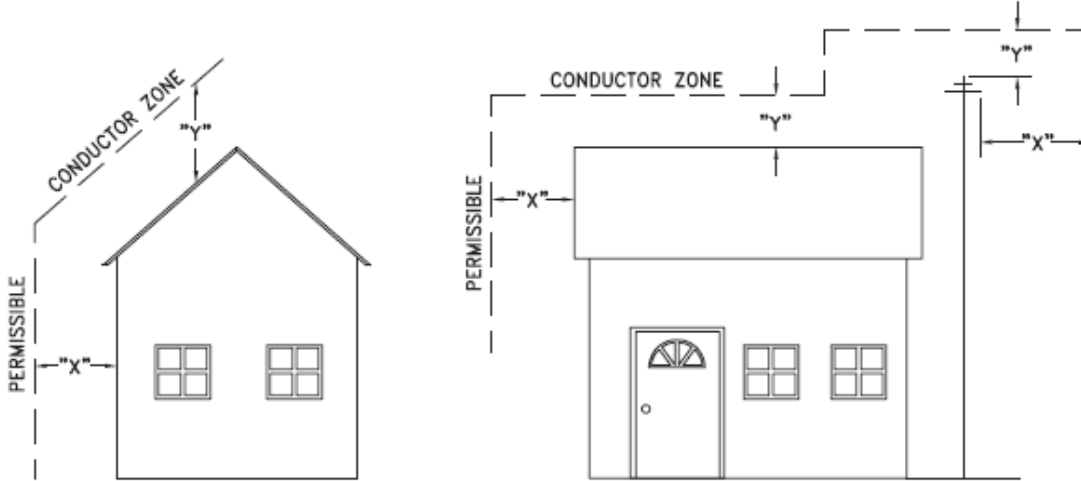
**REFERENCES**

SAGS AND TENSIONS | SECTION 02

**MINIMUM VERTICAL CLEARANCES OF WIRES, CABLES AND CONDUCTORS ABOVE GROUND OR RAILS**

ORIGINAL ISSUE DATE: 2010-DEC-24 REVISION NO: R1 REVISION DATE: 2012-JAN-09

Certificate of Approval	
This construction Standard meets the safety requirements of Section 4 of Regulation 22/04	
Joe Crozier, P.Eng.	2012-JAN-09
Name	Date
P.Eng. Approval By:	Joe Crozier



VOLTAGE	MINIMUM HORIZONTAL CLEARANCE UNDER MAXIMUM SWING CONDITIONS DIMENSION "X" (SEE NOTES 1, 3 & 4)	MINIMUM VERTICAL CLEARANCE UNDER MAXIMUM DESIGN SAG CONDITIONS DIMENSION "Y" (SEE NOTES 1, 2, 4 & 5)
0-600V AND NEUTRAL	100cm	250cm
4.16/2.4 TO 44kV	300cm	480cm

**NOTES**

1. UNDER NO CIRCUMSTANCES SHALL A CONDUCTOR BE PERMITTED TO PENETRATE THE ENVELOPE SHOWN BY THE DOTTED LINE.
2. THE VERTICAL CLEARANCES ARE UNDER CONDITIONS OF MAXIMUM DESIGN SAG.
3. THE HORIZONTAL CLEARANCES ARE UNDER CONDITIONS OF MAXIMUM SWING. WHERE THE CONDUCTOR SWING IS NOT KNOWN A HORIZONTAL CLEARANCE OF 480CM SHALL BE USED.
4. BUILDINGS THAT EXCEED 3 STOREYS OR 15M IN HEIGHT, THE MINIMUM HORIZONTAL CLEARANCE OF THE SECONDARY CONDUCTORS SHOULD BE INCREASED TO 300cm WHERE IT IS NECESSARY TO ALLOW FOR THE RAISING OF LADDERS BY LOCAL FIRE DEPARTMENTS.
5. IN SITUATIONS SUCH AS MULTI-LEVEL GARAGES, WHERE ROOFS ARE NORMALLY USED BY PERSONS AND VEHICLES, THE VERTICAL CLEARANCES OF POWERSTREAM STANDARD 03-1 SHALL APPLY.
6. DISTRIBUTION LINES CONSTRUCTED NEAR BUILDINGS SHALL BE BUILT TO AVOID OVERHANG WHEREVER POSSIBLE. WHERE LINES MUST BE CONSTRUCTED OVER OR ADJACENT TO BUILDINGS THE APPLICABLE HORIZONTAL AND VERTICAL CLEARANCES SHALL BE AT CONDITIONS OF MAXIMUM CONDUCTOR SWING AND MAXIMUM SAG. THE ABOVE CLEARANCES ARE DESIGNED TO PREVENT PERSONS ON OR IN BUILDINGS AS WELL AS EXTERNAL MACHINERY USED IN CONJUNCTION WITH A BUILDING TO COME IN CONTACT WITH CONDUCTORS. EFFORTS SHOULD BE MADE TO INCREASE THESE CLEARANCES WHERE POSSIBLE.
7. ALL CLEARANCES ARE IN ACCORDANCE TO CSA C22.3 NO.1-06 (TABLE-9).

METRIC	IMPERIAL (APPROX)
480cm	16'-0"
300cm	10'-0"
250cm	8'-4"
100cm	3'-4"

**MINIMUM VERTICAL & HORIZONTAL CLEARANCES OF CONDUCTORS FROM BUILDINGS OR OTHER PERMANENT STRUCTURES (CONDUCTORS NOT ATTACHED TO BUILDINGS)**

**Certificate of Approval**  
This construction Standard meets the safety requirements of Section 4 of Regulation 22/04  
Debbie Dadwani, P.Eng. 2010-MAY-05  
Name Date  
P. Eng. Approval By: *D. Dadwani*

ORIGINAL ISSUE DATE: 2010-MAY-05 REVISION NO: REVISION DATE:  
PS:\System Planning and Standards\Standard Design\PowerStream Standards\PowerStream Standards working files\Section 3-1-02\WG 03-4 R0 May 5, 2010.dwg, 5/5/2010 10:22:02 AM, Adobe PDF

**To:** Committee of Adjustment  
**From:** Lindsay Haviland, Building Standards Department  
**Date:** May 14, 2024  
**Applicant:** Evans Planning Inc.  
**Location:** 582 Rivermede Road  
 PLAN RP7925 Part of Lot 14  
 PLAN RS65R12412 Part 2  
**File No.(s):** A071/24

**Zoning Classification:**

The subject lands are zoned EM2 – General Employment Zone and subject to the provisions of Exception 14.103 under Zoning By-law 001-2021, as amended.

#	Zoning By-law 001-2021	Variance requested
1	Lot: Means a parcel of land which can be conveyed as a separate parcel pursuant to the provisions of the Planning Act. [Section 3.0, definition of Lot]	For the purposes of zoning conformity only, the subject lands shall be deemed to be one lot, regardless of the number of buildings constructed thereon, the creation of separate units and/or lots by way of plan of condominium, consent, or other permissions and easements or registrations that are granted.
2	Where a use is subject to a minimum parking requirement, and there is more than one use on a lot, the total required parking spaces shall be the sum of the required parking spaces applicable to each use on the lot. [Section 6.2.1.1]	To permit the use of the Industrial Mall parking requirement for the purpose of calculating parking on the site.

**Staff Comments:**

**Stop Work Order(s) and Order(s) to Comply:**

**Building Permit(s) Issued:**

A Building Permit has not been issued. The Ontario Building Code requires a building permit for structures that exceed 10m<sup>2</sup>

**Other Comments:**

General Comments	
1	The applicant shall be advised that additional variances may be required upon review of detailed drawing for building permit/site plan approval.
2	The sole purpose of this application is for the facilitation of the creation of units under application 19CDM – 23V007.
3	The subject lands may be subject to Ontario Regulation 166/06 (TRCA - Toronto and Region Conservation Authority).

**Conditions of Approval:**

If the committee finds merit in the application, the following conditions of approval are recommended.

\* Comments are based on the review of documentation supplied with this application.

**From:** [Proximity](#)  
**To:** [Christine Vigneault](#); [Committee of Adjustment](#)  
**Subject:** [External] RE: A071/24 (582 Rivermede Rd) - REQUEST FOR COMMENTS, CITY OF VAUGHAN  
**Date:** Wednesday, June 12, 2024 3:48:37 PM

---

**CAUTION!** This is an external email. Verify the sender's email address and carefully examine any links or attachments before clicking. If you believe this may be a phishing email, please use the Phish Alert Button.

Hello,

Thank you for circulating CN the proposed project mentioned in subject. CN Rail does not have any comments concerning this application.

Best regards,



**CN Proximity Team**

[proximity@cn.ca](mailto:proximity@cn.ca)



May 23, 2024

PAR-DPP-2024-00018

**SENT BY E-MAIL: Christine.Vigneault@vaughan.ca**

Christine Vigneault  
Secretary Treasurer  
Committee of Adjustment  
City of Vaughan  
2141 Major Mackenzie Drive  
Vaughan, Ontario L6A 1T1

Dear Christine:

**Re: Minor Variance Application A071/24  
Part of Lots 8, Concession 3  
582 Rivermede Road  
City of Vaughan, Regional Municipality of York  
Central Park Homes Inc. (Agent: Evans Planning)**

This letter acknowledges receipt of the above-noted application circulated by the City of Vaughan. The materials were received by Toronto and Region Conservation Authority (TRCA) on May 14, 2024. TRCA staff have reviewed the application and offer the following comments for the consideration of the Committee of Adjustment.

### **Purpose of the Application**

It is our understanding that the purpose of the above noted application is to request the following variance under By-law 001-2021, as amended:

By-Law 001-2021:

- To permit the use of the Industrial Mall parking requirement for the purpose of calculating parking on the site.

### **Conservation Authorities Act – Section 28**

A portion of the subject lands is located within TRCA's Regulated Area due to a Regional Storm flood plain associated with a tributary of the Don River. As such, a TRCA permit pursuant to Section 28.1 of the Conservation Authorities Act is required for any development and site alteration within TRCA's Regulated Area.

### **Application Specific Comments**

Based on TRCA's current engineered flood plain mapping and modeling, the southern portion of the site is impacted by a Regional Storm flood plain associated with a nearby watercourse located to the south of the property.

TRCA staff are cognizant of the fact that the site currently contains a rental industrial building and there will be no physical alterations to the site or the existing building, other than the painting of parking lines, as part of the current Minor Variance Application. Based on the understanding that no development or site alteration is proposed, a permit from the TRCA is not required for this application.

### **Fees**

By copy of this letter, the applicant is advised that the TRCA has implemented a fee schedule for our planning application review services. This application is subject to a \$1,250.00 (Minor Variance – Industrial / Commercial / Subdivision / Institutional - Minor) review fee. The applicant is responsible for fee payment and should forward the application fee to this office as soon as possible.

### **Recommendations**

Based on the comments noted above, TRCA has **no objection** to the approval of Minor Variance Application A071/24 subject to the following conditions:

1. That the applicant provides the required fee amount of \$1,250.00 payable to the Toronto and Region Conservation Authority.

We trust these comments are of assistance. Should you have any questions, please contact Cameron McDonald, Planner I at 437-880-1925 or at [cameron.mcdonald@trca.ca](mailto:cameron.mcdonald@trca.ca).

Sincerely,

*Cameron McDonald*

Cameron McDonald  
Planner I  
Development Planning and Permits | Development and Engineering Services  
[cameron.mcdonald@trca.ca](mailto:cameron.mcdonald@trca.ca), 437-880-1925

## Prabhdeep Kaur

---

**From:** Development Services <developmentsservices@york.ca>  
**Sent:** Thursday, May 16, 2024 11:42 AM  
**To:** Prabhdeep Kaur  
**Cc:** Committee of Adjustment  
**Subject:** [External] RE: A071/24 (582 Rivermede Rd) - REQUEST FOR COMMENTS, CITY OF VAUGHAN

**CAUTION!** This is an external email. Verify the sender's email address and carefully examine any links or attachments before clicking. If you believe this may be a phishing email, please use the Phish Alert Button.

Hi Prabhdeep,

The Regional Municipality of York has completed its review of the minor variance application – A071/24 (582 Rivermede Rd) and has no comment.

Please provide us with a digital copy of the notice of decision for our records.

Many thanks,

*Our working hours may be different. Please do not feel obligated to reply outside of your scheduled working hours. Let's work together to help foster healthy work-life boundaries.*

**Niranjan Rajevan, M.Pl.** | Associate Planner, Development Services, Planning and Economic Development, Corporate Services

---

The Regional Municipality of York | 17250 Yonge Street | Newmarket, ON L3Y 6Z1  
1-877-464-9675 ext. 71521 | [niranjan.rajevan@york.ca](mailto:niranjan.rajevan@york.ca) | [www.york.ca](http://www.york.ca)

*Our Values: Integrity, Commitment, Accountability, Respect, Excellence*



Our Mission: **Working together to serve our thriving communities – today and tomorrow**

Please consider the environment before printing this email.

**SCHEDULE C: PUBLIC & APPLICANT CORRESPONDENCE**

Name	Address	Date Received (mm/dd/yyyy)	Summary
Applicant		04/18/2024	Cover Letter



April 17, 2024

City of Vaughan  
Committee of Adjustment  
2141 Major Mackenzie Drive  
Vaughan, Ontario  
L6A 1T1

Attn: Ms. Christine Vigneault, Manager Development Services & Secretary Treasurer Committee of Adjustment

Dear Ms. Vigneault,

RE: Application for Minor Variance  
582 Rivermede Road, Concord  
Part of Lots 8, Concession 3  
Related File Number: 19CDM-23V007

---

Evans Planning acts on behalf of Central Park Homes Inc., the 'Owner' of the property municipally described as 582 Rivermede Road and legally described as 'Part of Lot 14, Registered PLAN 7925' in the City of Vaughan, Regional Municipality of York (the 'subject property'). On behalf of our client, we herewith submit for the Committee's consideration an application for Minor Variance relief to permit the inclusion of an *Industrial Mall* use for the purposes of calculating parking rates, and clarify the provisions related to outdoor storage on the subject property.

### **Proposed Development**

The Owner contemplates converting the existing building into a condominium tenure. There will be no physical redevelopment or demolition on the subject property. A Draft Plan of Standard Condominium was submitted in November 2023, City File No. 19CDM-23V007. All existing conditions will be maintained, other than the painting of parking lines, as indicated on the Site Plan attached. The proposed development contemplates a Standard Condominium tenure, which will allow various industrial and commercial tenants to purchase units within the existing building, as well as potential outdoor storage units on the north end of the property. The Condominium By-laws would restrict ownership of an outdoor storage unit to only those parties which also own an interior unit in order to ensure that any outdoor storage use is related to a corresponding use on the lands. To facilitate this use, a supply of 57 parking spaces will be provided.

### **City of Vaughan Official Plan (2010)**

The subject property is identified as being located within the *Employment Areas* land use designation within the City of Vaughan Official Plan 2010 (VOP). *Employment Areas* are described as areas intended for economic activities that require separation from other land uses to achieve maximum potential. Their planned economic activities are related to industrial, manufacturing, warehousing and some office uses. These areas are protected from encroaching non-employment uses that may destabilize their function, this includes uses such as residential and *major retail*.

The property is further identified as being within the *General Employment* land use designation, Policy 9.2.2.10.b, which permits a range of industrial uses such as manufacturing, warehousing (but not a *retail warehouse*), processing, transportation, distribution, any of which may or may not include outdoor storage, and office and/or *retail* uses accessory to and directly associated with any of the uses listed.

### **Zoning**

Within the City of Vaughan Zoning By-law 001-2021 (the Comprehensive By-law), the subject property is located within the General Employment (EM2) Zone subject to exception 103, which permits the following uses:

- Automotive detailing
- Commercial school
- Contractor's establishment
- Heavy equipment sales, rental and service establishment
- Intermodal facility
- Manufacturing or processing facility
- Motor vehicle body repair
- Motor vehicle repair
- Research and development
- Transportation terminal
- Vertical farming
- Warehousing and distribution facility
- Banquet hall
- Car wash
- Night club
- Temporary sales office
- Accessory office
- Accessory retail
- Intermodal container
- Outdoor storage

Within the Comprehensive By-law, Policy 5.13 outlines specific outside storage requirements. The following provisions are associated with the subject property:

- The maximum permitted area of outside storage shall be 30% of the total lot area.
- The maximum height of goods or materials stored within an outside storage area shall be 3 m.
- Outside storage shall not be permitted in a front yard or exterior side yard.
- Any portion of a lot used for outside storage shall be fully screened by an opaque fence or other vertical elements, except that screening shall not be required in a yard where outside storage abuts a railway corridor.

The Comprehensive By-law provides the following parking provisions for an *Industrial Mall*:

- 1.5 spaces per 100 square metres of gross floor area (GFA)

### **Required Relief**

Within the Comprehensive By-law, the proposed development would meet the definition of an 'Industrial Mall', which is as follows: 'A building or group of buildings designed, developed, and managed as a unit by a single owner or tenant, or by a group of owners or tenants.'

The identified rate for this use within the Comprehensive By-law is 1.5 spaces per 100 square metres of GFA. Thus, the proposed development would require a minimum of 57 parking spaces.

Notwithstanding this, it is noted that the 'Industrial Mall' use is not listed as a permitted use within the EM1 Zone. City Planning Staff have outlined a number of general amendments are required to Comprehensive By-law in a report to the May 10, 2022, Committee of the Whole. The recommended amendments clarify that the definition of 'Industrial Mall':

“...intends to provide a blended parking rate for all permitted uses in these zones, provided the lands are designed, developed, and managed as a unit by a single owner or tenant, or by a group of owners or tenants. This intends to avoid varying parking requirements as tenants change over time in a multi-unit employment building.”

Staff further recommended that the Comprehensive By-law be further amended to permit the ‘Industrial Mall’ use within the EM1 and EM2 zones, and to provide clarification that the definition of this use is intended for determining the minimum required parking only. The Recommendations of Staff were adopted by City Council at its meeting of May 17, 2022.

It is understood that the proposed Amendments to implement this recommendation is to be considered by Council at its meeting in September, however it is recognized that in advance of this change, it is necessary to seek relief from the By-law.

It has been identified that relief is required from the following provisions of the Comprehensive Zoning By-law 001-2021:

1. **Section 11.2.1, Table 11-2: Permitted Uses within the General Employment (EM2) Zone do not include ‘Industrial Mall’.**

*We request to permit the Industrial Mall use on the subject property for the purposes of calculating parking requirements.*

2. **Section 5.13.1(1): The maximum permitted area of outside storage shall be 30% of the total lot area.**

*We request that in the case of a condominium corporation (standard) which includes units for outdoor storage, the calculation of the total lot area shall be based on the area of the entire condominium corporation lands, not of any one individual unit.*

#### **Four Tests of the Planning Act**

The Planning Act provides the following tests to be considered in the review of an application for Minor Variance relief. The following section provides our opinion with respect to how each of these has been satisfied in the consideration of the proposed development.

##### **Test 1: Conformity to the general intent of the Official Plan:**

The subject property is identified as being within the *Employment Areas* land use designation within the City of Vaughan Official Plan 2010 (VOP). These areas are intended to support economic activities by supplying land for a wide range of employment uses. The subject property is further identified to be within the *General Employment* land use designation, which permits uses such as outdoor storage. The proposal at hand does not seek to alter the existing built form or relationship to adjacent uses. The Industrial Mall rate is proposed to apply for the purposes of parking calculations only.

In this regard, the proposed development and variances conform to the general intent of the Official Plan.

##### **Test 2: Conformity to the general intent of the Zoning By-Law:**

The subject property is subject to the City of Vaughan Zoning By-law 001-2021 (the Comprehensive By-law). The subject property is within the *EM2 Zone* which permits a variety of uses, including automotive detailing, commercial school, contractor’s establishment, intermodal facilities, manufacturing or processing facilities,

motor vehicle repair shops, research and development, transportation terminal, vertical farming, warehousing and distribution facilities, banquet halls, night clubs, office and retail spaces, intermodal container, and outside storage. An *Industrial Mall* use is not presently permitted to use; however, after discussion with City Staff, it is reasonable to conclude that it would be consistent with the intent of the EM2 Zone. The requested relief to permit this use will not create any inconsistencies with the character of the area, nor incompatibility between the existing uses on the subject property and the surrounding areas. In our opinion, an *Industrial Mall* use will provide a better definition of the proposed development.

As per the Comprehensive By-law, each use must conform to its respective parking standard. The current minimum parking required on the proposed use of the subject property is 1.5 spaces per 100 square metres of gross floor area (GFA). A total supply of 57 parking spaces is required for the subject property and its proposed use, which is provided.

Outdoor storage is permitted in the EM2 Zone, it cannot be used without someone owning an indoor unit thus, making this outdoor storage unit an ancillary use on the property. These outdoor storage units will be fully screened and will not be visible by the public, and otherwise meet the requirements of the By-law.

The proposed variances reflect the stated intent of Staff with respect to the Comprehensive By-law. Accordingly, we are of the opinion that the proposal meets the general intent of the Zoning By-law.

### **Test 3: Are the requested reliefs minor in nature?**

The requested relief will facilitate the inclusion of a service within an existing building that is similar in nature to the uses already provided on the site. The proposed development will not change the existing built form or configuration of the existing structures on the property and will thus not impact the existing physical character of the subject property nor the relationship with abutting uses. The proposed development will contribute to employment opportunities and economic development by providing necessary services within the surrounding area. Further, the reduction in the requiring parking rate is numerically modest and avoids the need to vary the parking requirements over time.

As mentioned previously, this is a unique circumstance as the outdoor storage units cannot be purchased unless a tenant also owns an interior unit of the condominium corporation. Thus, making the outdoor storage units an ancillary use on the property. The requested variances will support the creation of employment opportunities while avoiding impacts on the neighbouring properties as it conforms with all other provisions of the Comprehensive Zoning By-law. All outdoor storage units will be fenced, it is located on the rear yard, and it is not between a principal building or structure and a street line. Accordingly, the form of relief requested through the proposed variances are minor and would not require another form of relief such as through a Zoning By-law Amendment.

### **Test # 4: Are the variances desirable?**

As demonstrated above and in the supporting materials enclosed herein, the proposed development requires a technical relief to permit *Industrial Mall* as a use within the EM2 Zone. The proposed parking supply allows for a consistent parking rate to be applied to a development. The proposed outdoor storage use is permitted within the EM2 Zone, however these units should be defined as an ancillary use and not an accessory use as functionally, it cannot be used without someone owning an indoor unit. On this basis, it can be concluded that the proposed use is desirable to the surrounding community.





---

In summation, the proposed development meets the four tests of the Planning Act and constitutes good planning.

---

In order to support the application for Minor Variance, the following materials have been enclosed for your consideration:

- Minor Variance Application Form;
- Owner Authorization Form;
- Authorization Statement;
- Tree Declaration Form;
- Setback Chart;
- Size of Structure(s) Chart;
- Variance Chart;
- Draft R-Plan, prepared by ERTL-Hunt Surveyors, dated December 7, 2023;
- Condominium Disclosure, prepared by
- Site Plan, prepared by Evans Planning;
- Payment to the City of Vaughan in the amount of \$6,252.50;
- One copy of the Revised Zoning Comments from Zoning Staff, dated March 25, 2024; and
- One copy of the email correspondence with Zoning Staff, dated March 19, 2024

I trust the enclosed materials are sufficient for your review of this application. Should you require any further information, please contact the undersigned at your earliest convenience.

Yours Truly,

Simmy Su

CC: Central Park Homes Inc.

## SCHEDULE D: BACKGROUND

None