

ITEM: 6.13	REPORT SUMMARY MINOR VARIANCE APPLICATION FILE NUMBER A065/24
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Report Date: Friday, June 14, 2024

**THIS REPORT CONTAINS COMMENTS FROM THE FOLLOWING
DEPARTMENTS & AGENCIES (SEE SCHEDULE B):**

Additional comments from departments and agencies received after the publication of the report will be made available on the City's [website](#).

Internal Departments <small>*Comments Received</small>	Conditions Required		Nature of Comments
Committee of Adjustment	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>	General Comments
Building Standards (Zoning)	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>	General Comments
Development Planning	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>	Recommend Approval/No Conditions
Development Engineering	Yes <input checked="" type="checkbox"/>	No <input type="checkbox"/>	Recommend Approval w/Conditions
Forestry	Yes <input checked="" type="checkbox"/>	No <input type="checkbox"/>	General Comments w/Conditions

External Agencies <small>*Comments Received</small>	Conditions Required		Nature of Comments <small>*See Schedule B for full comments</small>
Alectra	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>	General Comments
TRCA	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>	General Comments
Region of York	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>	General Comments

PUBLIC & APPLICANT CORRESPONDENCE (SEE SCHEDULE C)				
<p>All personal information collected because of this public meeting (including both written and oral submissions) is collected under the authority of the Municipal Act, the Municipal Freedom of Information and Protection of Privacy Act (MFIPPA), the Planning Act and all other relevant legislation, and will be used to assist in deciding on this matter. All personal information (as defined by MFIPPA), including (but not limited to) names, addresses, opinions and comments collected will become property of the City of Vaughan, will be made available for public disclosure (including being posted on the internet) and will be used to assist the Committee of Adjustment and staff to process this application.</p>				
Correspondence Type	Name	Address	Date Received <small>(mm/dd/yyyy)</small>	Summary
None				

BACKGROUND (SCHEDULE D, IF REQUIRED)	
<p style="text-align: center;"><small>* Background Information contains historical development approvals considered to be related to this file. This information should not be considered comprehensive.</small></p>	
Application No. (City File)	Application Description <small>(i.e. Minor Variance Application; Approved by COA / OLT)</small>
None	None

ADJOURNMENT HISTORY	
<p style="text-align: center;"><small>* Previous hearing dates where this application was adjourned by the Committee and public notice issued.</small></p>	
Hearing Date	Reason for Adjournment (to be obtained from NOD_ADJ)
None	None

SCHEDULES	
Schedule A	Drawings & Plans Submitted with the Application
Schedule B	Comments from Agencies, Building Standards & Development Planning
Schedule C (if required)	Public & Applicant Correspondence
Schedule D (if required)	Background



MINOR VARIANCE APPLICATION FILE NUMBER A065/24

CITY WARD #:	3
APPLICANT:	Michael Ursini
AGENT:	Frasca Design & Planning
PROPERTY:	65 Balding Blvd, Woodbridge
ZONING DESIGNATION:	See below.
VAUGHAN OFFICIAL PLAN (2010) DESIGNATION:	Vaughan Official Plan 2010 ('VOP 2010'): "Low-Rise Residential"
RELATED DEVELOPMENT APPLICATIONS:	None
PURPOSE OF APPLICATION:	Relief from the Zoning By-law is being requested to permit a proposed detached garage and circular driveway.

The following variances have been requested from the City's Zoning By-law:

The subject lands are zoned RE(EN) – Estate Residential Zone (Established Neighbourhood) and subject to the provisions of Exception 14.82 under Zoning By-law 001-2021.

#	Zoning By-law 001-2021	Variance requested
1	A maximum of one detached private garage or an attached private garage shall be permitted on a lot. [4.1.5.1]	To permit a maximum of one detached private garage and a maximum of one attached private garage on a lot.
2	Where access is provided from a driveway crossing the exterior side lot line, in no case shall the detached private garage be located closer to an exterior side lot line than the main wall of the dwelling. [4.1.5.4b]	To permit a detached private garage to be located closer to an exterior side lot line than the main wall of the dwelling.
3	A circular driveway shall not provide access to more than one road. Both accesses to a circular driveway shall be located on the same lot line. [6.7.4.2]	To permit a circular driveway to provide access to more than one road.
4	A maximum height of 4.5 m, measured from established grade to the mean height between the eaves and the ridge, is permitted for a detached private garage. [4.1.5.2]	To permit a maximum height of 4.94 m measured from established grade to the mean height between the eaves and the ridge for a detached private garage.
5	A maximum gross floor area of 75.0 m ² is permitted for a detached private garage. [4.1.5.3]	To permit a maximum gross floor area of 96.9 m ² for a detached private garage.
6	Where a detached private garage is accessed from a driveway crossing the front lot line, in no case shall the width of the garage exceed 8.0 m. [4.1.5.5 a]	To permit the width of a detached private garage to be 12.4 m.

HEARING INFORMATION

DATE OF MEETING: Thursday, June 20, 2024

TIME: 6:00 p.m.

MEETING LOCATION: Vaughan City Hall, Woodbridge Room (2nd Floor), 2141 Major Mackenzie Drive

LIVE STREAM LINK: Vaughan.ca/LiveCouncil

PUBLIC PARTICIPATION

If you would like to speak to the Committee of Adjustment at the meeting, either remotely or in person, please complete the [Request to Speak Form](#) and submit to cofa@vaughan.ca

If you would like to submit written comments, please quote file number above and submit by mail or email to:

Email: cofa@vaughan.ca

HEARING INFORMATION

Mail: City of Vaughan, Office of the City Clerk, Committee of Adjustment, 2141 Major Mackenzie Drive, Vaughan, ON, L6A 1T1

To speak electronically, pre-registration is required by completing the [Request to Speak Form](#) on-line and submitting it to cofa@vaughan.ca no later than NOON on the last business day before the meeting.

THE DEADLINE TO REGISTER TO SPEAK ELECTRONICALLY OR SUBMIT WRITTEN COMMENTS ON THE ABOVE NOTED FILE(S) IS NOON ON THE LAST BUSINESS DAY BEFORE THE MEETING.

INTRODUCTION

Staff and Agencies act as advisory bodies to the Committee of Adjustment. The comments contained in this report are presented as recommendations to the Committee.

Section 45(1) of the Planning Act sets the criteria for authorizing minor variances to the City of Vaughan's Zoning By-law. Accordingly, review of the application may consider the following:

- That the general intent and purpose of the by-law will be maintained.
- That the general intent and purpose of the official plan will be maintained.
- That the requested variance(s) is/are acceptable for the appropriate development of the subject lands.
- That the requested variance(s) is/are minor in nature.

Public written and oral submissions relating to this application are taken into consideration by the Committee of Adjustment as part of its deliberations and final decision on this matter.

COMMITTEE OF ADJUSTMENT

Date Public Notice Mailed:	June 6, 2024
Date Applicant Confirmed Posting of Sign:	May 30, 2024
Applicant Justification for Variances: <small>*As provided in Application Form</small>	Zoning seems too restricted
Was a Zoning Review Waiver (ZRW) Form submitted by Applicant: <small>*ZRW Form may be used by applicant in instances where a revised submission is made, and zoning staff do not have an opportunity to review and confirm variances prior to the issuance of public notice.</small>	Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>
COMMENTS:	
None.	
Committee of Adjustment Recommended Conditions of Approval:	None.

BUILDING STANDARDS (ZONING)

**See Schedule B for Building Standards (Zoning) Comments	
Building Standards Recommended Conditions of Approval:	None.

DEVELOPMENT PLANNING

**See Schedule B for Development Planning Comments.	
Development Planning Recommended Conditions of Approval:	None.

DEVELOPMENT ENGINEERING

[Link to Grading Permit](#)
 [Link to Pool Permit](#)
 [Link to Curb Curt Permit](#)
 [Link Culvert Installation](#)

The proposed work by the Owner/Applicant is increasing the lot coverage on the subject property. The added hardscape may have impacts on the City's Storm Water management system. Development Engineering strongly encourages the Owner / Applicant introduce Low-Impact Development (LID) measures (e.g., bioswales, permeable pavers, rain gardens, rain barrels etc.) to reduce the impacts to the stormwater system. Should further information be required, please contact the Development Engineering COA reviewer. As the proposed dwelling/ structure/ cabana in the subject property is 96.90 m2, the Owner/ Applicant needs to obtain a 'Lot Grading Permit' from the Development Inspection and Lot Grading Division of the City's Development Engineering Department. Please note any in-ground structure over 10 m2 requires a 'Grading Permit'. Please contact the Development Engineering Reviewer after receiving the Grading Permit to clear the condition. (Condition attached)

DEVELOPMENT ENGINEERING

[Link to Grading Permit](#)
 [Link to Pool Permit](#)
 [Link to Curb Curt Permit](#)
 [Link Culvert Installation](#)

Development Engineering Recommended Conditions of Approval:	The Owner/Applicant shall submit an application and obtain an approved Grading Permit before initiating any work on the property. The Final Lot Grading and/or Servicing Plan will be required for the Grading Permit Application. Please visit the Permits page of the City of Vaughan's website: Permits City of Vaughan to apply for a Grading Permit. For any inquiries regarding the Grading Permit, please email DEPermits@vaughan.ca
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PARKS, FORESTRY & HORTICULTURE (PFH)

No comments received to date	
PFH Recommended Conditions of Approval:	None.

DEVELOPMENT FINANCE

Recommended condition of approval:	
Development Finance Recommended Conditions of Approval:	Applicant/owner shall obtain a "Private Property Tree Removal & Protection" permit through the forestry division prior to any construction works on the subject property.

BY-LAW AND COMPLIANCE, LICENSING AND PERMIT SERVICES

No comments received to date	
BCLPS Recommended Conditions of Approval:	None.

BUILDING INSPECTION (SEPTIC)

No comments received to date.	
Building Inspection Recommended Conditions of Approval:	None.

FIRE DEPARTMENT

No comments received to date.	
Fire Department Recommended Conditions of Approval:	None.

RECOMMENDED CONDITIONS OF APPROVAL SUMMARY

Should the Committee find it appropriate to approve this application in accordance with request and the sketch submitted with the application, as required by Ontario Regulation 200/96, the following conditions have been recommended:

#	DEPARTMENT / AGENCY	CONDITION
1	Development Engineering jonal.hall@vaughan.ca	The Owner/Applicant shall submit an application and obtain an approved Grading Permit before initiating any work on the property. The Final Lot Grading and/or Servicing Plan will be required for the Grading Permit Application. Please visit the Permits page of the City of Vaughan's website: Permits City of Vaughan to apply for a Grading Permit. For any inquiries regarding the Grading Permit, please email DEPermits@vaughan.ca
2	Parks, Forestry and Horticulture Operations zachary.quizzetti@vaughan.ca	Applicant/owner shall obtain a "Private Property Tree Removal & Protection" permit through the forestry division prior to any construction works on the subject property.

All conditions of approval, unless otherwise stated, are considered to be incorporated into the approval "if required". If a condition is no longer required after an approval is final and binding, the condition may be waived by the respective department or agency requesting conditional approval. A condition cannot be waived without written consent from the respective department or agency.

IMPORTANT INFORMATION

CONDITIONS: It is the responsibility of the owner/applicant and/or authorized agent to obtain and provide a clearance letter from respective department and/or agency (**see condition chart above for contact**). This letter must be provided to the Secretary-Treasurer to be finalized. All conditions must be cleared prior to the issuance of a Building Permit.

APPROVALS: Making any changes to your proposal after a decision has been made may impact the validity of the Committee's decision.

An approval obtained from the Committee of Adjustment, where applicable, is tied to the building envelope shown on the plans and drawings submitted with the application and subject to the variance approval.

A building envelope is defined by the setbacks of the buildings and/or structures shown on the plans and drawings submitted with the application, as required by Ontario Regulation 200/96. Future development outside of an approved building envelope, where a minor variance was obtained, must comply with the provisions of the City's Zoning By-law.

Elevation drawings are provided to reflect the style of roof (i.e. flat, mansard, gable etc.) to which a building height variance has been applied. Where a height variance is approved, building height is applied to the style of roof (as defined in the City's Zoning By-law) shown on the elevation plans submitted with the application.

Architectural design features that are not regulated by the City's Zoning By-law are not to be considered part of an approval unless specified in the Committee's decision.

DEVELOPMENT CHARGES: That the payment of the Regional Development Charge, if required, is payable to the City of Vaughan before issuance of a building permit in accordance with the Development Charges Act and the Regional Development Charges By-law in effect at the time of payment.

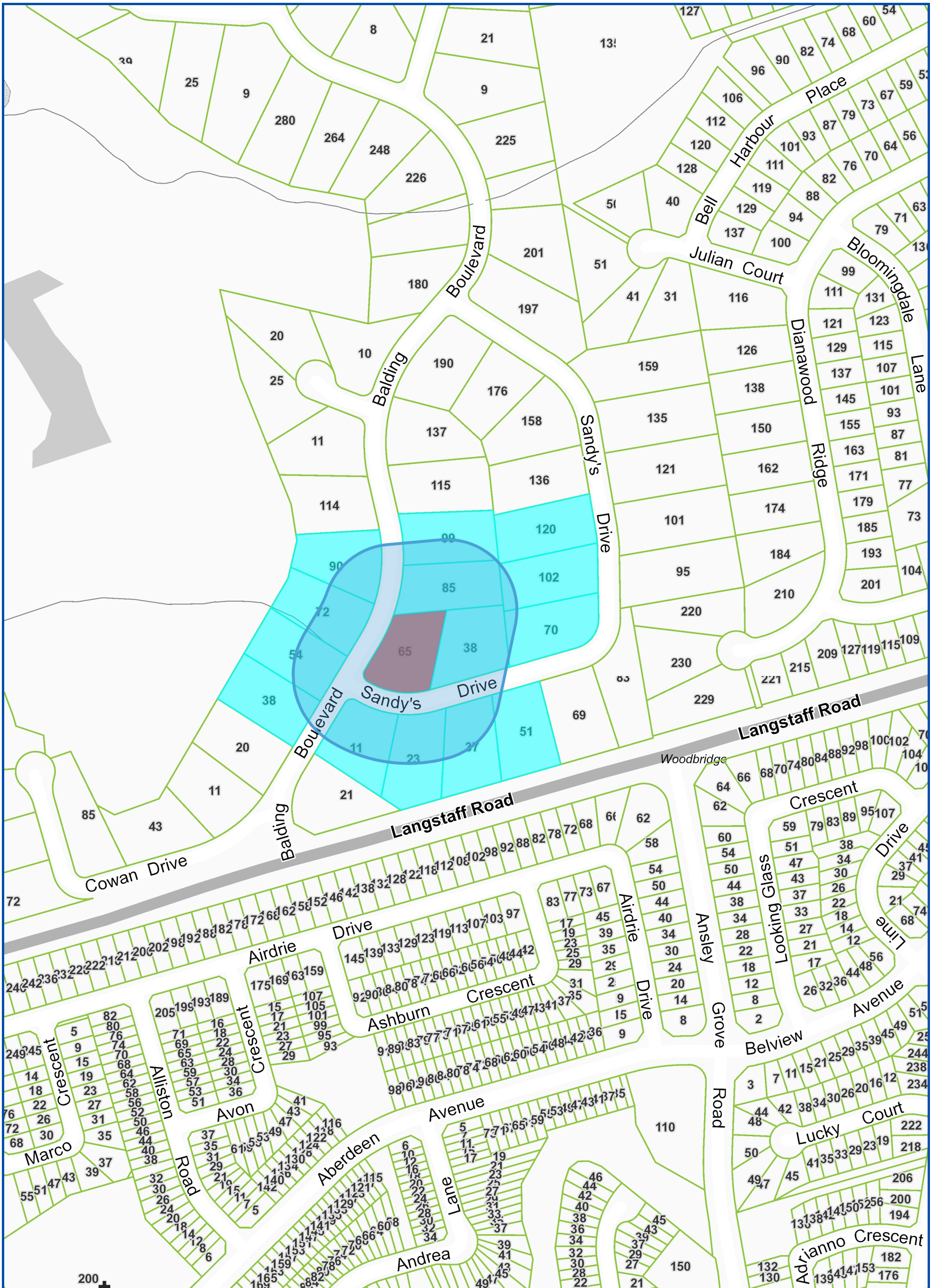
That the payment of the City Development Charge, if required, is payable to the City of Vaughan before issuance of a building permit in accordance with the Development Charges Act and the City's Development Charges By-law in effect at the time of payment.

That the payment of the Education Development Charge if required, is payable to the City of Vaughan before issuance of a building permit in accordance with the Development Charges Act and the Boards of Education By-laws in effect at the time of payment

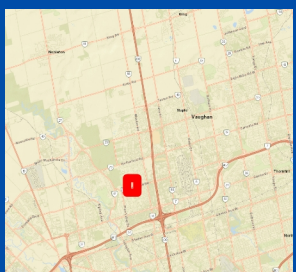
That the payment of Special Area Development charge, if required, is payable to the City of Vaughan before issuance of a building permit in accordance with the Development Charges Act and The City's Development Charge By-law in effect at the time of Building permit issuance to the satisfaction of the Reserves/Capital Department.

NOTICE OF DECISION: If you wish to be notified of the decision in respect to this application or a related Ontario Land Tribunal (OLT) hearing you must complete a Request for Decision form and submit to the Secretary Treasurer (ask staff for details). In the absence of a written request to be notified of the Committee's decision you will **not** receive notice.

SCHEDULE A: DRAWINGS & PLANS



Map Information:



Title:

NOTIFICATION MAP - A065/24

65 BALDING BOULEVARD, WOODBRIDGE

Disclaimer:

Every reasonable effort has been made to ensure that the information appearing on this map is accurate and current. We believe the information to be reliable, however the City of Vaughan assumes no responsibility or liability due to errors or omissions. Please report any discrepancies to Infrastructure Programming.



Scale: 1:4,514

0 0.07 km



Created By:

Infrastructure Delivery
Department
April 16, 2024 12:47 PM

Projection:
NAD 83
UTM Zone
17N

LEGEND	
	EXISTING SETBACK/DIMENSIONS
	PROPOSED SETBACK/DIMENSIONS
	EXISTING BUILDING
	PROPOSED BUILDING
	SOD
	PAVERS
	DRIVEWAY
	EXISTING BUILDING
	MAIN DOOR ENTRANCE
	OVERHEAD DOOR ENTRANCE
	DOOR ENTRANCE
	EXISTING GRADE TO BE MAINTAINED
	PROPOSED GRADE
	PROPERTY LINE
	CONSTRUCTION ACCESS
	EXISTING SLOPE DIRECTION
	PROPOSED SLOPE DIRECTION

SITE DATA			
SINGLE FAMILY DETACHED DWELLING			
ZONE	RR		
LOT NUMBER	58		
LOT AREA	4,048.46 SM (43,577.26 SF)		
SITE AREAS			
	EXISTING	PROPOSED	LOT COVERAGE
1. DWELLING	232.42 SM (2,501.80 SF)	-	5.74 %
2. COVERED PORCH	37.88 SM (407.75 SF)	-	0.93 %
3. GARAGE EXISTING	98.31 SM (1,058.21 SF)	-	2.42 %
4. GARAGE PROPOSED	-	96.90 SM (1,043.30 SF)	2.39 %
TOTAL LOT COVERAGE (1+2+3+4)			11.48 %

SITE STATISTICS		
	PERMITTED	PROPOSED
FRONT SETBACK (SOUTH)	15.00 M	14.49 M
SIDE SETBACK - EXTERIOR (WEST)	9M	12.58 M
SIDE SETBACK (EAST)	4.5 M	EXISTING
REAR SETBACK (NORTH)	15 M	42.77 M
MAX. HEIGHT	4.5 M	6.12 M
LOT COVERAGE	10%	11.48 %

NOTES	
①	EXISTING DRIVEWAY TO REMAIN
②	EXTENT OF SILT FENCE BARRIER. REFER TO DETAIL 2/A100.
③	EXISTING CURB
④	CURB TO BE DEMOLISHED
⑤	PROPOSED CONCRETE CURB TO MATCH EXISTING
⑥	PROPOSED 1'-0" WIDE CONCRETE CURB

ONLY GRADES AND SLOPES NOTED ON PLAN ARE ACHIEVABLE DUE TO EXISTING SITE CONDITIONS

IT IS OUR BELIEF THAT THE GRADES AS SHOWN WILL PRODUCE ADEQUATE SURFACE DRAINAGE WITHOUT DETRIMENTAL EFFECT ON ADJACENT PROPERTIES.

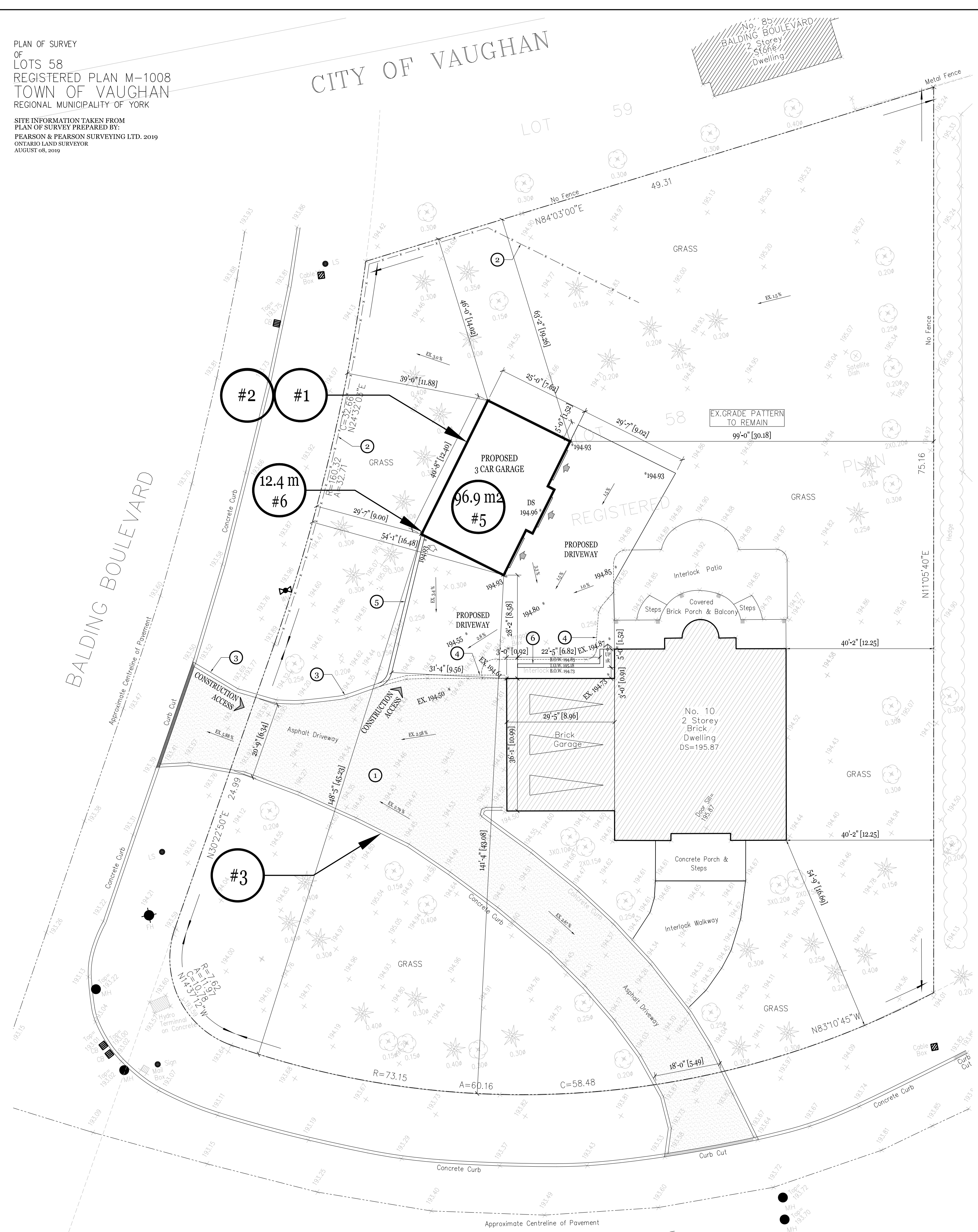
IT IS OUR BELIEF THAT THE GRADING WILL NOT ADVERSELY AFFECT THE NEIGHBOURING PROPERTIES AND THE SUBJECT PROPERTY AS A RESULT OF CONSTRUCTION

-0.6 M AROUND THE ENTIRE PROPERTY TO REMAIN UNDISTURBED
-ALL GRADES OUTSIDE OF CONSTRUCTION AREA TO REMAIN UNDISTURBED

REFER TO SHEET A002 FOR LEGENDS, SCHEDULE & ADDITIONAL CONSTRUCTION NOTES

PLAN OF SURVEY OF LOTS 58 REGISTERED PLAN M-1008 TOWN OF VAUGHAN REGIONAL MUNICIPALITY OF YORK

SITE INFORMATION TAKEN FROM PLAN OF SURVEY PREPARED BY: PEARSON & PEARSON SURVEYING LTD. 2019 ONTARIO LAND SURVEYOR AUGUST 08, 2019



① SITE PLAN SCALE 1:200

#	Zoning By-law 001-2021	Variance requested
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THIS DRAWING, AS AN INSTRUMENT OF SERVICE, IS PROVIDED BY AND IS THE PROPERTY OF THE ARCHITECT. THE CONTRACTOR MUST VERIFY AND ACCEPT RESPONSIBILITY FOR ALL DIMENSIONS AND CONDITIONS ON SITE AND MUST NOTIFY THE ARCHITECT OF ANY VARIATIONS FROM THE SUPPLIED INFORMATION. THIS DRAWING IS NOT TO BE SCALED. THE ARCHITECT IS NOT RESPONSIBLE FOR THE ACCURACY OF SURVEY, STRUCTURAL, MECHANICAL, ELECTRICAL AND OTHER CONSULTANT INFORMATION SHOWN ON THIS DRAWING. REFER TO THE APPROPRIATE CONSULTANT'S DRAWINGS BEFORE PROCEEDING WITH THE WORK. CONSTRUCTION MUST CONFORM TO ALL APPLICABLE CODES AND REQUIREMENTS OF AUTHORITIES HAVING JURISDICTION. THE CONTRACTOR WORKING FROM DRAWINGS NOT SPECIFICALLY MARKED "FOR CONSTRUCTION" MUST ASSUME FULL RESPONSIBILITY AND BEAR COSTS FOR ANY CORRECTIONS OR DAMAGES RESULTING FROM HIS WORK.

5	APRIL 29, 2024	ISSUED FOR C&A (11)	MA
4	APRIL 03, 2024	ISSUED FOR C&A (10)	MA
3	SEPT 18, 2023	REVISED AS PER CITY COMMENTS AND CLIENT'S REVISION (09)	TM
2	SEPT 13, 2023	ISSUED FOR GRADING PERMIT (08)	TM
1	JULY 14, 2023	ISSUED FOR CITY PERMIT (07)	TM
No.	Date:	Issued/Revision:	By

FRASCA Design & Planning
Residential - Retail - Commercial
2781 HIGHWAY #7, UNIT 201 VAUGHAN, ON, L4L 5Z2, 2024
3090jg@frasca.com
gjorgio@frascadesignandplanning.com

Project: **PROPOSED 3 CAR GARAGE**

65 BALDING BLVD, WOODBRIDGE, ON., L4L 3A3

Drawing Name:




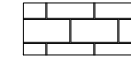
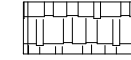
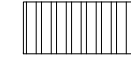
SITE PLAN

Proj no.: 19017 Date: 23 AUGUST 2023
Drawn by: DB Scale: AS NOTED
Checked by: GF

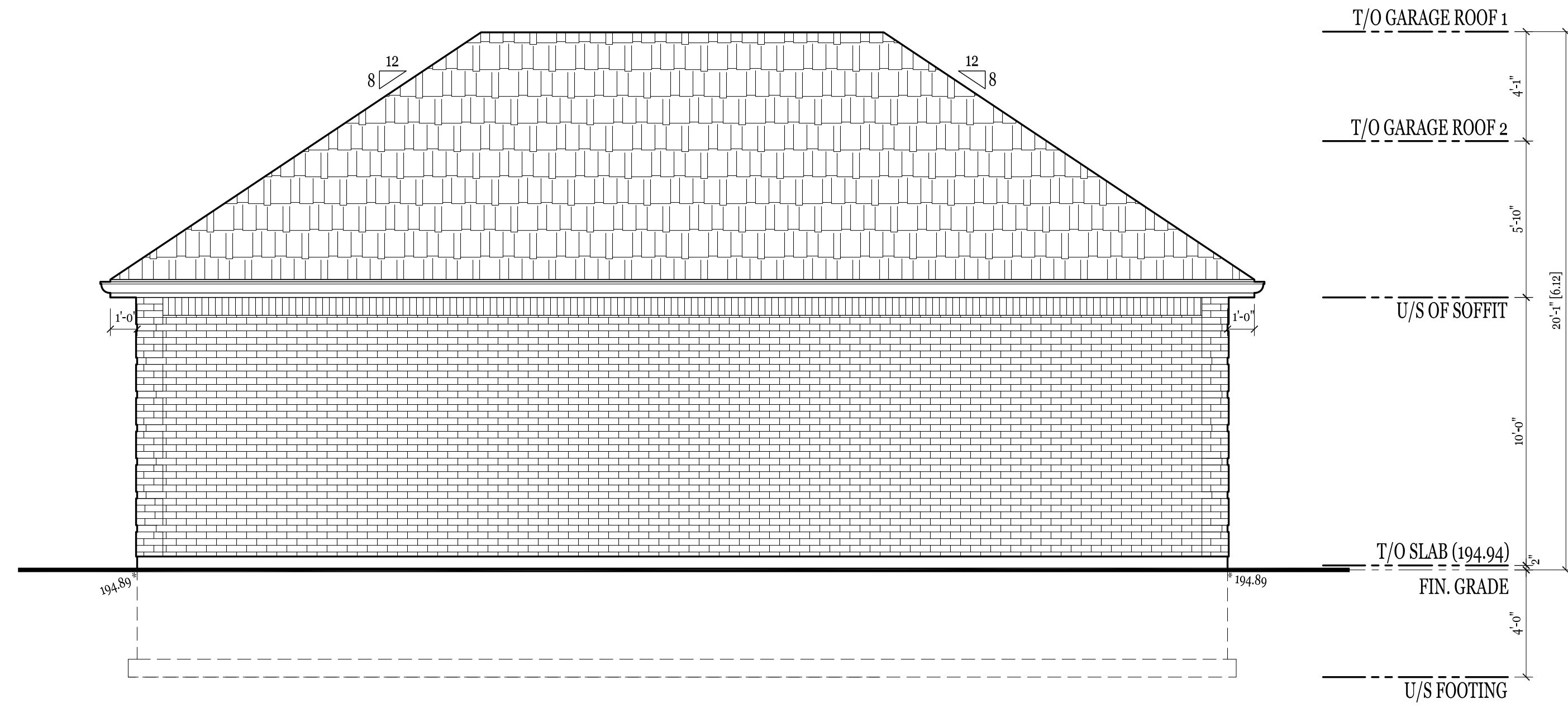
Drawing No.: **A100**

CONSTRUCTION NORTH

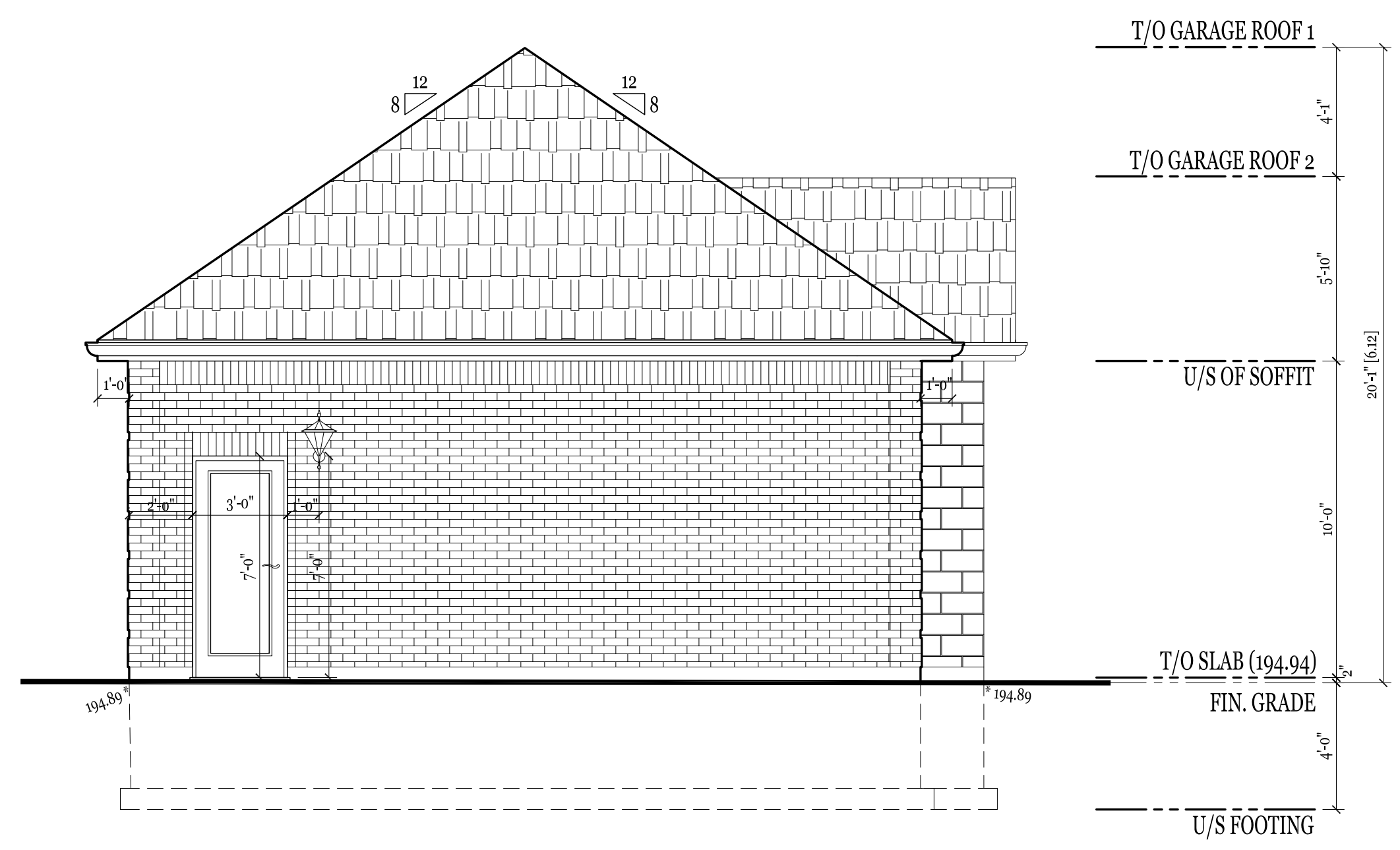
REFER TO SHEET A002 FOR LEGENDS, SCHEDULE & ADDITIONAL CONSTRUCTION NOTES

LEGEND	
CONSTRUCTION SYMBOLS, NOTES AND INFORMATION	
	EXISTING TO REMAIN
	PROPOSED
	3 1/2" BRICK VENEER
	3 1/2" STONE VENEER
	ASPHALT SHINGLES
	SIDING (N/A)

THIS DRAWING, AS AN INSTRUMENT OF SERVICE, IS PROVIDED BY AND IS THE PROPERTY OF THE ARCHITECT. THE CONTRACTOR MUST VERIFY AND ACCEPT RESPONSIBILITY FOR ALL DIMENSIONS AND CONDITIONS ON SITE AND MUST NOTIFY THE ARCHITECT OF ANY VARIATIONS FROM THE SUPPLIED INFORMATION. THIS DRAWING IS NOT TO BE SCALED. THE ARCHITECT IS NOT RESPONSIBLE FOR THE ACCURACY OF SURVEY, STRUCTURAL, MECHANICAL, ELECTRICAL AND OTHER CONSULTANT INFORMATION SHOWN ON THIS DRAWING. REFER TO THE APPROPRIATE CONSULTANT'S DRAWINGS BEFORE PROCEEDING WITH THE WORK. CONSTRUCTION MUST CONFORM TO ALL APPLICABLE CODES AND REQUIREMENTS OF AUTHORITIES HAVING JURISDICTION. THE CONTRACTOR WORKING FROM DRAWINGS NOT SPECIFICALLY MARKED "FOR CONSTRUCTION" MUST ASSUME FULL RESPONSIBILITY AND BEAR COSTS FOR ANY CORRECTIONS OR DAMAGES RESULTING FROM HIS WORK.



2 WEST ELEVATION
1/4" = 1'-0"



1 SOUTH ELEVATION
1/4" = 1'-0"

4	APRIL 30, 2024	ISSUED FOR CoA (11)	MA
3	APRIL 03, 2024	ISSUED FOR CoA (10)	MA
2	SEPT 19, 2023	REVISED AS PER CITY COMMENTS AND CLIENT'S REVISION (09)	TM
1	JULY 14, 2023	ISSUED FOR CITY PERMIT (07)	TM
No.	Date:	Issued/Revision:	By:




Project : **PROPOSED
3 CAR GARAGE**

65 BALDING BLVD,
WOODBRIIDGE, ON., L4L 3A3

Drawing Name : **PROPOSED ELEVATIONS**

Proj no. :	19017	Date :	14 JULY 2023
Drawn by :	TM	Scale :	AS NOTED
Checked by :	GF		

Drawing No : **A301**



CONSTRUCTION NORTH

**SCHEDULE B:
COMMENTS FROM AGENCIES, BUILDING STANDARDS &
DEVELOPMENT PLANNING**

Department / Agency <small>*Comments Received</small>	Conditions Required		Nature of Comments
Building Standards (Zoning) *See Schedule B	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>	General Comments
Development Planning	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>	Recommend Approval/No Conditions
Alectra	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>	General Comments
TRCA	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>	General Comments
Region of York	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>	General Comments

Date: April 29th 2024

Attention: **Christine Vigneault**

RE:

File No.: **A065-24**

Related Files:

Applicant Michael Ursini

Location 65 Balding Boulevard



Discover the possibilities

COMMENTS:

- We have reviewed the proposed Variance Application and have no comments or objections to its approval.
- We have reviewed the proposed Variance Application and have no objections to its approval, subject to the following comments (attached below).
- We have reviewed the proposed Variance Application and have the following concerns (attached below).

Alectra Utilities (formerly PowerStream) has received and reviewed the proposed Variance Application. This review, however, does not imply any approval of the project or plan.

All proposed billboards, signs, and other structures associated with the project or plan must maintain minimum clearances to the existing overhead or underground electrical distribution system as specified by the applicable standards, codes and acts referenced.

In the event that construction commences, and the clearance between any component of the work/structure and the adjacent existing overhead and underground electrical distribution system violates the Occupational Health and Safety Act, the customer will be responsible for 100% of the costs associated with Alectra making the work area safe. All construction work will be required to stop until the safe limits of approach can be established.

In the event construction is completed, and the clearance between the constructed structure and the adjacent existing overhead and underground electrical distribution system violates the any of applicable standards, acts or codes referenced, the customer will be responsible for 100% of Alectra's cost for any relocation work.

References:

- Ontario Electrical Safety Code, latest edition (Clearance of Conductors from Buildings)
- Ontario Health and Safety Act, latest edition (Construction Protection)
- Ontario Building Code, latest edition (Clearance to Buildings)
- PowerStream (Construction Standard 03-1, 03-4), attached
- Canadian Standards Association, latest edition (Basic Clearances)

If more information is required, please contact either of the following:

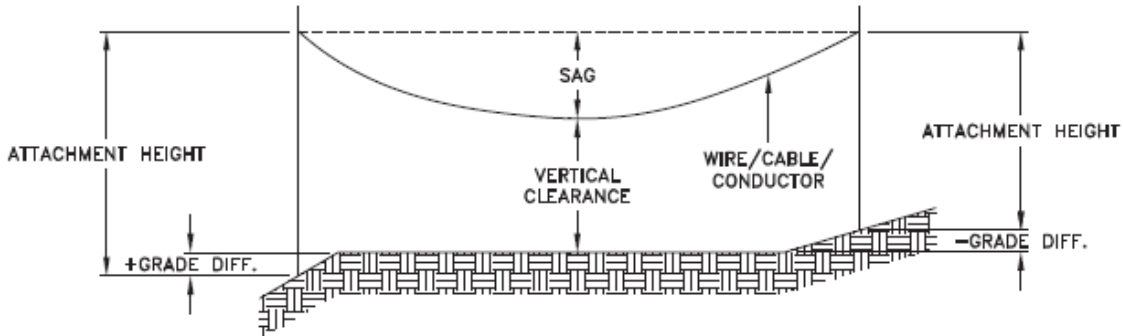
Mr. Stephen Cranley, C.E.T
Supervisor, Distribution Design, ICI & Layouts (North)
Phone: 1-877-963-6900 ext. 31297

E-mail: stephen.cranley@alectrautilities.com

Mitchell Penner
Supervisor, Distribution Design-Subdivisions
Phone: 416-302-6215

Email: Mitchell.Penner@alectrautilities.com

LOCATION OF WIRES, CABLES OR CONDUCTORS	SYSTEM VOLTAGE			
	SPAN GUYS AND COMMUNICATIONS WIRES	UP TO 600V AND NEUTRAL	4.16/2.4kV TO 27.6/16kV (SEE NOTE 1)	44kV
MINIMUM VERTICAL CLEARANCES (SEE NOTE 2)				
OVER OR ALONGSIDE ROADS, DRIVEWAYS OR LANDS ACCESSIBLE TO <u>VEHICLES</u>	442cm	442cm	480cm	520cm
OVER GROUND ACCESSIBLE TO <u>PEDESTRIANS AND BICYCLES ONLY</u>	250cm	310cm	340cm	370cm
ABOVE TOP OF RAIL AT <u>RAILWAY CROSSINGS</u>	730cm	730cm	760cm	810cm



MINIMUM ATTACHMENT HEIGHT = MAXIMUM SAG
 + MINIMUM VERTICAL CLEARANCE (FROM ABOVE TABLE)
 ± GRADE DIFFERENCE
 + 0.3m (VEHICLE OR RAILWAY LOCATION)
 + SNOW DEPTH (PEDESTRIAN LOCATION, SEE NOTE 3)

NOTES:

1. THE MULTIGROUNDED SYSTEM NEUTRAL HAS THE SAME CLEARANCE AS THE 600V SYSTEM.
2. THE VERTICAL CLEARANCES IN THE ABOVE TABLE ARE UNDER MAXIMUM SAG CONDITIONS.
3. REFER TO CSA STANDARD C22.3 No.1, ANNEX D FOR LOCAL SNOW DEPTH VALUES.
4. ALL CLEARANCES ARE IN ACCORDANCE TO CSA STANDARD C22.3.

CONVERSION TABLE

METRIC	IMPERIAL (APPROX)
810cm	27'-0"
760cm	25'-4"
730cm	24'-4"
520cm	17'-4"
480cm	16'-0"
442cm	15'-5"
370cm	12'-4"
340cm	11'-4"
310cm	10'-4"
250cm	8'-4"

REFERENCES

SAGS AND TENSIONS | SECTION 02

MINIMUM VERTICAL CLEARANCES OF WIRES, CABLES AND CONDUCTORS ABOVE GROUND OR RAILS

ORIGINAL ISSUE DATE: 2010-DEC-24 REVISION NO: R1 REVISION DATE: 2012-JAN-09

Certificate of Approval	
This construction Standard meets the safety requirements of Section 4 of Regulation 22/04	
Joe Crozier, P.Eng.	2012-JAN-09
Name	Date
P.Eng. Approval By:	Joe Crozier



VOLTAGE	MINIMUM HORIZONTAL CLEARANCE UNDER MAXIMUM SWING CONDITIONS DIMENSION "X" (SEE NOTES 1, 3 & 4)	MINIMUM VERTICAL CLEARANCE UNDER MAXIMUM DESIGN SAG CONDITIONS DIMENSION "Y" (SEE NOTES 1, 2, 4 & 5)
0-600V AND NEUTRAL	100cm	250cm
4.16/2.4 TO 44kV	300cm	480cm

NOTES

1. UNDER NO CIRCUMSTANCES SHALL A CONDUCTOR BE PERMITTED TO PENETRATE THE ENVELOPE SHOWN BY THE DOTTED LINE.
2. THE VERTICAL CLEARANCES ARE UNDER CONDITIONS OF MAXIMUM DESIGN SAG.
3. THE HORIZONTAL CLEARANCES ARE UNDER CONDITIONS OF MAXIMUM SWING. WHERE THE CONDUCTOR SWING IS NOT KNOWN A HORIZONTAL CLEARANCE OF 480CM SHALL BE USED.
4. BUILDINGS THAT EXCEED 3 STOREYS OR 15M IN HEIGHT, THE MINIMUM HORIZONTAL CLEARANCE OF THE SECONDARY CONDUCTORS SHOULD BE INCREASED TO 300cm WHERE IT IS NECESSARY TO ALLOW FOR THE RAISING OF LADDERS BY LOCAL FIRE DEPARTMENTS.
5. IN SITUATIONS SUCH AS MULTI-LEVEL GARAGES, WHERE ROOFS ARE NORMALLY USED BY PERSONS AND VEHICLES, THE VERTICAL CLEARANCES OF POWERSTREAM STANDARD 03-1 SHALL APPLY.
6. DISTRIBUTION LINES CONSTRUCTED NEAR BUILDINGS SHALL BE BUILT TO AVOID OVERHANG WHEREVER POSSIBLE. WHERE LINES MUST BE CONSTRUCTED OVER OR ADJACENT TO BUILDINGS THE APPLICABLE HORIZONTAL AND VERTICAL CLEARANCES SHALL BE AT CONDITIONS OF MAXIMUM CONDUCTOR SWING AND MAXIMUM SAG. THE ABOVE CLEARANCES ARE DESIGNED TO PREVENT PERSONS ON OR IN BUILDINGS AS WELL AS EXTERNAL MACHINERY USED IN CONJUNCTION WITH A BUILDING TO COME IN CONTACT WITH CONDUCTORS. EFFORTS SHOULD BE MADE TO INCREASE THESE CLEARANCES WHERE POSSIBLE.
7. ALL CLEARANCES ARE IN ACCORDANCE TO CSA C22.3 NO.1-06 (TABLE-9).

METRIC	IMPERIAL (APPROX)
480cm	16'-0"
300cm	10'-0"
250cm	8'-4"
100cm	3'-4"

MINIMUM VERTICAL & HORIZONTAL CLEARANCES OF CONDUCTORS FROM BUILDINGS OR OTHER PERMANENT STRUCTURES (CONDUCTORS NOT ATTACHED TO BUILDINGS)

Certificate of Approval
This construction Standard meets the safety requirements of Section 4 of Regulation 22/04
Debbie Dadwani, P.Eng. 2010-MAY-05
Name Date
P. Eng. Approval By: *D. Dadwani*

ORIGINAL ISSUE DATE: 2010-MAY-05 REVISION NO: REVISION DATE:
PS:\System Planning and Standards\Standard Design\PowerStream Standards\PowerStream Standards working files\Section 3-1-02\WG 03-4 R0 May 5, 2010.dwg, 5/5/2010 10:22:02 AM, Adobe PDF

To: Committee of Adjustment
From: Catherine Saluri, Building Standards Department
Date: April 29, 2024
Applicant: Michael Ursini
Location: 65 Balding Boulevard
 PLAN M1800 Lot 58
File No.(s): A065/24

Zoning Classification:

The subject lands are zoned RE(EN) – Estate Residential Zone (Established Neighbourhood) and subject to the provisions of Exception 14.82 under Zoning By-law 001-2021.

#	Zoning By-law 001-2021	Variance requested
1	A maximum of one detached private garage or an attached private garage shall be permitted on a lot. [4.1.5.1]	To permit a maximum of one detached private garage and a maximum of one attached private garage on a lot.
2	Where access is provided from a driveway crossing the exterior side lot line, in no case shall the detached private garage be located closer to an exterior side lot line than the main wall of the dwelling. [4.1.5.4b]	To permit a detached private garage to be located closer to an exterior side lot line than the main wall of the dwelling.
3	A circular driveway shall not provide access to more than one road. Both accesses to a circular driveway shall be located on the same lot line. [6.7.4.2]	To permit a circular driveway to provide access to more than one road.
4	A maximum height of 4.5 m, measured from established grade to the mean height between the eaves and the ridge, is permitted for a detached private garage. [4.1.5.2]	To permit a maximum height of 4.94 m measured from established grade to the mean height between the eaves and the ridge for a detached private garage.
5	A maximum gross floor area of 75.0 m ² is permitted for a detached private garage. [4.1.5.3]	To permit a maximum gross floor area of 96.9 m ² for a detached private garage.
6	Where a detached private garage is accessed from a driveway crossing the front lot line, in no case shall the width of the garage exceed 8.0 m. [4.1.5.5 a]	To permit the width of a detached private garage to be 12.4 m.

Staff Comments:

Stop Work Order(s) and Order(s) to Comply:

There are no outstanding Orders on file.

Building Permit(s) Issued:

Building Permit No. 23-126332 has been submitted for the proposed construction of a detached garage.

Other Comments:

General Comments	
1	The applicant shall be advised that additional variances may be required upon review of detailed drawing for building permit.

Conditions of Approval:

If the committee finds merit in the application, the following conditions of approval are recommended.

None

* Comments are based on the review of documentation supplied with this application.

To: Christine Vigneault, Committee of Adjustment Secretary Treasurer
From: Nancy Tuckett, Director of Development Planning
Date: June 5, 2024
Name of Owner: Michael Ursini
Location: 65 Balding Boulevard
File No.(s): A065/24

Proposed Variance(s) (By-law 001-2021):

1. To permit a maximum of one detached private garage and a maximum of one attached private garage on a lot.
2. To permit a detached private garage to be located closer to an exterior side lot line than the main wall of the dwelling.
3. To permit a circular driveway to provide access to more than one road.
4. To permit a maximum height of **4.94 m** measured from established grade to the mean height between the eaves and the ridge for a detached private garage.
5. To permit a maximum gross floor area of **96.9 m²** for a detached private garage.
6. To permit the width of a detached private garage to be **12.4 m**.

By-Law Requirement(s) (By-law 001-2021):

1. A maximum of one detached private garage or an attached private garage shall be permitted on a lot.
2. Where access is provided from a driveway crossing the exterior side lot line, in no case shall the detached private garage be located closer to an exterior side lot line than the main wall of the dwelling.
3. A circular driveway shall not provide access to more than one road. Both accesses to a circular driveway shall be located on the same lot line.
4. A maximum height of **4.5 m**, measured from established grade to the mean height between the eaves and the ridge, is permitted for a detached private garage.
5. A maximum gross floor area of **75.0 m²** is permitted for a detached private garage.
6. Where a detached private garage is accessed from a driveway crossing the front lot line, in no case shall the width of the garage exceed **8.0 m**.

Official Plan:

Vaughan Official Plan 2010 ('VOP 2010'): "Low-Rise Residential"

Comments:

The Owner is proposing to construct a one-storey, three car detached garage in the interior side yard / front yard of the subject property, north-west of the dwelling as part of the proposed works.

Development Planning Department Staff have no objections to Variance 3 to permit a circular driveway to provide access to more than one road. The Subject Property is a corner lot bordering Sandy's Drive and Balding Boulevard, and is located within an identified large-lot neighbourhood ('LLN') on Schedule 1B of VOP 2010. The circular driveway obtains access off both Balding Boulevard and Sandy's Drive. Available aerial photography suggests the driveway configuration was established when the LLN was built between the late 70s and late 80s. The front yard is sufficiently sized to maintain an appropriate amount of soft landscaping and vegetation. Since there are a number of circular driveways within the LLN, the existing driveway fits the character of the neighbourhood and as such, will not have a negative impact to the existing streetscape. Development & Transportation Engineering Staff have reviewed the application and have no objections to the circular driveway.

Development Planning Department Staff have no objections to the requested variances for the proposed detached garage (Variances 1,2,4,5, and 6). Variances 1 and 2

propose a 3-bay detached garage on a lot that has an existing 3-bay attached private garage and is located closer to an exterior side lot line than the main wall of the dwelling. Variance 4 would permit a maximum height of 4.94 m, Variance 5 a maximum total gross floor area of 96.9 m², and Variance 6 a building width of 12.4 m for the proposed garage. The detached garage's 4.94 m maximum height (0.44 m greater than the Zoning By-law requirement) and increased building width/gross floor area is anticipated to have minimal use and massing impacts on the neighbouring property to the north (85 Balding Boulevard) as the rear yard requirement of the Zoning By-law is exceeded, which provides for the extent of vegetative screening (mature trees) present along the northern interior side lot line and will help provide a visual buffer from the proposed detached garage. The proposed detached garage will be screened by existing mature trees throughout the Subject property. The trees to the west and south form a vegetative buffer along the exterior side lot line on Balding Boulevard and front lot line on Sandy's Drive. Additionally, the detached garage's three (3) proposed bay doors would face southeast into the lot towards the dwelling, not out towards either street, reducing the prominence of the garage use where it may be observed from the streets between trees. The proposed garage's footprint is relatively modest relative to the dwelling and large lot size. The total lot coverage requirement of the Zoning By-law is maintained. The detached garage is proposed west of the dwelling, and as such the proposal sustains sufficient rear yard amenity space outside of the proposed footprint and driveway access areas.

In support of the application, the Owners submitted a Tree Inventory and Preservation Plan Report prepared by Elm-Tree General Contractors, dated May 8, 2024. The report inventoried a total of fifteen (15) trees, all of which are proposed to be preserved through construction. Urban Design staff have reviewed the report and concur with its recommendations.

Accordingly, Development Planning Department Staff support the requested variances and are of the opinion that the proposal is minor in nature, maintains the general intent and purpose of the Official Plan and Zoning By-law, and is desirable for the appropriate development of the land.

Recommendation:

Development Planning Department Staff recommends approval of the application.

Conditions of Approval:

If the Committee finds merit in the application, the following conditions of approval are recommended:

None.

Comments Prepared by:

Nicholas Del Prete, Planner 1
David Harding, Senior Planner

Lenore Providence

Subject: FW: [External] RE: A065/24 (65 BALDING BLVD) - REQUEST FOR COMMENTS

From: Kristen Regier <Kristen.Regier@trca.ca>
Sent: Monday, April 29, 2024 1:39 PM
To: Committee of Adjustment <CofA@vaughan.ca>
Subject: [External] RE: A065/24 (65 BALDING BLVD) - REQUEST FOR COMMENTS

CAUTION! This is an external email. Verify the sender's email address and carefully examine any links or attachments before clicking. If you believe this may be a phishing email, please use the Phish Alert Button.

Hello,

The subject property at 65 Balding Blvd, Vaughan is not located within TRCA's Regulated Area. TRCA's Planning and Regulatory policy interests are not impacted.

As such, TRCA has no comments on the application.

Best,

Kristen Regier, MA (she / her)
Planner
Development Planning and Permits | Development and Engineering Services
Toronto and Region Conservation Authority (TRCA)

T: [437-880-2129](tel:437-880-2129)
E: kristen.regier@trca.ca
A: [101 Exchange Avenue, Vaughan, ON, L4K 5R6](https://www.trca.ca) | [trca.ca](https://www.trca.ca)



Prabhdeep Kaur

From: Development Services <developmentsservices@york.ca>
Sent: Thursday, May 30, 2024 6:03 PM
To: Pravina Attwala
Cc: Committee of Adjustment
Subject: [External] RE: A065/24 (65 BALDING BLVD) - REQUEST FOR COMMENTS

CAUTION! This is an external email. Verify the sender's email address and carefully examine any links or attachments before clicking. If you believe this may be a phishing email, please use the Phish Alert Button.

Hi Pravina,

The Regional Municipality of York has completed its review of the minor variance application – A065/24 (65 Balding Boulevard) and has no comment.

Please provide us with a digital copy of the notice of decision for our records.

Many thanks,

Many thanks,
Niranjan

Our working hours may be different. Please do not feel obligated to reply outside of your scheduled working hours. Let's work together to help foster healthy work-life boundaries.

Niranjan Rajevan, M.Pl. | Associate Planner, Development Services, Planning and Economic Development, Corporate Services

The Regional Municipality of York | 17250 Yonge Street | Newmarket, ON L3Y 6Z1
1-877-464-9675 ext. 71521 | niranjan.rajevan@york.ca | www.york.ca

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Please consider the environment before printing this email.

From: Pravina Attwala <Pravina.Attwala@vaughan.ca>
Sent: Monday, April 29, 2024 11:11 AM
To: rowcentre@bell.ca; carrie.gordon@bell.ca; Development Services <developmentsservices@york.ca>; yorkplan@trca.ca; engineeringadmin@powerstream.ca; TCEnergy@mhbcpplan.com; Kristen Regier <Kristen.Regier@trca.ca>
Cc: Committee of Adjustment <CofA@vaughan.ca>
Subject: A065/24 (65 BALDING BLVD) - REQUEST FOR COMMENTS

CAUTION! This is an external email. Verify the sender's email address and carefully examine any links or attachments before clicking. If you believe this may be a phishing email, forward it to isitsafe@york.ca then delete it from your inbox. If you think you may have clicked on a phishing link, report it to the IT Service Desk, ext. 71111, and notify your supervisor immediately.

Hello,

Please email comments and recommendations on the above noted application to cofa@vaughan.ca. If you wish to be notified of the decision, please confirm in writing.

The deadline to submit comments on this application is **May 30, 2024**.

Should you have any questions or require additional information please contact the undersigned.

Committee of Adjustment, City of Vaughan

Cofa@vaughan.ca

905-832-8504

City of Vaughan | Office of the City Clerk

2141 Major Mackenzie Dr., Vaughan ON L6A 1T1

vaughan.ca

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SCHEDULE C: PUBLIC & APPLICANT CORRESPONDENCE

None

SCHEDULE D: BACKGROUND

None