

<b>ITEM: 6.12</b>	<b>REPORT SUMMARY MINOR VARIANCE APPLICATION FILE NUMBER A062/24</b>
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Report Date: Friday, June 14, 2024

**THIS REPORT CONTAINS COMMENTS FROM THE FOLLOWING  
DEPARTMENTS & AGENCIES (SEE SCHEDULE B):**

Additional comments from departments and agencies received after the publication of the report will be made available on the City's [website](#).

Internal Departments <small>*Comments Received</small>	Conditions Required		Nature of Comments
Committee of Adjustment	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>	General Comments
Building Standards (Zoning)	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>	General Comments
Development Planning	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>	Recommend Approval/No Conditions
Development Engineering	Yes <input checked="" type="checkbox"/>	No <input type="checkbox"/>	Recommend Approval w/Conditions
Forestry	Yes <input checked="" type="checkbox"/>	No <input type="checkbox"/>	General Comments w/Conditions
Development Finance	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>	General Comments

External Agencies <small>*Comments Received</small>	Conditions Required		Nature of Comments <small>*See Schedule B for full comments</small>
Alectra	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>	General Comments
TRCA	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>	General Comments
Region of York	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>	General Comments

**PUBLIC & APPLICANT CORRESPONDENCE (SEE SCHEDULE C)**

All personal information collected because of this public meeting (including both written and oral submissions) is collected under the authority of the Municipal Act, the Municipal Freedom of Information and Protection of Privacy Act (MFIPPA), the Planning Act and all other relevant legislation, and will be used to assist in deciding on this matter. All personal information (as defined by MFIPPA), including (but not limited to) names, addresses, opinions and comments collected will become property of the City of Vaughan, will be made available for public disclosure (including being posted on the internet) and will be used to assist the Committee of Adjustment and staff to process this application.

Correspondence Type	Name	Address	Date Received <small>(mm/dd/yyyy)</small>	Summary
None				

**BACKGROUND (SCHEDULE D, IF REQUIRED)**

\* Background Information contains historical development approvals considered to be related to this file.  
This information should not be considered comprehensive.

Application No. (City File)	Application Description <small>(i.e. Minor Variance Application; Approved by COA / OLT)</small>
None	None

**ADJOURNMENT HISTORY**

\* Previous hearing dates where this application was adjourned by the Committee and public notice issued.

Hearing Date	Reason for Adjournment <small>(to be obtained from NOD_ADJ)</small>
None	None

<b>SCHEDULES</b>	
<b>Schedule A</b>	Drawings & Plans Submitted with the Application
<b>Schedule B</b>	Comments from Agencies, Building Standards & Development Planning
<b>Schedule C</b> (if required)	Public & Applicant Correspondence
<b>Schedule D</b> (if required)	Background



**MINOR VARIANCE APPLICATION  
FILE NUMBER A062/24  
142 FIFTH AVENUE, WOODBRIDGE**

<b>CITY WARD #:</b>	3
<b>APPLICANT:</b>	Ali Sirzad Bagheri Sadr
<b>AGENT:</b>	Mehran Heydari & Winnie Ko
<b>PROPERTY:</b>	142 Fifth Avenue, Woodbridge
<b>ZONING DESIGNATION:</b>	See below.
<b>VAUGHAN OFFICIAL PLAN (2010) DESIGNATION:</b>	Vaughan Official Plan 2010 ('VOP 2010'): "Low-Rise Residential"
<b>RELATED DEVELOPMENT APPLICATIONS:</b>	None
<b>PURPOSE OF APPLICATION:</b>	Relief from the Zoning By-law is being requested to permit a proposed cabana located in the rear yard and a utility room located in the side yard (south). Relief is also being requested to permit reduced landscaping requirements in the rear yard.

The following variances have been requested from the City's Zoning By-law:

**The subject lands are zoned R2A(EN), Second Density Residential Zone subject to the provisions of Exception 14.207 and 14.248 under By-law 001-2021 as amended.**

#	Zoning By-law 001-2021	Variance requested
1	In any Residential Zone, the maximum height of an accessory building and residential accessory structure shall be 3.0 metres.	To permit a maximum height of 3.22 metres for an accessory building (cabana).
2	A residential accessory structure with a height greater than 2.8 metres shall not be located closer than 2.4 metres to any lot line. [Section 4.1.2, b.]	To permit a residential accessory structure (cabana) with a height greater than 2.8 metres to be located 1.17 metres to the rear lot line.
3	A residential accessory structure with a height greater than 2.8 metres shall not be located closer than 2.4 metres to any lot line. [Section 4.1.2, b.]	To permit a residential accessory structure (cabana) with a height greater than 2.8 metres to be located 0.78 metres to the interior side lot line.
4	The minimum interior side yard required is 1.2 metres. [Table 7-4]	To permit a minimum interior side yard of 0.5 metres to an addition (utility room).
5	A minimum distance of 0.6 metres shall be required from any permitted encroachment to the nearest lot line. [Section 4.13, 3.]	To permit a minimum distance of 0.22 metres to the interior side lot line for eaves.
6	Any portion of a yard in excess of 135.0 m <sup>2</sup> shall be comprised of a minimum 60% soft landscape. [4.19.1]	To permit a minimum of 24.9% (42.35 m <sup>2</sup> ) of the rear yard in excess of 135.0 m <sup>2</sup> to be comprised of soft landscaping.

**HEARING INFORMATION**

**DATE OF MEETING:** Thursday, June 20, 2024  
**TIME:** 6:00 p.m.  
**MEETING LOCATION:** Vaughan City Hall, Woodbridge Room (2<sup>nd</sup> Floor), 2141 Major Mackenzie Drive  
**LIVE STREAM LINK:** [Vaughan.ca/LiveCouncil](http://Vaughan.ca/LiveCouncil)

**PUBLIC PARTICIPATION**

If you would like to speak to the Committee of Adjustment at the meeting, either remotely or in person, please complete the [Request to Speak Form](#) and submit to [cofa@vaughan.ca](mailto:cofa@vaughan.ca)

## HEARING INFORMATION

If you would like to submit written comments, please quote file number above and submit by mail or email to:

**Email:** [cofa@vaughan.ca](mailto:cofa@vaughan.ca)

**Mail:** City of Vaughan, Office of the City Clerk, Committee of Adjustment, 2141 Major Mackenzie Drive, Vaughan, ON, L6A 1T1

To speak electronically, pre-registration is required by completing the [Request to Speak Form](#) on-line and submitting it to [cofa@vaughan.ca](mailto:cofa@vaughan.ca) no later than NOON on the last business day before the meeting.

**THE DEADLINE TO REGISTER TO SPEAK ELECTRONICALLY OR SUBMIT WRITTEN COMMENTS ON THE ABOVE NOTED FILE(S) IS NOON ON THE LAST BUSINESS DAY BEFORE THE MEETING.**

## INTRODUCTION

Staff and Agencies act as advisory bodies to the Committee of Adjustment. The comments contained in this report are presented as recommendations to the Committee.

Section 45(1) of the Planning Act sets the criteria for authorizing minor variances to the City of Vaughan's Zoning By-law. Accordingly, review of the application may consider the following:

- That the general intent and purpose of the by-law will be maintained.
- That the general intent and purpose of the official plan will be maintained.
- That the requested variance(s) is/are acceptable for the appropriate development of the subject lands.
- That the requested variance(s) is/are minor in nature.

Public written and oral submissions relating to this application are taken into consideration by the Committee of Adjustment as part of its deliberations and final decision on this matter.

## COMMITTEE OF ADJUSTMENT

<b>Date Public Notice Mailed:</b>	June 6, 2024
<b>Date Applicant Confirmed Posting of Sign:</b>	June 4, 2024
<b>Applicant Justification for Variances:</b> <small>*As provided in Application Form</small>	Not enough space for swimming pool and Cabana at rear yard, Pool Utility room taken minimum space which the building side is only available space
<b>Was a Zoning Review Waiver (ZRW) Form submitted by Applicant:</b> <small>*ZRW Form may be used by applicant in instances where a revised submission is made, and zoning staff do not have an opportunity to review and confirm variances prior to the issuance of public notice.</small>	Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>
<b>COMMENTS:</b>	
None.	
<b>Committee of Adjustment Recommended Conditions of Approval:</b>	None.

## BUILDING STANDARDS (ZONING)

<b>**See Schedule B for Building Standards (Zoning) Comments</b>	
<b>Building Standards Recommended Conditions of Approval:</b>	None.

## DEVELOPMENT PLANNING

<b>**See Schedule B for Development Planning Comments.</b>	
<b>Development Planning Recommended Conditions of Approval:</b>	None

## DEVELOPMENT ENGINEERING

[Link to Grading Permit](#)   [Link to Pool Permit](#)   [Link to Curb Curt Permit](#)   [Link Culvert Installation](#)

As the proposed dwelling/ structure/ cabana in the subject property is 52.8 m2, the Owner/ Applicant needs to obtain a 'Lot Grading Permit' from the Development Inspection and Lot Grading Division of the City's Development Engineering Department. Please note any in-ground structure over 10 m2 requires a 'Grading Permit'. Please contact the Development Engineering Reviewer after receiving the Grading Permit to clear the condition. (Condition attached) The Owner/Applicant shall apply for a 'Pool Grading Permit' with the Development Engineering (DE) Department. Please visit the grading permits

## DEVELOPMENT ENGINEERING

[Link to Grading Permit](#)  
 [Link to Pool Permit](#)  
 [Link to Curb Curt Permit](#)  
 [Link Culvert Installation](#)

page at City of Vaughan website to learn how to apply for the Pool Permit. If you have any question about Pool Grading Permit, please contact the Development Engineering Department through email at [DEPermits@vaughan.ca](mailto:DEPermits@vaughan.ca). The proposed work by the Owner/Applicant is increasing the lot coverage on the subject property. The added hardscape may have impacts on the City's Storm Water management system. Development Engineering strongly encourages the Owner / Applicant introduce Low-Impact Development (LID) measures (e.g., bioswales, permeable pavers, rain gardens, rain barrels etc.) to reduce the impacts to the stormwater system. Should further information be required, please contact the Development Engineering COA reviewer.

<b>Development Engineering Recommended Conditions of Approval:</b>	The Owner/Applicant shall submit an application and obtain an approved Grading Permit before initiating any work on the property. The Final Lot Grading and/or Servicing Plan will be required for the Grading Permit Application. Please visit the Permits page of the City of Vaughan's website: <a href="#">Permits   City of Vaughan</a> to apply for a Grading Permit. For any inquiries regarding the Grading Permit, please email <a href="mailto:DEPermits@vaughan.ca">DEPermits@vaughan.ca</a>
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## PARKS, FORESTRY & HORTICULTURE (PFH)

Recommended conditions of approval:

<b>PFH Recommended Conditions of Approval:</b>	Applicant/owner shall obtain a "Private Property Tree Removal & Protection" permit through the forestry division prior to any construction works on the subject property.
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## DEVELOPMENT FINANCE

No comment no concerns.

<b>Development Finance Recommended Conditions of Approval:</b>	None.
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## BY-LAW AND COMPLIANCE, LICENSING AND PERMIT SERVICES

No comments received to date.

<b>BCLPS Recommended Conditions of Approval:</b>	None.
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## BUILDING INSPECTION (SEPTIC)

No comments received to date.

<b>Building Inspection Recommended Conditions of Approval:</b>	None.
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## FIRE DEPARTMENT

No comments received to date.

<b>Fire Department Recommended Conditions of Approval:</b>	None.
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## RECOMMENDED CONDITIONS OF APPROVAL SUMMARY

Should the Committee find it appropriate to approve this application in accordance with request and the sketch submitted with the application, as required by Ontario Regulation 200/96, the following conditions have been recommended:

#	DEPARTMENT / AGENCY	CONDITION
1	Development Engineering <a href="mailto:jonal.hall@vaughan.ca">jonal.hall@vaughan.ca</a>	The Owner/Applicant shall submit an application and obtain an approved Grading Permit before initiating any work on the property. The Final Lot Grading and/or Servicing Plan will be required for the Grading Permit Application. Please visit the Permits page of the City of Vaughan's website: <a href="#">Permits   City of Vaughan</a> to apply for a Grading Permit. For any inquiries regarding the Grading Permit, please email <a href="mailto:DEPermits@vaughan.ca">DEPermits@vaughan.ca</a>
2	Parks, Forestry and Horticulture Operations <a href="mailto:zachary.quizzetti@vaughan.ca">zachary.quizzetti@vaughan.ca</a>	Applicant/owner shall obtain a "Private Property Tree Removal & Protection" permit through the forestry division prior to any construction works on the subject property.

## RECOMMENDED CONDITIONS OF APPROVAL SUMMARY

Should the Committee find it appropriate to approve this application in accordance with request and the sketch submitted with the application, as required by Ontario Regulation 200/96, the following conditions have been recommended:

*All conditions of approval, unless otherwise stated, are considered to be incorporated into the approval “if required”. If a condition is no longer required after an approval is final and binding, the condition may be waived by the respective department or agency requesting conditional approval. A condition cannot be waived without written consent from the respective department or agency.*

## IMPORTANT INFORMATION

**CONDITIONS:** It is the responsibility of the owner/applicant and/or authorized agent to obtain and provide a clearance letter from respective department and/or agency (**see condition chart above for contact**). This letter must be provided to the Secretary-Treasurer to be finalized. All conditions must be cleared prior to the issuance of a Building Permit.

**APPROVALS:** Making any changes to your proposal after a decision has been made may impact the validity of the Committee’s decision.

An approval obtained from the Committee of Adjustment, where applicable, is tied to the building envelope shown on the plans and drawings submitted with the application and subject to the variance approval.

A building envelope is defined by the setbacks of the buildings and/or structures shown on the plans and drawings submitted with the application, as required by Ontario Regulation 200/96. Future development outside of an approved building envelope, where a minor variance was obtained, must comply with the provisions of the City’s Zoning By-law.

Elevation drawings are provided to reflect the style of roof (i.e. flat, mansard, gable etc.) to which a building height variance has been applied. Where a height variance is approved, building height is applied to the style of roof (as defined in the City’s Zoning By-law) shown on the elevation plans submitted with the application.

Architectural design features that are not regulated by the City’s Zoning By-law are not to be considered part of an approval unless specified in the Committee’s decision.

**DEVELOPMENT CHARGES:** That the payment of the Regional Development Charge, if required, is payable to the City of Vaughan before issuance of a building permit in accordance with the Development Charges Act and the Regional Development Charges By-law in effect at the time of payment.

That the payment of the City Development Charge, if required, is payable to the City of Vaughan before issuance of a building permit in accordance with the Development Charges Act and the City’s Development Charges By-law in effect at the time of payment.

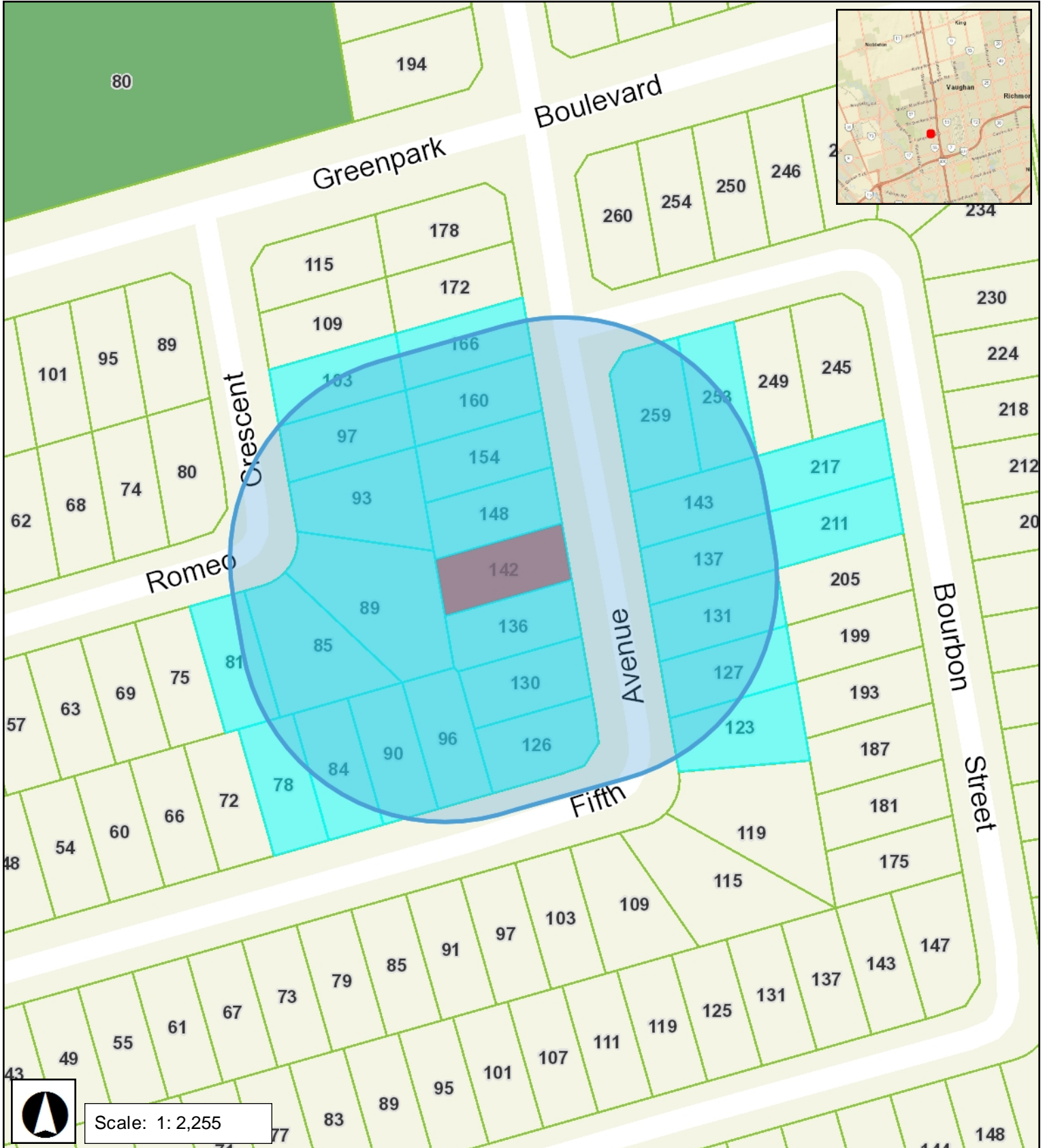
That the payment of the Education Development Charge if required, is payable to the City of Vaughan before issuance of a building permit in accordance with the Development Charges Act and the Boards of Education By-laws in effect at the time of payment

That the payment of Special Area Development charge, if required, is payable to the City of Vaughan before issuance of a building permit in accordance with the Development Charges Act and The City’s Development Charge By-law in effect at the time of Building permit issuance to the satisfaction of the Reserves/Capital Department.

**NOTICE OF DECISION:** If you wish to be notified of the decision in respect to this application or a related Ontario Land Tribunal (OLT) hearing you must complete a Request for Decision form and submit to the Secretary Treasurer (ask staff for details). In the absence of a written request to be notified of the Committee’s decision you will **not** receive notice.

**SCHEDULE A: DRAWINGS & PLANS**

142 Fifth Avenue Woodbridge



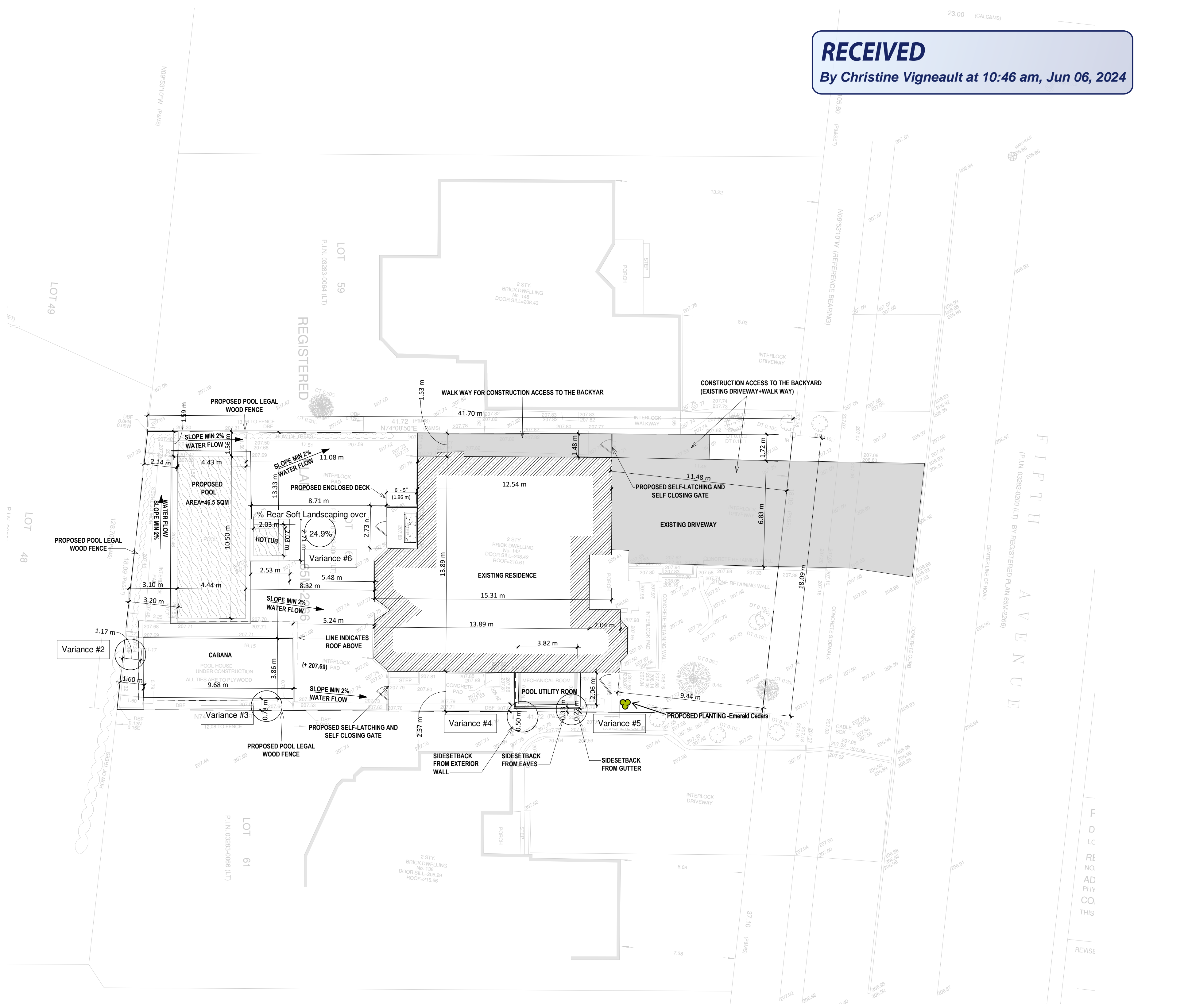
Scale: 1: 2,255

**RECEIVED**  
By Christine Vigneault at 10:46 am, Jun 06, 2024

**GENERAL NOTES:**

1. THESE DRAWINGS ARE THE COPYRIGHT PROPERTY OF P.M.P. CONSULTING LTD. AND MAY NOT BE REPRODUCED WITHOUT WRITTEN PERMISSION.
2. THESE DRAWINGS ARE FOR PERMIT APPLICATION PURPOSE. CONTRACTOR MUST CHECK ALL APPLICABLE BY-LAWS AND O.B.C. ANY DISCREPANCY MUST BE REPORTED TO THE DESIGNER.
3. DO NOT SCALE DRAWINGS.
4. ALL WORK SHALL BE CARRIED OUT IN STRICT ACCORDANCE WITH THE REQUIREMENTS OF THE LATEST REVISION OF THE ONTARIO BUILDING CODE.
5. VERIFY ALL DIMENSIONS PRIOR TO CONSTRUCTION.
6. USE ONLY LATEST REVISED DRAWINGS.
7. ALL DIMENSIONS AND INFORMATION SHALL BE CHECKED AND VERIFIED ON THE JOB AND ANY VARIANCES OR DISCREPANCIES MUST BE REPORTED TO P.M.P. DESIGN GROUP BY PHONE AND SUBSEQUENT WRITTEN CONFIRMATION PRIOR TO COMMENCEMENT OF THE WORK.
8. ALL STRUCTURAL DESIGN MUST BE REVIEWED AND APPROVED BY CERTIFIED STRUCTURAL ENGINEER PRIOR TO CONSTRUCTION.

THE UNDERSIGNED HAS REVIEWED AND TAKES RESPONSIBILITY FOR THIS DESIGN, AND HAS THE QUALIFICATIONS AND MEETS THE REQUIREMENTS SET OUT IN THE O.B.C. TO BE A DESIGNER.  
QUALIFICATION INFORMATION REQUIRED UNLESS DESIGN IS EXEMPT UNDER DIVISION C-3.2.5.1. OF THE 2006 O.B.C. (OR 2.17.5.1. OF THE 1997 O.B.C.)



4	2024-04-20	ISSUED FOR COA		
3	2024-03-06	ISSUED FOR ZONING		
Issue / Rev:	Date:	Issue / Revision:		By

**PMP Design Group**  
**Exclusive Residential Design**

ADDRESS: 1090 Don Mills Rd. #506, North York, ON M3C 3R6  
T: 416-200-9998

NAME: MEHRAN HEYDARI  
BCIN: 39428

REGISTRATION INFORMATION REQUIRED UNLESS DESIGN IS EXEMPT UNDER DIVISION C-3.2.4.1. OF THE 2006 O.B.C. (OR 2.17.5.1. OF THE 1997 O.B.C.)

FIRM NAME: P.M.P. DESIGN GROUP  
BCIN: 41993

Project:

**142 FIFTH AVE**  
VAUGHAN, ON

Drawing Name:

**SITE PLAN**

Proj no	Project Number	Date:	2027-03-03
Drawn by:	A.M	Scale:	1 : 150
Checked by:	ME.HE		

Drawing No:

**A01**



**PROPOSED RESIDENCE FOR  
142 FIFTH AVE**

All Buildings

	PROPOSED	PROPOSED
Lot Area	750.30 S.M.	8076.21 S.F.
Existing Building Area	194.30 S.M.	2091.43 S.F.
Cabana Area	37.36 S.M.	402.13 S.F.
Swimming Pool Utility Room Area	7.86 S.M.	84.60 S.F.
Total Area	239.52 S.M.	2761.01
Coverage % Of Total Buildings	31.92%	

**PROPOSED RESIDENCE FOR  
142 FIFTH AVE**

Accessory Building

	PROPOSED	PROPOSED
Lot Area	750.30 S.M.	8076.21 S.F.
Cabana Area	37.36 S.M.	402.13 S.F.
Swimming Pool Utility Room Area	7.86 S.M.	84.60 S.F.
Total Area	45.22 S.M.	486.73
% Of Total Accessory Building	6.02 %	

**PROPOSED RESIDENCE FOR  
142 FIFTH AVE**

ZONING DATA MATRIX

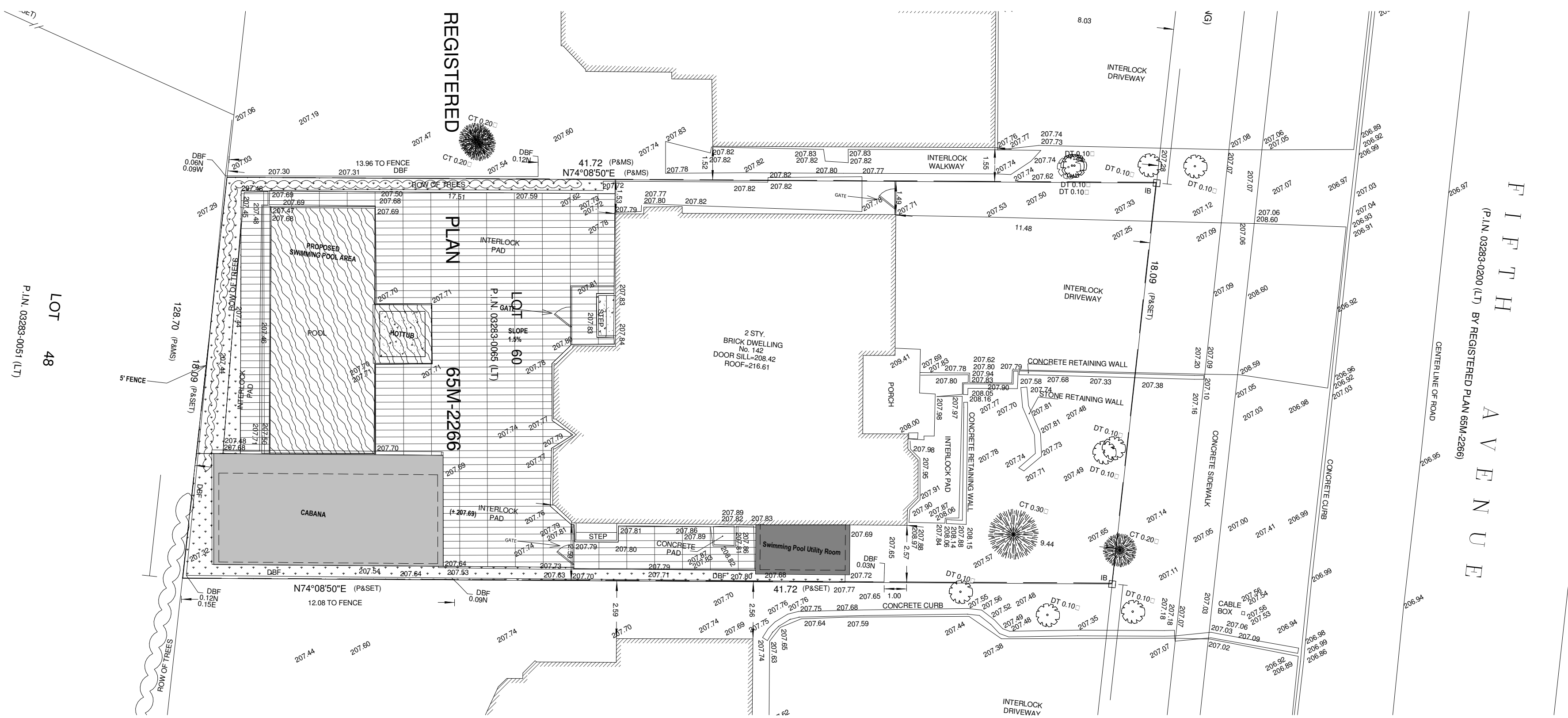
	PROPOSED	PROPOSED
Lot Area	750.30 S.M.	8076.21 S.F.
Frontage	18.09 m	59.35 ft
Existing Building Area	194.30 S.M.	2091.43 S.F.
Rear Yard Setback/Cabana	1.17 m	3.83 ft
Side Yard Setback/Cabana	0.78 m	2.55ft
Height/Cabana	3.22 m	10' - 6 1/2" ft
Length/Cabana	9.68 m	31.75 ft
Side Yard Setback/Utility Room	0.50 m	1.64 ft
Height/Utility Room	2.86 m	9.38 ft
Length/Utility Room	3.82 m	12.53 ft
Rear Yard Area	305.10 S.M.	3283.37 S.F.
Pool Area	58.44 S.M.	629.06 S.F.
Interlocking Area	151.52 S.M.	1630.94S.F.
Cabana Area	37.36 (building) + (15.44 S.M. open area)	568.33 S.F.
Grass Area	42.35 S.M.	455.85 S.F.
Rear Yard Soft Landscaping Area	100.79 S.M.	1084.90 S.F.
% Rear Soft Landscaping over 135 SM	24.9%	

Variance #6

**GENERAL NOTES:**  
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 2. THESE DRAWINGS ARE FOR PERMIT APPLICATION PURPOSE. CONTRACTOR MUST CHECK ALL APPLICABLE BY-LAWS AND O.B.C. ANY DISCREPANCY MUST BE REPORTED TO THE DESIGNER.  
 3. DO NOT SCALE DRAWINGS.  
 4. ALL WORK SHALL BE CARRIED OUT IN STRICT ACCORDANCE WITH THE REQUIREMENTS OF THE LATEST REVISION OF THE ONTARIO BUILDING CODE.  
 5. VERIFY ALL DIMENSIONS PRIOR TO CONSTRUCTION.  
 6. USE ONLY LATEST REVISED DRAWINGS.  
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 By Christine Vigneault at 10:46 am, Jun 06, 2024



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**PMP Design Group**  
**Exclusive Residential Design**

ADDRESS: 1090 Don Mills Rd., #506, North York, ON M3C 3R6  
 T: 416-200-9998

NAME: MEHRAN HEYDARI  
 BCIN: 39428

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FIRM NAME: P.M.P. DESIGN GROUP  
 BCIN: 41993

Project :  
**142 FIFTH AVE**  
 VAUGHAN, ON

Drawing Name :  
**COVER SHEET**

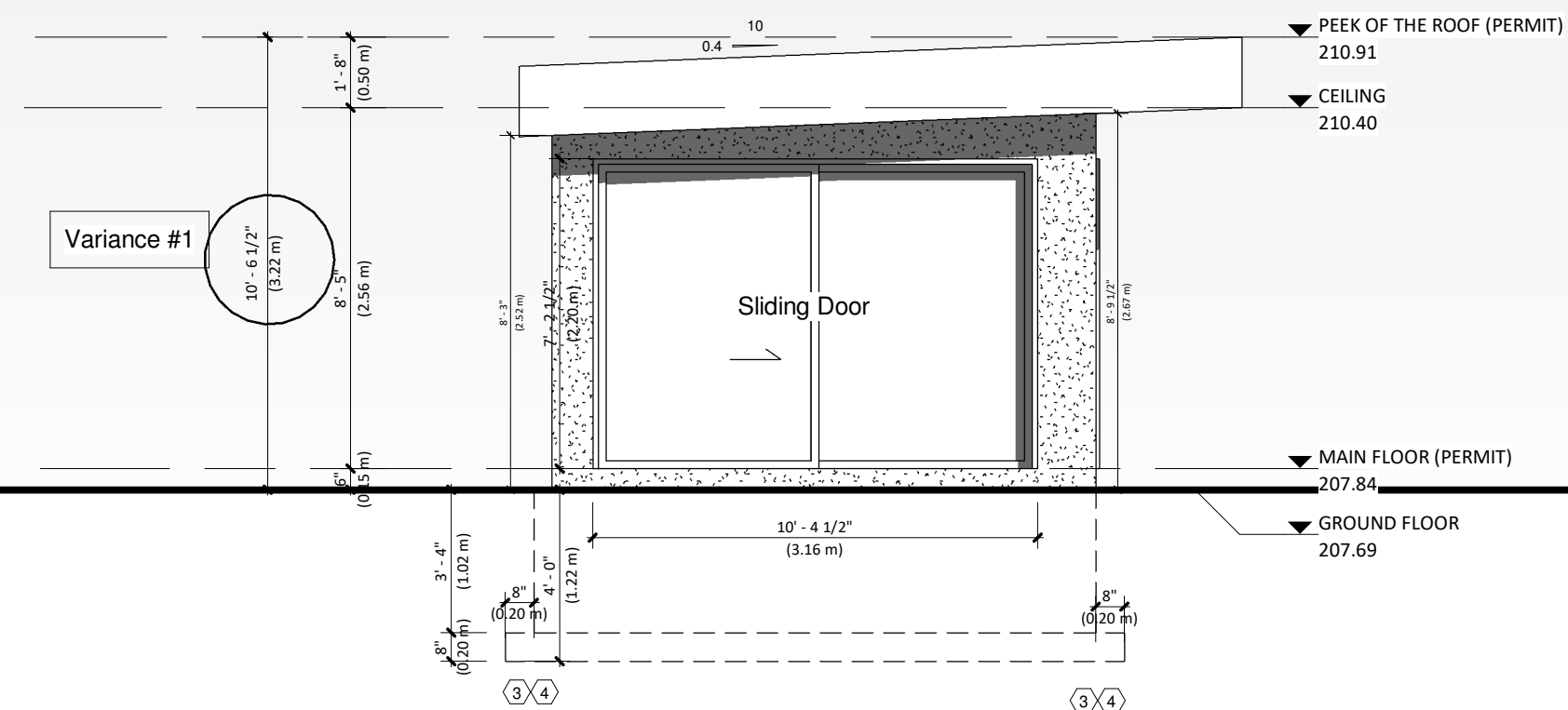
Proj no	Project Number	Date :	11/24/20
Drawn by :	A.M	Scale :	As indicated
Checked by :	ME.HE		

Drawing No :  
**A00**

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Issue:	Rev:	Date:	Issue / Revision: By

**PMP Design Group**  
**Exclusive Residential Design**  
 ADDRESS: 1090 Don Mills Rd. #506, North York, ON M3C 3R6  
 T: 416-200-9998

NAME: **MEHRAN HEYDARI**  
 BCIN: **39628**  
 REGISTRATION INFORMATION REQUIRED UNLESS DESIGN IS EXEMPT UNDER DIVISION C-3.2.4.1. OF THE 2006 O.B.C ( OR 2.17.5.1. OF THE 1997 O.B.C)  
 FIRM NAME: **P.M.P. DESIGN GROUP**  
 BCIN: **41993**

Project :  
**142 FIFTH AVE**  
 VAUGHAN, ON

Drawing Name :  
**FRONT ELEVATION (CABANA)**

Proj no	Project Number	Date :	11/24/20
Drawn by :	A.M	Scale :	1 : 50
Checked by :	ME.HE		

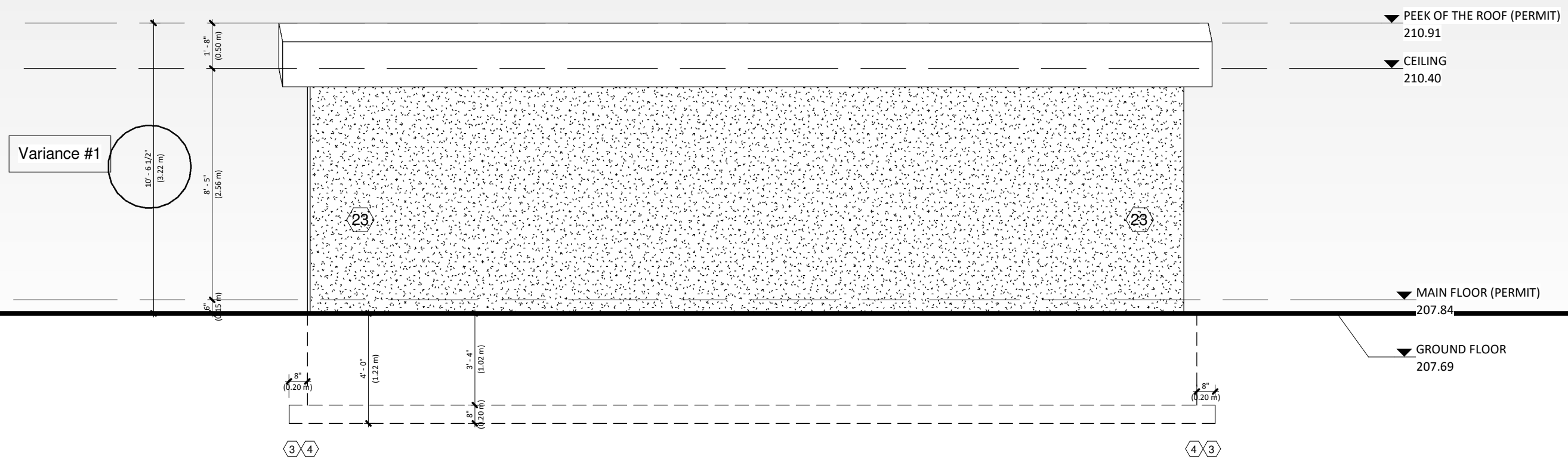
Drawing No :  
**A06**

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**GLAZED AREAS:**  
 1. AREA OF EXPOSED BUILDING FACE: 379.15 S.F.  
 2. MAXIMUM ALLOWED GLAZED AREA: 26.54 S.F. (%7.00)  
 3. PROPOSED GLAZED AREA: 0.00 S.F. (%0.00)



4	2024-04-20	ISSUED FOR COA	
Issue:	Rev:	Date:	Issue / Revision:

**PMP Design Group**  
**Exclusive Residential Design**  
 ADDRESS: 1090 Don Mills Rd. #506, North York, ON M3C 3R6  
 T: 416-200-9998

NAME: **MEHRAN HEYDARI**  
 BCIN: **39428**

REGISTRATION INFORMATION REQUIRED UNLESS DESIGN IS EXEMPT UNDER DIVISION C-3.2.4.1. OF THE 2006 O.B.C ( OR 2.17.5.1. OF THE 1997 O.B.C)

FIRM NAME: **P.M.P. DESIGN GROUP**  
 BCIN: **41993**

Project :

**142 FIFTH AVE**  
 VAUGHAN, ON

Drawing Name :

**LEFT SIDE ELEVATION**  
**(CABANA)**

Proj no	Project Number	Date :	11/24/20
Drawn by :	A.M	Scale :	1 : 50
Checked by :	ME.HE		

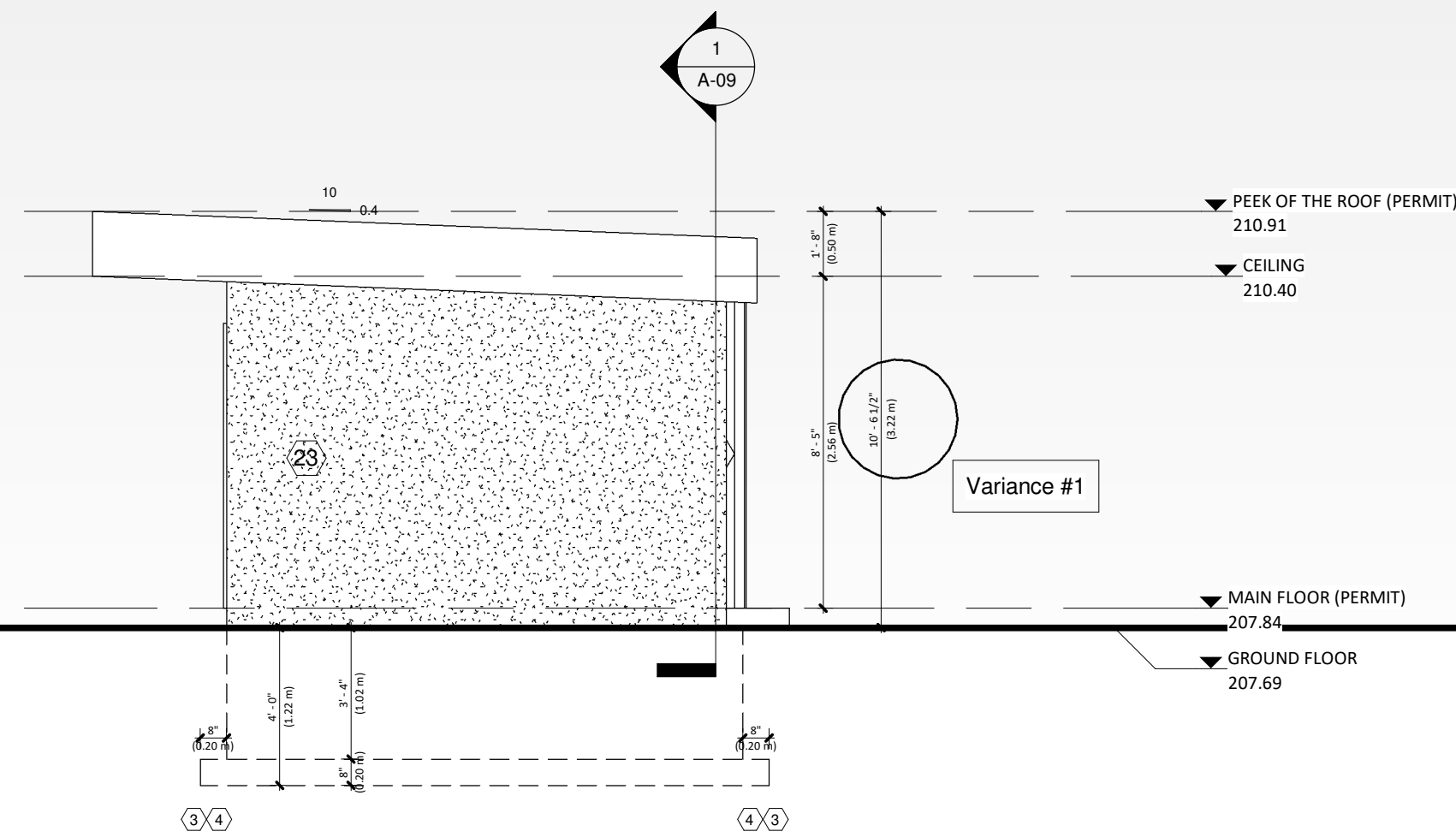
Drawing No :

**A08**

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4	2024-04-20	ISSUED FOR COA	
Issue:	Rev:	Date:	Issue / Revision:

**PMP** Design Group  
**Exclusive Residential Design**

ADDRESS: 1090 Don Mills Rd. #506, North York, ON M3C 3R6  
 T: 416-200-9998

NAME: MEHRAN HEYDARI  
 BCIN: 39428

REGISTRATION INFORMATION REQUIRED UNLESS DESIGN IS EXEMPT UNDER DIVISION C-3.2.4.1. OF THE 2006 O.B.C ( OR 2.17.5.1. OF THE 1997 O.B.C)

FIRM NAME: P.M.P. DESIGN GROUP  
 BCIN: 41993

Project :

**142 FIFTH AVE**  
 VAUGHAN, ON

Drawing Name :

**REAR ELEVATION  
 (CABANA)**

Proj no	Project Number	Date :	11/24/20
Drawn by :	A.M	Scale :	1 : 50
Checked by :	ME.HE		

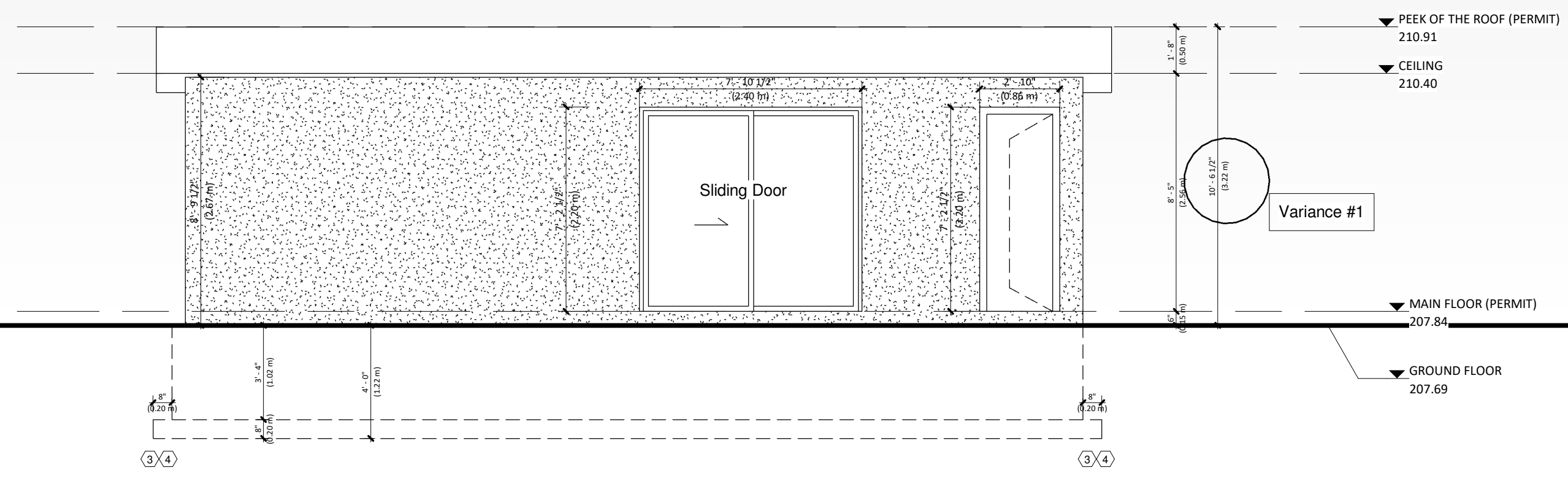
Drawing No :

**A07**

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4	2024-04-20	ISSUED FOR COA	
Issue:	Rev:	Date:	Issue / Revision:

**PMP** Design Group  
**Exclusive Residential Design**  
 ADDRESS: 1090 Don Mills Rd. #506, North York, ON M3C 3R6  
 T: 416-200-9998

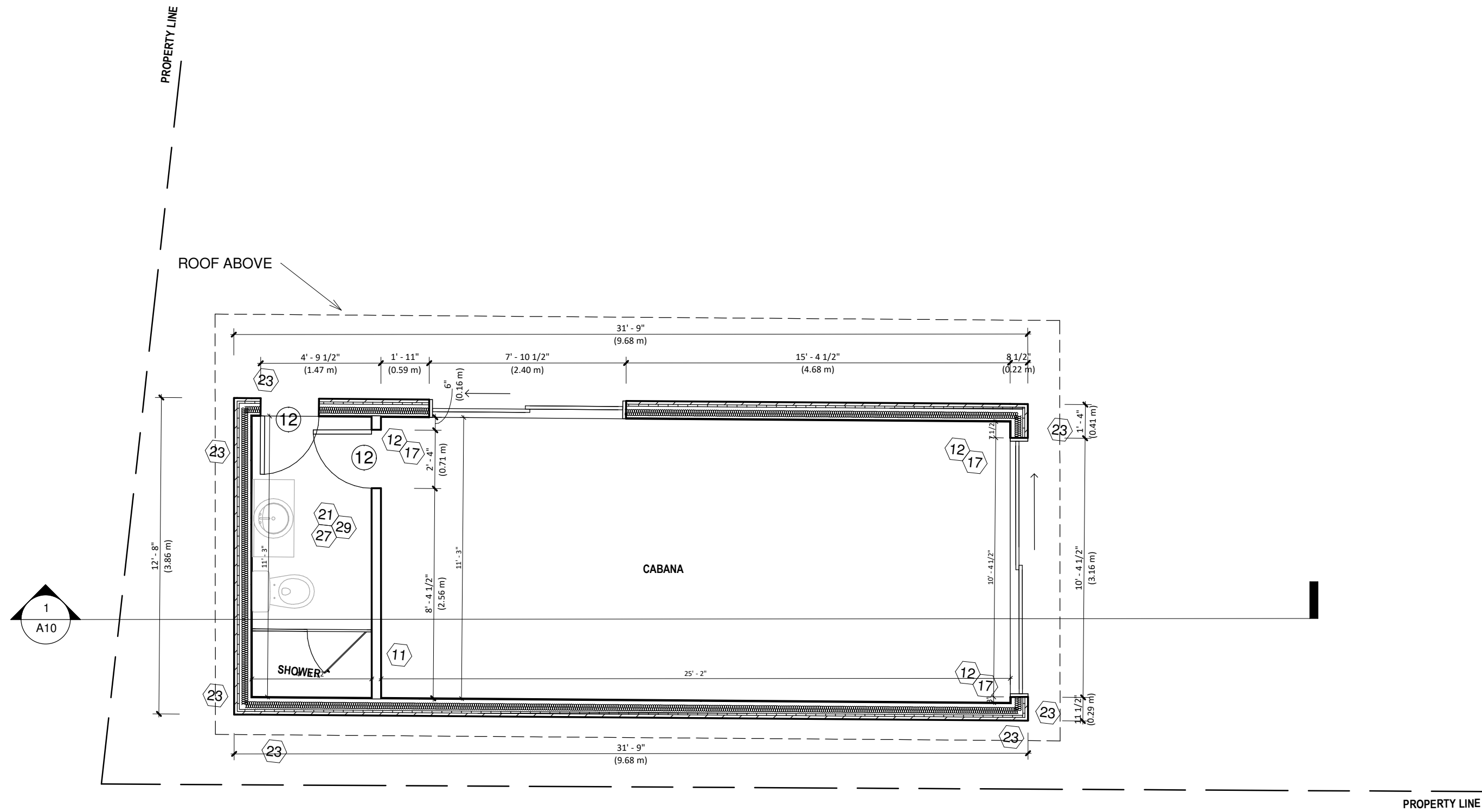
NAME: **MEHRAN HEYDARI**  
 BCIN: **39428**  
 REGISTRATION INFORMATION REQUIRED UNLESS DESIGN IS EXEMPT UNDER DIVISION C-3.2.4.1. OF THE 2006 O.B.C ( OR 2.17.5.1. OF THE 1997 O.B.C)  
 FIRM NAME: **P.M.P. DESIGN GROUP**  
 BCIN: **41993**

Project :  
**142 FIFTH AVE**  
 VAUGHAN, ON

Drawing Name :  
**RIGHT SIDE ELEVATION (CABANA)**

Proj no	Project Number	Date :	11/24/20
Drawn by :	A.M	Scale :	1 : 50
Checked by :	ME.HE		

Drawing No :  
**A09**



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4	2024-04-20	ISSUED FOR COA	
Issue:	Rev:	Date:	Issue / Revision:

**PMP** Design Group  
**Exclusive Residential Design**

ADDRESS: 1090 Don Mills Rd. #506, North York, ON M3C 3R6  
 T: 416-200-9998

NAME: MEHRAN HEYDARI  
 BCIN: 39428

REGISTRATION INFORMATION REQUIRED UNLESS DESIGN IS EXEMPT UNDER DIVISION C-3.2.4.1. OF THE 2006 O.B.C ( OR 2.17.5.1. OF THE 1997 O.B.C)

FIRM NAME: P.M.P. DESIGN GROUP  
 BCIN: 41993

Project :

**142 FIFTH AVE**  
 VAUGHAN, ON

Drawing Name :

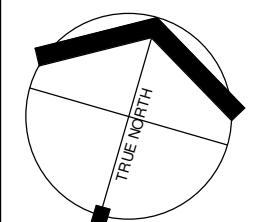
**FLOOR PLAN**  
**(CABANA)**

Proj noProject Number Date : 11/24/20

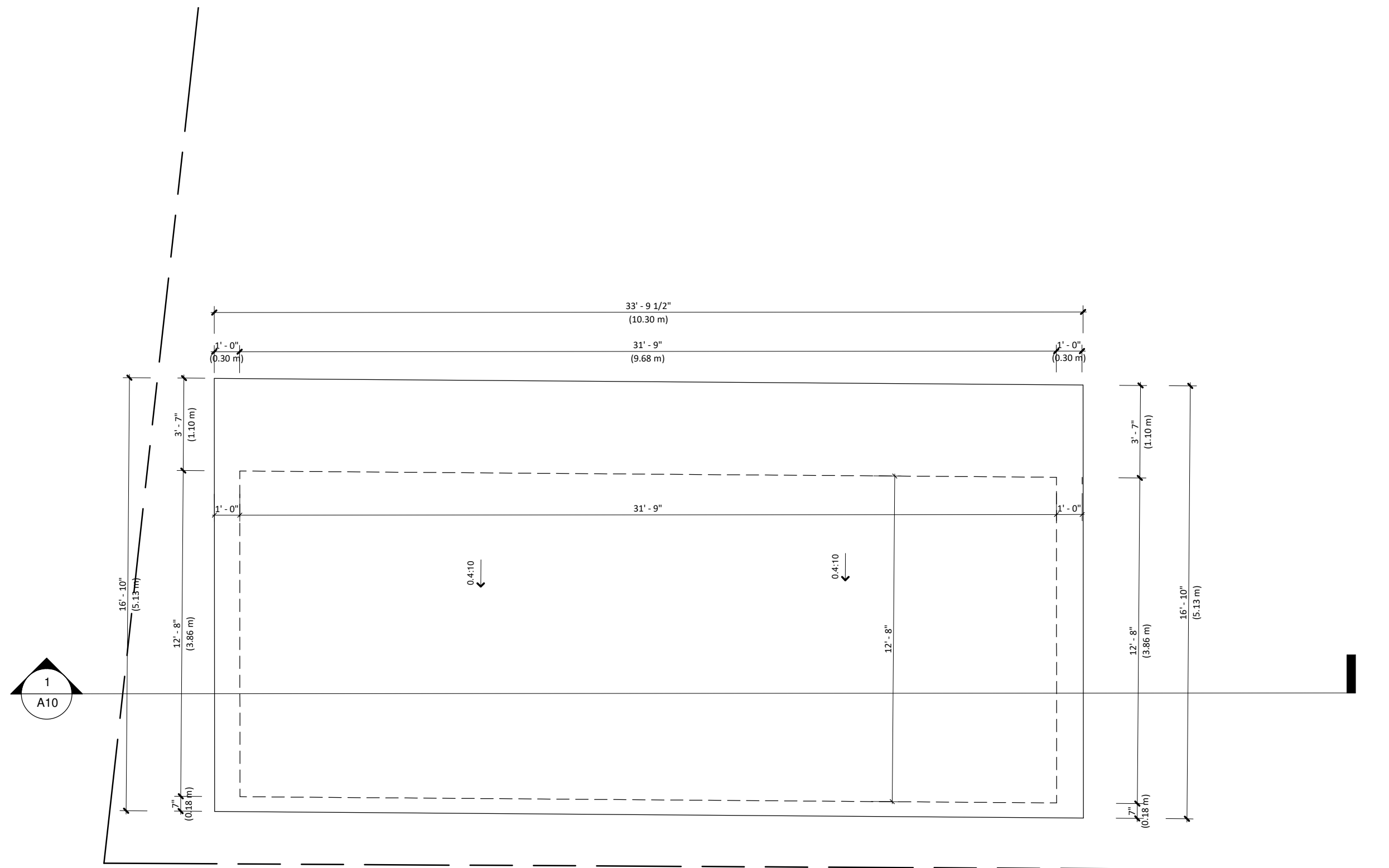
Drawn by : A.M Scale : 1 : 50

Checked by : ME.HE

Drawing No :



**A03**



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4	2024-04-20	ISSUED FOR COA	
Issue:	Rev:	Date:	Issue / Revision:

**PMP** Design Group  
**Exclusive Residential Design**

ADDRESS: 1090 Don Mills Rd. #506, North York, ON M3C 3R6  
 T: 416-200-9998

NAME: MEHRAN HEYDARI  
 BCIN: 39428

REGISTRATION INFORMATION REQUIRED UNLESS DESIGN IS EXEMPT UNDER DIVISION C-3.2.4.1. OF THE 2006 O.B.C ( OR 2.17.5.1. OF THE 1997 O.B.C)

FIRM NAME: P.M.P. DESIGN GROUP  
 BCIN: 41993

Project :

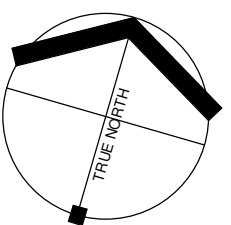
**142 FIFTH AVE**  
 VAUGHAN, ON

Drawing Name :

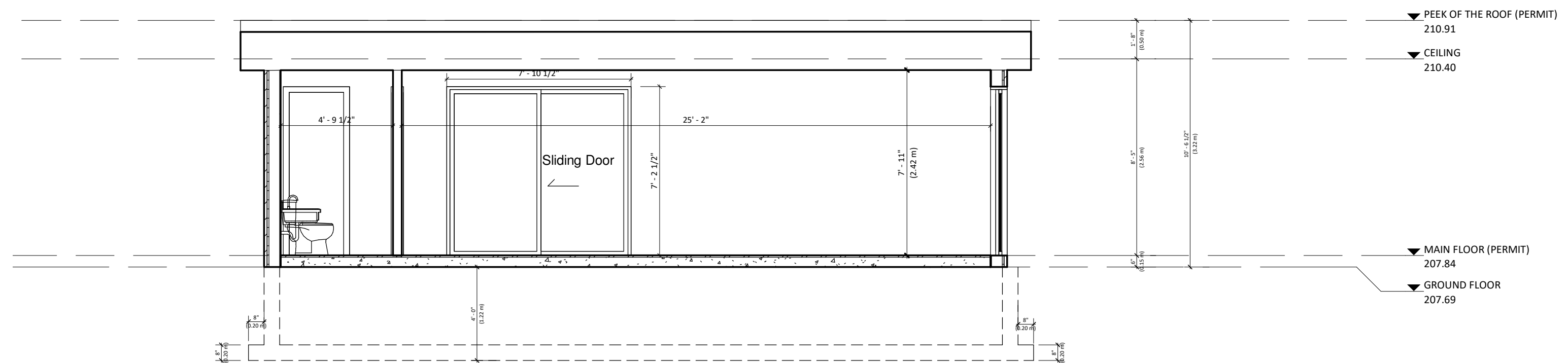
**ROOF PLAN  
(CABANA)**

Proj no	Project Number	Date :	11/24/20
Drawn by :	A.M	Scale :	1 : 50
Checked by :	ME.HE		

Drawing No :



A05



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4	2024-04-20	ISSUED FOR COA	
Issue:	Rev:	Date:	Issue / Revision:

**PMP Design Group**  
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ADDRESS: 1090 Don Mills Rd. #506, North York, ON M3C 3R6  
 T: 416-200-9998

NAME: MEHRAN HEYDARI  
 BCIN: 39428

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FIRM NAME: P.M.P. DESIGN GROUP  
 BCIN: 41993

Project :

**142 FIFTH AVE**  
 VAUGHAN, ON

Drawing Name :

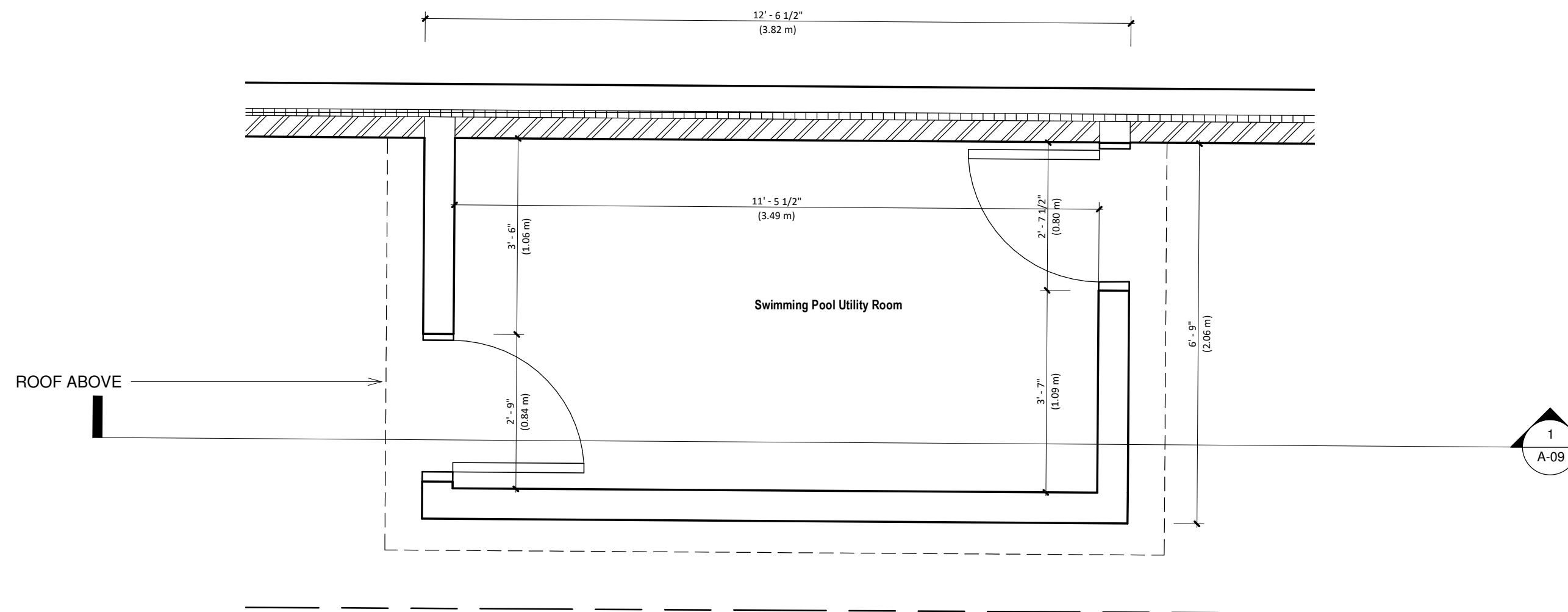
**SECTION A-A**  
**(CABANA)**

Proj no	Project Number	Date :	11/24/20
Drawn by :	A.M	Scale :	1 : 50
Checked by :	ME.HE		

Drawing No :

**A10**





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4	2024-04-20	ISSUED FOR COA	
Issue:	Rev:	Date:	By:

**PMP** Design Group  
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ADDRESS: 1090 Don Mills Rd. #506, North York, ON M3C 3R6  
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FIRM NAME: P.M.P. DESIGN GROUP  
 BCIN: 41993

Project :

**142 FIFTH AVE**  
 VAUGHAN, ON

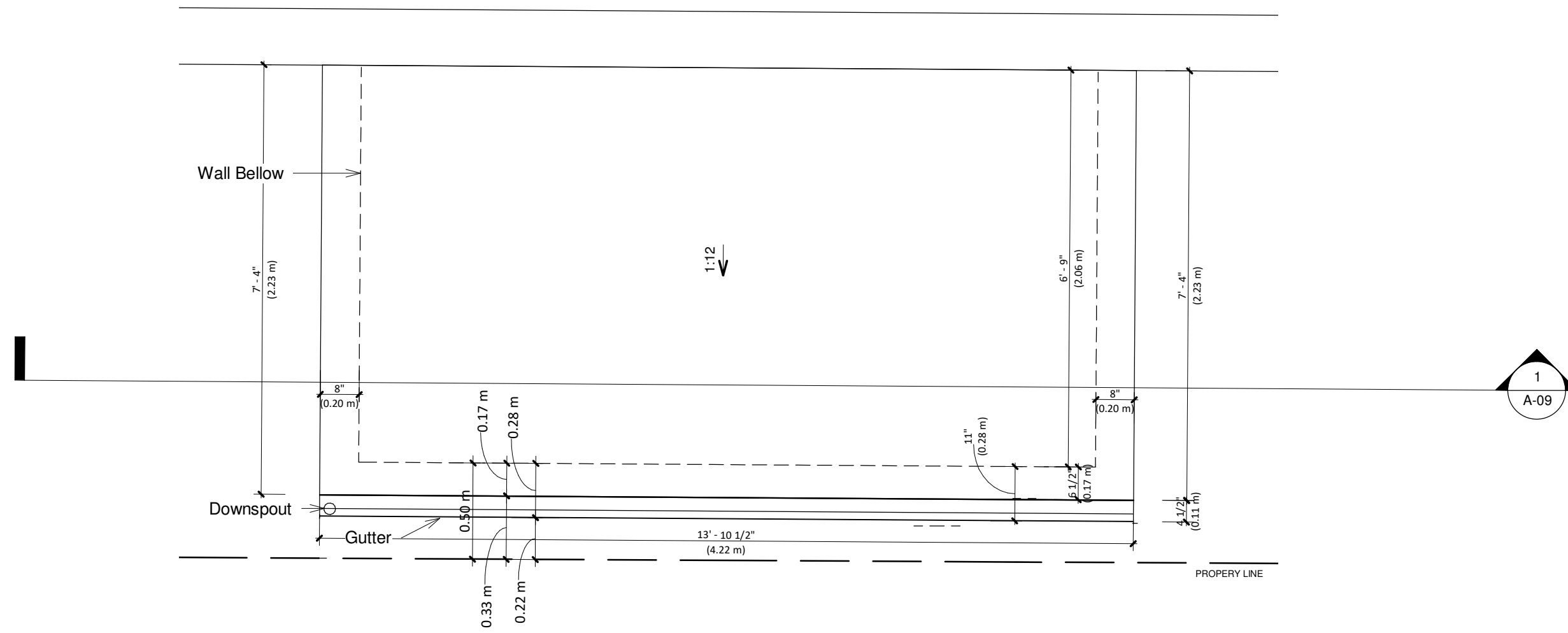
Drawing Name :

**FLOOR PLAN  
 (UTILITY ROOM)**

Proj no	Project Number	Date :	10/25/23
Drawn by :	A.M	Scale :	1 : 25
Checked by :	ME.HE		

Drawing No :

**A-04**



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4	2024-04-20	ISSUED FOR COA
Issue:	Rev:	Date:
		Issue / Revision:
		By

**PMP** Design Group  
**Exclusive Residential Design**

ADDRESS: 1090 Don Mills Rd. #506, North York, ON M3C 3R6  
 T: 416-200-9998

NAME: MEHRAN HEYDARI  
 BCIN: 39428

REGISTRATION INFORMATION REQUIRED UNLESS DESIGN IS EXEMPT UNDER DIVISION C-3.2.4.1. OF THE 2006 O.B.C ( OR 2.17.5.1. OF THE 1997 O.B.C )

FIRM NAME: P.M.P. DESIGN GROUP  
 BCIN: 41993

Project :

**142 FIFTH AVE**  
 VAUGHAN, ON

Drawing Name :

**ROOF PLAN**  
**(UTILITY ROOM)**

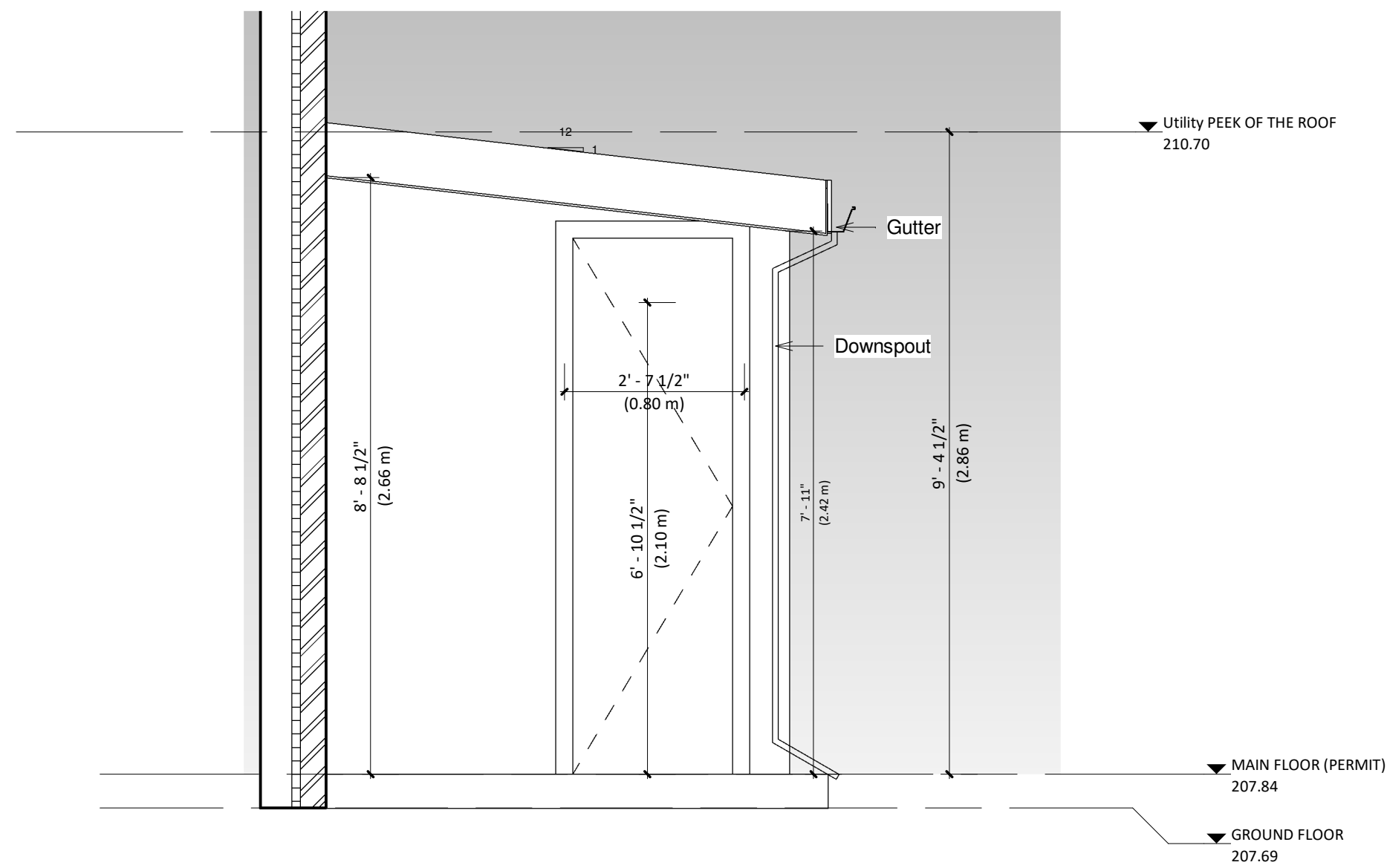
Proj noProject Number Date : 10/25/23

Drawn by : A.M Scale : 1 : 25

Checked by : ME.HE

Drawing No :

**A-05**



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Issue:	Rev:	Date:	Issue / Revision:

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ADDRESS: 1090 Don Mills Rd. #506, North York, ON M3C 3R6  
 T: 416-200-9998

NAME: MEHRAN HEYDARI  
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REGISTRATION INFORMATION REQUIRED UNLESS DESIGN IS EXEMPT UNDER DIVISION C-3.2.4.1. OF THE 2006 O.B.C ( OR 2.17.5.1. OF THE 1997 O.B.C )

FIRM NAME: P.M.P. DESIGN GROUP  
 BCIN: 41993

Project :

**142 FIFTH AVE**  
 VAUGHAN, ON

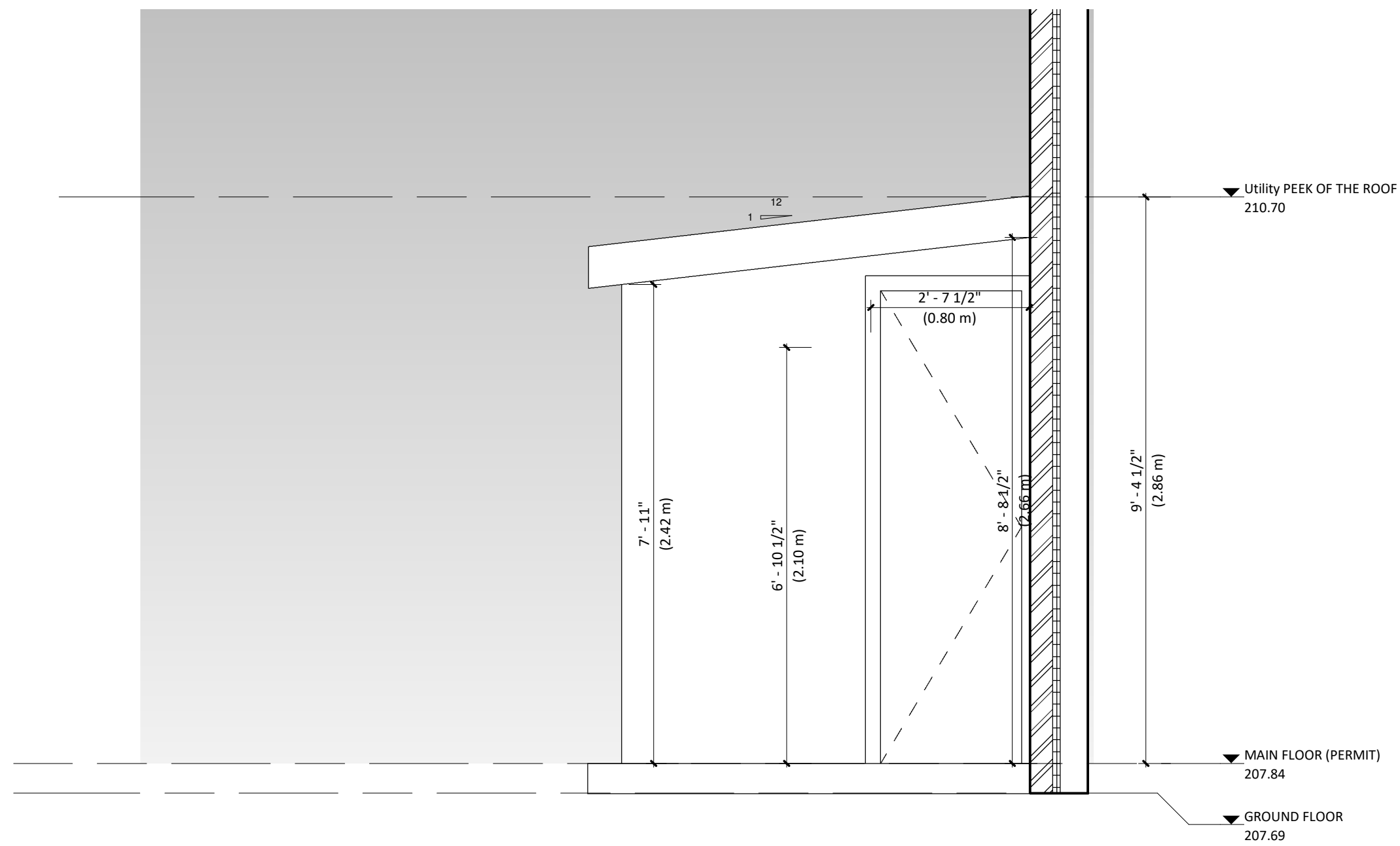
Drawing Name :

**FRONT ELEVATION  
 (UTILITY ROOM)**

Proj no	Project Number	Date :	10/25/23
Drawn by :	A.M	Scale :	1 : 25
Checked by :	ME.HE		

Drawing No :

**A-06**



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4	2024-04-20	ISSUED FOR COA	
Issue:	Rev:	Date:	Issue / Revision:

**PMP** Design Group  
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ADDRESS: 1090 Don Mills Rd. #506, North York, ON M3C 3R6  
 T: 416-200-9998

NAME: **MEHRAN HEYDARI**  
 BCIN: **39428**

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FIRM NAME: **P.M.P. DESIGN GROUP**  
 BCIN: **41993**

Project :

**142 FIFTH AVE**  
 VAUGHAN, ON

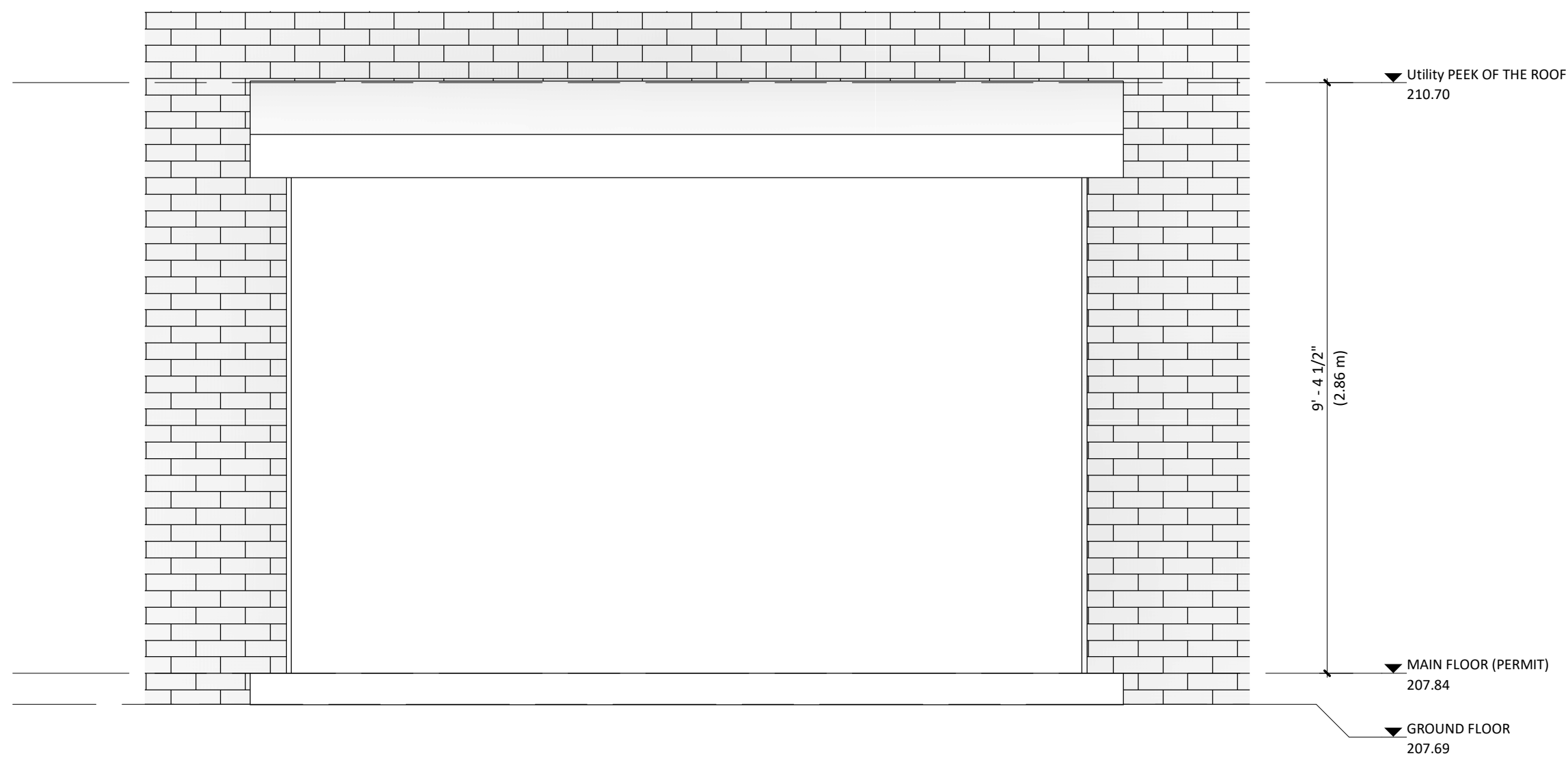
Drawing Name :

**REAR ELEVATION  
 (UTILITY ROOM)**

Proj no	Project Number	Date :	10/25/23
Drawn by :	A.M	Scale :	1 : 25
Checked by :	ME.HE		

Drawing No :

**A-07**



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1. THESE DRAWINGS ARE THE COPYRIGHT PROPERTY OF P.M.P CONSULTING LTD. AND MAY NOT BE REPRODUCED WITHOUT WRITTEN PERMISSION.
2. THESE DRAWINGS ARE FOR PERMIT APPLICATION PURPOSE. CONTRACTOR MUST CHECK ALL APPLICABLE BY-LAWS AND O.B.C. ANY DISCREPANCY MUST BE REPORTED TO THE DESIGNER.
3. DO NOT SCALE DRAWINGS.
4. ALL WORK SHALL BE CARRIED OUT IN STRICT ACCORDANCE WITH THE REQUIREMENTS OF THE LATEST REVISION OF THE ONTARIO BUILDING CODE.
5. VERIFY ALL DIMENSIONS PRIOR TO CONSTRUCTION.
6. USE ONLY LATEST REVISED DRAWINGS.
7. ALL DIMENSIONS AND INFORMATION SHALL BE CHECKED AND VERIFIED ON THE JOB AND ANY VARIANCES OR DISCREPANCIES MUST BE REPORTED TO P.M.P DESIGN GROUP BY PHONE AND SUBSEQUENT WRITTEN CONFIRMATION PRIOR TO COMMENCEMENT OF THE WORK.
8. ALL STRUCTURAL DESIGN MUST BE REVIEWED AND APPROVED BY CERTIFIED STRUCTURAL ENGINEER PRIOR TO CONSTRUCTION.

THE UNDERSIGNED HAS REVIEWED AND TAKES RESPONSIBILITY FOR THIS DESIGN, AND HAS THE QUALIFICATIONS AND MEETS THE REQUIREMENTS SET OUT IN THE O.B.C. TO BE A DESIGNER. QUALIFICATION INFORMATION REQUIRED UNLESS DESIGN IS EXEMPT UNDER DIVISION C-3.2.5.1. OF THE 2006 O.B.C ( OR 2.17.5.1. OF THE 1997 O.B.C)

4	2024-04-20	ISSUED FOR COA	
Issue:	Rev:	Date:	Issue / Revision:

**PMP** Design Group  
**Exclusive Residential Design**

ADDRESS: 1090 Don Mills Rd. #506, North York, ON M3C 3R6  
 T: 416-200-9998

NAME: MEHRAN HEYDARI  
 BCIN: 39428

REGISTRATION INFORMATION REQUIRED UNLESS DESIGN IS EXEMPT UNDER DIVISION C-3.2.4.1. OF THE 2006 O.B.C ( OR 2.17.5.1. OF THE 1997 O.B.C)

FIRM NAME: P.M.P. DESIGN GROUP  
 BCIN: 41993

Project :

**142 FIFTH AVE**  
 VAUGHAN, ON

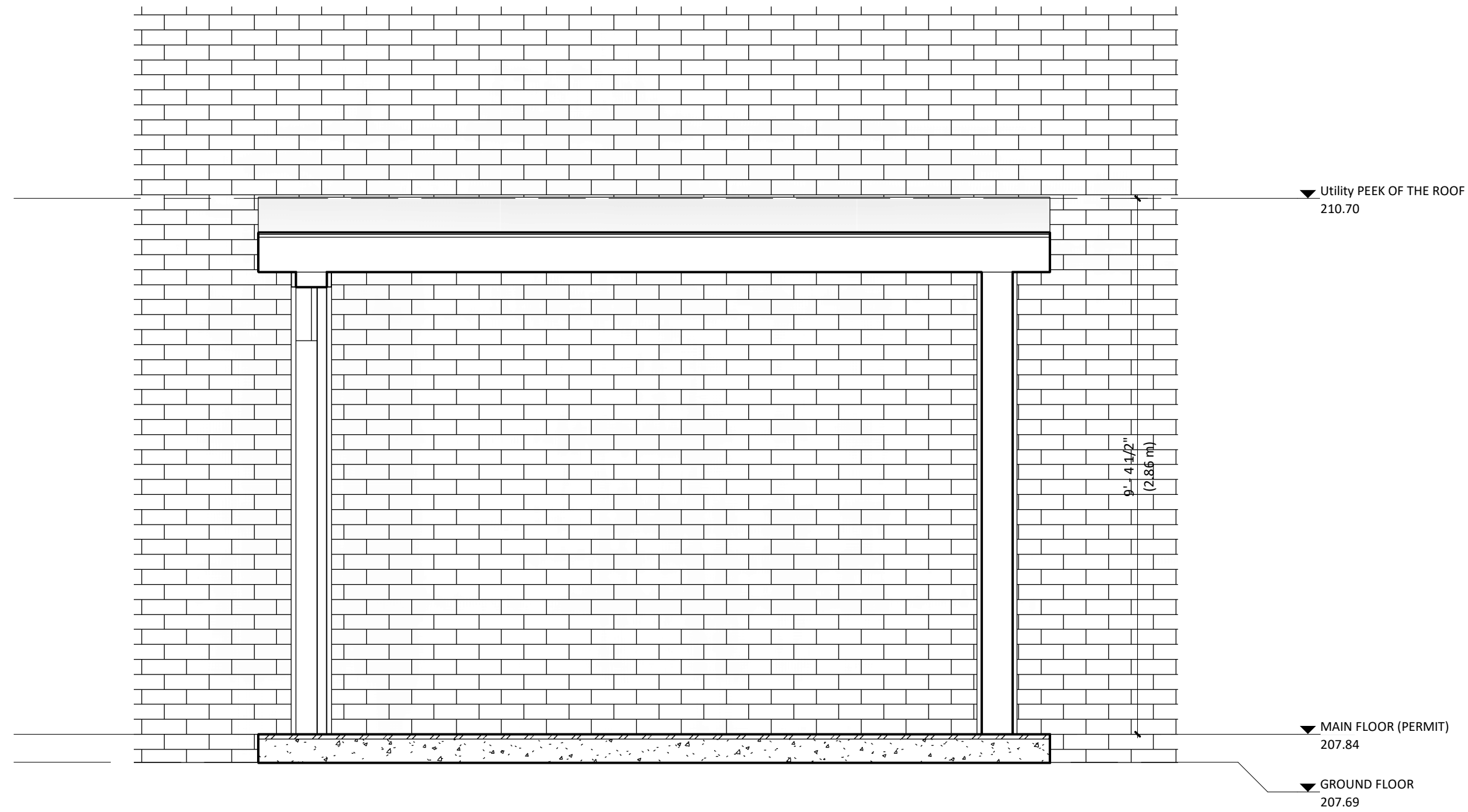
Drawing Name :

**RIGHT SIDE ELEVATION  
 (UTILITY ROOM)**

Proj no	Project Number	Date :	10/25/23
Drawn by :	A.M	Scale :	1 : 25
Checked by :	ME.HE		

Drawing No :

**A-08**



**GENERAL NOTES:**

1. THESE DRAWINGS ARE THE COPYRIGHT PROPERTY OF P.M.P CONSULTING LTD. AND MAY NOT BE REPRODUCED WITHOUT WRITTEN PERMISSION.
2. THESE DRAWINGS ARE FOR PERMIT APPLICATION PURPOSE. CONTRACTOR MUST CHECK ALL APPLICABLE BY-LAWS AND O.B.C. ANY DISCREPANCY MUST BE REPORTED TO THE DESIGNER.
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8. ALL STRUCTURAL DESIGN MUST BE REVIEWED AND APPROVED BY CERTIFIED STRUCTURAL ENGINEER PRIOR TO CONSTRUCTION.

THE UNDERSIGNED HAS REVIEWED AND TAKES RESPONSIBILITY FOR THIS DESIGN, AND HAS THE QUALIFICATIONS AND MEETS THE REQUIREMENTS SET OUT IN THE O.B.C. TO BE A DESIGNER. QUALIFICATION INFORMATION REQUIRED UNLESS DESIGN IS EXEMPT UNDER DIVISION C-3.2.5.1. OF THE 2006 O.B.C ( OR 2.17.5.1. OF THE 1997 O.B.C)

4	2024-04-20	ISSUED FOR COA	
Issue:	Rev:	Date:	Issue / Revision:

**PMP** Design Group  
**Exclusive Residential Design**

ADDRESS: 1090 Don Mills Rd. #506, North York, ON M3C 3R6  
 T: 416-200-9998

NAME: **MEHRAN HEYDARI**  
 BCIN: **39628**

REGISTRATION INFORMATION REQUIRED UNLESS DESIGN IS EXEMPT UNDER DIVISION C-3.2.4.1. OF THE 2006 O.B.C ( OR 2.17.5.1. OF THE 1997 O.B.C)

FIRM NAME: **P.M.P. DESIGN GROUP**  
 BCIN: **41993**

Project :

**142 FIFTH AVE**  
 VAUGHAN, ON

Drawing Name :

**SECTION A-A**  
**(UTILITY ROOM)**

Proj no	Project Number	Date :	10/25/23
Drawn by :	A.M	Scale :	1 : 25
Checked by :	ME.HE		

Drawing No :

**A-09**

**SCHEDULE B:  
COMMENTS FROM AGENCIES, BUILDING STANDARDS &  
DEVELOPMENT PLANNING**

Department / Agency <small>*Comments Received</small>	Conditions Required		Nature of Comments
Building Standards (Zoning) *See Schedule B	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>	General Comments
Development Planning	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>	Recommend Approval/No Conditions
Alectra	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>	General Comments
TRCA	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>	General Comments
Region of York	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>	General Comments

**To:** Christine Vigneault, Committee of Adjustment Secretary Treasurer  
**From:** Nancy Tuckett, Director of Development Planning  
**Date:** June 12, 2024  
**Name of Owner:** Ali Sirzad Bagheri Sadr  
**Location:** 142 Fifth Avenue  
**File No.:** A062/24

---

**Proposed Variances (By-law 001-2021):**

1. To permit a maximum height of **3.22 metres** for an accessory building (cabana).
2. To permit a residential accessory structure (cabana) with a height greater than **2.8 metres** to be located **1.17 metres** to the rear lot line.
3. To permit a residential accessory structure (cabana) with a height greater than **2.8 metres** to be located **0.78 metres** to the interior side lot line.
4. To permit a minimum interior side yard of **0.5 metres** to an addition (utility room).
5. To permit a minimum distance of **0.22 metres** to the interior side lot line for eaves.
6. To permit a minimum of **24.9% (42.35 m<sup>2</sup>)** of the rear yard in excess of **135.0 m<sup>2</sup>** to be comprised of soft landscaping.

**By-Law Requirements (By-law 001-2021):**

1. In any Residential Zone, the maximum height of an accessory building and residential accessory structure shall be **3.0 metres**.
2. A residential accessory structure with a height greater than **2.8 metres** shall not be located closer than **2.4 metres** to any lot line.
3. A residential accessory structure with a height greater than **2.8 metres** shall not be located closer than **2.4 metres** to any lot line.
4. The minimum interior side yard required is **1.2 metres**.
5. A minimum distance of **0.6 metres** shall be required from any permitted encroachment to the nearest lot line.
6. Any portion of a yard in excess of **135.0 m<sup>2</sup>** shall be comprised of a minimum **60%** soft landscape.

**Official Plan:**

Vaughan Official Plan 2010 ('VOP 2010'): "Low-Rise Residential"

**Comments:**

The Owner is requesting relief to permit two (2) existing residential accessory structures with the above noted variances. The Cabana is located within the rear yard and Utility Room (defined as an addition to the dwelling as it is attached to it) within the south interior side yard of 142 Fifth Avenue.

Development Planning Department Staff ('Development Planning Staff') has no objection to Variances 1 through 3 to permit encroachments into the minimum required distances from the rear lot line (Variance 2) and south interior side lot line (Variance 3) for the existing Cabana with a maximum height of 3.22 m. The Cabana has a flat roof design with the requested relief measured between the established grade to the top of the roof. The proposed Cabana complies with maximum lot coverage requirements within Zoning By-law 001-2021 for accessory structures. The proposed minimum setbacks from the interior side lot line and rear lot line for the Cabana are not anticipated to pose significant adverse impacts to the abutting property to the south (136 Fifth Avenue) or the west (89 Romeo Crescent) as the eaves are minimal and they in combination with the gutters do not overhang over the property line. Sufficient space for maintenance and safe access is provided between it and the dwelling to mitigate potential adverse massing impacts along the south lot line. Adverse massing impacts resulting from the Cabana's south wall's proximity to the south lot line due to its length is further mitigated by the existing tall wooden privacy fence. 89 Romeo Crescent contains a number of mature trees along the mutual rear lot line, providing a vegetative buffer between its rear yard and the



Cabana considered in this application. Development Engineering Department Staff have also reviewed the proposal and are satisfied that drainage will be maintained. As such, staff are of the opinion that the proposed Cabana will have minor massing and visual (privacy) impacts on the properties to the south and the west.

Development Planning Staff have no objection to Variances 4 and 5 to permit a reduced interior side yard setback measured to the eaves (Variance 5) and to the wall of the Utility Room (Variance 4). While attached to the dwelling, the Utility Room appears and functions as an accessory structure. The Utility Room is utilized to house pool equipment for the existing in-ground pool and will have doors on its east and west walls to provide access between the front and rear yards on the south side of the dwelling.

The existing Utility Room is located in the interior side yard and spans under one-third of the dwelling's south wall close to the existing gate entrance to the rear yard and is therefore visible from the street (Fifth Avenue). There are two (2) existing mature emerald cedar trees present on the neighbouring property (136 Fifth Avenue) abutting the privacy fence where the Utility Room is situated, thus helping provide screening to the south. Additionally, at the request of Development Planning Staff, the Owner agreed to install emerald cedar planting(s) on the east side of the Utility Room to provide additional screening in relation to the existing streetscape on Fifth Avenue. The Utility Room's proposed 0.50 metre setback provides sufficient space for maintenance purposes and there is no eave overhang onto the neighbouring property (136 Fifth Avenue). The height and footprint of the single storey Utility Room are relatively modest, and it abuts a very small portion of the dwelling's two storey wall which it is attached to. As such, the Utility Room's scale (mass) in conjunction with the existing and proposed vegetative buffering is not anticipated to have adverse use or massing impacts on the neighbouring property to the south (136 Fifth Avenue) or the existing streetscape and neighbourhood.

Development Planning Staff have no objections for the proposed reduction in soft landscaping in the rear yard (Variance 6). The soft landscaping around the rear yard's perimeter (42.35 m<sup>2</sup>) is sufficiently sized to contain the many cedar trees which have been planted along the northern interior side lot line and the rear lot line. River rock runs along the southern interior side lot line and behind the portion of the Cabana facing the rear lot line. Development Planning Staff are satisfied with number of plantings along the entire north side lot line and the majority of the rear lot line which helps provide a natural buffer between the existing swimming pool and Cabana and the abutting properties. The scale of cedar tree vegetation proposed within most of the softscape areas also helps create a balance between it and the existing hardscape in the rear yard. Staff also appreciate that once the cedar plantings mature, the vegetative buffer between the subject rear yard and neighbouring rear yards will be further enhanced. Development Engineering Staff have also reviewed the application and do not have any concerns regarding drainage in the rear yard. As such, Development Planning Staff are of the opinion that the proposed reduction in rear yard soft landscaping is desirable and appropriate for the development of the land and does not adversely impact the surrounding neighbours or character of the existing neighbourhood.

Accordingly, Development Planning Department Staff support the requested variances and are of the opinion that the proposal is minor in nature, maintains the general intent and purpose of the Official Plan and Zoning By-law, and is desirable for the appropriate development of the land.

**Recommendation:**

Development Planning Department Staff recommends approval of the application.

**Conditions of Approval:**

If the Committee finds merit in the application, the following conditions of approval are recommended:

None.

**Comments Prepared by:**

Nicholas Del Prete, Planner 1  
David Harding, Senior Planner

**To:** Committee of Adjustment  
**From:** Christian Tinney, Building Standards Department  
**Date:** June 6, 2024  
**Applicant:** PMP Design Group Inc  
**Location:** 142 Fifth Avenue  
 PLAN 65M2266 Lot 60  
**File No.(s):** A062/24

**Zoning Classification:**

The subject lands are zoned R2A(EN), Second Density Residential Zone subject to the provisions of Exception 14.207 and 14.248 under By-law 001-2021 as amended.

#	Zoning By-law 001-2021	Variance requested
1	In any Residential Zone, the maximum height of an accessory building and residential accessory structure shall be 3.0 metres.	To permit a maximum height of 3.22 metres for an accessory building (cabana).
2	A residential accessory structure with a height greater than 2.8 metres shall not be located closer than 2.4 metres to any lot line. [Section 4.1.2, b.]	To permit a residential accessory structure (cabana) with a height greater than 2.8 metres to be located 1.17 metres to the rear lot line.
3	A residential accessory structure with a height greater than 2.8 metres shall not be located closer than 2.4 metres to any lot line. [Section 4.1.2, b.]	To permit a residential accessory structure (cabana) with a height greater than 2.8 metres to be located 0.78 metres to the interior side lot line.
4	The minimum interior side yard required is 1.2 metres. [Table 7-4]	To permit a minimum interior side yard of 0.5 metres to an addition (utility room).
5	A minimum distance of 0.6 metres shall be required from any permitted encroachment to the nearest lot line. [Section 4.13, 3.]	To permit a minimum distance of 0.22 metres to the interior side lot line for eaves.
6	Any portion of a yard in excess of 135.0 m <sup>2</sup> shall be comprised of a minimum 60% soft landscape. [4.19.1]	To permit a minimum of 24.9% (42.35 m <sup>2</sup> ) of the rear yard in excess of 135.0 m <sup>2</sup> to be comprised of soft landscaping.

**Staff Comments:**

**Building Permit(s) Issued:**

Building Permit No. 23-138400 for Shed/Gazebo - New, Issue Date: (Not Yet Issued)  
 Building Permit No. 23-139714 for Single Detached Dwelling - Addition, Issue Date: (Not Yet Issued)

**Other Comments:**

General Comments	
1	The applicant shall be advised that additional variances may be required upon review of detailed drawing for building permit/site plan approval.

**Conditions of Approval:**

If the committee finds merit in the application, the following conditions of approval are recommended.

\* Comments are based on the review of documentation supplied with this application.

**From:** [Development Services](#)  
**To:** [Lenore Providence](#)  
**Cc:** [Committee of Adjustment](#)  
**Subject:** [External] RE: A062/24 (142 Fifth Avenue) - REQUEST FOR COMMENTS, CITY OF VAUGHAN  
**Date:** Friday, May 10, 2024 10:38:48 AM  
**Attachments:** [image002.png](#)  
[image004.png](#)

**CAUTION!** This is an external email. Verify the sender's email address and carefully examine any links or attachments before clicking. If you believe this may be a phishing email, please use the Phish Alert Button.

Hi Lenore,

The Regional Municipality of York has completed its review of the minor variance application – A062/24 (142 Fifth Avenue) and has no comment.

Please provide us with a digital copy of the notice of decision for our records.

Many thanks,

*Our working hours may be different. Please do not feel obligated to reply outside of your scheduled working hours. Let's work together to help foster healthy work-life boundaries.*

**Niranjan Rajevan, M.Pl.** | Associate Planner, Development Services, Planning and Economic Development, Corporate Services

The Regional Municipality of York | 17250 Yonge Street | Newmarket, ON L3Y 6Z1  
1-877-464-9675 ext. 71521 | [niranjan.rajevan@york.ca](mailto:niranjan.rajevan@york.ca) | [www.york.ca](http://www.york.ca)

*Our Values: Integrity, Commitment, Accountability, Respect, Excellence*



Our Mission: **Working together to serve our thriving communities – today and tomorrow**

Please consider the environment before printing this email.

**Date:** April 29<sup>th</sup> 2024

**Attention:** **Christine Vigneault**

**RE:**

**File No.:** **A062-24**

**Related Files:**

**Applicant** PMP Design Group Inc.

**Location** 142 Fifth Avenue



Discover the possibilities

### COMMENTS:

- We have reviewed the proposed Variance Application and have no comments or objections to its approval.
- We have reviewed the proposed Variance Application and have no objections to its approval, subject to the following comments (attached below).
- We have reviewed the proposed Variance Application and have the following concerns (attached below).

Alectra Utilities (formerly PowerStream) has received and reviewed the proposed Variance Application. This review, however, does not imply any approval of the project or plan.

All proposed billboards, signs, and other structures associated with the project or plan must maintain minimum clearances to the existing overhead or underground electrical distribution system as specified by the applicable standards, codes and acts referenced.

In the event that construction commences, and the clearance between any component of the work/structure and the adjacent existing overhead and underground electrical distribution system violates the Occupational Health and Safety Act, the customer will be responsible for 100% of the costs associated with Alectra making the work area safe. All construction work will be required to stop until the safe limits of approach can be established.

In the event construction is completed, and the clearance between the constructed structure and the adjacent existing overhead and underground electrical distribution system violates the any of applicable standards, acts or codes referenced, the customer will be responsible for 100% of Alectra's cost for any relocation work.

### References:

- Ontario Electrical Safety Code, latest edition (Clearance of Conductors from Buildings)
- Ontario Health and Safety Act, latest edition (Construction Protection)
- Ontario Building Code, latest edition (Clearance to Buildings)
- PowerStream (Construction Standard 03-1, 03-4), attached
- Canadian Standards Association, latest edition (Basic Clearances)

If more information is required, please contact either of the following:

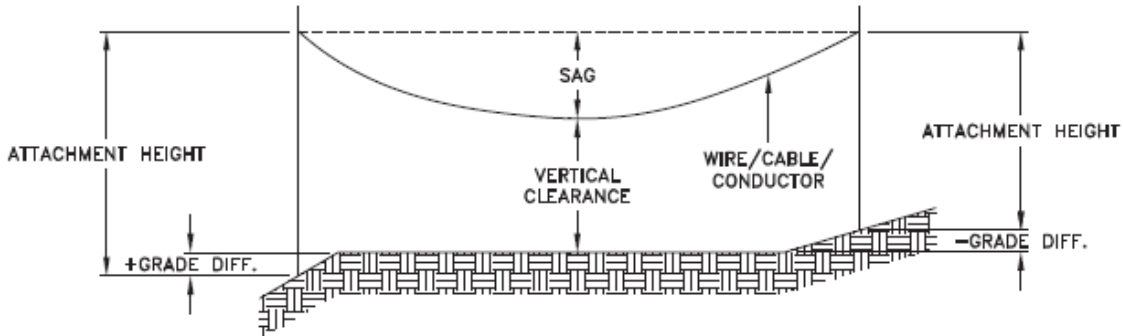
Mr. Stephen Cranley, C.E.T  
Supervisor, Distribution Design, ICI & Layouts (North)  
**Phone:** 1-877-963-6900 ext. 31297

**E-mail:** [stephen.cranley@alectrautilities.com](mailto:stephen.cranley@alectrautilities.com)

Mitchell Penner  
Supervisor, Distribution Design-Subdivisions  
**Phone:** 416-302-6215

**Email:** [Mitchell.Penner@alectrautilities.com](mailto:Mitchell.Penner@alectrautilities.com)

LOCATION OF WIRES, CABLES OR CONDUCTORS	SYSTEM VOLTAGE			
	SPAN GUYS AND COMMUNICATIONS WIRES	UP TO 600V AND NEUTRAL	4.16/2.4kV TO 27.6/16kV (SEE NOTE 1)	44kV
MINIMUM VERTICAL CLEARANCES (SEE NOTE 2)				
OVER OR ALONGSIDE ROADS, DRIVEWAYS OR LANDS ACCESSIBLE TO <u>VEHICLES</u>	442cm	442cm	480cm	520cm
OVER GROUND ACCESSIBLE TO <u>PEDESTRIANS AND BICYCLES ONLY</u>	250cm	310cm	340cm	370cm
ABOVE TOP OF RAIL AT <u>RAILWAY CROSSINGS</u>	730cm	730cm	760cm	810cm



MINIMUM ATTACHMENT HEIGHT = MAXIMUM SAG  
 + MINIMUM VERTICAL CLEARANCE (FROM ABOVE TABLE)  
 ± GRADE DIFFERENCE  
 + 0.3m (VEHICLE OR RAILWAY LOCATION)  
 + SNOW DEPTH (PEDESTRIAN LOCATION, SEE NOTE 3)

**NOTES:**

1. THE MULTIGROUNDED SYSTEM NEUTRAL HAS THE SAME CLEARANCE AS THE 600V SYSTEM.
2. THE VERTICAL CLEARANCES IN THE ABOVE TABLE ARE UNDER MAXIMUM SAG CONDITIONS.
3. REFER TO CSA STANDARD C22.3 No.1, ANNEX D FOR LOCAL SNOW DEPTH VALUES.
4. ALL CLEARANCES ARE IN ACCORDANCE TO CSA STANDARD C22.3.

**CONVERSION TABLE**

METRIC	IMPERIAL (APPROX)
810cm	27'-0"
760cm	25'-4"
730cm	24'-4"
520cm	17'-4"
480cm	16'-0"
442cm	15'-5"
370cm	12'-4"
340cm	11'-4"
310cm	10'-4"
250cm	8'-4"

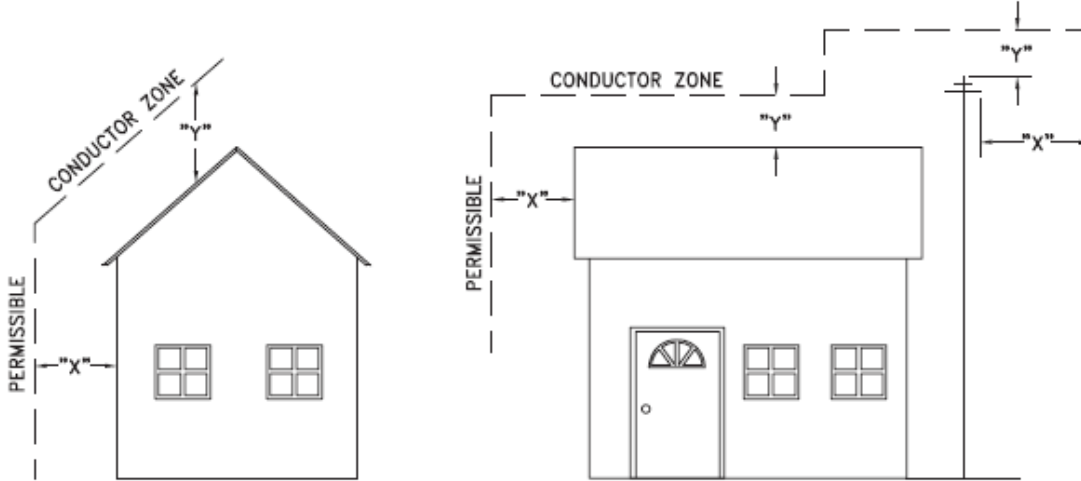
**REFERENCES**

SAGS AND TENSIONS | SECTION 02

**MINIMUM VERTICAL CLEARANCES OF WIRES, CABLES AND CONDUCTORS ABOVE GROUND OR RAILS**

ORIGINAL ISSUE DATE: 2010-DEC-24 REVISION NO: R1 REVISION DATE: 2012-JAN-09

Certificate of Approval	
This construction Standard meets the safety requirements of Section 4 of Regulation 22/04	
Joe Crozier, P.Eng.	2012-JAN-09
Name	Date
P.Eng. Approval By:	Joe Crozier



VOLTAGE	MINIMUM HORIZONTAL CLEARANCE UNDER MAXIMUM SWING CONDITIONS DIMENSION "X" (SEE NOTES 1, 3 & 4)	MINIMUM VERTICAL CLEARANCE UNDER MAXIMUM DESIGN SAG CONDITIONS DIMENSION "Y" (SEE NOTES 1, 2, 4 & 5)
0-600V AND NEUTRAL	100cm	250cm
4.16/2.4 TO 44kV	300cm	480cm

**NOTES**

1. UNDER NO CIRCUMSTANCES SHALL A CONDUCTOR BE PERMITTED TO PENETRATE THE ENVELOPE SHOWN BY THE DOTTED LINE.
2. THE VERTICAL CLEARANCES ARE UNDER CONDITIONS OF MAXIMUM DESIGN SAG.
3. THE HORIZONTAL CLEARANCES ARE UNDER CONDITIONS OF MAXIMUM SWING. WHERE THE CONDUCTOR SWING IS NOT KNOWN A HORIZONTAL CLEARANCE OF 480CM SHALL BE USED.
4. BUILDINGS THAT EXCEED 3 STOREYS OR 15M IN HEIGHT, THE MINIMUM HORIZONTAL CLEARANCE OF THE SECONDARY CONDUCTORS SHOULD BE INCREASED TO 300cm WHERE IT IS NECESSARY TO ALLOW FOR THE RAISING OF LADDERS BY LOCAL FIRE DEPARTMENTS.
5. IN SITUATIONS SUCH AS MULTI-LEVEL GARAGES, WHERE ROOFS ARE NORMALLY USED BY PERSONS AND VEHICLES, THE VERTICAL CLEARANCES OF POWERSTREAM STANDARD 03-1 SHALL APPLY.
6. DISTRIBUTION LINES CONSTRUCTED NEAR BUILDINGS SHALL BE BUILT TO AVOID OVERHANG WHEREVER POSSIBLE. WHERE LINES MUST BE CONSTRUCTED OVER OR ADJACENT TO BUILDINGS THE APPLICABLE HORIZONTAL AND VERTICAL CLEARANCES SHALL BE AT CONDITIONS OF MAXIMUM CONDUCTOR SWING AND MAXIMUM SAG. THE ABOVE CLEARANCES ARE DESIGNED TO PREVENT PERSONS ON OR IN BUILDINGS AS WELL AS EXTERNAL MACHINERY USED IN CONJUNCTION WITH A BUILDING TO COME IN CONTACT WITH CONDUCTORS. EFFORTS SHOULD BE MADE TO INCREASE THESE CLEARANCES WHERE POSSIBLE.
7. ALL CLEARANCES ARE IN ACCORDANCE TO CSA C22.3 NO.1-06 (TABLE-9).

METRIC	IMPERIAL (APPROX)
480cm	16'-0"
300cm	10'-0"
250cm	8'-4"
100cm	3'-4"

**MINIMUM VERTICAL & HORIZONTAL CLEARANCES OF CONDUCTORS FROM BUILDINGS OR OTHER PERMANENT STRUCTURES (CONDUCTORS NOT ATTACHED TO BUILDINGS)**

**Certificate of Approval**  
This construction Standard meets the safety requirements of Section 4 of Regulation 22/04  
Debbie Dadwani, P.Eng. 2010-MAY-05  
Name Date  
P. Eng. Approval By: *D. Dadwani*

ORIGINAL ISSUE DATE: 2010-MAY-05 REVISION NO: REVISION DATE:  
PS:\System Planning and Standards\Standard Design\PowerStream Standards\PowerStream Standards working files\Section 3-1-02\WG 03-4 R0 May 5, 2010.dwg, 5/5/2010 10:22:02 AM, Adobe PDF

## Pravina Attwala

---

**Subject:** FW: [External] RE: A062/24 (142 Fifth Avenue) - REQUEST FOR COMMENTS, CITY OF VAUGHAN

---

**From:** Kristen Regier <Kristen.Regier@trca.ca>

**Sent:** Monday, April 29, 2024 8:45 AM

**To:** Committee of Adjustment <CofA@vaughan.ca>

**Subject:** [External] RE: A062/24 (142 Fifth Avenue) - REQUEST FOR COMMENTS, CITY OF VAUGHAN

**CAUTION!** This is an external email. Verify the sender's email address and carefully examine any links or attachments before clicking. If you believe this may be a phishing email, please use the Phish Alert Button.

Hello,

The subject property at 142 Fifth Avenue, Vaughan is not located within TRCA's Regulated Area. TRCA's Planning and Regulatory policy interests are not impacted.

As such, TRCA has no comments on the application.

Best,

**Kristen Regier, MA (she / her)**

Planner

Development Planning and Permits | Development and Engineering Services

Toronto and Region Conservation Authority (TRCA)

T: [437-880-2129](tel:437-880-2129)

E: [kristen.regier@trca.ca](mailto:kristen.regier@trca.ca)

A: [101 Exchange Avenue, Vaughan, ON, L4K 5R6](https://www.trca.ca) | [trca.ca](https://www.trca.ca)





## SCHEDULE C: PUBLIC & APPLICANT CORRESPONDENCE

None

## SCHEDULE D: BACKGROUND

None