

<b>ITEM: 6.11</b>	<b>REPORT SUMMARY MINOR VARIANCE APPLICATION FILE NUMBER A060/24</b>
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Report Date: Friday, June 14, 2024

**THIS REPORT CONTAINS COMMENTS FROM THE FOLLOWING  
DEPARTMENTS & AGENCIES (SEE SCHEDULE B):**

Additional comments from departments and agencies received after the publication of the report will be made available on the City's [website](#).

Internal Departments <small>*Comments Received</small>	Conditions Required		Nature of Comments
Committee of Adjustment	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>	General Comments
Building Standards (Zoning)	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>	General Comments
Development Planning	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>	Recommend Approval/No Conditions
Development Engineering	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>	Recommend Approval/No Conditions

External Agencies <small>*Comments Received</small>	Conditions Required		Nature of Comments <small>*See Schedule B for full comments</small>
Alectra	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>	General Comments
TRCA	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>	General Comments

<b>PUBLIC &amp; APPLICANT CORRESPONDENCE (SEE SCHEDULE C)</b>				
<p>All personal information collected because of this public meeting (including both written and oral submissions) is collected under the authority of the Municipal Act, the Municipal Freedom of Information and Protection of Privacy Act (MFIPPA), the Planning Act and all other relevant legislation, and will be used to assist in deciding on this matter. All personal information (as defined by MFIPPA), including (but not limited to) names, addresses, opinions and comments collected will become property of the City of Vaughan, will be made available for public disclosure (including being posted on the internet) and will be used to assist the Committee of Adjustment and staff to process this application.</p>				
Correspondence Type	Name	Address	Date Received <small>(mm/dd/yyyy)</small>	Summary
Applicant			04/12/2024	Application Cover Letter

<b>BACKGROUND (SCHEDULE D, IF REQUIRED)</b>	
<p>* Background Information contains historical development approvals considered to be related to this file. This information should not be considered comprehensive.</p>	
Application No. (City File)	Application Description <small>(i.e. Minor Variance Application; Approved by COA / OLT)</small>
None	None

<b>ADJOURNMENT HISTORY</b>	
<p>* Previous hearing dates where this application was adjourned by the Committee and public notice issued.</p>	
Hearing Date	Reason for Adjournment <small>(to be obtained from NOD_ADJ)</small>
None	None

<b>SCHEDULES</b>	
<b>Schedule A</b>	Drawings & Plans Submitted with the Application
<b>Schedule B</b>	Comments from Agencies, Building Standards & Development Planning
<b>Schedule C</b> (if required)	Public & Applicant Correspondence
<b>Schedule D</b> (if required)	Background



## MINOR VARIANCE APPLICATION FILE NUMBER A060/24

<b>CITY WARD #:</b>	4
<b>APPLICANT:</b>	Maruba Investment Inc.
<b>AGENT:</b>	Trinistar Corporation
<b>PROPERTY:</b>	2701 Rutherford Road, Building C, Vaughan
<b>ZONING DESIGNATION:</b>	See below.
<b>VAUGHAN OFFICIAL PLAN (2010) DESIGNATION:</b>	Vaughan Official Plan 2010 ('VOP 2010'): "Low-Rise Residential"
<b>RELATED DEVELOPMENT APPLICATIONS:</b>	None
<b>PURPOSE OF APPLICATION:</b>	Relief from the Zoning By-law is being requested to permit the use of a Clinic in Building C on the subject lands.

The following variances are being requested from the City's Zoning By-law:

**The subject lands are zoned EM1, PRESTIGE EMPLOYMENT ZONE and subject to the provisions of Exception 14.514 under Zoning By-law 001-2021.**

#	Zoning By-law 001-2021	Variance requested
1	The use of a Clinic is not permitted on the subject lands. Subsection [11.2.1 Permitted Uses in the Employment Zones and Table Permitted Uses in the Employment Zones, and <b>Exception 14.514</b> ]	To permit the use of a Clinic in Building C on the subject lands.

### HEARING INFORMATION

**DATE OF MEETING:** Thursday, June 20, 2024

**TIME:** 6:00 p.m.

**MEETING LOCATION:** Vaughan City Hall, Woodbridge Room (2<sup>nd</sup> Floor), 2141 Major Mackenzie Drive

**LIVE STREAM LINK:** [Vaughan.ca/LiveCouncil](http://Vaughan.ca/LiveCouncil)

#### PUBLIC PARTICIPATION

If you would like to speak to the Committee of Adjustment at the meeting, either remotely or in person, please complete the [Request to Speak Form](#) and submit to [cofa@vaughan.ca](mailto:cofa@vaughan.ca)

If you would like to submit written comments, please quote file number above and submit by mail or email to:

**Email:** [cofa@vaughan.ca](mailto:cofa@vaughan.ca)

**Mail:** City of Vaughan, Office of the City Clerk, Committee of Adjustment, 2141 Major Mackenzie Drive, Vaughan, ON, L6A 1T1

To speak electronically, pre-registration is required by completing the [Request to Speak Form](#) on-line and submitting it to [cofa@vaughan.ca](mailto:cofa@vaughan.ca) no later than NOON on the last business day before the meeting.

**THE DEADLINE TO REGISTER TO SPEAK ELECTRONICALLY OR SUBMIT WRITTEN COMMENTS ON THE ABOVE NOTED FILE(S) IS NOON ON THE LAST BUSINESS DAY BEFORE THE MEETING.**

### INTRODUCTION

Staff and Agencies act as advisory bodies to the Committee of Adjustment. The comments contained in this report are presented as recommendations to the Committee.

Section 45(1) of the Planning Act sets the criteria for authorizing minor variances to the City of Vaughan's Zoning By-law. Accordingly, review of the application may consider the following:

## INTRODUCTION

That the general intent and purpose of the by-law will be maintained.  
That the general intent and purpose of the official plan will be maintained.  
That the requested variance(s) is/are acceptable for the appropriate development of the subject lands.  
That the requested variance(s) is/are minor in nature.

Public written and oral submissions relating to this application are taken into consideration by the Committee of Adjustment as part of its deliberations and final decision on this matter.

## COMMITTEE OF ADJUSTMENT

<b>Date Public Notice Mailed:</b>	June 6, 2024
<b>Date Applicant Confirmed Posting of Sign:</b>	May 14, 2024
<b>Applicant Justification for Variances:</b> <small>*As provided in Application Form</small>	The existing property already exceeds the permitted coverage due to previously approved development.
<b>Was a Zoning Review Waiver (ZRW) Form submitted by Applicant:</b> <small>*ZRW Form may be used by applicant in instances where a revised submission is made, and zoning staff do not have an opportunity to review and confirm variances prior to the issuance of public notice.</small>	Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>
<b>COMMENTS:</b>	
None.	
<b>Committee of Adjustment Recommended Conditions of Approval:</b>	None.

## BUILDING STANDARDS (ZONING)

<b>**See Schedule B for Building Standards (Zoning) Comments</b>	
<b>Building Standards Recommended Conditions of Approval:</b>	None.

## DEVELOPMENT PLANNING

<b>**See Schedule B for Development Planning Comments.</b>	
<b>Development Planning Recommended Conditions of Approval:</b>	None.

## DEVELOPMENT ENGINEERING

<a href="#">Link to Grading Permit</a> <a href="#">Link to Pool Permit</a> <a href="#">Link to Curb Curt Permit</a> <a href="#">Link Culvert Installation</a>	
Development Engineering (DE) does not object to Minor Variance A060/24.	
<b>Development Engineering Recommended Conditions of Approval:</b>	None.

## PARKS, FORESTRY & HORTICULTURE (PFH)

No comments received to date	
<b>PFH Recommended Conditions of Approval:</b>	None.

## DEVELOPMENT FINANCE

No comments received to date	
<b>Development Finance Recommended Conditions of Approval:</b>	None.

## BY-LAW AND COMPLIANCE, LICENSING AND PERMIT SERVICES

No comments received to date	
<b>BCLPS Recommended Conditions of Approval:</b>	None.

## BUILDING INSPECTION (SEPTIC)

No comments received to date.	
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## BUILDING INSPECTION (SEPTIC)

<b>Building Inspection Recommended Conditions of Approval:</b>	None.
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## FIRE DEPARTMENT

No comments received to date.

<b>Fire Department Recommended Conditions of Approval:</b>	None.
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## RECOMMENDED CONDITIONS OF APPROVAL SUMMARY

Should the Committee find it appropriate to approve this application in accordance with request and the sketch submitted with the application, as required by Ontario Regulation 200/96, the following conditions have been recommended:

#	DEPARTMENT / AGENCY	CONDITION
1	None.	

*All conditions of approval, unless otherwise stated, are considered to be incorporated into the approval "if required". If a condition is no longer required after an approval is final and binding, the condition may be waived by the respective department or agency requesting conditional approval. A condition cannot be waived without written consent from the respective department or agency.*

## IMPORTANT INFORMATION

**CONDITIONS:** It is the responsibility of the owner/applicant and/or authorized agent to obtain and provide a clearance letter from respective department and/or agency (**see condition chart above for contact**). This letter must be provided to the Secretary-Treasurer to be finalized. All conditions must be cleared prior to the issuance of a Building Permit.

**APPROVALS:** Making any changes to your proposal after a decision has been made may impact the validity of the Committee's decision.

An approval obtained from the Committee of Adjustment, where applicable, is tied to the building envelope shown on the plans and drawings submitted with the application and subject to the variance approval.

A building envelope is defined by the setbacks of the buildings and/or structures shown on the plans and drawings submitted with the application, as required by Ontario Regulation 200/96. Future development outside of an approved building envelope, where a minor variance was obtained, must comply with the provisions of the City's Zoning By-law.

Elevation drawings are provided to reflect the style of roof (i.e. flat, mansard, gable etc.) to which a building height variance has been applied. Where a height variance is approved, building height is applied to the style of roof (as defined in the City's Zoning By-law) shown on the elevation plans submitted with the application.

Architectural design features that are not regulated by the City's Zoning By-law are not to be considered part of an approval unless specified in the Committee's decision.

**DEVELOPMENT CHARGES:** That the payment of the Regional Development Charge, if required, is payable to the City of Vaughan before issuance of a building permit in accordance with the Development Charges Act and the Regional Development Charges By-law in effect at the time of payment.

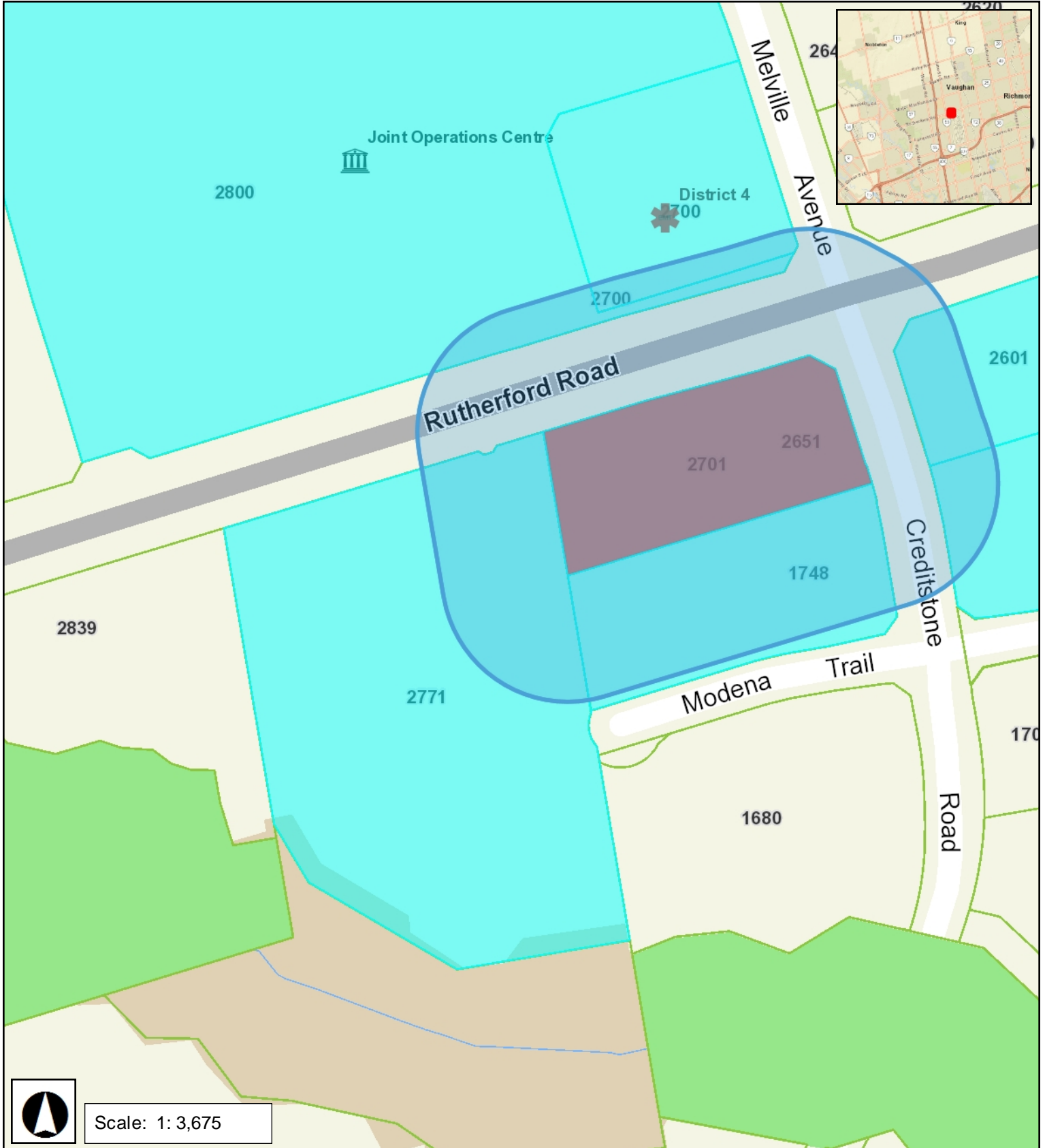
That the payment of the City Development Charge, if required, is payable to the City of Vaughan before issuance of a building permit in accordance with the Development Charges Act and the City's Development Charges By-law in effect at the time of payment.

That the payment of the Education Development Charge if required, is payable to the City of Vaughan before issuance of a building permit in accordance with the Development Charges Act and the Boards of Education By-laws in effect at the time of payment

That the payment of Special Area Development charge, if required, is payable to the City of Vaughan before issuance of a building permit in accordance with the Development Charges Act and The City's Development Charge By-law in effect at the time of Building permit issuance to the satisfaction of the Reserves/Capital Department.

**NOTICE OF DECISION:** If you wish to be notified of the decision in respect to this application or a related Ontario Land Tribunal (OLT) hearing you must complete a Request for Decision form and submit to the Secretary Treasurer (ask staff for details). In the absence of a written request to be notified of the Committee's decision you will **not** receive notice.

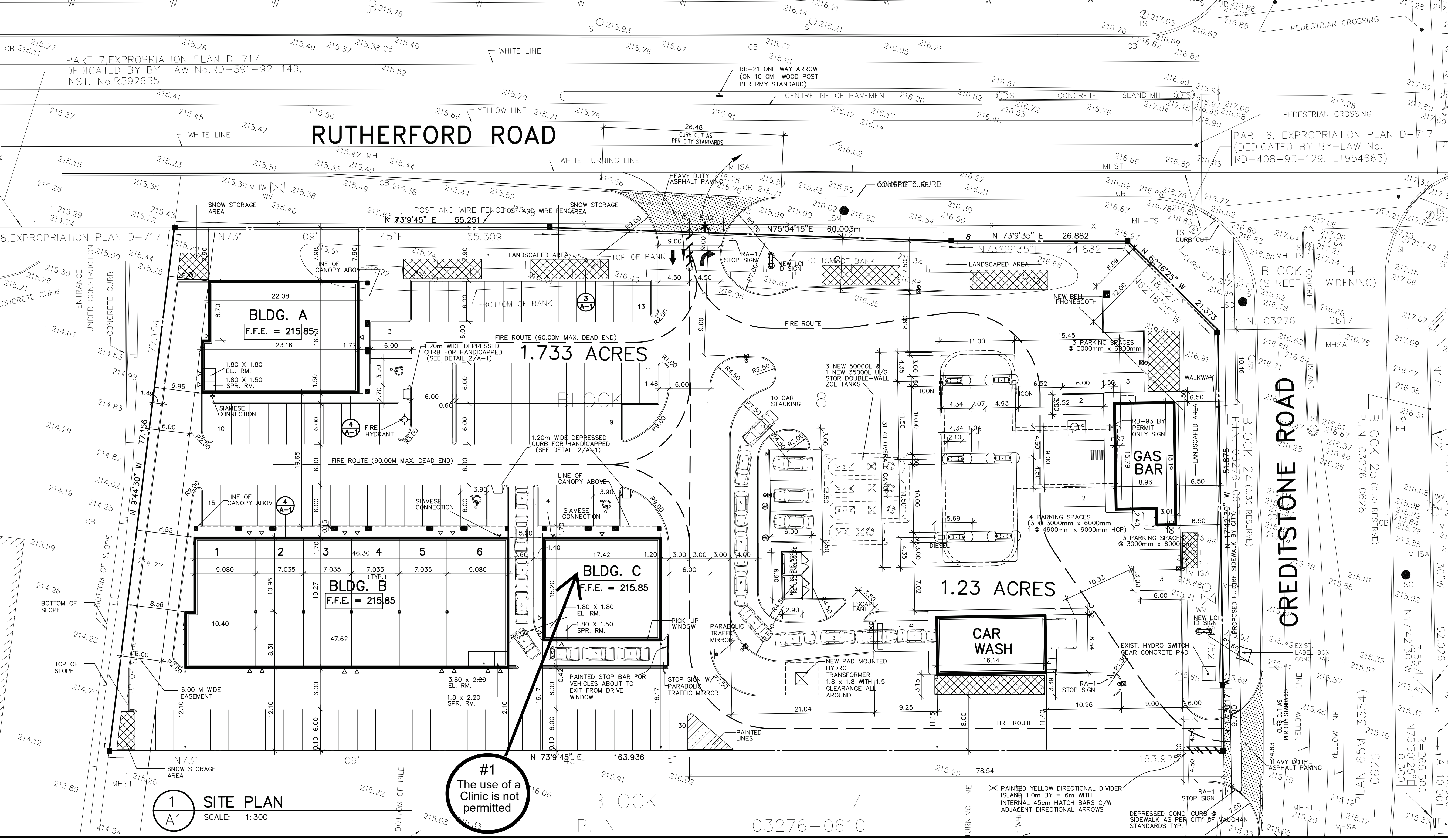
**SCHEDULE A: DRAWINGS & PLANS**





RECEIVED  
By Prabhdeep Kaur at 12:06 pm, Apr 23, 2024

PLANS PREPARED AND VARIANCES IDENTIFIED BY APPLICANT



1 SITE PLAN  
SCALE: 1:300

#1 The use of a Clinic is not permitted

- STANDARD NOTES FOR SITE PLAN**
- Standard drawings of the City of Vaughan & OPSD constitute part of the site plan and are to be installed as per City's Standard.
  - All construction work to be carried out in accordance with the requirements of the Occupational Health and Safety Act and Regulations for construction projects.
  - The General Contractor shall rectify all disturbed areas to original condition or better and to the satisfaction of the City.
  - The location of all under/above ground utilities and structures is approximate only and where shown on the drawing(s) the accuracy of the location of such utilities and structures shall be determined by the General Contractor consulting the appropriate authorities or companies concerned. The General Contractor shall provide the location of all such utilities and structures and shall assume all liability for damage or restoration to same.
  - All conflicts with existing services shall be rectified at the General Contractor's expense.
  - Sanitary and storm control manholes shall be in accordance with City Standard Drawings. Frame and cover shall be to the City's Standard. Manholes shall be benched to the invert of pipes.
  - All sanitary manhole covers in the ponding areas to be water tight sealed covers.
  - All catchbasins shall be installed in accordance with City Standard Drawings. Catchbasin frames and covers shall be to City's standards.
  - All industrial/commercial/condominium watermain connections shall be constructed in accordance with City Standard Drawings.
  - Watermain shall have a minimum vertical separation of 0.5 m and horizontal separation of 2.5 m between any sewer or manhole.
  - Driveway entrance shall be constructed with heavy duty asphalt from the back municipal curb to edge of pavement to the property line (area highlighted on drawing(s)).
  - Outside lighting shall be directed downward and inward and designed to maintain a minimum 1100MM HIGH GUARDRAIL WHERE GRADE DIFFERENCE EXCEEDS 0.6M.
  - Silt fence(s) to be installed and maintained to prevent silt flowing onto adjacent properties.
  - Construction access shall be constructed with a minimum depth of 450 mm crushed stone base from the municipal curb or edge of pavement to the property line, to the satisfaction of the City.
  - The surface of all loading spaces and related driveways, parking spaces, and manoeuvring areas within the site shall be paved with a hard surface. The recommended paving materials shall be as follows:
    - 40 mm compacted depth HL-3 asphalt - top course
    - 75 mm compacted depth HL-3 asphalt - binder course
    - 200 mm compacted depth 20 mm crusher run limestone - granular base
    - 200 mm compacted depth 50 mm crusher run limestone - granular base
  - Landscaping shall not encroach on boulevard nor shall boulevard grades be altered.

- GENERAL NOTES**
- MAX. SLOPE OF LANDSCAPED AREAS TO BE 1:3.
  - PROVIDE TIE WALL WHERE GRADE DIFFERENCE EXCEEDS 0.6M.
  - DEPRESS CONCRETE CURBS AT SIDEWALKS TO MEET SIDEWALK DEPRESS-AND-PAVING.
  - DEPRESS CONCRETE CURBS AT ENTRANCE RAMPS DENOTES HEAVY DUTY ASPHALT TO BE APPLIED.
  - CONFLICT WITH EXISTING SERVICES SHALL BE RECTIFIED AT THE APPLICANT'S EXPENSE.
  - PAVEMENT GRADES: MIN. 0.5%, MAX. 5.0%.
  - DRAINAGE SWALES: MIN. 2.0%, MAX. 5.0%.
  - OUTSIDE LIGHTING TO BE DIRECTED DOWNWARD AS WELL AS INWARD.

**HEAVY DUTY ASPHALT PAVING AT SITE ENTRANCE ONLY:**

ASPHALT: 50mm (2") of compacted HL-3 top course  
75mm (3") of compacted HL-3 binder course

BASE: 150mm (6") of compacted 20mm crusher run limestone granular base  
300mm (12") of compacted 50mm crusher run limestone granular sub-base

**ALL ASPHALT PAVING ON SITE SHALL BE AS FOLLOWS:**

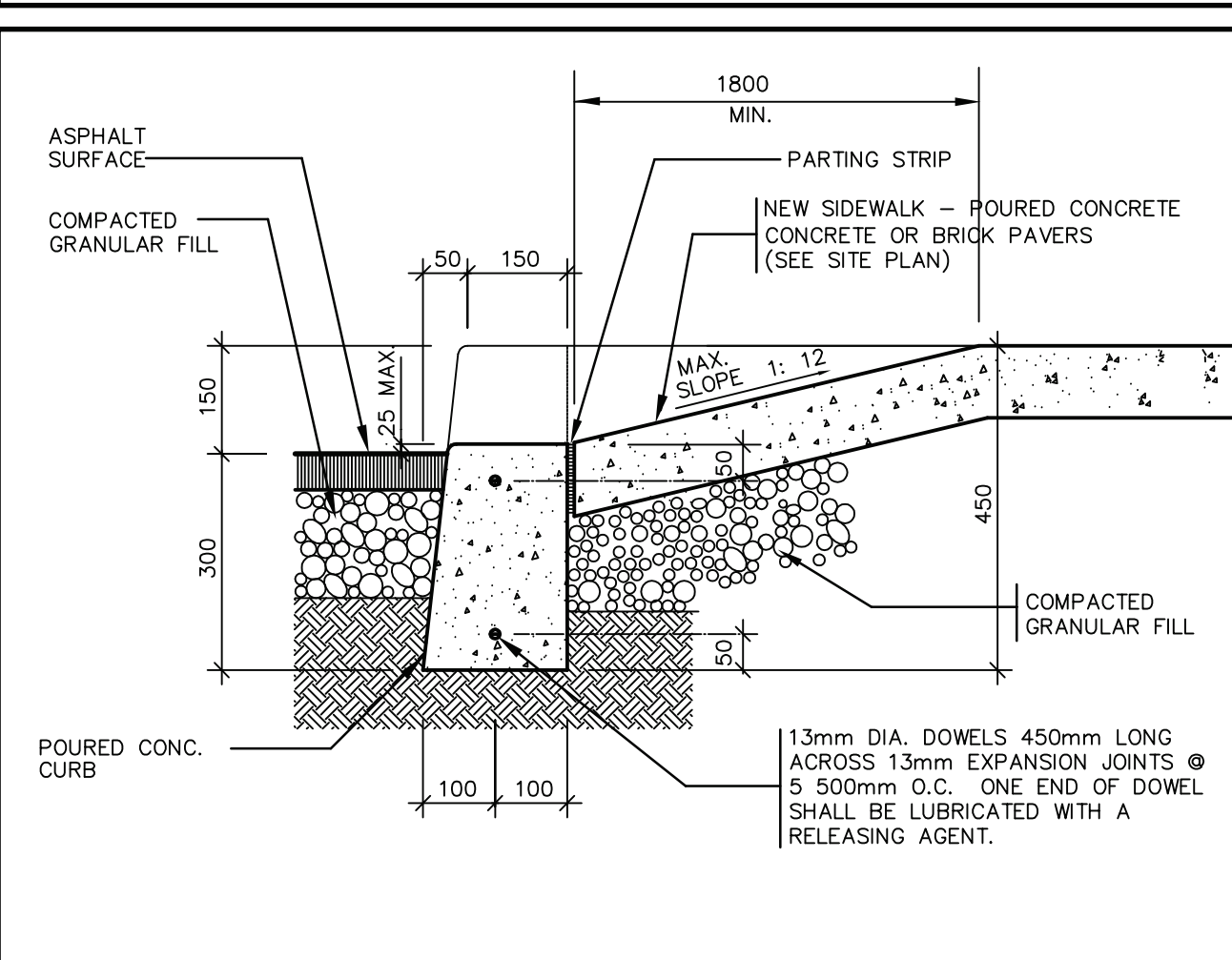
ASPHALT: 40mm (1-1/2") of HL-3 asphalt top course  
50mm (2") of HL-3 asphalt binder course

BASE: 350mm limestone base placed as follows:  
150mm of 20mm (3/4") crusher run limestone  
200mm of 50mm (2") crusher run limestone

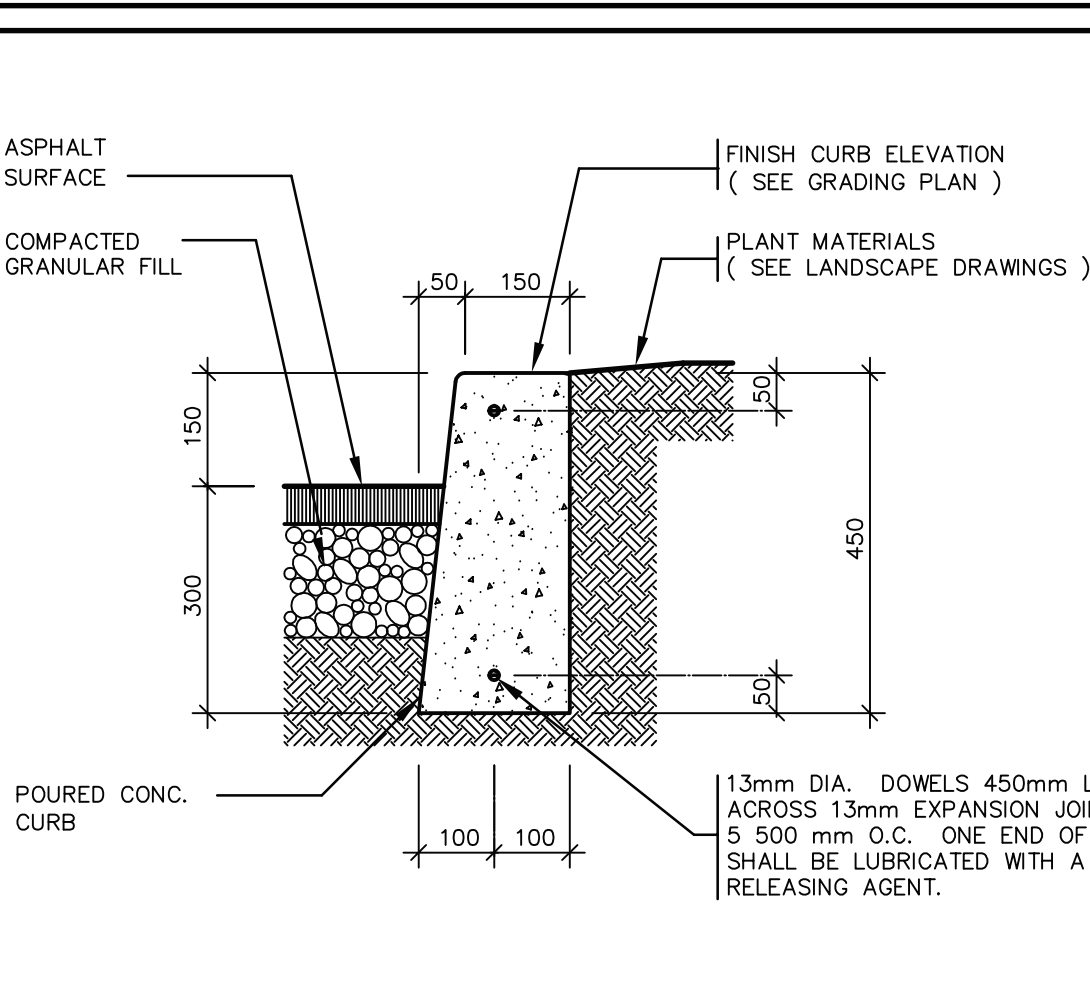
**INSTALLATION:**

- Place and consolidate 350mm (13.75") of limestone base course as specified above.
- Asphalt shall spread to an even and uniform layers and rolled to a minimum total thickness as follows:
  - Apply and install 50mm deep hot asphalt base. Base course shall conform to Ontario Department of Highway specifications for type HL-3.
  - Apply 40mm deep finish course hot asphalt paving conforming to Ontario Department of Highway specifications for type HL-3.

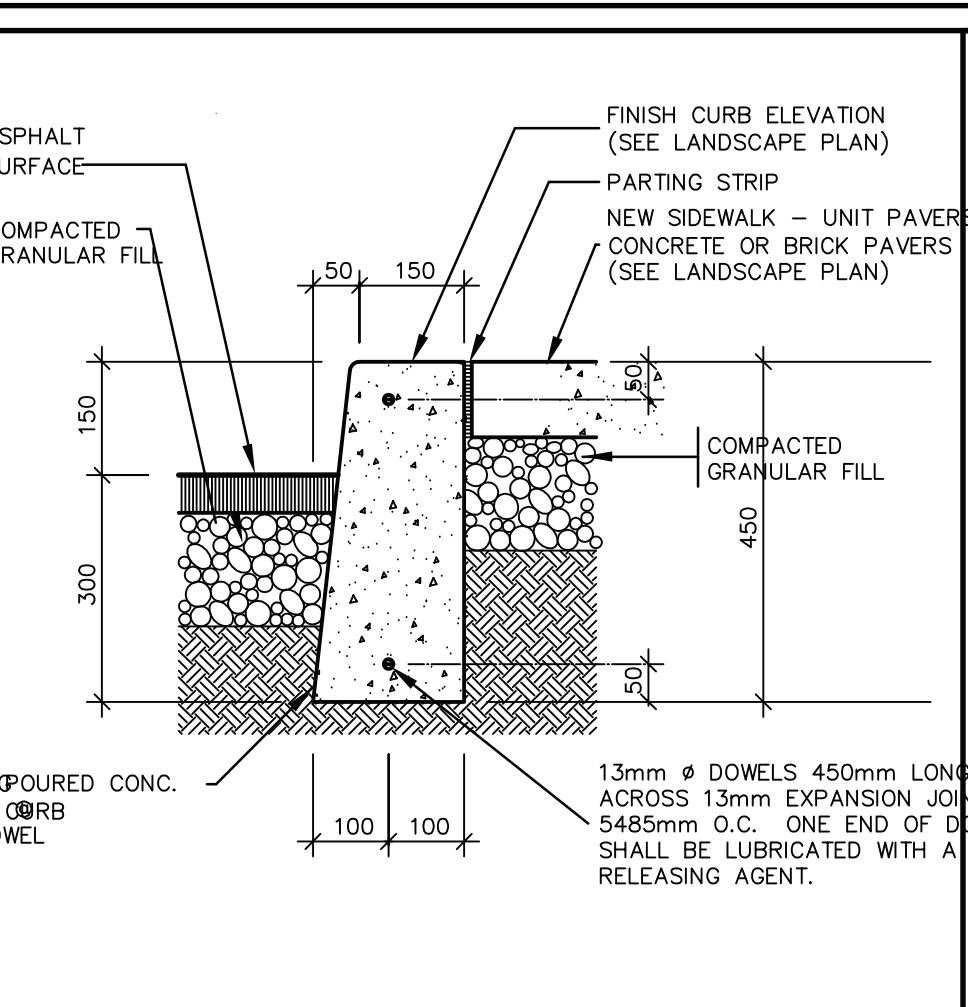
NOTE: ALL ASPHALT BASE TO BE COMPACTED TO 100% STANDARD PROCTOR DENSITY.



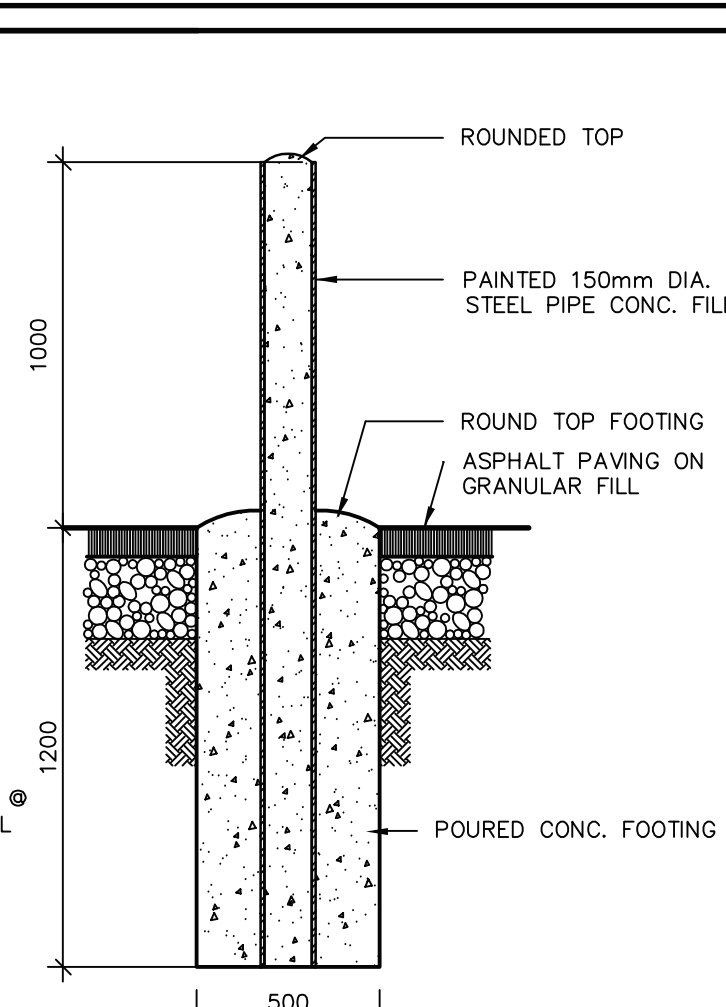
2 DEPRESSED CONCRETE CURB - B  
SCALE: 1:10



3 CONCRETE CURB  
SCALE: 1:10



4 CONCRETE CURB/ SIDEWALK  
SCALE: 1:10



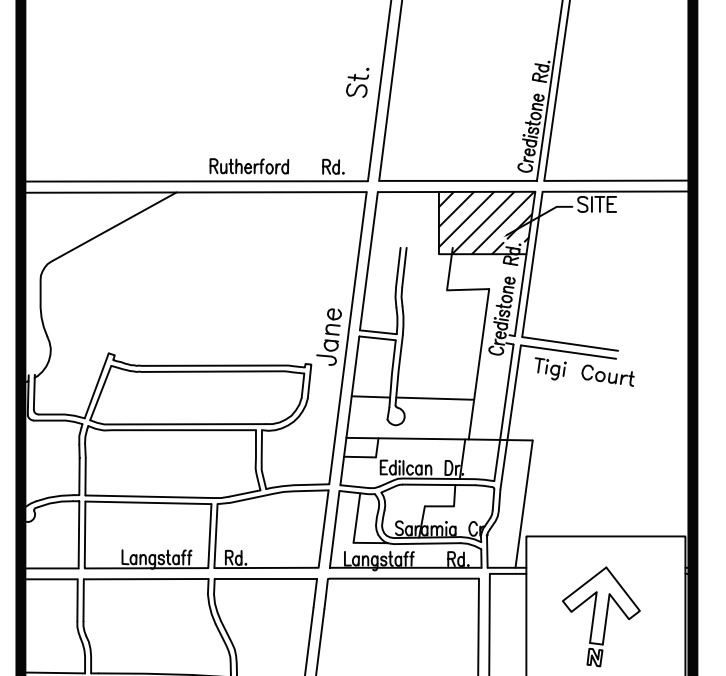
5 BOLLARD DETAIL  
SCALE: 1:20

**BUILDING CLASSIFICATION A, D AND F2**

- Building shall be fully sprinklered.
- Sprinkler dwg. shall be submitted to the City of Vaughan Fire Department prior to occupancy.
- Fire dept. alarm connections shall be within 45m of Municipal Street Hydrant in compliance with Ontario Building Code Regulation 412.40.
- Sprinkler heads shall be extended into all offices, warehouses, etc.
- Automatic battery-operated emergency lighting shall be provided in accordance with the Ontario Building Code.
- All secondary means of egress shall be equipped with self-closing doors etc.
- Portable fire extinguishers shall comply with Ontario Reg. 403/91, SEC. 3.2.3.17.
- Building shall comply with applicable requirements of Reg. 403/97 made under the Fire Marshals Act, as amended.
- A further inspection must be made by the Fire Inspector prior to any storage or occupancy.
- All construction to comply with the applicable requirements of the Ontario Reg. 403/97 made under the Building Code, as amended, and the Ontario Land Surveyors Act, 1983 and amendments under Ontario Reg. 465/03 WILSON AVENUE, DOWNSVIEW 22/98 AND 102/98.

**SITE DEVELOPMENT DATA**

ZONING	C7	
LOT AREA	11,993.48 sq.m.	129,096.73 s.f.
GROSS BUILDING AREAS		
COMMERCIAL BUILDING A	371.60 sq.m.	4,000.00 s.f.
COMMERCIAL BUILDING B	903.15 sq.m.	9,721.75 s.f.
COMMERCIAL BUILDING C	264.75 sq.m.	2,850.00 s.f.
GAS BAR	148.68 sq.m.	1,600.38 s.f.
CAR WASH	137.85 sq.m.	1,483.80 s.f.
TOTAL GROUND FLOOR AREA	1,826.03 sq.m.	19,655.93 s.f.
LOT COVERAGE		
MAX. COVERAGE ALLOWED	[30.00%]	
GROSS GROUND FLOOR AREA	15.22 %	



SITE LOCATION PLAN

**LEGEND**

[Symbol]	PROPOSED FIN. GRADE
[Symbol]	EXISTING FIN. GRADE
[Symbol]	TOP OF CURB
[Symbol]	TOP OF CATCH BASIN
[Symbol]	MAN DOOR LOCATIONS
[Symbol]	DRIVE-IN DR LOCATIONS
[Symbol]	LOADING DOCK DR LOCATIONS
[Symbol]	CATCH BASIN
[Symbol]	CATCH BASIN MANHOLE
[Symbol]	SANITARY MANHOLE
[Symbol]	STORM SEWER MANHOLE
[Symbol]	FIRE HYDRANT
[Symbol]	GAS
[Symbol]	ROOF DRAIN
[Symbol]	HEAVY DUTY ASPHALT PAVING
[Symbol]	DENOTES FINISHED FLOOR
[Symbol]	DENOTES MANHOLE
[Symbol]	DENOTES CATCH BASIN
[Symbol]	DENOTES WATER VALVE
[Symbol]	DENOTES EXISTING GRADE ELEVATION
[Symbol]	DENOTES WATER VALVE
[Symbol]	DENOTES EXISTING GRADE ELEVATION
[Symbol]	DENOTES SNOW STORAGE AREA

**SURVEY NOTES**

L.S.C. DENOTES CONCRETE LAMP STANDARD

UP DENOTES UTILITY POLE

ST DENOTES SIGN

WV DENOTES WATER VALVE

CB DENOTES CATCH BASIN

MWH DENOTES WATER MANHOLE

MHST DENOTES STORM MANHOLE

MHSA DENOTES SANITARY MANHOLE

FH DENOTES FIRE HYDRANT

W- DENOTES OVERHEAD UTILITY WIRES

BB DENOTES BELL BOX

OW DENOTES OIL WIRE

NOTE: EACH HANDICAP PARKING STALL SHALL HAVE A 60x60 BY PERMIT ONLY SIGN POSTED.

**ONTARIO BUILDING CODE DATA - BLDG. "A" OBC REFERENCE**

PROJECT DESCRIPTION	NEW	ALTERATION	CHANGE OF USE	-
MAJOR OCCUPANCY(S)	GROUP D			3.1.2.1.
NUMBER OF STOREYS	ABOVE GRADE = 2	BELOW GRADE = 0		-
HEIGHT OF BUILDING (m)	6.0	FACING -	1 STREET(S)	
BUILDING CLASSIFICATION	GROUP D			3.2.2.56
SPRINKLER SYSTEM PROPOSED	ENTIRE BLDG. BASEMENT ONLY	IN LIEU OF ROOF RATING	NOT REQUIRED	
STANDPIPE REQUIRED	<input type="checkbox"/> YES	<input checked="" type="checkbox"/> NO		3.2.9.1.
FIRE ALARM REQUIRED	<input type="checkbox"/> YES	<input checked="" type="checkbox"/> NO		3.2.4.1.
HIGH BUILDING	<input type="checkbox"/> YES	<input checked="" type="checkbox"/> NO		3.2.6.1.
WATER SERVICE IS ADEQUATE	<input checked="" type="checkbox"/> YES	<input type="checkbox"/> NO		
CONSTRUCTION	<input type="checkbox"/> COMBUSTIBLE	<input type="checkbox"/> NON COMBUSTIBLE	<input checked="" type="checkbox"/> BOTH	3.1.4.1. OR 3.1.5.1.
MEZZANINE(S) AREA	N/A (sq.m.)			
TOTAL OCCUPANCY LOAD	- PERSONS	DESIGN OF BUILDING		3.1.16.
BARRIER-FREE DESIGN	<input type="checkbox"/> YES	<input type="checkbox"/> NO		3.8.1.1.
HAZARDOUS SUBSTANCES	<input type="checkbox"/> YES	<input checked="" type="checkbox"/> NO		

**ONTARIO BUILDING CODE DATA - BLDG. "B" OBC REFERENCE**

PROJECT DESCRIPTION	NEW	ALTERATION	CHANGE OF USE	-
MAJOR OCCUPANCY(S)	GROUP D			3.1.2.1.
NUMBER OF STOREYS	ABOVE GRADE = 1	BELOW GRADE = 0		-
HEIGHT OF BUILDING (m)	6.0	FACING -	1 STREET(S)	
BUILDING CLASSIFICATION	GROUP D			3.2.2.56
SPRINKLER SYSTEM PROPOSED	ENTIRE BLDG. BASEMENT ONLY	IN LIEU OF ROOF RATING	NOT REQUIRED	
STANDPIPE REQUIRED	<input type="checkbox"/> YES	<input checked="" type="checkbox"/> NO		3.2.9.1.
FIRE ALARM REQUIRED	<input type="checkbox"/> YES	<input checked="" type="checkbox"/> NO		3.2.4.1.
HIGH BUILDING	<input type="checkbox"/> YES	<input checked="" type="checkbox"/> NO		3.2.6.1.
WATER SERVICE IS ADEQUATE	<input checked="" type="checkbox"/> YES	<input type="checkbox"/> NO		
CONSTRUCTION	<input type="checkbox"/> COMBUSTIBLE	<input type="checkbox"/> NON COMBUSTIBLE	<input checked="" type="checkbox"/> BOTH	3.1.4.1. OR 3.1.5.1.
MEZZANINE(S) AREA	N/A (sq.m.)			
TOTAL OCCUPANCY LOAD	- PERSONS	DESIGN OF BUILDING		3.1.16.
BARRIER-FREE DESIGN	<input type="checkbox"/> YES	<input type="checkbox"/> NO		3.8.1.1.
HAZARDOUS SUBSTANCES	<input type="checkbox"/> YES	<input checked="" type="checkbox"/> NO		

**ONTARIO BUILDING CODE DATA - BLDG. "C" OBC REFERENCE**

PROJECT DESCRIPTION	NEW	ALTERATION	CHANGE OF USE	-
MAJOR OCCUPANCY(S)	GROUP A2			3.1.2.1.
NUMBER OF STOREYS	ABOVE GRADE = 1	BELOW GRADE = 0		-
HEIGHT OF BUILDING (m)	6.0	FACING -	1 STREET(S)	
BUILDING CLASSIFICATION	GROUP A, DIVISION 2.			3.2.2.27
SPRINKLER SYSTEM PROPOSED	ENTIRE BLDG. BASEMENT ONLY	IN LIEU OF ROOF RATING	NOT REQUIRED	
STANDPIPE REQUIRED	<input type="checkbox"/> YES	<input checked="" type="checkbox"/> NO		3.2.9.1.
FIRE ALARM REQUIRED	<input type="checkbox"/> YES	<input checked="" type="checkbox"/> NO		3.2.4.1.
HIGH BUILDING	<input type="checkbox"/> YES	<input checked="" type="checkbox"/> NO		3.2.6.1.
WATER SERVICE IS ADEQUATE	<input checked="" type="checkbox"/> YES	<input type="checkbox"/> NO		
CONSTRUCTION	<input type="checkbox"/> COMBUSTIBLE	<input type="checkbox"/> NON COMBUSTIBLE	<input checked="" type="checkbox"/> BOTH	3.1.4.1. OR 3.1.5.1.
MEZZANINE(S) AREA	N/A (sq.m.)			
TOTAL OCCUPANCY LOAD	- PERSONS	DESIGN OF BUILDING		3.1.16.
BARRIER-FREE DESIGN	<input type="checkbox"/> YES	<input type="checkbox"/> NO		3.8.1.1.
HAZARDOUS SUBSTANCES	<input type="checkbox"/> YES	<input checked="" type="checkbox"/> NO		

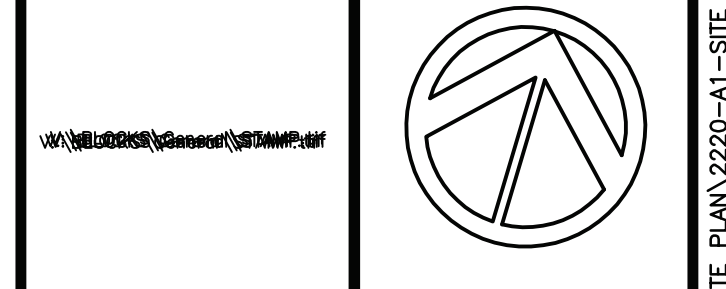
TRINISTAR CORPORATION

6	ISSUED FOR CONSTRUCTION	MAR 28/03
5	CREDITSTONE ENTRANCE REVISED	DEC 06/02
4	REVISED PER CITY COMMENTS	SEP 05/02
3	REVISED AS PER CITY COMMENTS	AUG 12/02
2	ISSUED FOR PERMIT	JULY 22/02
1	ISSUED FOR SITE PLAN APPROVAL	MAY 10/02

**REVISIONS**

CONTRACTORS MUST CHECK AND VERIFY ALL DIMENSIONS AND CONDITIONS ON THE PROJECT AND MUST REPORT ANY DISCREPANCIES TO THE ARCHITECT BEFORE PROCEEDING WITH CONSTRUCTION.

THIS DRAWING MUST NOT BE USED FOR CONSTRUCTION PURPOSES UNTIL SEALED AND SIGNED BY THE ARCHITECT. DO NOT SCALE DRAWINGS.



PROJECT: PROPOSED COMMERCIAL DEVELOPMENT FOR MARUBA INVESTMENTS INC. BLOCK B, RUTHERFORD RD. & CREDITSTONE RD. CITY OF VAUGHAN, ONTARIO

DRAWING: SITE PLAN AND SITE DETAILS  
PLOTTED: Mar. 28/3 2:42 pm

intra architect inc.  
3231 LANGSTAFF ROAD SUITE 204, VAUGHAN ONTARIO L4K 4L2  
TEL: (905) 761-7870  
FAX: (905) 761-7872  
WWW.INTRARCH.COM  
INFO@INTRARCH.COM  
WWW.INTRARCH.COM

DATE: MARCH 16/00 PROJECT No. 2220  
SCALE: AS NOTED DRAWING No. A1  
DRAWN BY: KANTI REVIEWED BY: J.C.



**SCHEDULE B:  
COMMENTS FROM AGENCIES, BUILDING STANDARDS &  
DEVELOPMENT PLANNING**

Department / Agency <small>*Comments Received</small>	Conditions Required		Nature of Comments
Building Standards (Zoning) *See Schedule B	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>	General Comments
Development Planning	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>	Recommend Approval/No Conditions
Alectra	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>	General Comments
TRCA	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>	General Comments



**To:** Christine Vigneault, Committee of Adjustment Secretary Treasurer  
**From:** Nancy Tuckett, Director of Development Planning  
**Date:** June 5, 2024  
**Name of Owner:** Maruba Investment Inc.  
**Location:** 2701 Rutherford Rd, Building C  
**File No.(s):** A060/24

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**Proposed Variance(s) (By-law 001-2021):**

1. To permit the use of a Clinic in Building C on the Subject Lands.

**By-Law Requirement(s) (By-law 001-2021):**

1. The use of a Clinic is not permitted on the Subject Lands.

**Official Plan:**

City of Vaughan Official Plan 2010 ('VOP 2010'): "Prestige Employment"

**Comments:**

The Owner is requesting relief to add a dermatology clinic to the list of permitted uses at a commercial plaza. The subject lands are comprised of 3 commercial buildings and a gas station. The proposed dermatology clinic will be located at Building C of the existing commercial plaza.

Under Zoning By-law 1-88, a "Business or Professional Office" is permitted in the underlying "C7 – Service Commercial Zone", which permits the office of a regulated health professional, lawyer, dentist, etcetera. However, under Zoning By-law 001-2021, a "Business or Professional Office" and/or "Clinic" is not permitted within site-specific exception 14.514 or the underlying "EM1– Prestige Employment Zone".

Policy 10.2.1.4 of VOP 2010 provides opportunity to consider the recognition of legally existing land uses subject to a series of criteria. Development Planning Department Staff has no objection to the proposed variance for the dermatology clinic use as it may be considered a like-use to the existing massage therapy office that is currently operating at Building C. Furthermore, the proposed clinic use does not conflict with any of the existing commercial uses in the plaza, nor does permitting a clinic use to continue within the existing building impede the future redevelopment of the property for EM1 Zone uses in conformity with the Prestige Employment designation. The proposed clinic use is not anticipated to cause any parking deficiencies or negatively impact the operations of the plaza as a whole.

Accordingly, Development Planning Department Staff can support the requested variance and is of the opinion that the proposal is minor in nature, maintains the general intent and purpose of the Official Plan and Zoning By-law, and is desirable for the appropriate development of the land.

**Recommendation:**

Development Planning Department Staff recommends approval of the application.

**Conditions of Approval:**

If the Committee finds merit in the application, the following conditions of approval are recommended:

None.

**Comments Prepared by:**

Alyssa Pangilinan, Planner 1  
David Harding, Senior Planner

## Prabhdeep Kaur

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**From:** Kristen Regier <Kristen.Regier@trca.ca>  
**Sent:** Tuesday, April 23, 2024 11:36 AM  
**To:** Committee of Adjustment  
**Subject:** [External] RE: A060/24 (2701 Rutherford Rd) - REQUEST FOR COMMENTS, CITY OF VAUGHAN

**CAUTION!** This is an external email. Verify the sender's email address and carefully examine any links or attachments before clicking. If you believe this may be a phishing email, please use the Phish Alert Button.

Hello,

The subject property at 2701 Rutherford Road, Vaughan is not located within TRCA's Regulated Area. TRCA's Planning and Regulatory policy interests are not impacted.

As such, TRCA has no comments on the application.

Best,

**Kristen Regier, MA (she / her)**

Planner

Development Planning and Permits | Development and Engineering Services  
Toronto and Region Conservation Authority (TRCA)

T: [437-880-2129](tel:437-880-2129)

E: [kristen.regier@trca.ca](mailto:kristen.regier@trca.ca)

A: [101 Exchange Avenue, Vaughan, ON, L4K 5R6](https://www.trca.ca) | [trca.ca](https://www.trca.ca)





**Date:** April 23<sup>rd</sup> 2024

**Attention:** Christine Vigneault

**RE:**

**File No.:** A060-24

**Related Files:**

**Applicant** Maruba Investments Inc.

**Location** 2701 Rutherford Rd



Discover the possibilities

### COMMENTS:

- We have reviewed the proposed Variance Application and have no comments or objections to its approval.
- We have reviewed the proposed Variance Application and have no objections to its approval, subject to the following comments (attached below).
- We have reviewed the proposed Variance Application and have the following concerns (attached below).

Alectra Utilities (formerly PowerStream) has received and reviewed the proposed Variance Application. This review, however, does not imply any approval of the project or plan.

All proposed billboards, signs, and other structures associated with the project or plan must maintain minimum clearances to the existing overhead or underground electrical distribution system as specified by the applicable standards, codes and acts referenced.

In the event that construction commences, and the clearance between any component of the work/structure and the adjacent existing overhead and underground electrical distribution system violates the Occupational Health and Safety Act, the customer will be responsible for 100% of the costs associated with Alectra making the work area safe. All construction work will be required to stop until the safe limits of approach can be established.

In the event construction is completed, and the clearance between the constructed structure and the adjacent existing overhead and underground electrical distribution system violates the any of applicable standards, acts or codes referenced, the customer will be responsible for 100% of Alectra's cost for any relocation work.

### References:

- Ontario Electrical Safety Code, latest edition (Clearance of Conductors from Buildings)
- Ontario Health and Safety Act, latest edition (Construction Protection)
- Ontario Building Code, latest edition (Clearance to Buildings)
- PowerStream (Construction Standard 03-1, 03-4), attached
- Canadian Standards Association, latest edition (Basic Clearances)

If more information is required, please contact either of the following:

Mr. Stephen Cranley, C.E.T  
Supervisor, Distribution Design, ICI & Layouts (North)  
**Phone:** 1-877-963-6900 ext. 31297

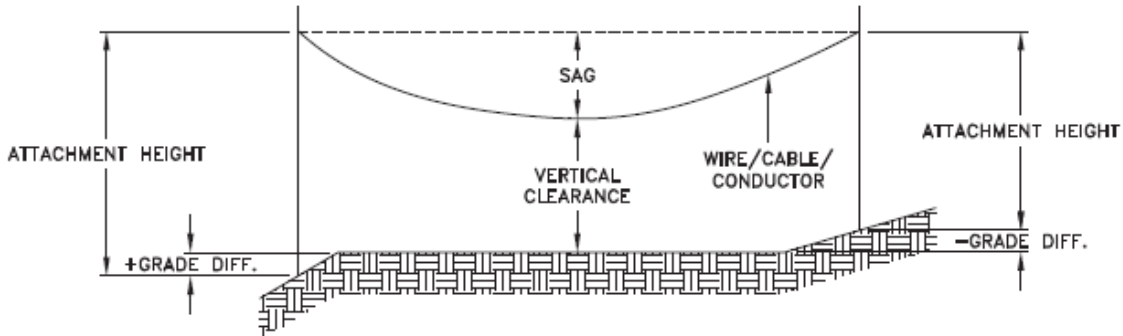
**E-mail:** [stephen.cranley@alectrautilities.com](mailto:stephen.cranley@alectrautilities.com)

Mitchell Penner  
Supervisor, Distribution Design-Subdivisions  
**Phone:** 416-302-6215

**Email:** [Mitchell.Penner@alectrautilities.com](mailto:Mitchell.Penner@alectrautilities.com)



LOCATION OF WIRES, CABLES OR CONDUCTORS	SYSTEM VOLTAGE			
	SPAN GUYS AND COMMUNICATIONS WIRES	UP TO 600V AND NEUTRAL	4.16/2.4kV TO 27.6/16kV (SEE NOTE 1)	44kV
MINIMUM VERTICAL CLEARANCES (SEE NOTE 2)				
OVER OR ALONGSIDE ROADS, DRIVEWAYS OR LANDS ACCESSIBLE TO <u>VEHICLES</u>	442cm	442cm	480cm	520cm
OVER GROUND ACCESSIBLE TO <u>PEDESTRIANS AND BICYCLES ONLY</u>	250cm	310cm	340cm	370cm
ABOVE TOP OF RAIL AT <u>RAILWAY CROSSINGS</u>	730cm	730cm	760cm	810cm



MINIMUM ATTACHMENT HEIGHT = MAXIMUM SAG  
 + MINIMUM VERTICAL CLEARANCE (FROM ABOVE TABLE)  
 ± GRADE DIFFERENCE  
 + 0.3m (VEHICLE OR RAILWAY LOCATION)  
 + SNOW DEPTH (PEDESTRIAN LOCATION, SEE NOTE 3)

**NOTES:**

1. THE MULTIGROUNDED SYSTEM NEUTRAL HAS THE SAME CLEARANCE AS THE 600V SYSTEM.
2. THE VERTICAL CLEARANCES IN THE ABOVE TABLE ARE UNDER MAXIMUM SAG CONDITIONS.
3. REFER TO CSA STANDARD C22.3 No.1, ANNEX D FOR LOCAL SNOW DEPTH VALUES.
4. ALL CLEARANCES ARE IN ACCORDANCE TO CSA STANDARD C22.3.

**CONVERSION TABLE**

METRIC	IMPERIAL (APPROX)
810cm	27'-0"
760cm	25'-4"
730cm	24'-4"
520cm	17'-4"
480cm	16'-0"
442cm	15'-5"
370cm	12'-4"
340cm	11'-4"
310cm	10'-4"
250cm	8'-4"

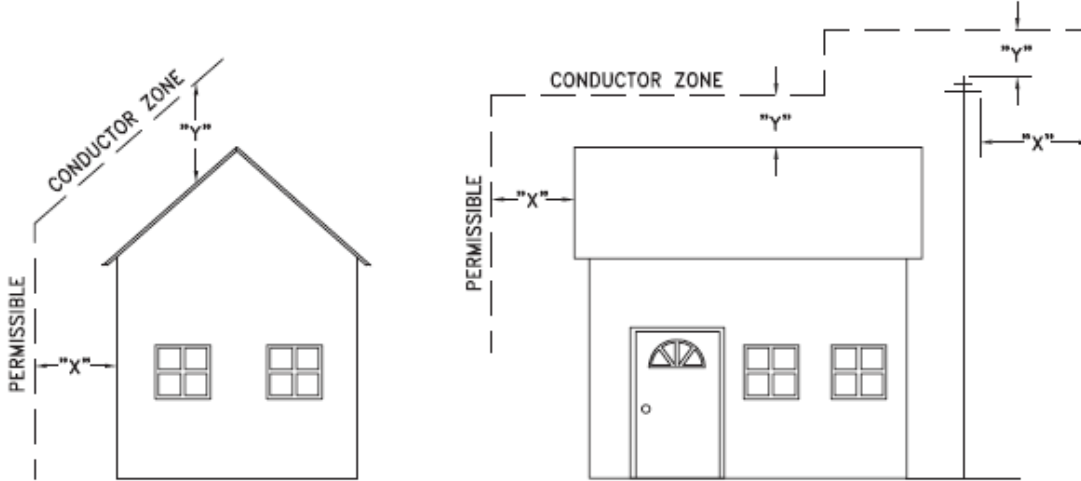
**REFERENCES**

SAGS AND TENSIONS | SECTION 02

**MINIMUM VERTICAL CLEARANCES OF WIRES, CABLES AND CONDUCTORS ABOVE GROUND OR RAILS**

ORIGINAL ISSUE DATE: 2010-DEC-24 REVISION NO: R1 REVISION DATE: 2012-JAN-09

Certificate of Approval	
This construction Standard meets the safety requirements of Section 4 of Regulation 22/04	
Joe Crozier, P.Eng.	2012-JAN-09
Name	Date
P.Eng. Approval By:	Joe Crozier



VOLTAGE	MINIMUM HORIZONTAL CLEARANCE UNDER MAXIMUM SWING CONDITIONS DIMENSION "X" (SEE NOTES 1, 3 & 4)	MINIMUM VERTICAL CLEARANCE UNDER MAXIMUM DESIGN SAG CONDITIONS DIMENSION "Y" (SEE NOTES 1, 2, 4 & 5)
0-600V AND NEUTRAL	100cm	250cm
4.16/2.4 TO 44kV	300cm	480cm

**NOTES**

1. UNDER NO CIRCUMSTANCES SHALL A CONDUCTOR BE PERMITTED TO PENETRATE THE ENVELOPE SHOWN BY THE DOTTED LINE.
2. THE VERTICAL CLEARANCES ARE UNDER CONDITIONS OF MAXIMUM DESIGN SAG.
3. THE HORIZONTAL CLEARANCES ARE UNDER CONDITIONS OF MAXIMUM SWING. WHERE THE CONDUCTOR SWING IS NOT KNOWN A HORIZONTAL CLEARANCE OF 480CM SHALL BE USED.
4. BUILDINGS THAT EXCEED 3 STOREYS OR 15M IN HEIGHT, THE MINIMUM HORIZONTAL CLEARANCE OF THE SECONDARY CONDUCTORS SHOULD BE INCREASED TO 300cm WHERE IT IS NECESSARY TO ALLOW FOR THE RAISING OF LADDERS BY LOCAL FIRE DEPARTMENTS.
5. IN SITUATIONS SUCH AS MULTI-LEVEL GARAGES, WHERE ROOFS ARE NORMALLY USED BY PERSONS AND VEHICLES, THE VERTICAL CLEARANCES OF POWERSTREAM STANDARD 03-1 SHALL APPLY.
6. DISTRIBUTION LINES CONSTRUCTED NEAR BUILDINGS SHALL BE BUILT TO AVOID OVERHANG WHEREVER POSSIBLE. WHERE LINES MUST BE CONSTRUCTED OVER OR ADJACENT TO BUILDINGS THE APPLICABLE HORIZONTAL AND VERTICAL CLEARANCES SHALL BE AT CONDITIONS OF MAXIMUM CONDUCTOR SWING AND MAXIMUM SAG. THE ABOVE CLEARANCES ARE DESIGNED TO PREVENT PERSONS ON OR IN BUILDINGS AS WELL AS EXTERNAL MACHINERY USED IN CONJUNCTION WITH A BUILDING TO COME IN CONTACT WITH CONDUCTORS. EFFORTS SHOULD BE MADE TO INCREASE THESE CLEARANCES WHERE POSSIBLE.
7. ALL CLEARANCES ARE IN ACCORDANCE TO CSA C22.3 NO.1-06 (TABLE-9).

METRIC	IMPERIAL (APPROX)
480cm	16'-0"
300cm	10'-0"
250cm	8'-4"
100cm	3'-4"

**MINIMUM VERTICAL & HORIZONTAL CLEARANCES OF CONDUCTORS FROM BUILDINGS OR OTHER PERMANENT STRUCTURES (CONDUCTORS NOT ATTACHED TO BUILDINGS)**

**Certificate of Approval**  
This construction Standard meets the safety requirements of Section 4 of Regulation 22/04  
Debbie Dadwani, P.Eng. 2010-MAY-05  
Name Date  
P. Eng. Approval By: *D. Dadwani*

ORIGINAL ISSUE DATE: 2010-MAY-05 REVISION NO: REVISION DATE:  
PS:\System Planning and Standards\Standard Design\PowerStream Standards\PowerStream Standards working files\Section 3-1-02\WG 03-4 R0 May 5, 2010.dwg, 5/5/2010 10:22:02 AM, Adobe PDF



**To:** Committee of Adjustment  
**From:** Catherine Saluri, Building Standards Department  
**Date:** April 23, 2024  
**Applicant:** Maruba Investments Inc.  
**Location:** 2701 Rutherford Rd, Building C  
 PLAN 65M3354 Block 8  
**File No.(s):** A060/24

**Zoning Classification:**

The subject lands are zoned EM1, PRESTIGE EMPLOYMENT ZONE and subject to the provisions of Exception 14.514 under Zoning By-law 001-2021.

#	Zoning By-law 001-2021	Variance requested
1	The use of a Clinic is not permitted on the subject lands. Subsection [11.2.1 Permitted Uses in the Employment Zones and Table Permitted Uses in the Employment Zones, and Exception 14.514]	To permit the use of a Clinic in Building C on the subject lands.

**Staff Comments:**

**Other Comments:**

General Comments	
1	The applicant shall be advised that additional variances may be required upon review of detailed drawing for building permit.

**Conditions of Approval:**

If the committee finds merit in the application, the following conditions of approval are recommended.

None

\* Comments are based on the review of documentation supplied with this application.

**SCHEDULE C: PUBLIC & APPLICANT CORRESPONDENCE**

<b>Correspondence Type</b>	<b>Name</b>	<b>Address</b>	<b>Date Received (mm/dd/yyyy)</b>	<b>Summary</b>
Applicant			04/12/2024	Application Cover Letter



April 8, 2024

**The City of Vaughan**

2141 Major Mackenzie Drive  
Vaughan, Ontario  
L6A 1T1

**Attention: Committee of Adjustment, Office of the City Clerk**

**RE: Minor Variance Application  
2701 Rutherford Road, Building C  
City of Vaughan**

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The subject property located at 2701 Rutherford Road in the City of Vaughan is an existing commercial property, which includes uses such as a day spa, children's discovery centre, convenience restaurant, and a gas bar with car wash. The previous zoning designation under Zoning By-law 1-88 was C7 Service Commercial Zone. The current designation under Zoning By-law 001-2021 is EM1 Prestige Employment Zone.

The current use in Building C is an Office of a Regulated Health Professional (Massage Therapy), however the current user will soon be vacating this building. The proposed new use is also an Office of a Regulated Health Professional (Dermatology). As a result of the change in zoning designations from C7 to EM1, this use is no longer permitted. Therefore, the purpose of this minor variance application is to permit the use of a Regulated Health Professional Office to continue in order to facilitate the approval of a future application for an interior alteration building permit.

Thank you.

Yours truly,

*Tina Arruda*

Tina Arruda,  
Planner, Projects & Approvals



## SCHEDULE D: BACKGROUND

None