

<b>ITEM: 6.8</b>	<b>REPORT SUMMARY MINOR VARIANCE APPLICATION FILE NUMBER A052/24</b>
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Report Date: June 14, 2024

**THIS REPORT CONTAINS COMMENTS FROM THE FOLLOWING  
DEPARTMENTS & AGENCIES (SEE SCHEDULE B):**

Additional comments from departments and agencies received after the publication of the report will be made available on the City's [website](#).

Internal Departments <small>*Comments Received</small>	Conditions Required		Nature of Comments
Committee of Adjustment	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>	General Comments
Building Standards (Zoning)	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>	General Comments
Development Planning	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>	Recommend Approval/No Conditions
Development Engineering	Yes <input checked="" type="checkbox"/>	No <input type="checkbox"/>	Recommend Approval w/Conditions
Development Finance	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>	General Comments

External Agencies <small>*Comments Received</small>	Conditions Required		Nature of Comments <small>*See Schedule B for full comments</small>
Alectra	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>	General Comments
TRCA	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>	General Comments
Region of York	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>	General Comments

<b>PUBLIC &amp; APPLICANT CORRESPONDENCE (SEE SCHEDULE C)</b>				
<p>All personal information collected because of this public meeting (including both written and oral submissions) is collected under the authority of the Municipal Act, the Municipal Freedom of Information and Protection of Privacy Act (MFIPPA), the Planning Act and all other relevant legislation, and will be used to assist in deciding on this matter. All personal information (as defined by MFIPPA), including (but not limited to) names, addresses, opinions and comments collected will become property of the City of Vaughan, will be made available for public disclosure (including being posted on the internet) and will be used to assist the Committee of Adjustment and staff to process this application.</p>				
Correspondence Type	Name	Address	Date Received <small>(mm/dd/yyyy)</small>	Summary
Applicant			09/29/2023	Application Cover Letter

<b>BACKGROUND (SCHEDULE D, IF REQUIRED)</b>	
<p style="text-align: center;"><small>* Background Information contains historical development approvals considered to be related to this file. This information should not be considered comprehensive.</small></p>	
Application No. (City File)	Application Description <small>(i.e. Minor Variance Application; Approved by COA / OLT)</small>
N/A	N/A

<b>ADJOURNMENT HISTORY</b>	
<p style="text-align: center;"><small>* Previous hearing dates where this application was adjourned by the Committee and public notice issued.</small></p>	
Hearing Date	Reason for Adjournment (to be obtained from NOD_ADJ)
N/A	N/A

<b>SCHEDULES</b>	
<b>Schedule A</b>	Drawings & Plans Submitted with the Application
<b>Schedule B</b>	Comments from Agencies, Building Standards & Development Planning
<b>Schedule C (if required)</b>	Public & Applicant Correspondence
<b>Schedule D (if required)</b>	Background



## MINOR VARIANCE APPLICATION FILE NUMBER A052/24

<b>CITY WARD #:</b>	1
<b>APPLICANT:</b>	Mary Savoia
<b>AGENT:</b>	Gino Savoia
<b>PROPERTY:</b>	132 Coldspring Road, Kleinburg
<b>ZONING DESIGNATION:</b>	See below.
<b>VAUGHAN OFFICIAL PLAN (2010) DESIGNATION:</b>	Vaughan Official Plan 2010 ('VOP 2010'): "Low-Rise Residential"
<b>RELATED DEVELOPMENT APPLICATIONS:</b>	None
<b>PURPOSE OF APPLICATION:</b>	Relief from the Zoning By-law is being requested to permit a proposed detached garage.

The following variances are being requested from the City's Zoning By-law to accommodate the above proposal:

**The subject lands are zoned RE(EN) – Estate Residential Zone (Established Neighbourhood) and subject to the provisions of Exception 14.33 under Zoning By-law 001-2021, as amended.**

#	Zoning By-law 001-2021	Variance requested
1	A maximum of one detached private garage or an attached private garage shall be permitted on a lot. [Section 4.1.5.1]	To permit a detached private garage on a lot with an existing attached private garage.
2	The maximum gross floor area of a detached private garage shall be 75.0m <sup>2</sup> . [Section 4.1.5.3]	To permit a maximum gross floor area of 82.68m <sup>2</sup> for the detached private garage.
3	Where the height of the detached private garage exceeds 3.0m., the minimum interior side lot line setback shall be 1.8m. [Section 4.1.5.5.b]	To permit a minimum interior side lot line setback of 1.25m for the detached private garage.

### HEARING INFORMATION

**DATE OF MEETING:** Thursday, June 20, 2024

**TIME:** 6:00 p.m.

**MEETING LOCATION:** Vaughan City Hall, Woodbridge Room (2<sup>nd</sup> Floor), 2141 Major Mackenzie Drive

**LIVE STREAM LINK:** [Vaughan.ca/LiveCouncil](http://Vaughan.ca/LiveCouncil)

#### PUBLIC PARTICIPATION

If you would like to speak to the Committee of Adjustment at the meeting, either remotely or in person, please complete the [Request to Speak Form](#) and submit to [cofa@vaughan.ca](mailto:cofa@vaughan.ca)

If you would like to submit written comments, please quote file number above and submit by mail or email to:

**Email:** [cofa@vaughan.ca](mailto:cofa@vaughan.ca)

**Mail:** City of Vaughan, Office of the City Clerk, Committee of Adjustment, 2141 Major Mackenzie Drive, Vaughan, ON, L6A 1T1

To speak electronically, pre-registration is required by completing the [Request to Speak Form](#) on-line and submitting it to [cofa@vaughan.ca](mailto:cofa@vaughan.ca) no later than NOON on the last business day before the meeting.

**THE DEADLINE TO REGISTER TO SPEAK ELECTRONICALLY OR SUBMIT WRITTEN COMMENTS ON THE ABOVE NOTED FILE(S) IS NOON ON THE LAST BUSINESS DAY BEFORE THE MEETING.**

## INTRODUCTION

Staff and Agencies act as advisory bodies to the Committee of Adjustment. The comments contained in this report are presented as recommendations to the Committee.

Section 45(1) of the Planning Act sets the criteria for authorizing minor variances to the City of Vaughan's Zoning By-law. Accordingly, review of the application may consider the following:

That the general intent and purpose of the by-law will be maintained.

That the general intent and purpose of the official plan will be maintained.

That the requested variance(s) is/are acceptable for the appropriate development of the subject lands.

That the requested variance(s) is/are minor in nature.

Public written and oral submissions relating to this application are taken into consideration by the Committee of Adjustment as part of its deliberations and final decision on this matter.

## COMMITTEE OF ADJUSTMENT

<b>Date Public Notice Mailed:</b>	June 6, 2024
<b>Date Applicant Confirmed Posting of Sign:</b>	June 2, 2024
<b>Applicant Justification for Variances:</b> <small>*As provided in Application Form</small>	The purpose of my application is to construct a detached garage.
<b>Was a Zoning Review Waiver (ZRW) Form submitted by Applicant:</b> <small>*ZRW Form may be used by applicant in instances where a revised submission is made, and zoning staff do not have an opportunity to review and confirm variances prior to the issuance of public notice.</small>	Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>
<b>COMMENTS:</b>	
None	
<b>Committee of Adjustment Recommended Conditions of Approval:</b>	None

## BUILDING STANDARDS (ZONING)

<b>**See Schedule B for Building Standards (Zoning) Comments</b>	
<b>Building Standards Recommended Conditions of Approval:</b>	None

## DEVELOPMENT PLANNING

<b>**See Schedule B for Development Planning Comments.</b>	
<b>Development Planning Recommended Conditions of Approval:</b>	None

## DEVELOPMENT ENGINEERING

[Link to Grading Permit](#)   [Link to Pool Permit](#)   [Link to Curb Curt Permit](#)   [Link Culvert Installation](#)

As the proposed detached garage in the subject property is 82.68 m<sup>2</sup>, the Owner / Applicant needs to obtain a Lot Grading Permit from Development Inspection and Lot Grading Division of the City's Development Engineering Department. Please note any in-ground structure over 10 m<sup>2</sup> requires a Grading Permit. Please contact the Development Engineering Reviewer after receiving the Grading Permit to clear the condition. (Conditions attached) The Development Engineering Department does not object to the Minor Variance application A052/24, subject to the following condition(s):

<b>Development Engineering Recommended Conditions of Approval:</b>	The Owner/Applicant shall submit an application and obtain an approved Grading Permit before initiating any work on the property. The Final Lot Grading and/or Servicing Plan will be required for the Grading Permit Application. Please visit the Permits page of the City of Vaughan's website: <a href="https://www.vaughan.ca/about-city-vaughan/departments/development-engineering/permits">https://www.vaughan.ca/about-city-vaughan/departments/development-engineering/permits</a> to apply for a Grading Permit. For any inquiries regarding the Grading Permit, please email <a href="mailto:DEPermits@vaughan.ca">DEPermits@vaughan.ca</a> .
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## PARKS, FORESTRY & HORTICULTURE (PFH)

No comments received to date.
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**PARKS, FORESTRY & HORTICULTURE (PFH)**

<b>PFH Recommended Conditions of Approval:</b>	None
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**DEVELOPMENT FINANCE**

No comment no concerns.	
<b>Development Finance Recommended Conditions of Approval:</b>	None

**BY-LAW AND COMPLIANCE, LICENSING AND PERMIT SERVICES**

No comments received to date.	
<b>BCLPS Recommended Conditions of Approval:</b>	None

**BUILDING INSPECTION (SEPTIC)**

No comments received to date.	
<b>Building Inspection Recommended Conditions of Approval:</b>	None

**FIRE DEPARTMENT**

No comments received to date.	
<b>Fire Department Recommended Conditions of Approval:</b>	None

**RECOMMENDED CONDITIONS OF APPROVAL SUMMARY**

Should the Committee find it appropriate to approve this application in accordance with request and the sketch submitted with the application, as required by Ontario Regulation 200/96, the following conditions have been recommended:

#	DEPARTMENT / AGENCY	CONDITION
1	Development Engineering <a href="mailto:Rex.bondad@vaughan.ca">Rex.bondad@vaughan.ca</a>	The Owner/Applicant shall submit an application and obtain an approved Grading Permit before initiating any work on the property. The Final Lot Grading and/or Servicing Plan will be required for the Grading Permit Application. Please visit the Permits page of the City of Vaughan's website: <a href="https://www.vaughan.ca/about-city-vaughan/departments/development-engineering/permits">https://www.vaughan.ca/about-city-vaughan/departments/development-engineering/permits</a> to apply for a Grading Permit. For any inquiries regarding the Grading Permit, please email <a href="mailto:DEPermits@vaughan.ca">DEPermits@vaughan.ca</a> .

*All conditions of approval, unless otherwise stated, are considered to be incorporated into the approval "if required". If a condition is no longer required after an approval is final and binding, the condition may be waived by the respective department or agency requesting conditional approval. A condition cannot be waived without written consent from the respective department or agency.*

**IMPORTANT INFORMATION**

**CONDITIONS:** It is the responsibility of the owner/applicant and/or authorized agent to obtain and provide a clearance letter from respective department and/or agency (**see condition chart above for contact**). This letter must be provided to the Secretary-Treasurer to be finalized. All conditions must be cleared prior to the issuance of a Building Permit.

## IMPORTANT INFORMATION

**APPROVALS:** Making any changes to your proposal after a decision has been made may impact the validity of the Committee's decision.

An approval obtained from the Committee of Adjustment, where applicable, is tied to the building envelope shown on the plans and drawings submitted with the application and subject to the variance approval.

A building envelope is defined by the setbacks of the buildings and/or structures shown on the plans and drawings submitted with the application, as required by Ontario Regulation 200/96. Future development outside of an approved building envelope, where a minor variance was obtained, must comply with the provisions of the City's Zoning By-law.

Elevation drawings are provided to reflect the style of roof (i.e. flat, mansard, gable etc.) to which a building height variance has been applied. Where a height variance is approved, building height is applied to the style of roof (as defined in the City's Zoning By-law) shown on the elevation plans submitted with the application.

Architectural design features that are not regulated by the City's Zoning By-law are not to be considered part of an approval unless specified in the Committee's decision.

**DEVELOPMENT CHARGES:** That the payment of the Regional Development Charge, if required, is payable to the City of Vaughan before issuance of a building permit in accordance with the Development Charges Act and the Regional Development Charges By-law in effect at the time of payment.

That the payment of the City Development Charge, if required, is payable to the City of Vaughan before issuance of a building permit in accordance with the Development Charges Act and the City's Development Charges By-law in effect at the time of payment.

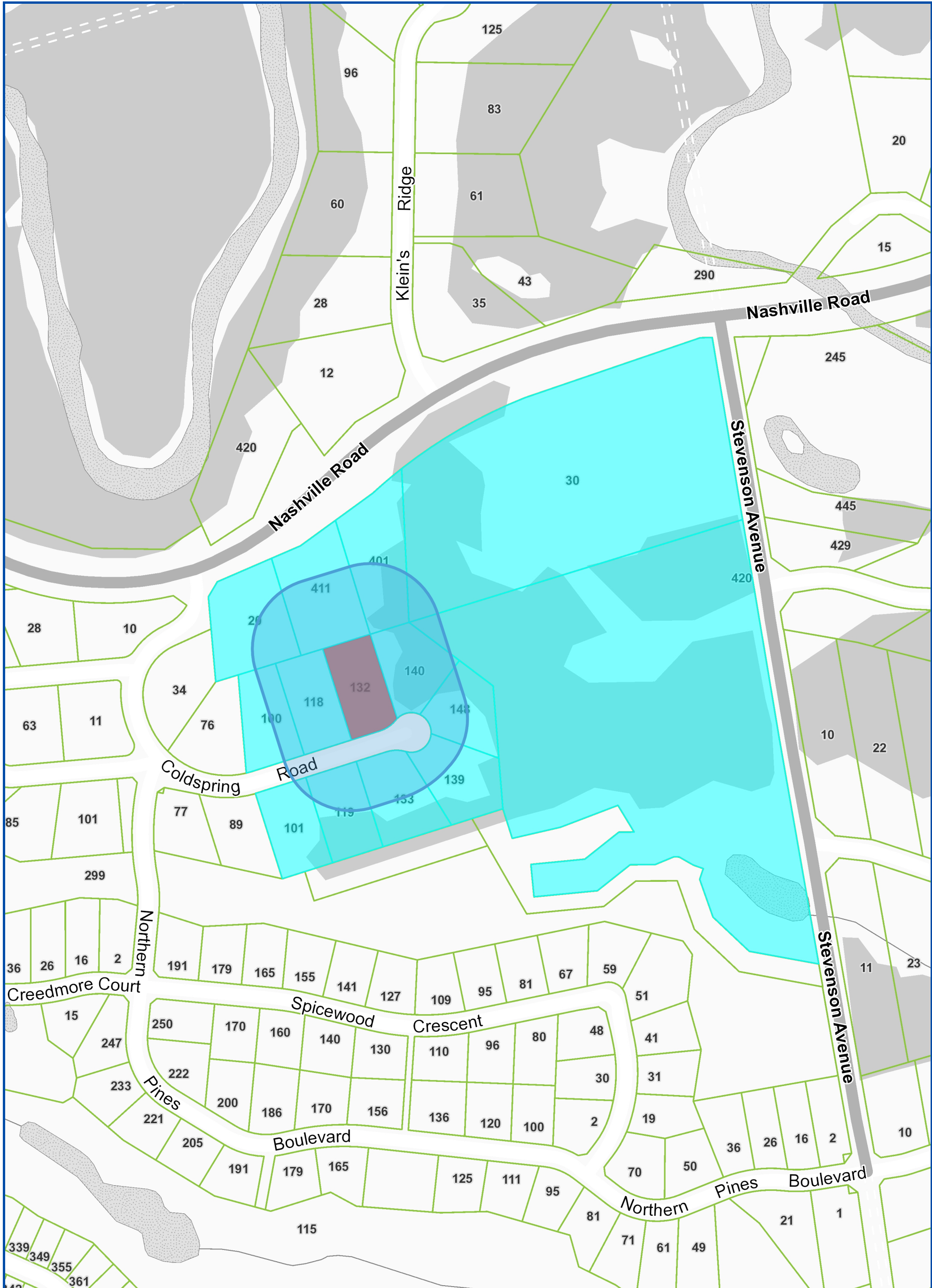
That the payment of the Education Development Charge if required, is payable to the City of Vaughan before issuance of a building permit in accordance with the Development Charges Act and the Boards of Education By-laws in effect at the time of payment

That the payment of Special Area Development charge, if required, is payable to the City of Vaughan before issuance of a building permit in accordance with the Development Charges Act and The City's Development Charge By-law in effect at the time of Building permit issuance to the satisfaction of the Reserves/Capital Department.

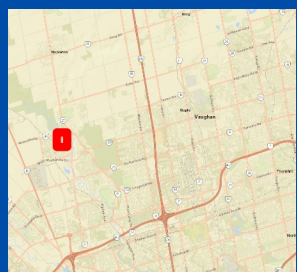
**NOTICE OF DECISION:** If you wish to be notified of the decision in respect to this application or a related Ontario Land Tribunal (OLT) hearing you must complete a Request for Decision form and submit to the Secretary Treasurer (ask staff for details). In the absence of a written request to be notified of the Committee's decision you will **not** receive notice.

**SCHEDULE A: DRAWINGS & PLANS**





Map Information:



Title:

## NOTIFICATION MAP - A052/24

### 132 Coldspring Road, Kleinburg

Disclaimer:

Every reasonable effort has been made to ensure that the information appearing on this map is accurate and current. We believe the information to be reliable, however the City of Vaughan assumes no responsibility or liability due to errors or omissions. Please report any discrepancies to Infrastructure Programming.



Scale: 1:4,514

0 0.07 km



Created By:

Infrastructure Delivery  
Department  
March 21, 2024 4:03 PM

Projection:  
NAD 83  
UTM Zone  
17N

# Design Drawings

for a

## Proposed Detached Garage

to be constructed at

### 132 Coldspring Road

in the

### City of Vaughan, Ontario

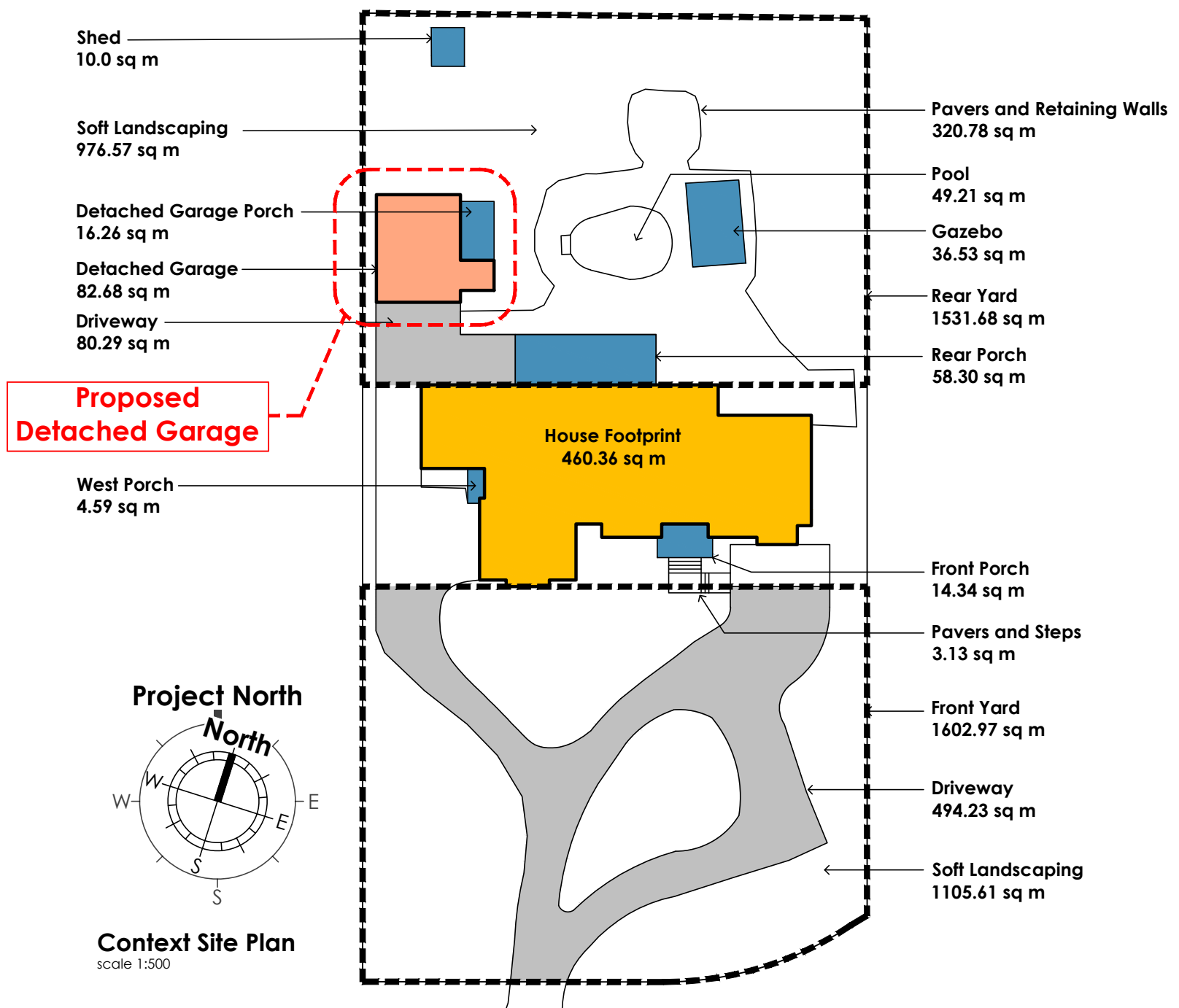
## Table of Contents

- A1 Cover and Context Site Plan
- A2 Site Plan
- A3 Plans and Site Plan Statistics
- A4 Elevations
- A5 Elevations

**Zoning Classification:**

The subject lands are zoned RE(EN) – Estate Residential Zone (Established Neighbourhood) and subject to the provisions of Exception 14.33 under Zoning By-law 001-2021, as amended.

#	Zoning By-law 001-2021	Variance requested
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3	Where the height of the detached private garage exceeds 3.0m., the minimum interior side lot line setback shall be 1.8m. [Section 4.1.5.5.b]	To permit a minimum interior side lot line setback of 1.25m for the detached private garage.





**See sheet A1 for Zoning Classification table that identifies the three variances.**

**Proposed Detached Garage**

**1.25 m #3**

**No. 118  
1 Storey  
Brick Dwelling**

**No. 132  
Existing 2 Storey  
Stone and Brick  
Single Detached Dwelling**

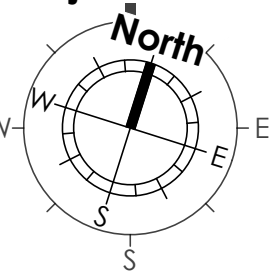
**No. 140  
2 Storey  
Concrete Dwelling**

**For site grading information refer to plans prepared by Guido Papa Surveying with reference no. 21-18-018-02**

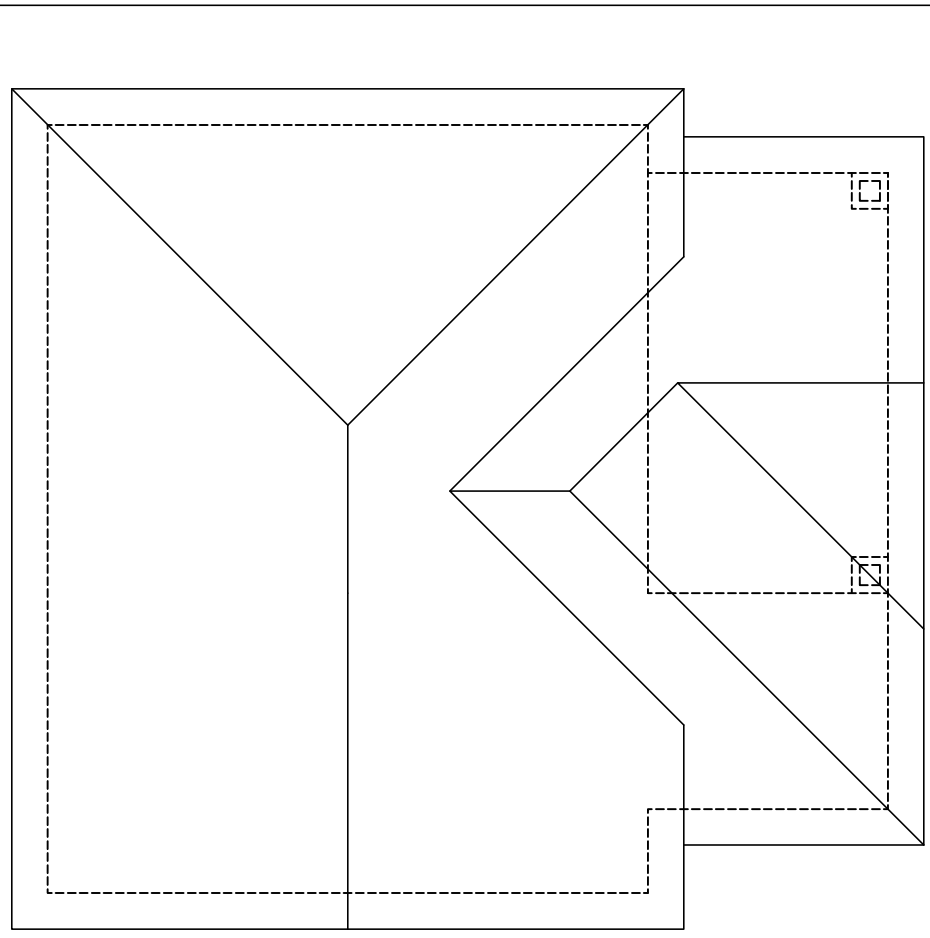
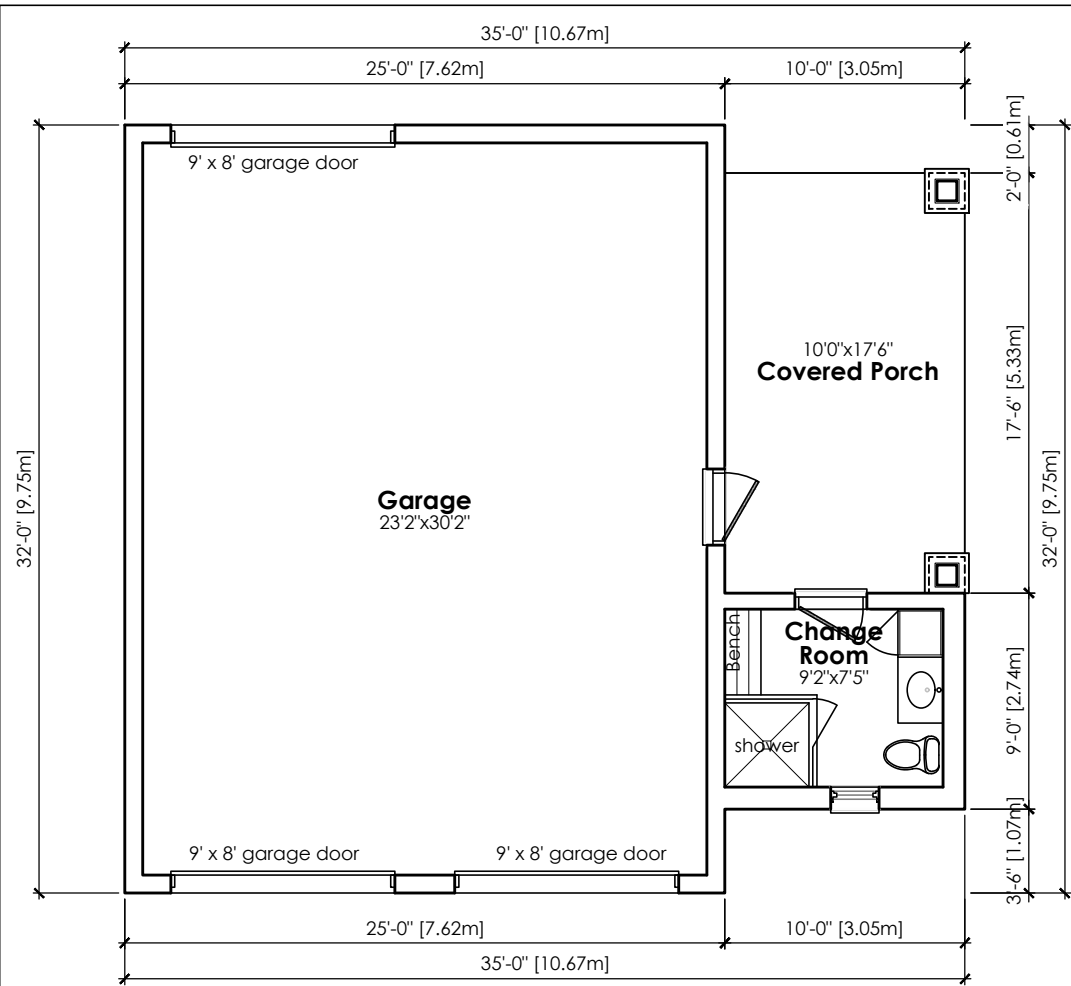
**See sheet A3 for Site Plan Statistics**

Revisions #	Description	Date	By
1.	added grade elevations at accessory structures	2024-04-04	JM
2.	added eaves (roof overhangs) and dimensions for the detached garage and shed	2024-04-04	JM
3.	added retaining wall label	2024-04-09	JM
4.	Finalize plans for committee/public review	2024-05-03	JM

**Project North**



**Coldspring Road**



**Ground Floor Plan**

**Detached Garage Plan**

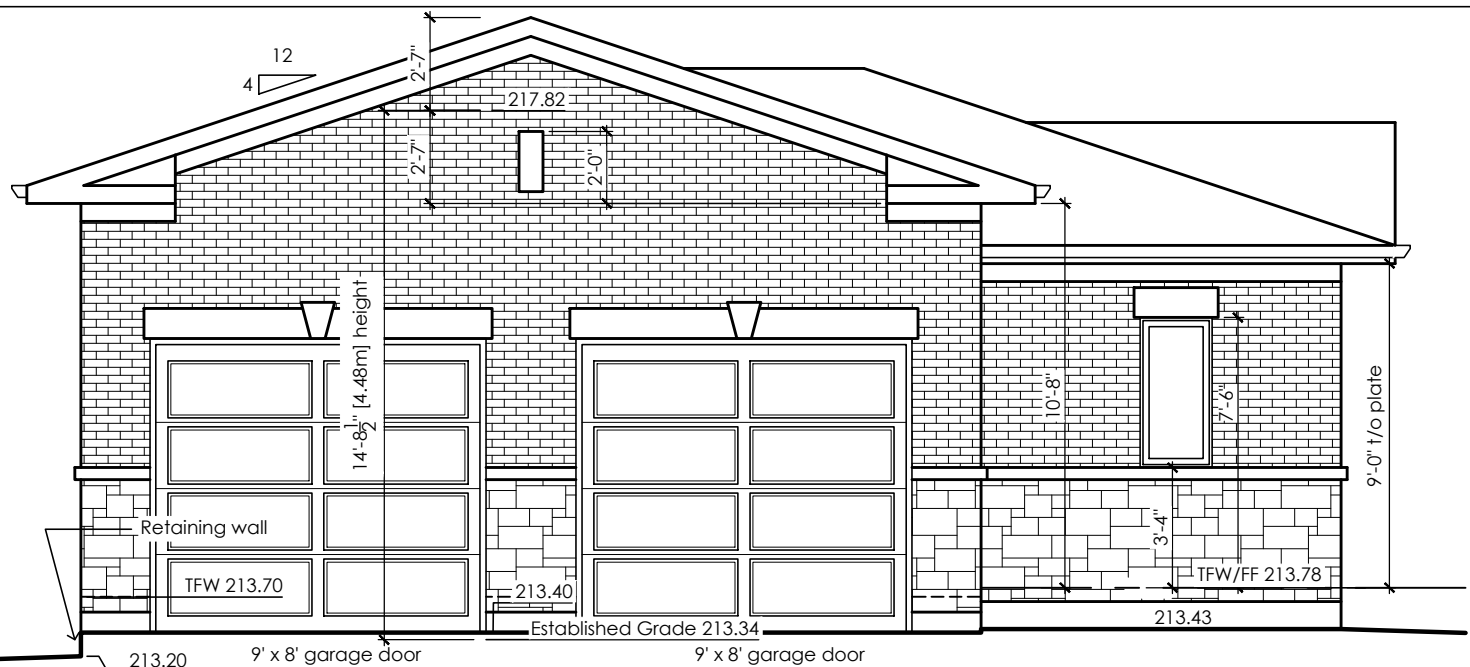
Garage area 800 sq ft, 74.32 sq m  
 Change room area 90 sq ft, 8.36 sq m  
 Change room porch area 175 sq ft, 16.26 sq m



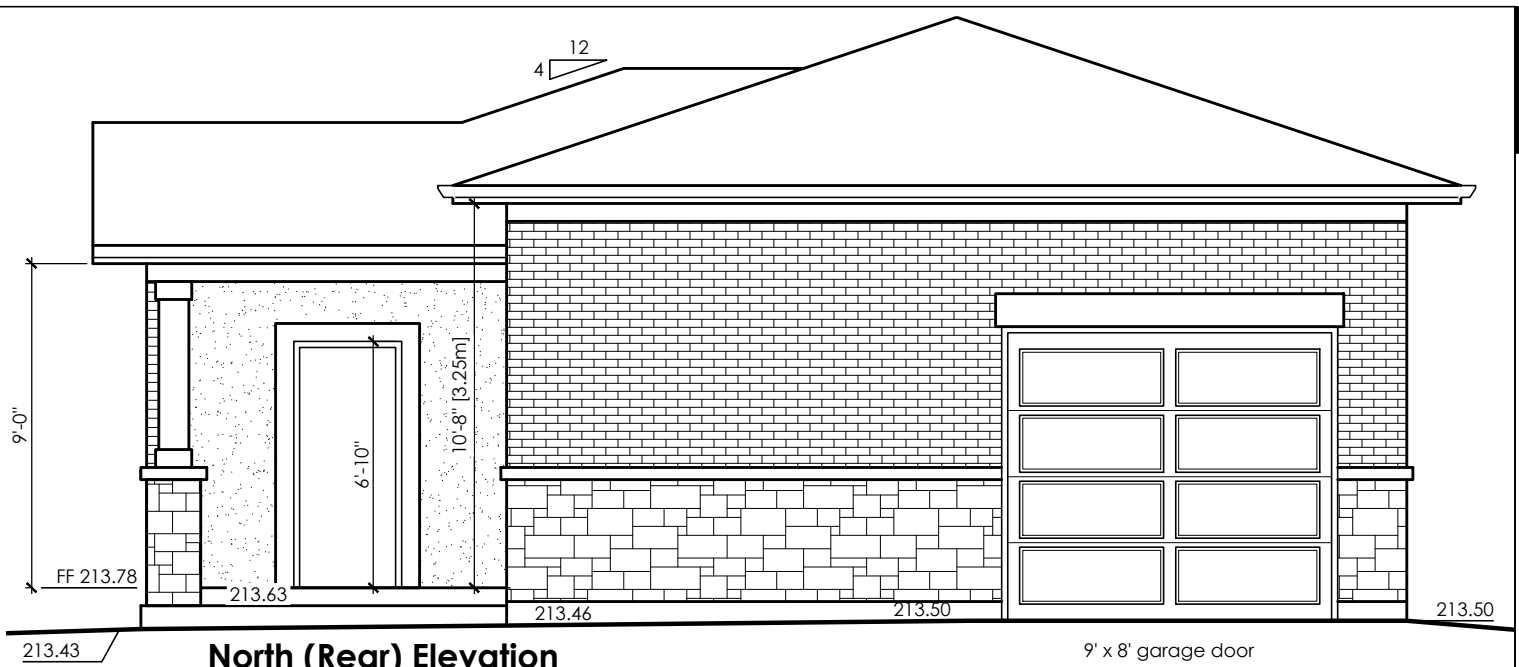
Zoning By-laws	ZBL 001-2021			Provided	
	RE (EN)		Reference		
<b>Zone Provisions for a Detached Garage</b>					
Lot area					3971 sq m
Permitted detached garages with existing attached garage	0		4.1.5.1.		<b>1</b>
Maximum height (see calculation)	4.5 m		4.1.5.2.		4.48 m
Maximum gross floor area	75 sq m		4.1.5.3.		<b>82.68 sq m</b>
Maximum width	8.0 m		4.1.5.5.a.		7.62 m
Minimum rear yard (north)	0.6 m		4.1.5.5.b.		16.38 m
Minimum interior side yard (west)	1.8 m		4.1.5.5.b.		<b>1.25 m</b>
Minimum distance to the principal building	1.8 m		4.1.5.5.c.		7.50 m
Minimum distance to the principal dwelling	2.0 m		4.1.5.6.		7.50 m
<b>General Provisions</b>					
Maximum accessory building coverage	10%	67 sq m	4.1.3.1	1.61%	64.10 sq m
Permitted accessory buildings, excluding detached garage	3		4.1.1.5.		3
<b>Rear Yard Landscape Calculations</b>					
Rear yard area	1531.68 sq m				
Driveway area	80.29 sq m				
Other hard landscape area (unit pavers, patio stones, concrete, etc.)	320.78 sq m				
Pool area	49.21 sq m				
Detached garage area	82.68 sq m				
Detached garage porch area	16.26 sq m				
Gazebo area	37.16 sq m				
Shed area	10.68 sq m				
Rear porch area	58.30 sq m				
Total accessory coverage area (Gazebo + Shed + Garage porch )	64.10 sq m				
Total structures area (Total accessory coverage area + Garage)	146.78 sq m				
Total landscape area	1384.90 sq m				
Total hard landscape area	450.28 sq m				
Total soft landscape areas	934.62 sq m				
Soft landscape area	67.49%				
<b>Maximum height calculation for detached garage</b>					
Established grade elevation	213.34 m				
Mean of roof elevation	217.82 m				
<b>Height (4.5 m max.)</b>	4.48 m				

#	Description	Date	By
1.	Revised shed and gazebo areas	2024-04-04	JM
2.	Revised for new height calculations	2024-04-15	JM
3.	Finalize plans for committee/public review	2024-05-03	JM

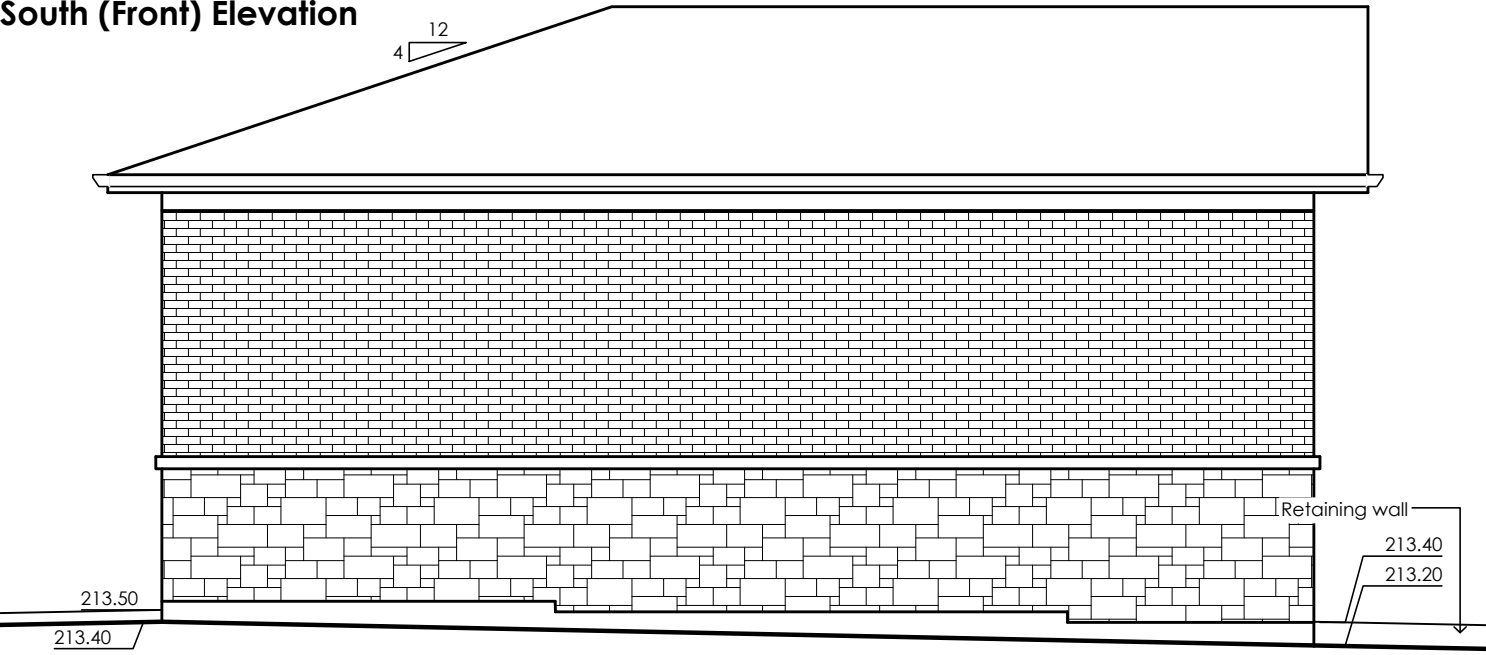
**See sheet A1 for Zoning Classification table that identifies the three variances.**



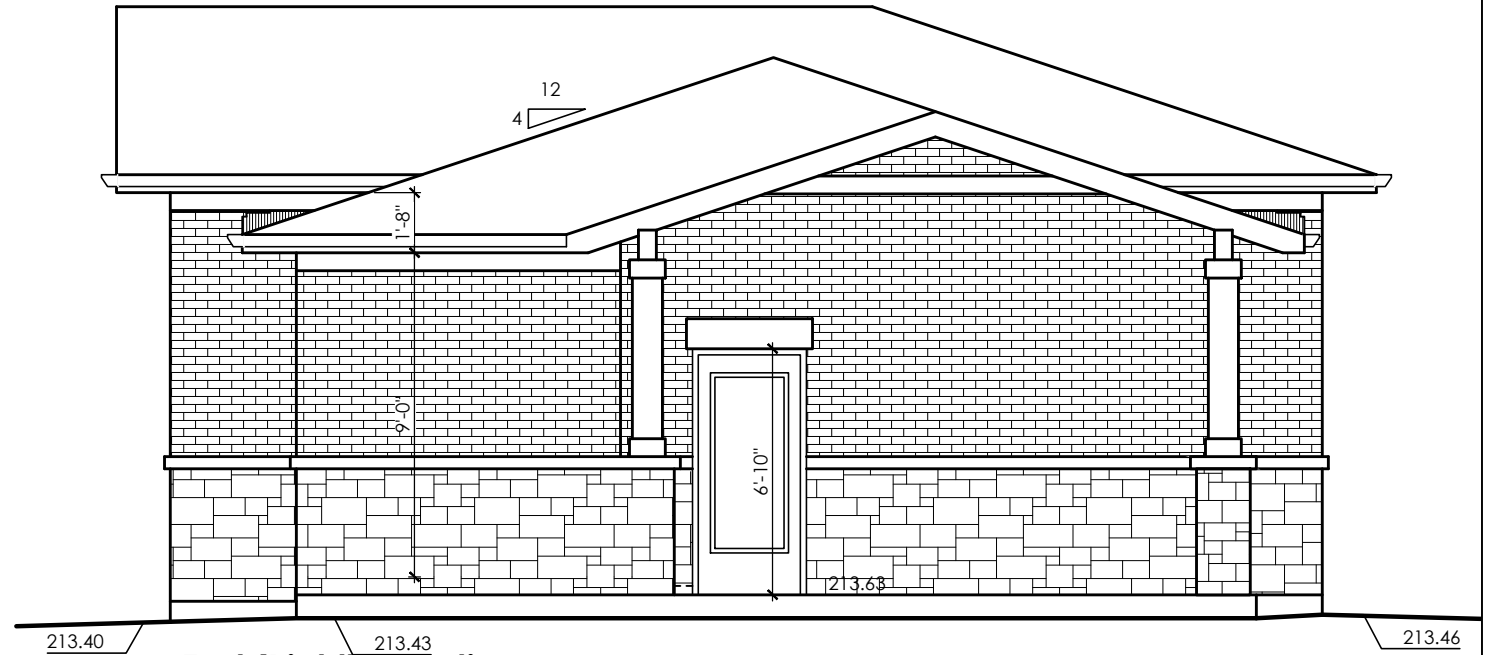
**South (Front) Elevation**



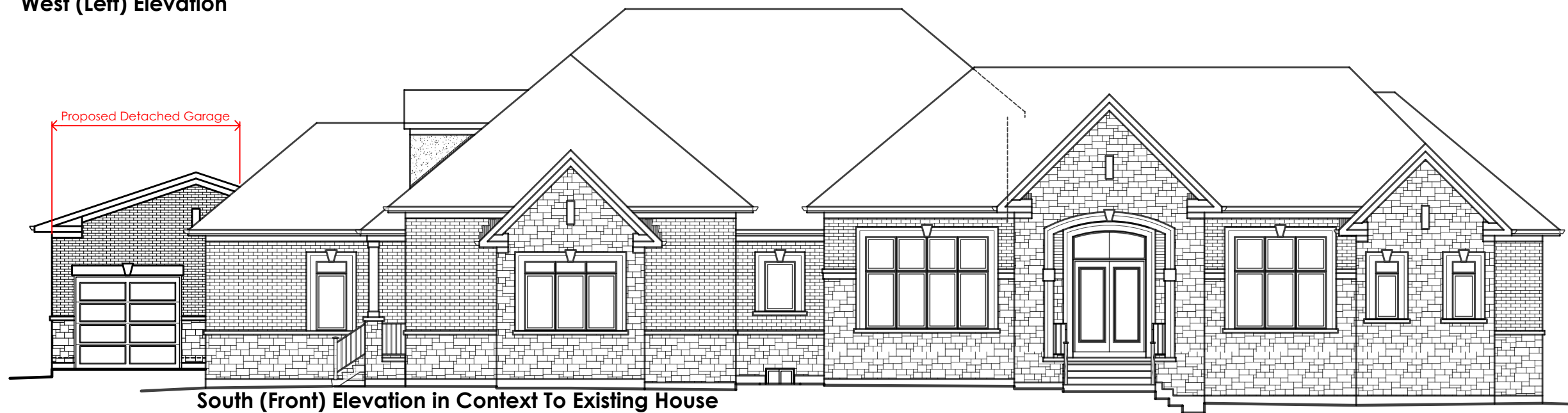
**North (Rear) Elevation**



**West (Left) Elevation**



**East (Right) Elevation**



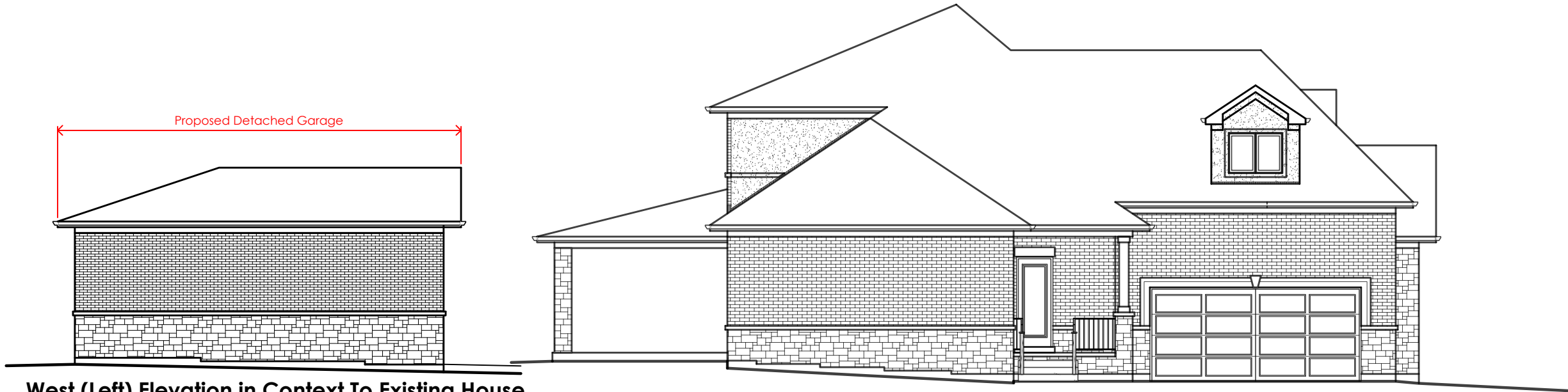
**South (Front) Elevation in Context To Existing House**

#	Revisions	Description	Date	By
1.	added grade elevations	2024-04-04	JM	
2.	added building height	2024-04-04	JM	
3.	added retaining wall label	2024-04-09	JM	
4.	Revised for new height calculations	2024-04-15	JM	

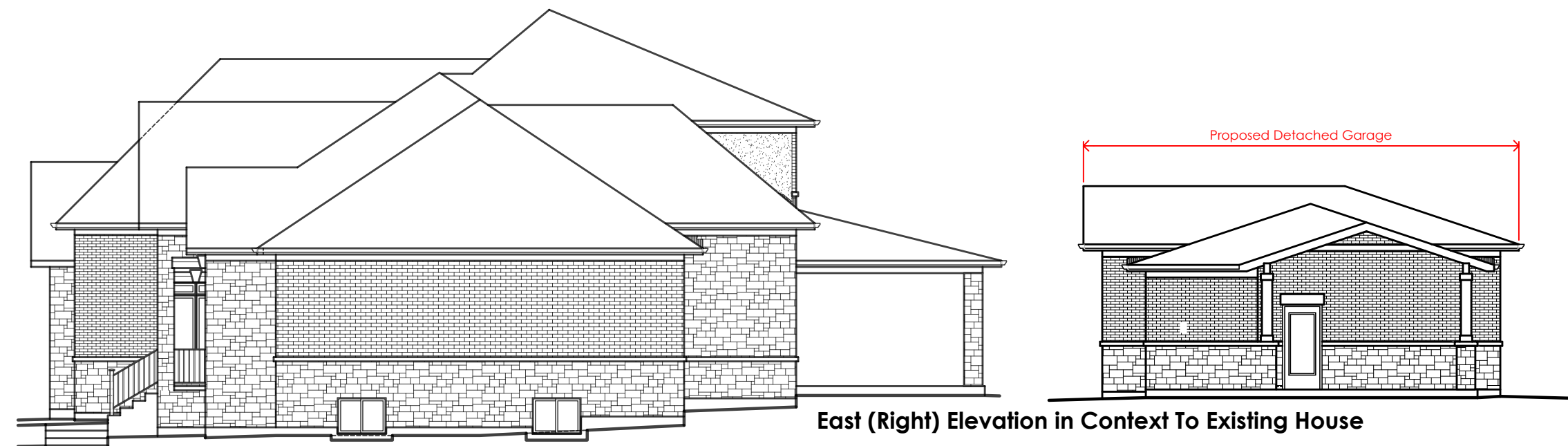
project no. **22-021**  
 drawn by **JM**  
 scale **varies**  
 filename **22-021 - WORKING GARAGE-V1**



North (Rear) Elevation in Context To Existing House



West (Left) Elevation in Context To Existing House



East (Right) Elevation in Context To Existing House

**SCHEDULE B:  
COMMENTS FROM AGENCIES, BUILDING STANDARDS &  
DEVELOPMENT PLANNING**

Department / Agency <small>*Comments Received</small>	Conditions Required		Nature of Comments
Building Standards (Zoning) *See Schedule B	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>	General Comments
Development Planning	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>	Recommend Approval/No Conditions

External Agencies <small>*Comments Received</small>	Conditions Required		Nature of Comments <small>*See Schedule B for full comments</small>
Alectra	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>	General Comments
TRCA	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>	General Comments
Region of York	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>	General Comments



**Date:** April 30<sup>th</sup> 2024

**Attention:** **Christine Vigneault**

**RE:**

**File No.:** **A052-24**

**Related Files:**

**Applicant** Mackitecture Inc.

**Location** 132 Coldspring Road



Discover the possibilities

### COMMENTS:

- We have reviewed the proposed Variance Application and have no comments or objections to its approval.
- We have reviewed the proposed Variance Application and have no objections to its approval, subject to the following comments (attached below).
- We have reviewed the proposed Variance Application and have the following concerns (attached below).

Alectra Utilities (formerly PowerStream) has received and reviewed the proposed Variance Application. This review, however, does not imply any approval of the project or plan.

All proposed billboards, signs, and other structures associated with the project or plan must maintain minimum clearances to the existing overhead or underground electrical distribution system as specified by the applicable standards, codes and acts referenced.

In the event that construction commences, and the clearance between any component of the work/structure and the adjacent existing overhead and underground electrical distribution system violates the Occupational Health and Safety Act, the customer will be responsible for 100% of the costs associated with Alectra making the work area safe. All construction work will be required to stop until the safe limits of approach can be established.

In the event construction is completed, and the clearance between the constructed structure and the adjacent existing overhead and underground electrical distribution system violates the any of applicable standards, acts or codes referenced, the customer will be responsible for 100% of Alectra's cost for any relocation work.

### References:

- Ontario Electrical Safety Code, latest edition (Clearance of Conductors from Buildings)
- Ontario Health and Safety Act, latest edition (Construction Protection)
- Ontario Building Code, latest edition (Clearance to Buildings)
- PowerStream (Construction Standard 03-1, 03-4), attached
- Canadian Standards Association, latest edition (Basic Clearances)

If more information is required, please contact either of the following:

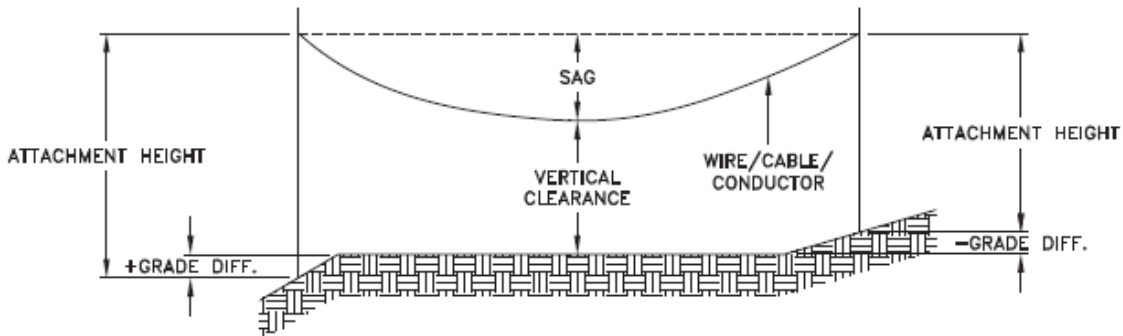
Mr. Stephen Cranley, C.E.T  
Supervisor, Distribution Design, ICI & Layouts (North)  
**Phone:** 1-877-963-6900 ext. 31297

**E-mail:** [stephen.cranley@alectrautilities.com](mailto:stephen.cranley@alectrautilities.com)

Mitchell Penner  
Supervisor, Distribution Design-Subdivisions  
**Phone:** 416-302-6215

**Email:** [Mitchell.Penner@alectrautilities.com](mailto:Mitchell.Penner@alectrautilities.com)

LOCATION OF WIRES, CABLES OR CONDUCTORS	SYSTEM VOLTAGE			
	SPAN GUYS AND COMMUNICATIONS WIRES	UP TO 600V AND NEUTRAL	4.16/2.4kV TO 27.6/16kV (SEE NOTE 1)	44kV
MINIMUM VERTICAL CLEARANCES (SEE NOTE 2)				
OVER OR ALONGSIDE ROADS, DRIVEWAYS OR LANDS ACCESSIBLE TO <u>VEHICLES</u>	442cm	442cm	480cm	520cm
OVER GROUND ACCESSIBLE TO <u>PEDESTRIANS AND BICYCLES ONLY</u>	250cm	310cm	340cm	370cm
ABOVE TOP OF RAIL AT <u>RAILWAY CROSSINGS</u>	730cm	730cm	760cm	810cm



MINIMUM ATTACHMENT HEIGHT = MAXIMUM SAG  
 + MINIMUM VERTICAL CLEARANCE (FROM ABOVE TABLE)  
 ± GRADE DIFFERENCE  
 + 0.3m (VEHICLE OR RAILWAY LOCATION)  
 + SNOW DEPTH (PEDESTRIAN LOCATION, SEE NOTE 3)

**NOTES:**

1. THE MULTIGROUNDED SYSTEM NEUTRAL HAS THE SAME CLEARANCE AS THE 600V SYSTEM.
2. THE VERTICAL CLEARANCES IN THE ABOVE TABLE ARE UNDER MAXIMUM SAG CONDITIONS.
3. REFER TO CSA STANDARD C22.3 No.1, ANNEX D FOR LOCAL SNOW DEPTH VALUES.
4. ALL CLEARANCES ARE IN ACCORDANCE TO CSA STANDARD C22.3.

**CONVERSION TABLE**

METRIC	IMPERIAL (APPROX)
810cm	27'-0"
760cm	25'-4"
730cm	24'-4"
520cm	17'-4"
480cm	16'-0"
442cm	15'-5"
370cm	12'-4"
340cm	11'-4"
310cm	10'-4"
250cm	8'-4"

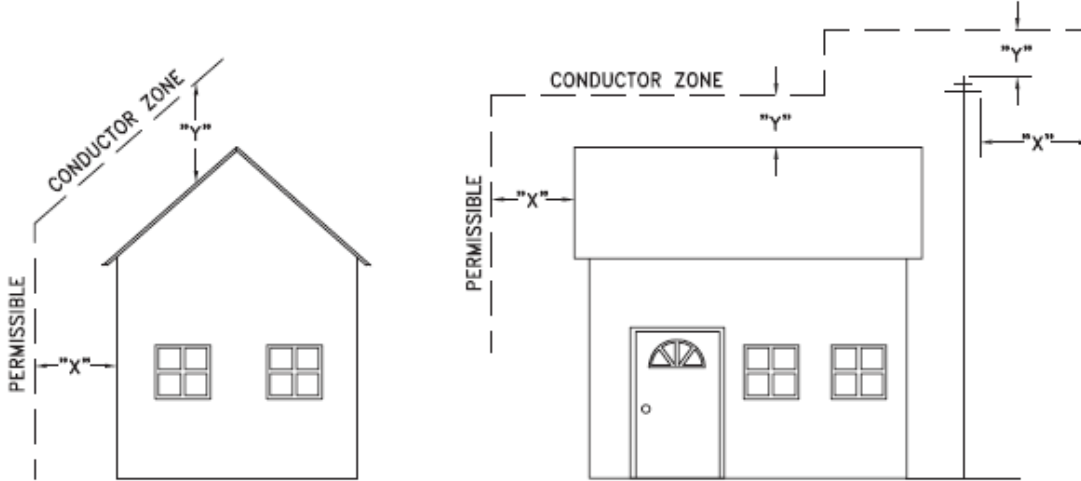
**REFERENCES**

SAGS AND TENSIONS | SECTION 02

**MINIMUM VERTICAL CLEARANCES OF WIRES, CABLES AND CONDUCTORS ABOVE GROUND OR RAILS**

ORIGINAL ISSUE DATE: 2010-DEC-24 REVISION NO: R1 REVISION DATE: 2012-JAN-09

Certificate of Approval	
This construction Standard meets the safety requirements of Section 4 of Regulation 22/04	
Joe Crozier, P.Eng.	2012-JAN-09
Name	Date
P.Eng. Approval By:	Joe Crozier



VOLTAGE	MINIMUM HORIZONTAL CLEARANCE UNDER MAXIMUM SWING CONDITIONS DIMENSION "X" (SEE NOTES 1, 3 & 4)	MINIMUM VERTICAL CLEARANCE UNDER MAXIMUM DESIGN SAG CONDITIONS DIMENSION "Y" (SEE NOTES 1, 2, 4 & 5)
0-600V AND NEUTRAL	100cm	250cm
4.16/2.4 TO 44kV	300cm	480cm

**NOTES**

1. UNDER NO CIRCUMSTANCES SHALL A CONDUCTOR BE PERMITTED TO PENETRATE THE ENVELOPE SHOWN BY THE DOTTED LINE.
2. THE VERTICAL CLEARANCES ARE UNDER CONDITIONS OF MAXIMUM DESIGN SAG.
3. THE HORIZONTAL CLEARANCES ARE UNDER CONDITIONS OF MAXIMUM SWING. WHERE THE CONDUCTOR SWING IS NOT KNOWN A HORIZONTAL CLEARANCE OF 480CM SHALL BE USED.
4. BUILDINGS THAT EXCEED 3 STOREYS OR 15M IN HEIGHT, THE MINIMUM HORIZONTAL CLEARANCE OF THE SECONDARY CONDUCTORS SHOULD BE INCREASED TO 300cm WHERE IT IS NECESSARY TO ALLOW FOR THE RAISING OF LADDERS BY LOCAL FIRE DEPARTMENTS.
5. IN SITUATIONS SUCH AS MULTI-LEVEL GARAGES, WHERE ROOFS ARE NORMALLY USED BY PERSONS AND VEHICLES, THE VERTICAL CLEARANCES OF POWERSTREAM STANDARD 03-1 SHALL APPLY.
6. DISTRIBUTION LINES CONSTRUCTED NEAR BUILDINGS SHALL BE BUILT TO AVOID OVERHANG WHEREVER POSSIBLE. WHERE LINES MUST BE CONSTRUCTED OVER OR ADJACENT TO BUILDINGS THE APPLICABLE HORIZONTAL AND VERTICAL CLEARANCES SHALL BE AT CONDITIONS OF MAXIMUM CONDUCTOR SWING AND MAXIMUM SAG. THE ABOVE CLEARANCES ARE DESIGNED TO PREVENT PERSONS ON OR IN BUILDINGS AS WELL AS EXTERNAL MACHINERY USED IN CONJUNCTION WITH A BUILDING TO COME IN CONTACT WITH CONDUCTORS. EFFORTS SHOULD BE MADE TO INCREASE THESE CLEARANCES WHERE POSSIBLE.
7. ALL CLEARANCES ARE IN ACCORDANCE TO CSA C22.3 NO.1-06 (TABLE-9).

METRIC	IMPERIAL (APPROX)
480cm	16'-0"
300cm	10'-0"
250cm	8'-4"
100cm	3'-4"

**MINIMUM VERTICAL & HORIZONTAL CLEARANCES OF CONDUCTORS FROM BUILDINGS OR OTHER PERMANENT STRUCTURES (CONDUCTORS NOT ATTACHED TO BUILDINGS)**

**Certificate of Approval**  
This construction Standard meets the safety requirements of Section 4 of Regulation 22/04  
Debbie Dadwani, P.Eng. 2010-MAY-05  
Name Date  
P. Eng. Approval By: *D. Dadwani*

ORIGINAL ISSUE DATE: 2010-MAY-05 REVISION NO: REVISION DATE:  
PS:\System Planning and Standards\Standard Design\PowerStream Standards\PowerStream Standards working files\Section 3-1-02\WG 03-4 R0 May 5, 2010.dwg, 5/5/2010 10:22:02 AM, Adobe PDF

**To:** Committee of Adjustment  
**From:** Faegheh Gholami, Building Standards Department  
**Date:** April 29, 2024  
**Applicant:** Mackitecture Inc.  
**Location:** 132 Coldspring Road  
 PLAN M885 Lot 5  
**File No.(s):** A052/24

**Zoning Classification:**

The subject lands are zoned RE(EN) – Estate Residential Zone (Established Neighbourhood) and subject to the provisions of Exception 14.33 under Zoning By-law 001-2021, as amended.

#	Zoning By-law 001-2021	Variance requested
1	A maximum of one detached private garage or an attached private garage shall be permitted on a lot. [Section 4.1.5.1]	To permit a detached private garage on a lot with an existing attached private garage.
2	The maximum gross floor area of a detached private garage shall be 75.0m <sup>2</sup> . [Section 4.1.5.3]	To permit a maximum gross floor area of 82.68m <sup>2</sup> for the detached private garage.
3	Where the height of the detached private garage exceeds 3.0m., the minimum interior side lot line setback shall be 1.8m. [Section 4.1.5.5.b]	To permit a minimum interior side lot line setback of 1.25m for the detached private garage.

**Staff Comments:**

**Stop Work Order(s) and Order(s) to Comply:**

There are no outstanding Orders on file

**Building Permit(s) Issued:**

Building Permit No. 23-118910 for Single Detached Dwelling - New (Infill Housing) L of C Included  
 , Issue Date: Jul 12, 2023  
 Building Permit No. 23-112660 for Single Detached Dwelling - Residential Demolition, Issue Date:  
 Apr 28, 2023

**Other Comments:**

General Comments	
1	The applicant shall be advised that additional variances may be required upon review of detailed drawing for building permit/site plan approval.

**Conditions of Approval:**

If the committee finds merit in the application, the following conditions of approval are recommended.

\* Comments are based on the review of documentation supplied with this application.



**To:** Christine Vigneault, Committee of Adjustment Secretary Treasurer  
**From:** Nancy Tuckett, Director of Development Planning  
**Date:** June 12, 2024  
**Name of Owners:** Gino & Mary Savoia  
**Location:** 132 Coldspring Road  
**File No.(s):** A052/24

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**Proposed Variance(s) (By-law 001-2021):**

1. To permit a detached private garage on a lot with an existing attached private garage.
2. To permit a maximum gross floor area of **82.68 m<sup>2</sup>** for the detached private garage.
3. To permit a minimum interior side lot line setback of **1.25 m** for the detached private garage.

**By-Law Requirement(s) (By-law 001-2021):**

1. A maximum of one detached private garage or an attached private garage shall be permitted on a lot.
2. The maximum gross floor area of a detached private garage shall be **75.0 m<sup>2</sup>**.
3. Where the height of the detached private garage exceeds **3.0 m**, the minimum interior side lot line setback shall be **1.8 m**.

**Official Plan:**

Vaughan Official Plan 2010 ('VOP 2010'): "Low-Rise Residential"

**Comments:**

The Owners are proposing to construct a one-storey, two car detached garage in the rear yard of the subject property, north-west of the dwelling.

Development Planning Department Staff have no objections to the requested variances. Variance 1 proposes a detached garage on a lot that has an existing attached private garage. Variance 2 would permit an increased maximum total gross floor area of 82.68 m<sup>2</sup> and Variance 3 an increased minimum interior side lot line setback of 1.25 m. The detached garage's location closer to the interior side lot line is anticipated to have minimal use and massing impacts on the neighbouring property to the west (118 Coldspring Road) due to the extent of vegetative screening (mature trees and small bushes) present along the northern interior side lot line that will act as a buffer. Additionally, the proposed garage has a stone skirt along the bottom half of all four walls, which helps break up the façade and perceived mass of the accessory building. The garage is also proposed to be to the rear and tucked partially behind the dwelling when viewed from the road, reducing the prominence of the garage use and detached garage building. The proposed garage's footprint is relatively modest relative to the dwelling and large lot size, and it complies with the maximum height requirements for accessory buildings in the Zoning By-law. A portion of the garage contains a change room and porch for the nearby pool. These features are not visible from the road and do not substantially contribute to the mass of the building. The maximum lot coverage requirement of the Zoning By-law is maintained for the entirety of the lot. Additionally, the detached garage provides sufficient space for access between the rear and west interior side yard and does not substantially impact the available amenity space area in the rear yard. As such, the proposed detached garage is not anticipated to adversely impact the neighbor to the west (118 Coldspring Road), the functionality of the rear yard, or the existing streetscape and greater neighbourhood, and therefore is desirable for the appropriate development of the land.

In support of the application, the Owners submitted an Arborist Report and Tree Preservation Plan prepared by MHBC, dated May 31<sup>st</sup>, 2024. The report inventoried a total of fourteen (14) trees on the Subject Property and neighbouring properties, all of

which are to be retained and protected through construction where necessary. No trees are proposed to be injured or removed. Urban Design staff have reviewed the report and concur with its recommendations.

Accordingly, Development Planning Department Staff support the requested variances and are of the opinion that the proposal is minor in nature, maintains the general intent and purpose of the Official Plan and Zoning By-law, and is desirable for the appropriate development of the land.

**Recommendation:**

Development Planning Department Staff recommends approval of the application.

**Conditions of Approval:**

If the Committee finds merit in the application, the following conditions of approval are recommended:

None.

**Comments Prepared by:**

Nicholas Del Prete, Planner 1  
David Harding, Senior Planner

**From:** [Kristen Regier](#)  
**To:** [Christine Vigneault](#)  
**Subject:** [External] RE: A052/24 (132 Coldspring Road) - REQUEST FOR COMMENTS, CITY OF VAUGHAN  
**Date:** Tuesday, April 30, 2024 2:54:41 PM  
**Attachments:** [image001.png](#)

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Hello,

The subject property at 132 Coldspring Road, Vaughan is not located within TRCA's Regulated Area. TRCA's Planning and Regulatory policy interests are not impacted.

As such, TRCA has no comments on the application.

Best,

**Kristen Regier, MA (she / her)**

Planner

Development Planning and Permits | Development and Engineering Services

Toronto and Region Conservation Authority (TRCA)

T: [437-880-2129](tel:437-880-2129)

E: [kristen.regier@trca.ca](mailto:kristen.regier@trca.ca)

A: [101 Exchange Avenue, Vaughan, ON, L4K 5R6](#) | [trca.ca](http://trca.ca)



## Prabhdeep Kaur

---

**From:** Development Services <developmentservices@york.ca>  
**Sent:** Tuesday, May 14, 2024 11:54 AM  
**To:** Christine Vigneault  
**Cc:** Committee of Adjustment  
**Subject:** [External] RE: A052/24 (132 Coldspring Road) - REQUEST FOR COMMENTS, CITY OF VAUGHAN

**CAUTION!** This is an external email. Verify the sender's email address and carefully examine any links or attachments before clicking. If you believe this may be a phishing email, please use the Phish Alert Button.

Hi Christine,

The Regional Municipality of York has completed its review of the minor variance application – A052/24 (132 Coldspring Road) and has no comment.

Please provide us with a digital copy of the notice of decision for our records.

Many thanks,

*Our working hours may be different. Please do not feel obligated to reply outside of your scheduled working hours. Let's work together to help foster healthy work-life boundaries.*

**Niranjan Rajevan, M.Pl.** | Associate Planner, Development Services, Planning and Economic Development, Corporate Services

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The Regional Municipality of York | 17250 Yonge Street | Newmarket, ON L3Y 6Z1  
1-877-464-9675 ext. 71521 | [niranjan.rajevan@york.ca](mailto:niranjan.rajevan@york.ca) | [www.york.ca](http://www.york.ca)

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## SCHEDULE C: PUBLIC & APPLICANT CORRESPONDENCE

Correspondence Type	Name	Address	Date Received (mm/dd/yyyy)	Summary
Applicant			03/20/2024	Application Cover Letter



March 20, 2024

City of Vaughan  
2141 Major Mackenzie Dr,  
Vaughan ON, L6A 1T1

Attn: Members of the Committee of Adjustment

Re: 132 Coldspring Road, Application for minor variance

Variance 1: decrease interior (west) side yard setback from 1.8m to 1.2m

Variance 2: increase gross floor area of proposed detached garage from 75 sq m to 84 sq m.

Variance 3: increase maximum width of detached garage from 8.0m to 11.0m

Variance 4: provide a detached garage with an existing attached garage.

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Dear Committee,

Please find attached our application for minor variance, including proposed floor plans, elevations, and site plans. This letter outlines the proposed variances and the reasons why it does not comply with the provisions of the By-law.

Our clients, Mary and Gino Savoia recently had a house fire in May of 2022 and unfortunately their home needed to be demolished and is currently being re-built. They have visions of building an additional detached garage to store collector cars, large ride on lawn equipment to maintain the property as well as for indoor vehicle storage due to an increase of car thefts in the area. The detached garage also has an attached change room and covered porch to use alongside their pool.

By reducing the west side setback to 1.2m our client can maximize their outdoor amenity space between their pool and proposed garage. Draining will not be adversely affected on the West side lot line because most of the rear yard drainage is being directed to the east side property line.

The garage portion of the detached building is within the 75 sq m maximum and 8.0m width, however with the additional floor area of the attached change room and porch (8.36 sq m and 3.05m width), it exceeds the maximum gross floor area and garage width.

Several other neighboring properties in the community have built both an attached and detached garage, for example 71 Putting Green Cres and 89 Coldspring Road, for similar vehicle storage needs.

Thank you for your time and consideration in reviewing our application. If you have any questions or require clarification on the drawings, feel free to contact me to discuss further.

Sincerely,



Jamie Mack, President

Encl.

## SCHEDULE D: BACKGROUND

None