

ITEM: 6.6	REPORT SUMMARY MINOR VARIANCE APPLICATION FILE NUMBER A034/24
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Report Date: June 14, 2024

**THIS REPORT CONTAINS COMMENTS FROM THE FOLLOWING
DEPARTMENTS & AGENCIES (SEE SCHEDULE B):**

Additional comments from departments and agencies received after the publication of the report will be made available on the City's [website](#).

Internal Departments <small>*Comments Received</small>	Conditions Required		Nature of Comments
Committee of Adjustment	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>	General Comments
Building Standards (Zoning)	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>	General Comments
Development Planning	Yes <input type="checkbox"/>	No <input type="checkbox"/>	Application Under Review
Development Engineering	Yes <input checked="" type="checkbox"/>	No <input type="checkbox"/>	Recommend Approval w/Conditions
Development Finance	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>	General Comments
By-law & Compliance	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>	General Comments
Forestry	Yes <input checked="" type="checkbox"/>	No <input type="checkbox"/>	General Comments w/Conditions

External Agencies <small>*Comments Received</small>	Conditions Required		Nature of Comments <small>*See Schedule B for full comments</small>
Alectra	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>	General Comments
TRCA	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>	General Comments
Region of York	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>	General Comments

PUBLIC & APPLICANT CORRESPONDENCE (SEE SCHEDULE C)				
<p>All personal information collected because of this public meeting (including both written and oral submissions) is collected under the authority of the Municipal Act, the Municipal Freedom of Information and Protection of Privacy Act (MFIPPA), the Planning Act and all other relevant legislation, and will be used to assist in deciding on this matter. All personal information (as defined by MFIPPA), including (but not limited to) names, addresses, opinions and comments collected will become property of the City of Vaughan, will be made available for public disclosure (including being posted on the internet) and will be used to assist the Committee of Adjustment and staff to process this application.</p>				
Correspondence Type	Name	Address	Date Received <small>(mm/dd/yyyy)</small>	Summary
Applicant			02/07/2024	Application Cover Letter

BACKGROUND (SCHEDULE D, IF REQUIRED)	
<p>* Background Information contains historical development approvals considered to be related to this file. This information should not be considered comprehensive.</p>	
Application No. (City File)	Application Description <small>(i.e. Minor Variance Application; Approved by COA / OLT)</small>
N/A	N/A

ADJOURNMENT HISTORY	
<p>* Previous hearing dates where this application was adjourned by the Committee and public notice issued.</p>	
Hearing Date	Reason for Adjournment (to be obtained from NOD_ADJ)
N/A	N/A

SCHEDULES	
Schedule A	Drawings & Plans Submitted with the Application
Schedule B	Comments from Agencies, Building Standards & Development Planning
Schedule C (if required)	Public & Applicant Correspondence
Schedule D (if required)	Background



MINOR VARIANCE APPLICATION FILE NUMBER A034/24

CITY WARD #:	1
APPLICANT:	Naftali Rabinowitz & Ella Segal-Pillemer
AGENT:	Evans Planning
PROPERTY:	6 Campbell Avenue, Thornhill
ZONING DESIGNATION:	See below.
VAUGHAN OFFICIAL PLAN (2010) DESIGNATION:	Vaughan Official Plan 2010 ('VOP 2010'): "Low-Rise Residential".
RELATED DEVELOPMENT APPLICATIONS:	None
PURPOSE OF APPLICATION:	Relief from the Zoning By-law is being requested to permit the construction of a proposed dwelling.

The subject lands are zoned R2A(EN) – Estate Residential Zone (Established Neighbourhood) and subject to the provisions of Exception 14.140 under Zoning By-law 001-2021

#	Zoning By-law 001-2021	Variance requested
1	A minimum front yard of 7.5 m is required to a dwelling wall. [Exception 14.140 , Figure T-86]	To permit a minimum front yard of 6.60 m to a dwelling wall. *Original Public stated 6.60 metres *Revised Public Notice stated 7.09 metres
2	A maximum encroachment of 2.4 m into the minimum required rear yard for an uncovered platform with a floor height of 0.57 m a measured above grade and including access stairs, is permitted (a minimum rear setback of 5.1 m is required). [4.13]	To permit a maximum encroachment of 3.0 m into the minimum required rear yard for an uncovered platform with a floor height of 0.57 m, measured above grade and including access stairs (a minimum rear setback of 4.5 m is proposed).
3	A minimum exterior side yard of 4.5 m is required to a dwelling wall. [Exception 14.140 , Figure T-86]	To permit a minimum exterior side yard of 3.4 m to a dwelling wall.
4	A maximum lot coverage of 35% is permitted. [Exception 14.140 , Figure T-86]	To permit a maximum lot coverage of 36.5%. *Original Public stated 36.5% *Revised Public Notice stated 38.5%
5	A maximum height of 8.5 m is permitted for a dwelling. [4.5]	To permit a maximum height of 9.37 m for a dwelling.

The subject lands are zoned R2, Residential and subject to the provisions of Exception 9(275) under Zoning By-law 1-88.

#	Zoning By-law 1-88	Variance requested
1	A minimum front yard setback of 7.5 m is required to a dwelling wall. [Exception 9(275)]	To permit a minimum front yard setback of 6.60 m to a dwelling wall. *Original Public Notice stated 6.60 metres *Revised Public Notice stated 7.09 metres
2	A minimum front yard setback of 7.5 m is required to a covered and excavated porch and stairs. [Exception 9(275)]	To permit a minimum front yard setback of 5.84 m to a covered and excavated porch and stairs.
3	A maximum encroachment of 1.8 m into the minimum required rear yard of 7.5 m for an unexcavated and uncovered porch is permitted (a minimum rear setback of 5.7 m is required). [3.14 c]	To permit a maximum encroachment of 3.0 m into the minimum required rear yard of 7.5 m for an unexcavated and uncovered porch (a minimum rear setback of 4.5 m is proposed).
4	A minimum exterior side yard setback of 4.5 m is required to a dwelling wall. [Exception 9(275)]	To permit a minimum exterior side yard setback of 3.4 m to a dwelling wall.
5	A maximum lot coverage of 35% is permitted. [Exception 9(275)]	To permit a maximum lot coverage of 36.5% . *Original Public Notice stated 36.5%

#	Zoning By-law 1-88	Variance requested
		*Revised Public Notice stated 38.5%
6	A minimum of 3 (three) parking spaces per dwelling unit for lots with a lot frontage greater than 11.0 m is required. [3.8 a]	To permit a minimum of 2 (two) parking spaces per dwelling unit with a lot with a lot frontage greater than 11.0 m.

HEARING INFORMATION

DATE OF MEETING: Thursday, June 20, 2024
TIME: 6:00 p.m.
MEETING LOCATION: Vaughan City Hall, Woodbridge Room (2nd Floor), 2141 Major Mackenzie Drive
LIVE STREAM LINK: Vaughan.ca/LiveCouncil

PUBLIC PARTICIPATION

If you would like to speak to the Committee of Adjustment at the meeting, either remotely or in person, please complete the [Request to Speak Form](#) and submit to cofa@vaughan.ca

If you would like to submit written comments, please quote file number above and submit by mail or email to:

Email: cofa@vaughan.ca

Mail: City of Vaughan, Office of the City Clerk, Committee of Adjustment, 2141 Major Mackenzie Drive, Vaughan, ON, L6A 1T1

To speak electronically, pre-registration is required by completing the [Request to Speak Form](#) on-line and submitting it to cofa@vaughan.ca no later than NOON on the last business day before the meeting.

THE DEADLINE TO REGISTER TO SPEAK ELECTRONICALLY OR SUBMIT WRITTEN COMMENTS ON THE ABOVE NOTED FILE(S) IS NOON ON THE LAST BUSINESS DAY BEFORE THE MEETING.

INTRODUCTION

Staff and Agencies act as advisory bodies to the Committee of Adjustment. The comments contained in this report are presented as recommendations to the Committee.

Section 45(1) of the Planning Act sets the criteria for authorizing minor variances to the City of Vaughan's Zoning By-law. Accordingly, review of the application may consider the following:

- That the general intent and purpose of the by-law will be maintained.
- That the general intent and purpose of the official plan will be maintained.
- That the requested variance(s) is/are acceptable for the appropriate development of the subject lands.
- That the requested variance(s) is/are minor in nature.

Public written and oral submissions relating to this application are taken into consideration by the Committee of Adjustment as part of its deliberations and final decision on this matter.

COMMITTEE OF ADJUSTMENT

Date Public Notice Mailed:	June 6, 2024
Date Applicant Confirmed Posting of Sign:	May 15, 2024
Applicant Justification for Variances: <small>*As provided in Application Form</small>	To permit the construction of a single detached dwelling.
Was a Zoning Review Waiver (ZRW) Form submitted by Applicant: <small>*ZRW Form may be used by applicant in instances where a revised submission is made, and zoning staff do not have an opportunity to review and confirm variances prior to the issuance of public notice.</small>	Yes <input checked="" type="checkbox"/> No <input type="checkbox"/>

COMMENTS:

On May 30, 2024, Development Planning provided:

Development Planning Staff have conducted a review of the above-noted Minor Variance application and require the following clarification/revisions:

- Please show the proposed location of the stairs to the rear deck.
- Kindly illustrate any proposed plantings to mitigate the impact of a reduced rear yard.
- Please illustrate the overhang above the front porch on the site plan drawing.
- Staff would be challenged to support the requested reduction to the front yard, it shall be closer to the 7.09m front yard setback that has been previously approved at 8 Campbell Ave.

COMMITTEE OF ADJUSTMENT

Urban Design staff has also reviewed the application and provided the attached comments regarding the site plan, architecture and tree protection for this site.

Please note that City Staff are recommending adjournment of the application to the next available meeting date to allow for sufficient time to conduct a full review of the revised drawings when they are made available.

On June 1, 2024, the applicant submitted revised plans, together with a Zoning Review Waiver form to facilitate public notice.

Public notice was issued based on the Zoning Review Waiver on June 7, 2024.

On June 8, 2024, Zoning Staff provided revised comments, confirming required variances. Variance #1 (001-2021 and 1-88) was revised to 7.09 metres (from 6.60 metres) Variance #4 (001-2021) and Variance #5 (1-88) was revised from 36.5 % to 38.5%.

A revised public notice was issued on June 10, 2024, based on Zoning Comments dated June 8, 2024.

On June 11, 2024, the applicant advised that the variance confirmed in the Zoning Review Waiver provided on June 1, as issued in the original public notice were the variances the applicant wants to proceed with.

On June 12, 2024, Zoning Staff provided revised comments confirming the variances to be presented to the Committee as provided in this report.

The Notice of Hearing provided to the public on June 7 and June 10 have been provided in Schedule B for reference.

Applicant to submit required Adjournment Fee to accommodate rescheduling of application from the June 20, 2024, Committee of Adjustment hearing, if required.

Committee of Adjustment Recommended Conditions of Approval:	None
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BUILDING STANDARDS (ZONING)

**See Schedule B for Building Standards (Zoning) Comments

Building Standards Recommended Conditions of Approval:	None
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DEVELOPMENT PLANNING

**See Schedule B for Development Planning Comments.

Development Planning Recommended Conditions of Approval:	TBD
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DEVELOPMENT ENGINEERING

[Link to Grading Permit](#) [Link to Pool Permit](#) [Link to Curb Curt Permit](#) [Link Culvert Installation](#)

As the proposed dwelling/ structure/ cabana in the subject property is 170.1 m², the Owner/ Applicant needs to obtain a 'Lot Grading Permit' from the Development Inspection and Lot Grading Division of the City's Development Engineering Department. Please note any in-ground structure over 10 m² requires a 'Grading Permit'. Please contact the Development Engineering Reviewer after receiving the Grading Permit to clear the condition. (Condition attached) The proposed work by the Owner/Applicant is increasing the lot coverage on the subject property. The added hardscape may have impacts on the City's Storm Water management system. Development Engineering strongly encourages the Owner / Applicant introduce Low-Impact Development (LID) measures (e.g., bioswales, permeable pavers, rain gardens, rain barrels etc.) to reduce the impacts to the stormwater system. Should further information be required, please contact the Development Engineering COA reviewer. The Owner/Applicant shall apply and obtain the necessary 'Curb Cut/Reinstating Permit' through the Transportation and Fleet Management Services. Please visit the Curb Cut Permits page at the City of Vaughan website to learn how to apply for the Curb Cut/ Reinstating Permit. The Owner/Applicant shall contact Transportation and Fleet Management Services if there is any work required related to the driveway culvert. Please visit the Culvert Installation page at City of Vaughan website for more information.

Development Engineering Recommended Conditions of Approval:	The Owner/Applicant shall submit an application for a Service Connection and to obtain a Cost Estimate by emailing serviceconnections@vaughan.ca . The Final Lot Grading and/or Servicing Plan will be required for the
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DEVELOPMENT ENGINEERING

[Link to Grading Permit](#) [Link to Pool Permit](#) [Link to Curb Curt Permit](#) [Link Culvert Installation](#)

Service Connection Application. All costs associated with the service connection shall be the responsibility of the Owner/Applicant. Please visit the Service Connection page of the City of Vaughan's website: [Service Connections | City of Vaughan](#) for more information. The Owner/Applicant is encouraged to initiate the process as early as possible as the Service Connection Application process typically takes 4-6 weeks. The Owner/Applicant shall submit an application and obtain an approved Grading Permit before initiating any work on the property. The Final Lot Grading and/or Servicing Plan will be required for the Grading Permit Application. Please visit the Permits page of the City of Vaughan's website: [Permits | City of Vaughan](#) to apply for a Grading Permit. For any inquiries regarding the Grading Permit, please email DEPermits@vaughan.ca

PARKS, FORESTRY & HORTICULTURE (PFH)

No comments received to date.

PFH Recommended Conditions of Approval:

Obtain a tree removal permit through the forestry division.

DEVELOPMENT FINANCE

That the payment of the City Development Charge is payable to the City of Vaughan prior to issuance of a building permit in accordance with the Development Charges Act and City-wide Development Charge By-law in effect at time of payment.

That the payment of Region of York Development Charge is payable to the City of Vaughan prior to issuance of a building permit in accordance with the Development Charges Act and Regional Development Charges By-laws in effect at time of payment.

That the payment of Education Development Charge is payable to the City of Vaughan prior to issuance of a building permit in accordance with the Education Act and York Region District School Board and York Catholic District School Board Development Charges By-laws in effect at time of payment.

That the payment of applicable Area Specific Development Charges are payable to the City of Vaughan prior to issuance of a building permit in accordance with the Development Charges Act and Area Specific Development Charge By-laws in effect at time of payment.

Demolition development charge credits valid for a period of 48 months from date of demolition permit issuance. After 48 months, full development charges apply as per by-laws.

Development Finance Recommended Conditions of Approval:

None

BY-LAW AND COMPLIANCE, LICENSING AND PERMIT SERVICES

No objection or comment.

BCLPS Recommended Conditions of Approval:

None

BUILDING INSPECTION (SEPTIC)

No comments received to date.

Building Inspection Recommended Conditions of Approval:

None

FIRE DEPARTMENT

No comments received to date.

Fire Department Recommended Conditions of Approval:

None

RECOMMENDED CONDITIONS OF APPROVAL SUMMARY

Should the Committee find it appropriate to approve this application in accordance with request and the sketch submitted with the application, as required by Ontario Regulation 200/96, the following conditions have been recommended:

#	DEPARTMENT / AGENCY	CONDITION
1	Development Engineering jonal.hall@vaughan.ca	The Owner/Applicant shall submit an application for a Service Connection and to obtain a Cost Estimate by emailing serviceconnections@vaughan.ca . The Final Lot Grading and/or Servicing Plan will be required for the Service Connection Application. All costs associated with the service connection shall be the responsibility of the Owner/Applicant. Please visit the Service Connection page of the City of Vaughan's website: Service Connections City of Vaughan for more information. The Owner/Applicant is encouraged to initiate the process as early as possible as the Service Connection Application process typically takes 4-6 weeks. The Owner/Applicant shall submit an application and obtain an approved Grading Permit before initiating any work on the property. The Final Lot Grading and/or Servicing Plan will be required for the Grading Permit Application. Please visit the Permits page of the City of Vaughan's website: Permits City of Vaughan to apply for a Grading Permit. For any inquiries regarding the Grading Permit, please email DEPermits@vaughan.ca
2	Parks, Forestry and Horticulture Operations ryan.cochrane@vaughan.ca	Obtain a tree removal permit through the forestry division.
3	Development Planning alyssa.pangilinan@vaughan.ca	TBD

All conditions of approval, unless otherwise stated, are considered to be incorporated into the approval "if required". If a condition is no longer required after an approval is final and binding, the condition may be waived by the respective department or agency requesting conditional approval. A condition cannot be waived without written consent from the respective department or agency.

IMPORTANT INFORMATION

CONDITIONS: It is the responsibility of the owner/applicant and/or authorized agent to obtain and provide a clearance letter from respective department and/or agency (**see condition chart above for contact**). This letter must be provided to the Secretary-Treasurer to be finalized. All conditions must be cleared prior to the issuance of a Building Permit.

APPROVALS: Making any changes to your proposal after a decision has been made may impact the validity of the Committee's decision.

An approval obtained from the Committee of Adjustment, where applicable, is tied to the building envelope shown on the plans and drawings submitted with the application and subject to the variance approval.

A building envelope is defined by the setbacks of the buildings and/or structures shown on the plans and drawings submitted with the application, as required by Ontario Regulation 200/96. Future development outside of an approved building envelope, where a minor variance was obtained, must comply with the provisions of the City's Zoning By-law.

Elevation drawings are provided to reflect the style of roof (i.e. flat, mansard, gable etc.) to which a building height variance has been applied. Where a height variance is approved, building height is applied to the style of roof (as defined in the City's Zoning By-law) shown on the elevation plans submitted with the application.

Architectural design features that are not regulated by the City's Zoning By-law are not to be considered part of an approval unless specified in the Committee's decision.

DEVELOPMENT CHARGES: That the payment of the Regional Development Charge, if required, is payable to the City of Vaughan before issuance of a building permit in accordance with the Development Charges Act and the Regional Development Charges By-law in effect at the time of payment.

That the payment of the City Development Charge, if required, is payable to the City of Vaughan before issuance of a building permit in accordance with the Development Charges Act and the City's Development Charges By-law in effect at the time of payment.

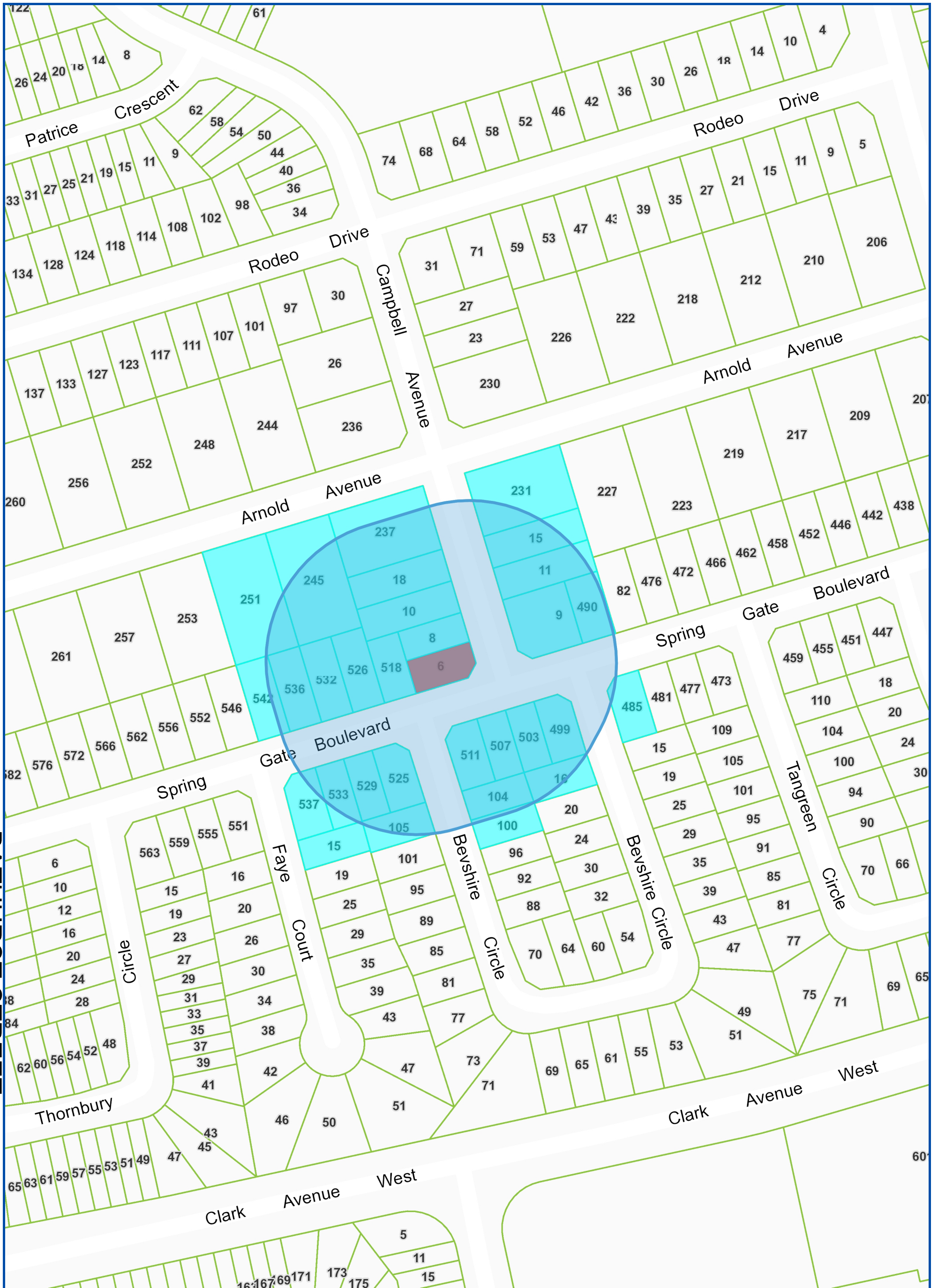
IMPORTANT INFORMATION

That the payment of the Education Development Charge if required, is payable to the City of Vaughan before issuance of a building permit in accordance with the Development Charges Act and the Boards of Education By-laws in effect at the time of payment

That the payment of Special Area Development charge, if required, is payable to the City of Vaughan before issuance of a building permit in accordance with the Development Charges Act and The City's Development Charge By-law in effect at the time of Building permit issuance to the satisfaction of the Reserves/Capital Department.

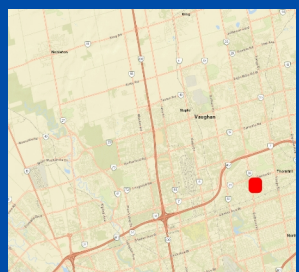
NOTICE OF DECISION: If you wish to be notified of the decision in respect to this application or a related Ontario Land Tribunal (OLT) hearing you must complete a Request for Decision form and submit to the Secretary Treasurer (ask staff for details). In the absence of a written request to be notified of the Committee's decision you will **not** receive notice.

SCHEDULE A: DRAWINGS & PLANS



BATHURST STREET

Map Information:



Title:

NOTIFICATION MAP - A034/24

6 CAMPBELL AVENUE, THORNHILL

Disclaimer:

Every reasonable effort has been made to ensure that the information appearing on this map is accurate and current. We believe the information to be reliable, however the City of Vaughan assumes no responsibility or liability due to errors or omissions. Please report any discrepancies to Infrastructure Programming.



Scale: 1: 2,257

0 0.04 km



Created By:


Infrastructure Delivery
Department
March 6, 2024 10:24 AM

Projection:
NAD 83
UTM Zone
17N

METRIC
DISTANCES SHOWN ON THIS PLAN ARE
IN METRES AND CAN BE CONVERTED
TO FEET BY DIVIDING BY 0.3048.

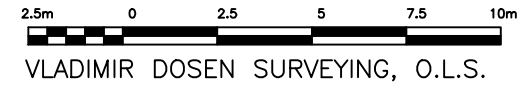
Received
June 11, 2024

ASSOCIATION OF ONTARIO
LAND SURVEYORS
PLAN SUBMISSION FORM
V-17856



THIS PLAN IS NOT VALID
UNLESS IT IS AN EMBOSSED
ORIGINAL COPY
ISSUED BY THE SURVEYOR
In accordance with
Regulation 1026, Section 29(3).

SURVEYOR'S REAL PROPERTY REPORT
PART 1) PLAN AND TOPOGRAPHIC DETAIL OF
PART OF LOT 51
REGISTERED PLAN 3715
CITY OF VAUGHAN
REGIONAL MUNICIPALITY OF YORK
SCALE 1:150



VLADIMIR DOSEN SURVEYING, O.L.S.

- LEGEND**
- DENOTES SURVEY MONUMENT PLANTED
 - DENOTES SURVEY MONUMENT FOUND
 - IB DENOTES IRON BAR
 - IP DENOTES IRON PIPE
 - SIB DENOTES STANDARD IRON BAR
 - M DENOTES MEASURED
 - (1188) DENOTES C.A. SEXTON, O.L.S.
 - (1312) DENOTES JOSEPH STEL, O.L.S.
 - (OU) DENOTES ORIGIN UNKNOWN
 - (P1) DENOTES PLAN 65R-7427
 - (P2) DENOTES PLAN 65R-17114
 - (P3) DENOTES REGISTERED PLAN 3715
 - (P4) DENOTES REGISTERED PLAN M-2008
 - φ DENOTES DIAMETER/ROUND
 - BF DENOTES BOARD FENCE
 - BR DENOTES TIES TO BRICK
 - CB DENOTES CATCH BASIN
 - CLF DENOTES CHAIN LINK FENCE
 - DSE DENOTES DOOR SILL ELEVATION
 - HYD DENOTES FIRE HYDRANT
 - INV DENOTES INVERT
 - LS DENOTES LIGHT STANDARD
 - MH DENOTES MAN HOLE
 - UB DENOTES UTILITY BOX
 - WW DENOTES WINDOW WELL
 - ☎ DENOTES CONIFEROUS TREE
 - ☪ DENOTES DECIDUOUS TREE

BENCHMARK NOTE:
ELEVATIONS SHOWN HEREON ARE GEODETIC AND
ARE RELATED TO CITY OF VAUGHAN
BENCHMARK No. 1-3, HAVING A
PUBLISHED ELEVATION OF 174.950 METRES.

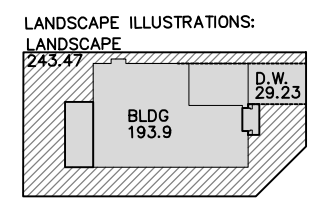
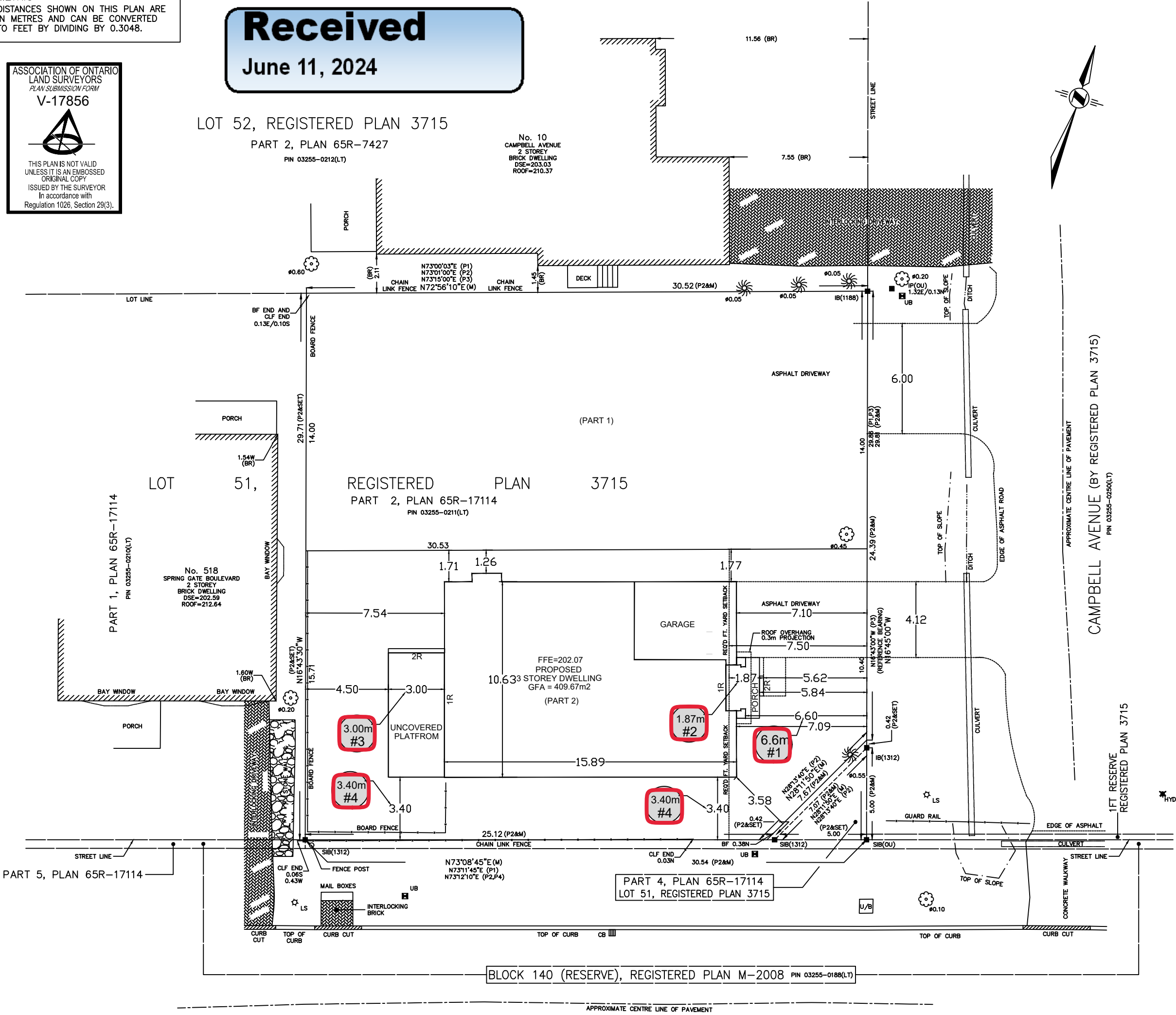
BEARING NOTE:
BEARINGS ARE ASTRONOMIC AND ARE
DERIVED FROM THE WESTERLY LIMIT
OF CAMPBELL AVENUE, AS SHOWN
ON REGISTERED PLAN 3715, HAVING
A BEARING OF N16°45'00"W.

THIS REPORT WAS PREPARED FOR
PETROGOLD
AND THE UNDERSIGNED ACCEPTS NO
RESPONSIBILITY FOR USE BY
OTHER PARTIES

PART 2) SURVEY REPORT
DESCRIPTION OF LAND:
PART OF LOT 51, REGISTERED PLAN 3715, PIN 03255-0211(LT).
REGISTERED EASEMENTS AND/OR RIGHT OF WAYS:
NONE.
BOUNDARY FEATURES:
POSITION OF FENCES AS SHOWN ON PLAN.
COMPLIANCE WITH MUNICIPAL ZONING BY-LAWS:
THIS PLAN DOES NOT CERTIFY COMPLIANCE WITH ZONING
BY-LAWS.

LOT STATISTICS:
PART # 2

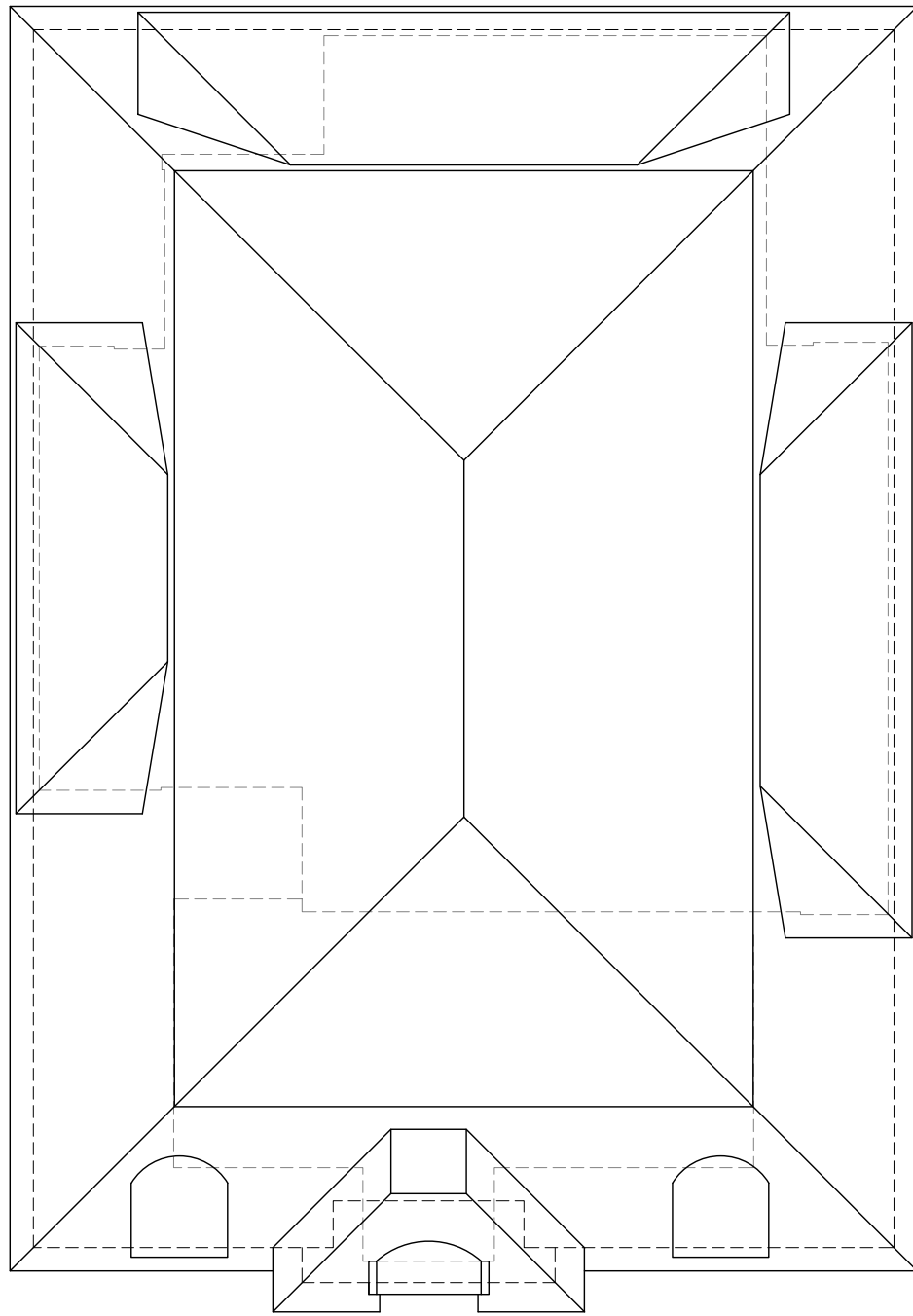
LOT STATISTICS:	PROPOSED
ZONE =	
LOT AREA:	466.6 m ²
LOT FRONTAGE:	15.79M
BUILDING AREA	139.90 m ²
PORCH AREA	3.06 m ²
GARAGE AREA	27.12 m ²
TOTAL BUILDING AREA	170.10 m ²
LOT COVERAGE	36.5 %
REAR PLATFORM AREA	20.5 m ²
FRONT YARD SETBACK	6.60M
SIDE YARD SETBACK	1.50M
SIDE YARD SETBACK	3.40M
REAR YARD SETBACK	7.54M
BUILDING HEIGHT (MID-POINT)	9.37M
GFA STATISTICS:	
ALL FLOORS (EXCL BSMT)	
GROUND FL. AREA:	139.90 m ²
SECOND FL. AREA:	170.19 m ²
THIRD FL. AREA:	99.58 m ²
TOTAL GFA:	409.68 m ²
FRONT YARD LANDSCAPE %	69.4%
FT. YARD SOFT LANDSCAPE %	90.1%
TOTAL YARD LANDSCAPE %	52.1%



D.W.
29.23
6.74
Porch/
WALKWAY
97.38
TOTAL
FT. YD.

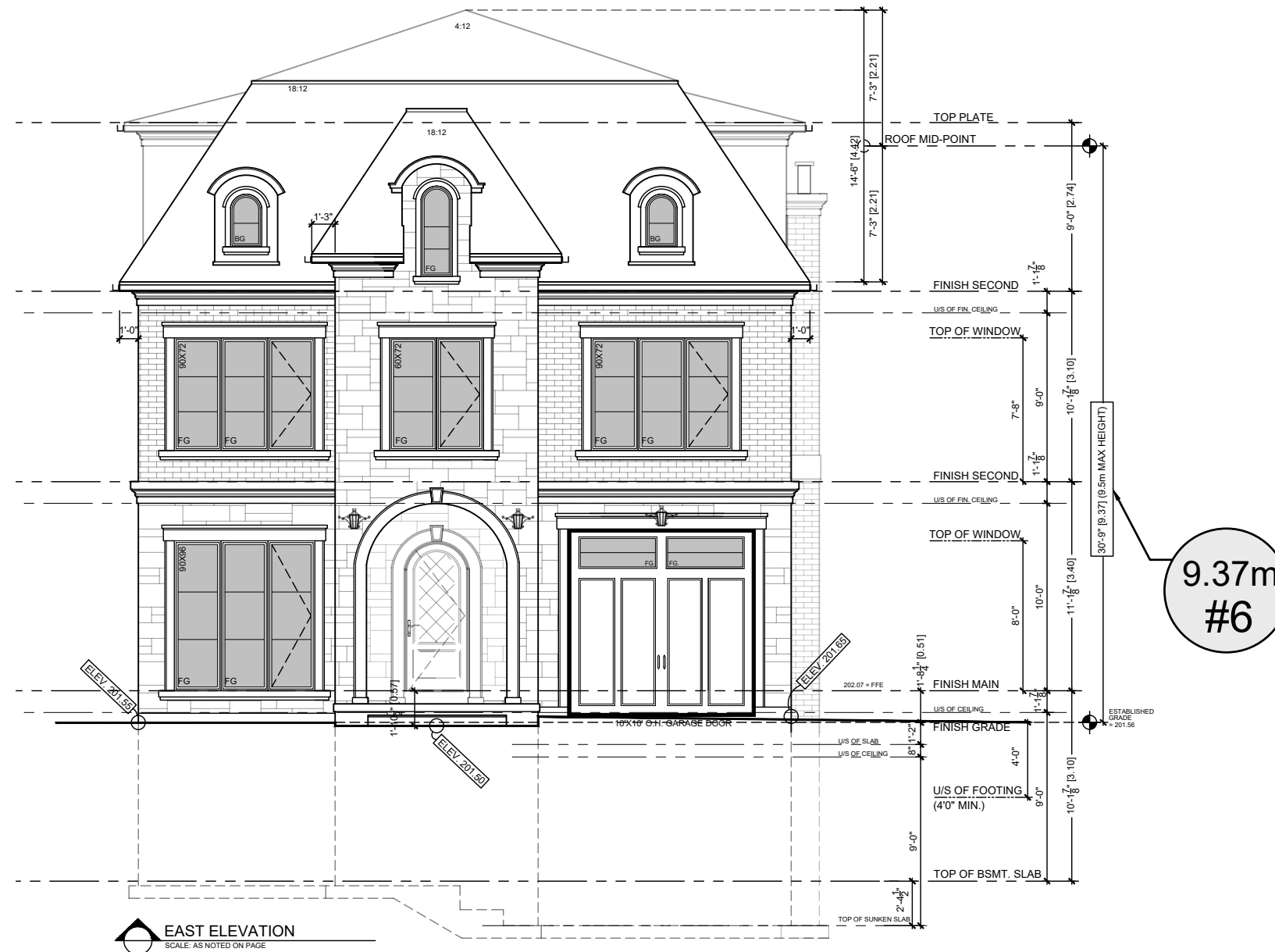
SPRING GATE BOULEVARD (BY REGISTERED PLAN M-2008)
PIN 03255-0188(LT)

S1 - PROPOSED SITE PLAN




ROOF PLAN
 SCALE: AS NOTED ON PAGE

 VULCAN DESIGN INC.	PROJECT LOCATION:	CLIENT:	DATE:	DWN BY:	DATE:	DWN BY:	NOTE: 1. DRAWINGS NOT TO BE USED FOR CONSTRUCTION OR BY OTHER PARTIES W/O WRITTEN PERMISSION FROM DESIGNER. 2. PRELIMINARY DESIGN, SUBJECT TO CHANGE UPON VERIFICATION W/ SITE SURVEY TO BE PROVIDED BY CLIENT.
	(PART 2)	Private Residence	09/19/23	dcb			
	6 CAMPBELL AVE.		03/08/24	dcb			
	VAUGHAN, ON		03/20/24	dcb			
	SCALE: 1/8" = 1'-0"		03/27/24	dcb			
			04/18/24	dcb			
	05/31/24	dcb					



 VULCAN DESIGN INC.	PROJECT LOCATION:	CLIENT:	DATE:	DWN BY:	DATE:	DWN BY:	NOTE: 1. DRAWINGS NOT TO BE USED FOR CONSTRUCTION OR BY OTHER PARTIES W/O WRITTEN PERMISSION FROM DESIGNER. 2. PRELIMINARY DESIGN, SUBJECT TO CHANGE UPON VERIFICATION W/ SITE SURVEY TO BE PROVIDED BY CLIENT.
	(PART 2)	Private Residence	09/19/23	dcb			
	6 CAMPBELL AVE.		03/08/24	dcb			
	VAUGHAN, ON		03/20/24	dcb			
	SCALE: 1/8" = 1'-0"		03/27/24	dcb			
	04/18/24		dcb				
	05/31/24	dcb					



 SOUTH ELEVATION
SCALE: AS NOTED ON PAGE

 VULCAN DESIGN INC.	PROJECT LOCATION:	CLIENT:	DATE:	DWN BY:	DATE:	DWN BY:	NOTE: 1. DRAWINGS NOT TO BE USED FOR CONSTRUCTION OR BY OTHER PARTIES W/O WRITTEN PERMISSION FROM DESIGNER. 2. PRELIMINARY DESIGN, SUBJECT TO CHANGE UPON VERIFICATION W/ SITE SURVEY TO BE PROVIDED BY CLIENT.
	(PART 2)	Private Residence	09/19/23	dcb			
	6 CAMPBELL AVE.		03/08/24	dcb			
	VAUGHAN, ON		03/20/24	dcb			
	SCALE: 1/8" = 1'-0"		03/27/24	dcb			
	04/18/24		dcb				
			05/31/24	dcb			



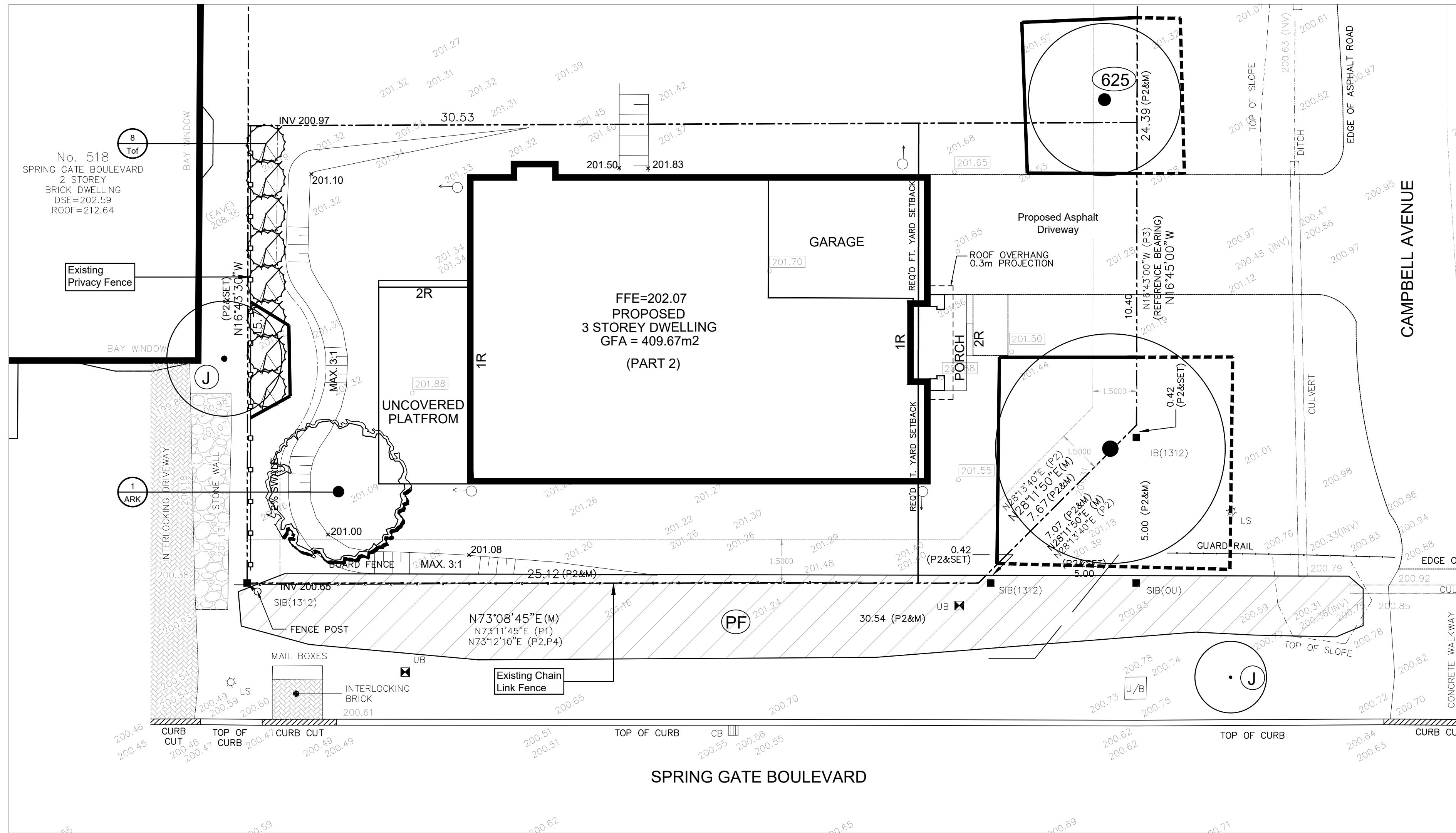
WEST ELEVATION
SCALE: AS NOTED ON PAGE

 VULCAN DESIGN INC.	PROJECT LOCATION: (PART 2) 6 CAMPBELL AVE. VAUGHAN, ON	CLIENT: <h2 style="text-align: center;">Private Residence</h2>	DATE: 09/19/23	DWN BY: dcb	DATE:	DWN BY:	NOTE: 1. DRAWINGS NOT TO BE USED FOR CONSTRUCTION OR BY OTHER PARTIES W/O WRITTEN PERMISSION FROM DESIGNER. 2. PRELIMINARY DESIGN, SUBJECT TO CHANGE UPON VERIFICATION W/ SITE SURVEY TO BE PROVIDED BY CLIENT.	
	SCALE: 1/8" = 1'-0"		03/08/24	dcb				
				03/20/24	dcb			
				03/27/24	dcb			
				04/18/24	dcb			
			05/31/24	dcb				



NORTH ELEVATION
SCALE: AS NOTED ON PAGE

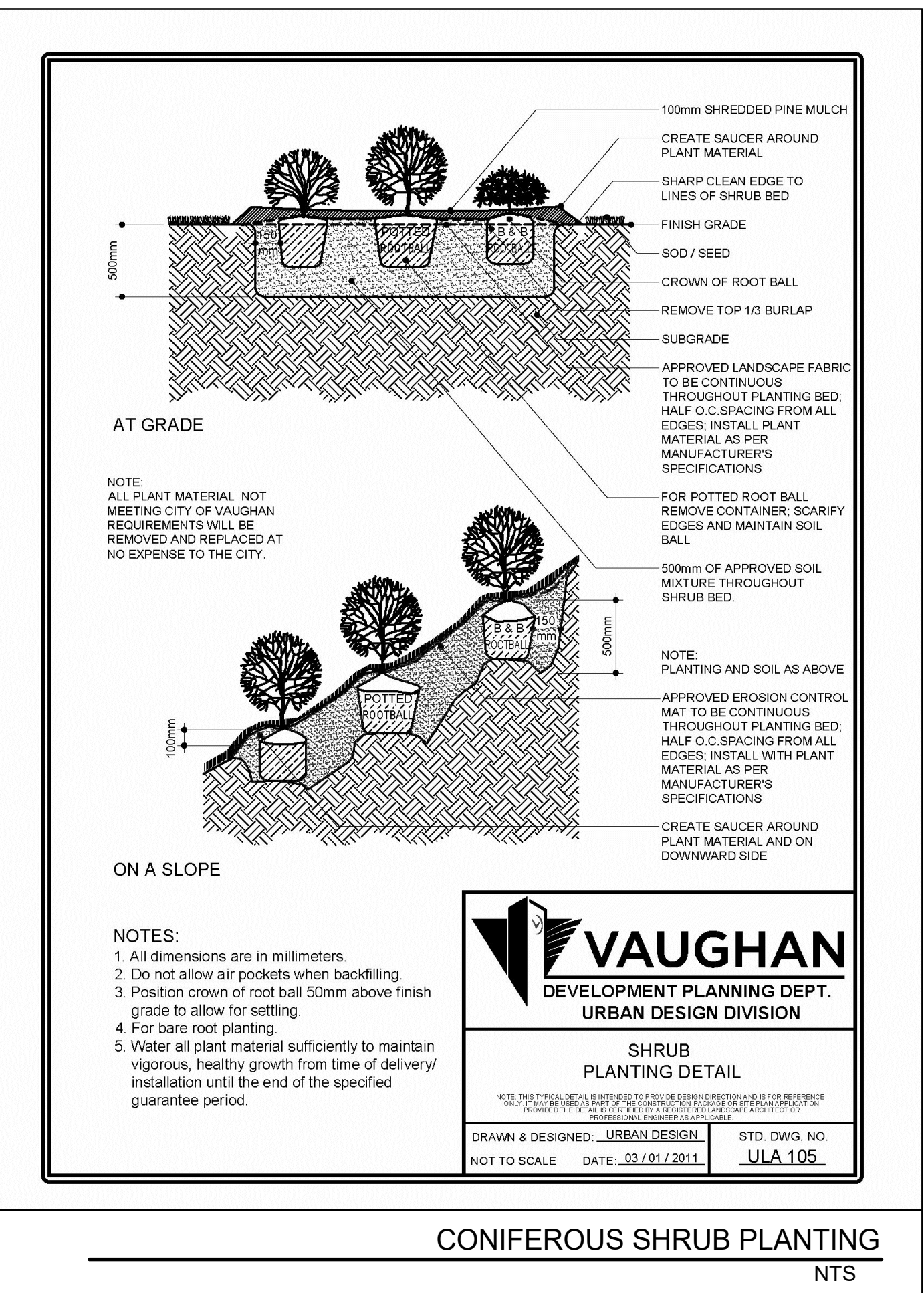
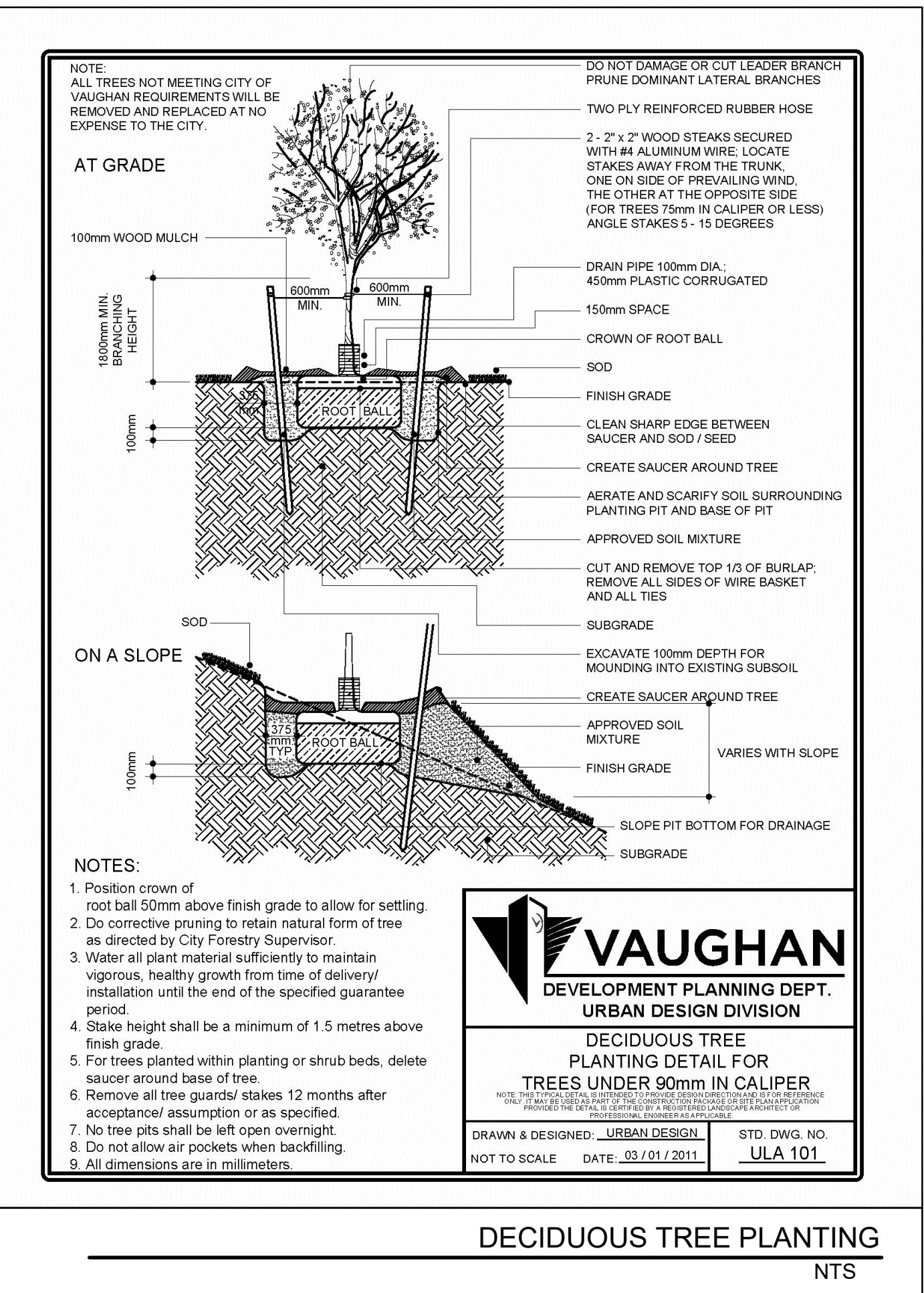
 VULCAN DESIGN INC.	PROJECT LOCATION:	CLIENT:	DATE:	DWN BY:	DATE:	DWN BY:	NOTE: 1. DRAWINGS NOT TO BE USED FOR CONSTRUCTION OR BY OTHER PARTIES W/O WRITTEN PERMISSION FROM DESIGNER. 2. PRELIMINARY DESIGN, SUBJECT TO CHANGE UPON VERIFICATION W/ SITE SURVEY TO BE PROVIDED BY CLIENT.	
		(PART 2) 6 CAMPBELL AVE. VAUGHAN, ON	Private Residence	09/19/23	dcb			
	SCALE: 1/8" = 1'-0"			03/08/24	dcb			
				03/20/24	dcb			
				03/27/24	dcb			
				04/18/24	dcb			
			05/31/24	dcb				



PLANT LIST

KEY	BOTANICAL NAME	COMMON NAME	SIZE	CONDITION	COMMENTS
1 ARK	Acer rubrum "Karpick"	Karpick Red Maple	60mm Cal.	W.B.	FULL FORM
8 Tof	Thuja occidentalis "Fastigiata"	Pyramidal Cedar	200cm	W.B.	FULL FORM

RECEIVED
By Christine Vigneault at 5:26 pm, Jun 12, 2024



client

consultants

- LEGEND**
- Existing Privacy Fence
 - Existing Chain Link Fence
 - Existing Tree to Remain with Minimum Tree Protection Zones
 - Light Duty Tree Protection Fencing as per City Detail MLA 107B
 - Light Duty Tree Protection Fencing as per City Detail MLA 107A

See Tree Inventory and Preservation Plan & Report by Kuntz Forestry Consulting Inc. dated 12 November 2021 for further information and Tree Preservation measures required

no	revision	date	by

THESE DRAWINGS ARE THE PROPERTY OF MARK SETTER ASSOCIATES LTD AND SHALL NOT BE ALTERED, MODIFIED, REVISED OR CHANGED WITHOUT THE WRITTEN CONSENT OF MARK SETTER ASSOCIATES LTD. ALL DIMENSIONS ARE TO BE VERIFIED ON SITE AND ANY DISCREPANCIES ARE TO BE REPORTED TO THE LANDSCAPE ARCHITECT.



MSA LTD.
219 Lake Drive East, Keswick, Ontario, L4P 3E9
tel: 905.476.0844 email: msetter@rogers.com
website: marksetterassociates.com

reviewed by
M.S.

drawn by
D.S.

date
12 June 2024

scale 1:100

drawing title
Landscape Plan

drawing number
L-1

project title
**6 Campbell Avenue
City of Vaughan**

project number
2024.004

**SCHEDULE B:
COMMENTS FROM AGENCIES, BUILDING STANDARDS &
DEVELOPMENT PLANNING**

Department / Agency <small>*Comments Received</small>	Conditions Required		Nature of Comments
Building Standards (Zoning) *See Schedule B	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>	General Comments
Development Planning	Yes <input type="checkbox"/>	No <input type="checkbox"/>	Application Under Review

External Agencies <small>*Comments Received</small>	Conditions Required		Nature of Comments <small>*See Schedule B for full comments</small>
Alectra	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>	General Comments
TRCA	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>	General Comments
Region of York	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>	General Comments

Notice of Hearing – June 7, 2024
 Notice of Hearing – June 10, 2024

To: Committee of Adjustment
From: Catherine Saluri, Building Standards Department
Date: June 12, 2024
Applicant: Naftali Rabinowitz
Location: 6 Campbell Avenue
 Plan RP3715 Part of Lot 51
File No.(s): A034/24

Zoning Classification:

The subject lands are zoned R2A(EN) – Estate Residential Zone (Established Neighbourhood) and subject to the provisions of Exception 14.140 under Zoning By-law 001-2021.

#	Zoning By-law 001-2021	Variance requested
1	A minimum front yard of 7.5 m is required to a dwelling wall. [Exception 14.140, Figure T-86]	To permit a minimum front yard of 6.60 m to a dwelling wall.
2	A maximum encroachment of 2.4 m into the minimum required rear yard for an uncovered platform with a floor height of 0.57 m a measured above grade and including access stairs, is permitted (a minimum rear setback of 5.1 m is required). [4.13]	To permit a maximum encroachment of 3.0 m into the minimum required rear yard for an uncovered platform with a floor height of 0.57 m, measured above grade and including access stairs (a minimum rear setback of 4.5 m is proposed).
3	A minimum exterior side yard of 4.5 m is required to a dwelling wall. [Exception 14.140, Figure T-86]	To permit a minimum exterior side yard of 3.4 m to a dwelling wall.
4	A maximum lot coverage of 35% is permitted. [Exception 14.140, Figure T-86]	To permit a maximum lot coverage of 36.5%.
5	A maximum height of 8.5 m is permitted for a dwelling. [4.5]	To permit a maximum height of 9.37 m for a dwelling.

The subject lands are zoned R2, Residential and subject to the provisions of Exception 9(275) under Zoning By-law 1-88.

#	Zoning By-law 1-88	Variance requested
1	A minimum front yard setback of 7.5 m is required to a dwelling wall. [Exception 9(275)]	To permit a minimum front yard setback of 6.60 m to a dwelling wall.
2	A minimum front yard setback of 7.5 m is required to a covered and excavated porch and stairs. [Exception 9(275)]	To permit a minimum front yard setback of 5.84 m to a covered and excavated porch and stairs.
3	A maximum encroachment of 1.8 m into the minimum required rear yard of 7.5 m for an unexcavated and uncovered porch is permitted (a minimum rear setback of 5.7 m is required). [3.14 c]	To permit a maximum encroachment of 3.0 m into the minimum required rear yard of 7.5 m for an unexcavated and uncovered porch (a minimum rear setback of 4.5 m is proposed).
4	A minimum exterior side yard setback of 4.5 m is required to a dwelling wall. [Exception 9(275)]	To permit a minimum exterior side yard setback of 3.4 m to a dwelling wall.
5	A maximum lot coverage of 35% is permitted. [Exception 9(275)]	To permit a maximum lot coverage of 36.5%.
6	A minimum of 3 (three) parking spaces per dwelling unit for lots with a lot	To permit a minimum of 2 (two) parking spaces per dwelling unit with a lot with a lot frontage greater than 11.0 m.

	frontage greater than 11.0 m is required. [3.8 a]	
--	---	--

Staff Comments:

Stop Work Order(s) and Order(s) to Comply:

There are no outstanding Orders on file.

Building Permit(s) Issued:

Demolition permit 2021 138181 has been issued and completed for the demolition of the original dwelling. A building permit is required for the proposed replacement dwelling.

Other Comments:

Zoning By-law 001-2021	
1	The Applicant shall be advised that if exterior stairs are required for the proposed side entrance at the interior side yard, a minimum setback of 1.2 m is required from the interior side lot line to the stairs. [4.13]

Zoning By-law 1-88	
1	The Applicant shall be advised that if exterior stairs are required for the proposed side entrance at the interior side yard, a minimum setback of 1.2 m is required from the interior side lot line to the stairs. [3.14]
2	The Applicant shall be advised that a maximum of one step/two risers is permitted to encroach into the minimum required garage length of 6.0 m.

General Comments	
1	The applicant shall be advised that additional variances may be required upon review of detailed drawing for building permit.
2	A finished basement is shown in the architectural drawing package. The Applicant shall be advised that a Secondary Suite has not been authorized for, nor reviewed under this application for minor variance.

Conditions of Approval:

If the committee finds merit in the application, the following conditions of approval are recommended.

None

* Comments are based on the review of documentation supplied with this application.

Date: May 14th 2024

Attention: Christine Vigneault

RE:

File No.: A034-24

Related Files:

Applicant Naftali Rabinowitz

Location 6 Campbell Avenue



Discover the possibilities

COMMENTS:

- We have reviewed the proposed Variance Application and have no comments or objections to its approval.
- We have reviewed the proposed Variance Application and have no objections to its approval, subject to the following comments (attached below).
- We have reviewed the proposed Variance Application and have the following concerns (attached below).

Alectra Utilities (formerly PowerStream) has received and reviewed the proposed Variance Application. This review, however, does not imply any approval of the project or plan.

All proposed billboards, signs, and other structures associated with the project or plan must maintain minimum clearances to the existing overhead or underground electrical distribution system as specified by the applicable standards, codes and acts referenced.

In the event that construction commences, and the clearance between any component of the work/structure and the adjacent existing overhead and underground electrical distribution system violates the Occupational Health and Safety Act, the customer will be responsible for 100% of the costs associated with Alectra making the work area safe. All construction work will be required to stop until the safe limits of approach can be established.

In the event construction is completed, and the clearance between the constructed structure and the adjacent existing overhead and underground electrical distribution system violates the any of applicable standards, acts or codes referenced, the customer will be responsible for 100% of Alectra's cost for any relocation work.

References:

- Ontario Electrical Safety Code, latest edition (Clearance of Conductors from Buildings)
- Ontario Health and Safety Act, latest edition (Construction Protection)
- Ontario Building Code, latest edition (Clearance to Buildings)
- PowerStream (Construction Standard 03-1, 03-4), attached
- Canadian Standards Association, latest edition (Basic Clearances)

If more information is required, please contact either of the following:

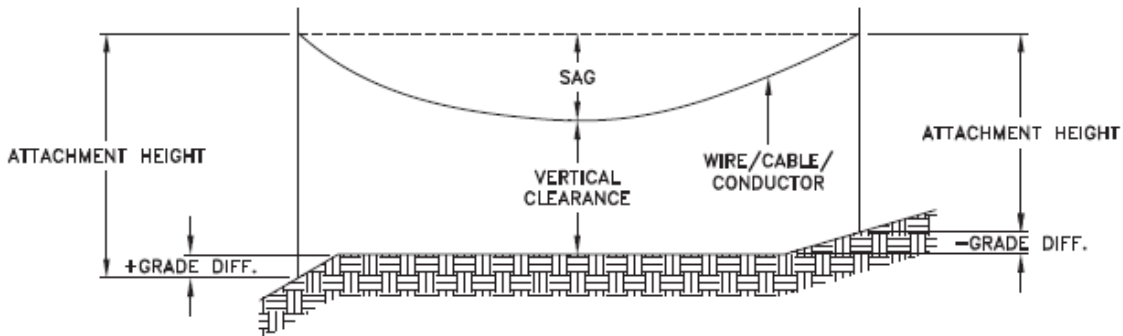
Mr. Stephen Cranley, C.E.T
Supervisor, Distribution Design, ICI & Layouts (North)
Phone: 1-877-963-6900 ext. 31297

E-mail: stephen.cranley@alectrautilities.com

Mitchell Penner
Supervisor, Distribution Design-Subdivisions
Phone: 416-302-6215

Email: Mitchell.Penner@alectrautilities.com

LOCATION OF WIRES, CABLES OR CONDUCTORS	SYSTEM VOLTAGE			
	SPAN GUYS AND COMMUNICATIONS WIRES	UP TO 600V AND NEUTRAL	4.16/2.4kV TO 27.6/16kV (SEE NOTE 1)	44kV
MINIMUM VERTICAL CLEARANCES (SEE NOTE 2)				
OVER OR ALONGSIDE ROADS, DRIVEWAYS OR LANDS ACCESSIBLE TO <u>VEHICLES</u>	442cm	442cm	480cm	520cm
OVER GROUND ACCESSIBLE TO <u>PEDESTRIANS AND BICYCLES ONLY</u>	250cm	310cm	340cm	370cm
ABOVE TOP OF RAIL AT <u>RAILWAY CROSSINGS</u>	730cm	730cm	760cm	810cm



MINIMUM ATTACHMENT HEIGHT = MAXIMUM SAG
 + MINIMUM VERTICAL CLEARANCE (FROM ABOVE TABLE)
 ± GRADE DIFFERENCE
 + 0.3m (VEHICLE OR RAILWAY LOCATION)
 + SNOW DEPTH (PEDESTRIAN LOCATION, SEE NOTE 3)

NOTES:

1. THE MULTIGROUNDED SYSTEM NEUTRAL HAS THE SAME CLEARANCE AS THE 600V SYSTEM.
2. THE VERTICAL CLEARANCES IN THE ABOVE TABLE ARE UNDER MAXIMUM SAG CONDITIONS.
3. REFER TO CSA STANDARD C22.3 No.1, ANNEX D FOR LOCAL SNOW DEPTH VALUES.
4. ALL CLEARANCES ARE IN ACCORDANCE TO CSA STANDARD C22.3.

CONVERSION TABLE

METRIC	IMPERIAL (APPROX)
810cm	27'-0"
760cm	25'-4"
730cm	24'-4"
520cm	17'-4"
480cm	16'-0"
442cm	15'-5"
370cm	12'-4"
340cm	11'-4"
310cm	10'-4"
250cm	8'-4"

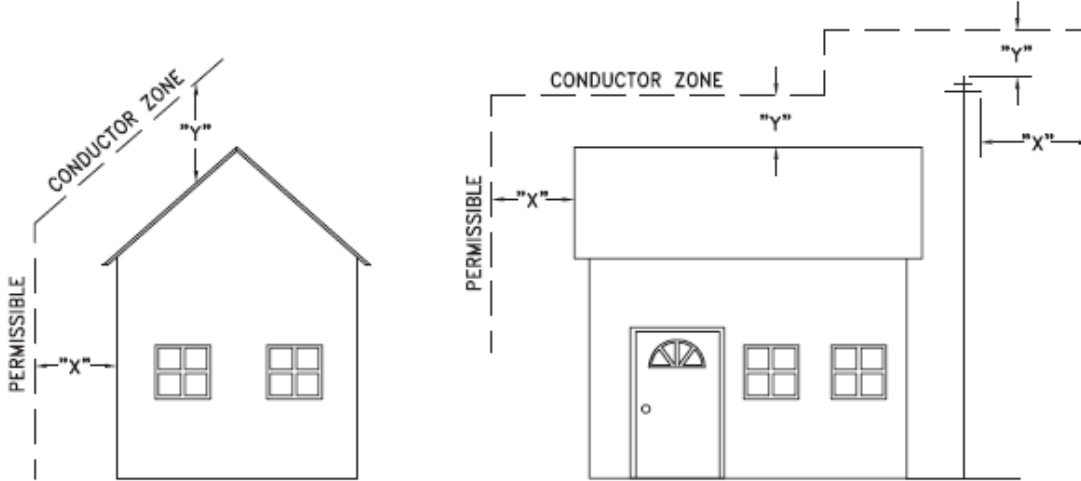
REFERENCES

SAGS AND TENSIONS | SECTION 02

MINIMUM VERTICAL CLEARANCES OF WIRES, CABLES AND CONDUCTORS ABOVE GROUND OR RAILS

ORIGINAL ISSUE DATE: 2010-DEC-24 REVISION NO: R1 REVISION DATE: 2012-JAN-09

Certificate of Approval	
This construction Standard meets the safety requirements of Section 4 of Regulation 22/04	
Joe Crozier, P.Eng.	2012-JAN-09
Name	Date
P.Eng. Approval By:	Joe Crozier



VOLTAGE	MINIMUM HORIZONTAL CLEARANCE UNDER MAXIMUM SWING CONDITIONS DIMENSION "X" (SEE NOTES 1, 3 & 4)	MINIMUM VERTICAL CLEARANCE UNDER MAXIMUM DESIGN SAG CONDITIONS DIMENSION "Y" (SEE NOTES 1, 2, 4 & 5)
0-600V AND NEUTRAL	100cm	250cm
4.16/2.4 TO 44kV	300cm	480cm

NOTES

1. UNDER NO CIRCUMSTANCES SHALL A CONDUCTOR BE PERMITTED TO PENETRATE THE ENVELOPE SHOWN BY THE DOTTED LINE.
2. THE VERTICAL CLEARANCES ARE UNDER CONDITIONS OF MAXIMUM DESIGN SAG.
3. THE HORIZONTAL CLEARANCES ARE UNDER CONDITIONS OF MAXIMUM SWING. WHERE THE CONDUCTOR SWING IS NOT KNOWN A HORIZONTAL CLEARANCE OF 480CM SHALL BE USED.
4. BUILDINGS THAT EXCEED 3 STOREYS OR 15M IN HEIGHT, THE MINIMUM HORIZONTAL CLEARANCE OF THE SECONDARY CONDUCTORS SHOULD BE INCREASED TO 300cm WHERE IT IS NECESSARY TO ALLOW FOR THE RAISING OF LADDERS BY LOCAL FIRE DEPARTMENTS.
5. IN SITUATIONS SUCH AS MULTI-LEVEL GARAGES, WHERE ROOFS ARE NORMALLY USED BY PERSONS AND VEHICLES, THE VERTICAL CLEARANCES OF POWERSTREAM STANDARD 03-1 SHALL APPLY.
6. DISTRIBUTION LINES CONSTRUCTED NEAR BUILDINGS SHALL BE BUILT TO AVOID OVERHANG WHEREVER POSSIBLE. WHERE LINES MUST BE CONSTRUCTED OVER OR ADJACENT TO BUILDINGS THE APPLICABLE HORIZONTAL AND VERTICAL CLEARANCES SHALL BE AT CONDITIONS OF MAXIMUM CONDUCTOR SWING AND MAXIMUM SAG. THE ABOVE CLEARANCES ARE DESIGNED TO PREVENT PERSONS ON OR IN BUILDINGS AS WELL AS EXTERNAL MACHINERY USED IN CONJUNCTION WITH A BUILDING TO COME IN CONTACT WITH CONDUCTORS. EFFORTS SHOULD BE MADE TO INCREASE THESE CLEARANCES WHERE POSSIBLE.
7. ALL CLEARANCES ARE IN ACCORDANCE TO CSA C22.3 NO.1-06 (TABLE-9).

METRIC	IMPERIAL (APPROX)
480cm	16'-0"
300cm	10'-0"
250cm	8'-4"
100cm	3'-4"

MINIMUM VERTICAL & HORIZONTAL CLEARANCES OF CONDUCTORS FROM BUILDINGS OR OTHER PERMANENT STRUCTURES (CONDUCTORS NOT ATTACHED TO BUILDINGS)

Certificate of Approval
This construction Standard meets the safety requirements of Section 4 of Regulation 22/04
Debbie Dadwani, P.Eng. 2010-MAY-05
Name Date
P. Eng. Approval By: *D. Dadwani*

ORIGINAL ISSUE DATE: 2010-MAY-05 REVISION NO: REVISION DATE:
PS:\System Planning and Standards\Standard Design\PowerStream Standards\PowerStream Standards working files\Section 3,3-4\DWG 03-4 R0 May 5, 2010.dwg, 5/5/2010 10:22:02 AM, Adobe PDF

Prabhdeep Kaur

From: Development Services <developmentsservices@york.ca>
Sent: Monday, May 13, 2024 11:57 AM
To: Prabhdeep Kaur
Cc: Committee of Adjustment
Subject: [External] RE: A034/24 (6 CAMPBELL ROAD) - REQUEST FOR COMMENTS, CITY OF VAUGHAN

CAUTION! This is an external email. Verify the sender's email address and carefully examine any links or attachments before clicking. If you believe this may be a phishing email, please use the Phish Alert Button.

Hi Prabhdeep,

The Regional Municipality of York has completed its review of the minor variance application – A034/24 (6 Campbell Road) and has no comment.

Please provide us with a digital copy of the notice of decision for our records.

Many thanks,

Our working hours may be different. Please do not feel obligated to reply outside of your scheduled working hours. Let's work together to help foster healthy work-life boundaries.

Niranjan Rajevan, M.Pl. | Associate Planner, Development Services, Planning and Economic Development, Corporate Services

The Regional Municipality of York | 17250 Yonge Street | Newmarket, ON L3Y 6Z1
1-877-464-9675 ext. 71521 | niranjan.rajevan@york.ca | www.york.ca

Our Values: Integrity, Commitment, Accountability, Respect, Excellence



Our Mission: **Working together to serve our thriving communities – today and tomorrow**

Please consider the environment before printing this email.

From: [Joshua Lacaria](#)
To: [Committee of Adjustment](#)
Cc: [Cameron McDonald](#)
Subject: [External] A034/24 (6 CAMPBELL ROAD) - REQUEST FOR COMMENTS, CITY OF VAUGHAN
Date: Wednesday, May 8, 2024 12:51:59 PM
Attachments: [image002.png](#)

CAUTION! This is an external email. Verify the sender's email address and carefully examine any links or attachments before clicking. If you believe this may be a phishing email, please use the Phish Alert Button.

Good afternoon,

Based on a review of our screening mapping, I can confirm that the subject property is not located within TRCA's Regulated Area. As such, any site alteration or development on the property would not require a permit from TRCA.

Based on the above, we have no comments/requirements.

Regards,

Joshua Lacaria, MES (PI)

Planner

Development Planning and Permits | Development and Engineering Services
Toronto and Region Conservation Authority (TRCA)

T: [\(437\) 880 2347](tel:(437)8802347)

E: joshua.lacaria@trca.ca

A: [101 Exchange Avenue, Vaughan, ON, L4K 5R6](https://www.trca.ca) | [trca.ca](https://www.trca.ca)



NOTICE OF HEARING **REVISED
MINOR VARIANCE APPLICATION A034/24

Section 45 of the Planning Act, R.S.O, 1990, c.P.13

TO OBTAIN MORE INFORMATION REGARDING THIS APPLICATION, INCLUDING THE PLANS & DRAWINGS SUBMITTED WITH THE APPLICATION, PLEASE CALL 905-832-2281 EXTENSION 8332 OR EMAIL COFA@VAUGHAN.CA

DATE OF MEETING: Thursday, June 20, 2024

TIME: 6:00 p.m.

MEETING LOCATION: Vaughan City Hall, Woodbridge Room, 2nd Floor, 2141 Major Mackenzie Drive, Vaughan

LIVE STREAM LINK: Vaughan.ca/LiveCouncil

PUBLIC PARTICIPATION

If you would like to speak to the Committee of Adjustment at the meeting, either remotely or in person, please complete the [Request to Speak Form](#) and submit to cofa@vaughan.ca

If you would like to submit written comments, please quote file number above and submit by mail or email to:

Email: cofa@vaughan.ca

Mail: City of Vaughan, Office of the City Clerk, Committee of Adjustment, 2141 Major Mackenzie Drive, Vaughan, ON, L6A 1T1

To speak electronically, pre-registration is required by completing the [Request to Speak Form](#) on-line and submitting it to cofa@vaughan.ca no later than NOON on the last business day before the meeting.

THE DEADLINE TO REGISTER TO SPEAK ELECTRONICALLY OR SUBMIT WRITTEN COMMENTS ON THE ABOVE NOTED FILE(S) IS NOON ON THE LAST BUSINESS DAY BEFORE THE MEETING.

FILE NUMBER:	A034/24
APPLICANT:	Naftali Rabinowitz & Ella Segal-Pillemer
AGENT:	Evans Planning
PROPERTY:	6 Campbell Avenue, Thornhill
ZONING DESIGNATION:	See below.
VAUGHAN OFFICIAL PLAN (2010) DESIGNATION:	Vaughan Official Plan 2010 ('VOP 2010'): "Low-Rise Residential".
RELATED DEVELOPMENT APPLICATIONS:	None
PROPOSAL:	Relief from the Zoning By-law is being requested to permit the construction of a proposed dwelling.

The subject lands are zoned R2A(EN) – Estate Residential Zone (Established Neighbourhood) and subject to the provisions of Exception 14.140 under Zoning By-law 001-2021.

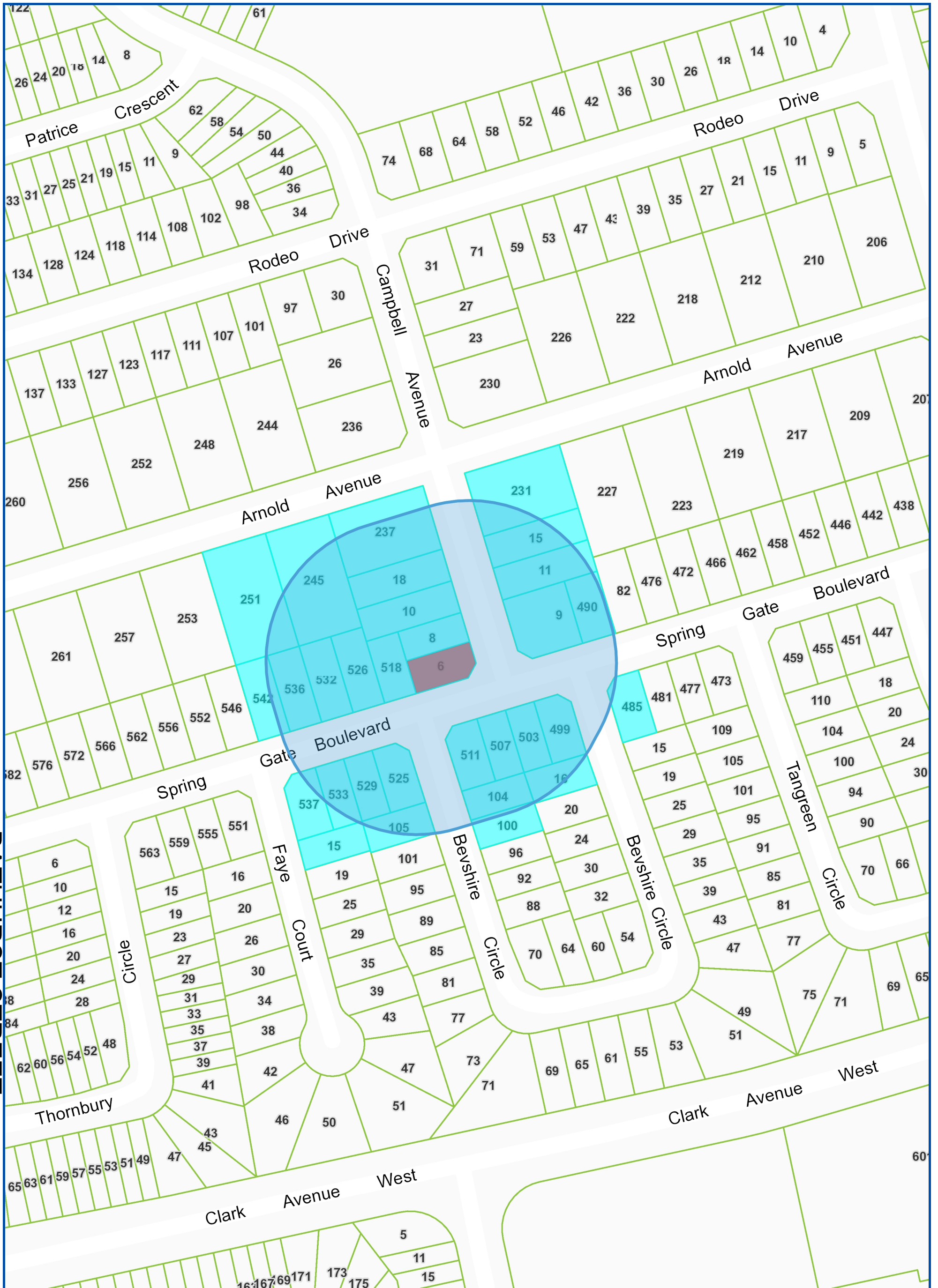
#	Zoning By-law 001-2021	Variance requested
1	A minimum front yard of 7.5 m is required to a dwelling wall. [Exception 14.140, Figure T-86]	To permit a minimum front yard of *7.09 m to a dwelling wall.
2	A maximum encroachment of 2.4 m into the minimum required rear yard for an uncovered platform with a floor height of 0.57 m a measured above grade and	To permit a maximum encroachment of 3.0 m into the minimum required rear yard for an uncovered platform with a floor height of 0.57 m, measured above grade

#	Zoning By-law 001-2021	Variance requested
	including access stairs, is permitted (a minimum rear setback of 5.1 m is required). [4.13]	and including access stairs (a minimum rear setback of 4.5 m is proposed).
3	A minimum exterior side yard of 4.5 m is required to a dwelling wall. [Exception 14.140, Figure T-86]	To permit a minimum exterior side yard of 3.4 m to a dwelling wall.
4	A maximum lot coverage of 35% is permitted. [Exception 14.140, Figure T-86]	To permit a maximum lot coverage of *38.5%.
5	A maximum height of 8.5 m is permitted for a dwelling. [4.5]	To permit a maximum height of 9.37 m for a dwelling.

The subject lands are zoned R2, Residential and subject to the provisions of Exception 9(275) under Zoning By-law 1-88.

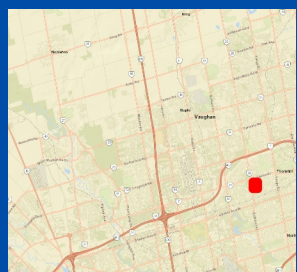
#	Zoning By-law 1-88	Variance requested
1	A minimum front yard setback of 7.5 m is required to a dwelling wall. [Exception 9(275)]	To permit a minimum front yard setback of *7.09 m to a dwelling wall.
2	A minimum front yard setback of 7.5 m is required to a covered and excavated porch and stairs. [Exception 9(275)]	To permit a minimum front yard setback of *5.84 m to a covered and excavated porch and stairs.
3	A maximum encroachment of 1.8 m into the minimum required rear yard of 7.5 m for an unexcavated and uncovered porch is permitted (a minimum rear setback of 5.7 m is required). [3.14 c]	To permit a maximum encroachment of 3.0 m into the minimum required rear yard of 7.5 m for an unexcavated and uncovered porch (a minimum rear setback of 4.5 m is proposed).
4	A minimum exterior side yard setback of 4.5 m is required to a dwelling wall. [Exception 9(275)]	To permit a minimum exterior side yard setback of 3.4 m to a dwelling wall.
5	A maximum lot coverage of 35% is permitted. [Exception 9(275)]	To permit a maximum lot coverage of *38.5%.
6	A minimum of 3 (three) parking spaces per dwelling unit for lots with a lot frontage greater than 11.0 m is required. [3.8 a]	To permit a minimum of 2 (two) parking spaces per dwelling unit with a lot with a lot frontage greater than 11.0 m.

PLEASE SEE REVERSE FOR LOCATION MAP OF THE SUBJECT LAND AND IMPORTANT INFORMATION REGARDING PROCESS & PUBLIC PARTICIPATION.



BATHURST STREET

Map Information:



Title:

NOTIFICATION MAP - A034/24

6 CAMPBELL AVENUE, THORNHILL

Disclaimer:

Every reasonable effort has been made to ensure that the information appearing on this map is accurate and current. We believe the information to be reliable, however the City of Vaughan assumes no responsibility or liability due to errors or omissions. Please report any discrepancies to Infrastructure Programming.



Scale: 1: 2,257

0 0.04 km



Created By:

Infrastructure Delivery

Department

March 6, 2024 10:24 AM

Projection:

NAD 83

UTM Zone

17N

IMPORTANT INFORMATION

PUBLIC PARTICIPATION AT THE HEARING: If you have submitted a [Request to Speak Form](#), you will be emailed a link to the hearing on the last business day prior to the hearing. This link cannot be shared without permission from Committee of Adjustment staff. If you do not receive a link to the hearing, please email cofa@vaughan.ca

Presentations to the Committee are limited to 5 minutes in length.

Please note that Committee of Adjustment meetings may be audio/video recorded. Your name, address comments and any other personal information will form part of the public record pertaining to this application.

PUBLIC RECORD: Personal information collected because of this public meeting is collected under the authority of the *Municipal Act*, the *Municipal Freedom of Information and Protection of Privacy Act* (MFIPPA), the *Planning Act* and all other relevant legislation, and will be used to assist in deciding on this matter. All personal information (as defined by MFIPPA), including (but not limited to) names, addresses, opinions and comments collected will become property of the City of Vaughan, **will be made available** for public disclosure (including being posted on the internet) and will be used to assist the Committee of Adjustment and staff to process this application.

NOTICE OF DECISION: If you wish to be notified of the decision in respect to this application or a related Ontario Land Tribunal (OLT) hearing you must complete the attached Request for Decision Form and submit to cofa@vaughan.ca to the Secretary Treasurer. In the absence of a written request to be notified of the Committee's decision you will **not** receive notice of future hearings on this application.

APPEALING TO THE ONTARIO LAND TRIBUNAL (OLT): The applicant, the Minister or a **specified person** or public body that has an interest in the matter may within 20 days of the making of the decision appeal to the Tribunal against the decision of the committee by filing with the secretary-treasurer of the committee a notice of appeal setting out the objection to the decision.

IMPORTANT CHANGES TO THIRD PARTY APPEAL RIGHTS

The Provincial Government has amended the Planning Act and generally removed rights of third parties to appeal Committee of Adjustment decisions. As of November 28, 2022, only the applicant, the Minister of Municipal Affairs and Housing, specified persons and public bodies (as defined in the Planning Act), are permitted to appeal decisions of the Committee of Adjustment.

NOTICE REQUIREMENTS FOR LANDLORDS & CONDOMINIUM CORPORATIONS: In accordance with Ontario Regulation 197/96 if you own a building that contains more than 7 (seven) residential units, you must post this public notice in a location that is visible to all residents within your building.

In accordance with the Condominium Act, a corporation that is served with a notice under the Planning Act shall notify all persons whose names are in the record of the corporation maintained under subsection 47 (2) and shall make a copy of the notice available for examination.

IMPORTANT NOTICE TO OWNER AND/OR AGENT: If you do not attend or are not represented at this hearing, the Committee may adjourn the file or proceed in your absence and make a decision, or may consider the application to have been abandoned or withdrawn, and close the file.

DATE OF PUBLIC NOTICE: June 6, 2024

REVISED NOTICE ISSUED: June 10, 2024

Christine Vigneault
Manager of Development Services and Secretary
Treasurer to the Committee of Adjustment
905-832-8585 x 8332
CofA@vaughan.ca



Committee of Adjustment
2141 Major Mackenzie Drive, Vaughan, ON L6A 1T1
T 905 832 8585
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REQUEST FOR DECISION A034/24

To be notified of the Committee's decision or a related Ontario Land Tribunal (OLT) hearing you must complete this form and submit to the Secretary Treasurer, Committee of Adjustment.

Please provide a copy of the Committee's Decision with respect to :

Name: _____

Address: _____

Postal Code: _____

Phone Number: _____

Email Address: _____

Date Request Submitted: _____

*Please print and ensure form is legible

NOTICE OF HEARING
MINOR VARIANCE APPLICATION A034/24
 Section 45 of the Planning Act, R.S.O, 1990, c.P.13

TO OBTAIN MORE INFORMATION REGARDING THIS APPLICATION, INCLUDING THE PLANS & DRAWINGS SUBMITTED WITH THE APPLICATION, PLEASE CALL 905-832-2281 EXTENSION 8332 OR EMAIL COFA@VAUGHAN.CA

DATE OF MEETING: Thursday, June 20, 2024
TIME: 6:00 p.m.
MEETING LOCATION: Vaughan City Hall, Woodbridge Room, 2nd Floor, 2141 Major Mackenzie Drive, Vaughan
LIVE STREAM LINK: Vaughan.ca/LiveCouncil

PUBLIC PARTICIPATION

If you would like to speak to the Committee of Adjustment at the meeting, either remotely or in person, please complete the [Request to Speak Form](#) and submit to cofa@vaughan.ca

If you would like to submit written comments, please quote file number above and submit by mail or email to:

Email: cofa@vaughan.ca

Mail: City of Vaughan, Office of the City Clerk, Committee of Adjustment, 2141 Major Mackenzie Drive, Vaughan, ON, L6A 1T1

To speak electronically, pre-registration is required by completing the [Request to Speak Form](#) on-line and submitting it to cofa@vaughan.ca no later than NOON on the last business day before the meeting.

THE DEADLINE TO REGISTER TO SPEAK ELECTRONICALLY OR SUBMIT WRITTEN COMMENTS ON THE ABOVE NOTED FILE(S) IS NOON ON THE LAST BUSINESS DAY BEFORE THE MEETING.

FILE NUMBER:	A034/24
APPLICANT:	Naftali Rabinowitz & Ella Segal-Pillemer
AGENT:	Evans Planning
PROPERTY:	6 Campbell Avenue, Thornhill
ZONING DESIGNATION:	See below.
VAUGHAN OFFICIAL PLAN (2010) DESIGNATION:	Vaughan Official Plan 2010 ('VOP 2010'): "Low-Rise Residential".
RELATED DEVELOPMENT APPLICATIONS:	None
PROPOSAL:	Relief from the Zoning By-law is being requested to permit the construction of a proposed dwelling.

The following variances are being requested from the City's Zoning By-law to accommodate the above proposal:

The subject lands are zoned R2A(EN) – Estate Residential Zone (Established Neighbourhood) and subject to the provisions of Exception 14.140 under Zoning By-law 001-2021.

#	Zoning By-law 001-2021	Variance requested
1	A minimum front yard of 7.5 m is required to a dwelling wall. [Exception 14.140, Figure T-86]	To permit a minimum front yard of 6.6 m to a dwelling wall. *Variance confirmed using Zoning Review Waiver

#	Zoning By-law 001-2021	Variance requested
2	A maximum encroachment of 2.0 m into the minimum required front yard of 7.5 m is permitted for a porch, including access stairs from grade. (a minimum setback of 5.5 m is required from the front lot line to a porch including access stairs from grade). [Exception 14.140, Figure T-86 and Subsection 4.13 of the bylaw]	To permit a maximum encroachment of 1.87 m into the minimum required front yard of 7.5 m for a porch, including access stairs from grade. *Variance confirmed using Zoning Review Waiver
3	A maximum encroachment of 2.4 m into the minimum required rear yard for an uncovered platform with a floor height of 0.57 m a measured above grade and including access stairs, is permitted (a minimum rear setback of 5.1 m is required).	To permit a maximum encroachment of 3.0 m into the minimum required rear yard for an uncovered platform with a floor height of 0.57 m, measured above grade and including access stairs (a minimum rear setback of 4.5 m is proposed).
4	A minimum exterior side yard of 4.5 m is required to a dwelling wall. [Exception 14.140, Figure T-86]	To permit a minimum exterior side yard of 3.4 m to a dwelling wall.
5	A maximum lot coverage of 35% is permitted. [Exception 14.140, Figure T-86]	To permit a maximum lot coverage of 36.5% . *Variance confirmed using Zoning Review Waiver
6	A maximum height of 8.5 m is permitted for a dwelling.	To permit a maximum height of 9.37 m for a dwelling.

The subject lands are zoned R2, Residential and subject to the provisions of Exception 9(275) under Zoning By-law 1-88.

#	Zoning By-law 1-88	Variance requested
1	A minimum front yard setback of 7.5 m is required to a dwelling wall. [Exception 9(275)]	To permit a minimum front yard of 6.6 m to a dwelling wall. *Variance confirmed using Zoning Review Waiver
2	A minimum front yard setback of 7.5 m is required to a covered and excavated porch and stairs. [Exception 9(275)]	To permit a minimum front yard setback of 5.62 m to a covered and excavated porch and stairs. *Variance confirmed using Zoning Review Waiver
3	A maximum encroachment of 1.8 m into the minimum required rear yard of 7.5 m for an unexcavated and uncovered porch is permitted (a minimum rear setback of 5.7 m is required). [3.14 c]	To permit a maximum encroachment of 3.0 m into the minimum required rear yard of 7.5 m for an unexcavated and uncovered porch (a minimum rear setback of 4.5 m is proposed).
4	A minimum exterior side yard setback of 4.5 m is required to a dwelling wall. [Exception 9(275)]	To permit a minimum exterior side yard setback of 3.4 m to a dwelling wall.
5	A maximum lot coverage of 35% is permitted. [Exception 9(275)]	To permit a maximum lot coverage of 36.5% . *Variance confirmed using Zoning Review Waiver
6	A minimum of 3 (three) parking spaces per dwelling unit for lots with a lot frontage greater than 11.0 m is required. [3.8 a]	To permit a minimum of 2 (two) parking spaces per dwelling unit with a lot with a lot frontage greater than 11.0 m.

PLEASE SEE REVERSE FOR LOCATION MAP OF THE SUBJECT LAND AND IMPORTANT INFORMATION REGARDING PROCESS & PUBLIC PARTICIPATION.

IMPORTANT INFORMATION

PUBLIC PARTICIPATION AT THE HEARING: If you have submitted a [Request to Speak Form](#), you will be emailed a link to the hearing on the last business day prior to the hearing. This link cannot be shared without permission from Committee of Adjustment staff. If you do not receive a link to the hearing, please email cofa@vaughan.ca

Presentations to the Committee are limited to 5 minutes in length.

Please note that Committee of Adjustment meetings may be audio/video recorded. Your name, address comments and any other personal information will form part of the public record pertaining to this application.

PUBLIC RECORD: Personal information collected because of this public meeting is collected under the authority of the *Municipal Act*, the *Municipal Freedom of Information and Protection of Privacy Act* (MFIPPA), the *Planning Act* and all other relevant legislation, and will be used to assist in deciding on this matter. All personal information (as defined by MFIPPA), including (but not limited to) names, addresses, opinions and comments collected will become property of the City of Vaughan, **will be made available** for public disclosure (including being posted on the internet) and will be used to assist the Committee of Adjustment and staff to process this application.

NOTICE OF DECISION: If you wish to be notified of the decision in respect to this application or a related Ontario Land Tribunal (OLT) hearing you must complete the attached Request for Decision Form and submit to cofa@vaughan.ca to the Secretary Treasurer. In the absence of a written request to be notified of the Committee's decision you will **not** receive notice of future hearings on this application.

APPEALING TO THE ONTARIO LAND TRIBUNAL (OLT): The applicant, the Minister or a **specified person** or public body that has an interest in the matter may within 20 days of the making of the decision appeal to the Tribunal against the decision of the committee by filing with the secretary-treasurer of the committee a notice of appeal setting out the objection to the decision.

IMPORTANT CHANGES TO THIRD PARTY APPEAL RIGHTS

The Provincial Government has amended the Planning Act and generally removed rights of third parties to appeal Committee of Adjustment decisions. As of November 28, 2022, only the applicant, the Minister of Municipal Affairs and Housing, specified persons and public bodies (as defined in the Planning Act), are permitted to appeal decisions of the Committee of Adjustment.

NOTICE REQUIREMENTS FOR LANDLORDS & CONDOMINIUM CORPORATIONS: In accordance with Ontario Regulation 197/96 if you own a building that contains more than 7 (seven) residential units, you must post this public notice in a location that is visible to all residents within your building.

In accordance with the Condominium Act, a corporation that is served with a notice under the Planning Act shall notify all persons whose names are in the record of the corporation maintained under subsection 47 (2) and shall make a copy of the notice available for examination.

IMPORTANT NOTICE TO OWNER AND/OR AGENT: If you do not attend or are not represented at this hearing, the Committee may adjourn the file or proceed in your absence and make a decision, or may consider the application to have been abandoned or withdrawn, and close the file.

DATE OF PUBLIC NOTICE: June 7, 2024

Christine Vigneault
Manager of Development Services and Secretary
Treasurer to the Committee of Adjustment
905-832-8585 x 8332
CofA@vaughan.ca



Committee of Adjustment
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SCHEDULE C: PUBLIC & APPLICANT CORRESPONDENCE

Correspondence Type	Name	Address	Date Received (mm/dd/yyyy)	Summary
Applicant			02/07/2024	Application Cover Letter



February 7, 2024

City of Vaughan
Committee of Adjustment
2141 Major Mackenzie Drive
Vaughan, Ontario

Attn: Ms. Christine Vigneault, Manager, Development Services and Secretary Treasurer to the Committee of Adjustment

Re: Applications for Minor Variance
6 Campbell Avenue
City of Vaughan

Evans Planning Inc. acts on behalf of Naftali Tzvi Nachshon Rabinowitz and Ella Segal-Pillemer, the “Owners” of land located at 6 Campbell Avenue in the City of Vaughan (the ‘subject land’). On May 5, 2022, the Owner obtained approval from the Committee of Adjustment to sever the property at 8 Campbell (application B001/22). Associated Minor Variance applications A011/22 and A012/22 were also approved by the Committee on this date to recognize reduced lot areas, lot frontage and building height for the proposed lots.

The Owner has proposed the construction of a new single detached dwelling on the subject property and identified additional minor variances that will be required for the proposed dwelling. The proposed development would result in a modest form of intensification in an area currently designated *Low Rise Residential* within the City of Vaughan Official Plan, with development standards that are generally reflective of the existing neighbourhood, which with a built form that respects and reinforces the existing character of the area.

Relief is required for maximum lot coverage and minimum front yard setback provisions of Zoning By-law 001-2021.

Requirement	01-2021 (Ex. 140) – (Schedule T-86)		
	Required	Proposed	Relief Requested
Min. Front Yard Setback	7.5	5.80	5.75
Max. Coverage	35%	38.3%	38.5%
Min. Exterior Yard Setback	4.5	3.40	3.3

Four Tests of the Planning Act:

The Planning Act provides the following tests to be considered in the review of an application for Minor Variance relief. The following section provides our opinion with respect to how each of these has been satisfied in the consideration of the proposed development.

Test 1: Conformity to the general intent of the Official Plan:

The subject property is identified as being in the *Low-Rise Residential* land use designation within the City of Vaughan Official Plan. The *Low-Rise Residential* designation permits single-detached dwellings. The proposal further meets the requirements of the Official Plan as the proposed lots and built form are compatible with the character of the adjacent and surrounding area. The proposed single detached dwelling will be compatible with respect to predominant building forms and types, massing, landscaped areas and treatments, and general pattern of side yard and rear yard setbacks. The character of the existing neighborhood is maintained, and the proposed dwelling will provide for a 'fit' in the area.

While a reduction of front yard and exterior side yard setbacks is sought, space for landscape area, as well as the separation between the dwelling and the street is maintained, with no expected negative impacts to the existing streetscape. The surrounding neighbourhood has many variations in front yard setbacks, which adds visual interest and compliments the character of the neighbourhood. While an increase in the lot coverage is sought, the massing and built form of the proposed dwelling is similar to the surrounding properties. The surrounding neighborhood has lots with similar or higher lot coverage. To summarize, lots of comparable front yard setbacks and lot coverage do form part of the neighborhood fabric, thus the proposed dwellings would not be out of place. The proposed detached dwellings will have similar setbacks, height, lot coverage and frontage to other residential dwellings in the area. As such, the proposed development and subsequent variances conform to the general intent of the Official Plan.

Test 2: Conformity to the general intent of the Zoning By-Law:

The subject property is zoned *Low Rise Residential (R2)* by City of Vaughan Zoning By-law I-88, as amended. Single detached dwellings are permitted in the R2 Zone. Although the proposed Minor Variance is requesting an increased lot coverage standards of the By-law, the proposed lots will be consistent with many lot sizes in the immediate area and many of the lots on Spring Gate Boulevard. While the Minor Variance is requesting a reduction in the front yard and exterior side yard setback, there would be sufficient space for landscape as well as maintain the separation of the dwelling from the street. This reduction of the front yard setback would not be apparent for a passerby. The intent of zoning standards is to maintain consistent development patterns for an area. Given that the proposed lot coverage, exterior side yard and front yard setback will be similar to other lots in the immediate area, the proposal is in keeping with the intent and purpose of the By-law.

Test 3: Is the requested relief minor in nature?



The proposed variances are considered minor as they are site specific in nature, and will not be readily apparent to a passerby. The requested variances are modest and will not have an impact on the surrounding neighborhood. It is expected that the proposed dwelling will integrate with the existing community fabric. Therefore, the requested relief is minor in nature.

Test #4: Is the variance desirable for the appropriate development or use of the lands in question?

The proposed variances are desirable for the appropriate development of the subject property. The proposed detached dwelling will not impede any viewscales enjoyed by surrounding property owners and will be compatible with other homes in the neighborhood. The relief being sought by the applicant is consistent with the character of the surrounding neighbourhood.

Conclusion:

The proposed changes are minor in nature and would not impose any impacts upon the use of the property that fall outside of the general intent of the Vaughan official plan and Zoning By-law. The changes and development would be appropriate for the area, as the character and streetscape of the existing neighbourhood are respected and maintained.

I trust that the enclosed information is sufficient for your review of these revised applications. Should you require any additional materials please contact the undersigned at your earliest convenience.

Yours truly,

Devanshi Mehta
Associate Planner

cc. Naftali Tzvi Nachshon Rabinowitz and Ella Segal-Pillemer

SCHEDULE D: BACKGROUND

None