

<b>ITEM: 6.5</b>	<b>REPORT SUMMARY MINOR VARIANCE APPLICATION FILE NUMBER A028/24</b>
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Report Date: June 14, 2024

**THIS REPORT CONTAINS COMMENTS FROM THE FOLLOWING  
DEPARTMENTS & AGENCIES (SEE SCHEDULE B):**

Additional comments from departments and agencies received after the publication of the report will be made available on the City's [website](#).

Internal Departments <small>*Comments Received</small>	Conditions Required		Nature of Comments
Committee of Adjustment	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>	General Comments
Building Standards (Zoning)	Yes <input type="checkbox"/>	No <input type="checkbox"/>	Application Under Review
Development Planning	Yes <input type="checkbox"/>	No <input type="checkbox"/>	Application Under Review
Development Engineering	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>	Recommend Approval/No Conditions
Development Finance	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>	General Comments

External Agencies <small>*Comments Received</small>	Conditions Required		Nature of Comments <small>*See Schedule B for full comments</small>
Alectra	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>	General Comments
TRCA	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>	General Comments
Region of York	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>	General Comments

<b>PUBLIC &amp; APPLICANT CORRESPONDENCE (SEE SCHEDULE C)</b>				
<p>All personal information collected because of this public meeting (including both written and oral submissions) is collected under the authority of the Municipal Act, the Municipal Freedom of Information and Protection of Privacy Act (MFIPPA), the Planning Act and all other relevant legislation, and will be used to assist in deciding on this matter. All personal information (as defined by MFIPPA), including (but not limited to) names, addresses, opinions and comments collected will become property of the City of Vaughan, will be made available for public disclosure (including being posted on the internet) and will be used to assist the Committee of Adjustment and staff to process this application.</p>				
Correspondence Type	Name	Address	Date Received <small>(mm/dd/yyyy)</small>	Summary
None				

<b>BACKGROUND (SCHEDULE D, IF REQUIRED)</b>	
<p><small>* Background Information contains historical development approvals considered to be related to this file. This information should not be considered comprehensive.</small></p>	
Application No. (City File)	Application Description <small>(i.e. Minor Variance Application; Approved by COA / OLT)</small>
N/A	N/A

<b>ADJOURNMENT HISTORY</b>	
<small>* Previous hearing dates where this application was adjourned by the Committee and public notice issued.</small>	
Hearing Date	Reason for Adjournment <small>(to be obtained from NOD_ADJ)</small>
N/A	N/A

<b>SCHEDULES</b>	
<b>Schedule A</b>	Drawings & Plans Submitted with the Application
<b>Schedule B</b>	Comments from Agencies, Building Standards & Development Planning
<b>Schedule C</b> (if required)	Public & Applicant Correspondence
<b>Schedule D</b> (if required)	Background



## MINOR VARIANCE APPLICATION FILE NUMBER A028/24

<b>CITY WARD #:</b>	4
<b>APPLICANT:</b>	Bitra Rezazedenbaghael & Mohammad Vakili Rad
<b>AGENT:</b>	None
<b>PROPERTY:</b>	5 Keatley Drive, Maple
<b>ZONING DESIGNATION:</b>	See below.
<b>VAUGHAN OFFICIAL PLAN (2010) DESIGNATION:</b>	Vaughan Official Plan 2010 ("VOP 2010"): "Low-Rise Residential" by Volume 2, Section 13.26 North West Corner of Bathurst Street and Major Mackenzie Drive.
<b>RELATED DEVELOPMENT APPLICATIONS:</b>	None
<b>PURPOSE OF APPLICATION:</b>	Relief from the Zoning By-law is being requested to permit a proposed gazebo in the rear yard and reduced front yard landscaping requirements.

The following variances are being requested from the City's Zoning By-law to accommodate the above proposal:

**The subject lands are zoned R3 – Third Density Residential Zone and subject to the provisions of Exception 14.1014 under Zoning By-law 001-2021, as amended.**

#	Zoning By-law 001-2021	Variance requested
1	A residential accessory structure with a height greater than 2.8m shall not be located closer than 2.4m to any lot line. [Section 4.1.2.1b)]	To permit a residential accessory structure with a height greater than 2.8m to be located a minimum of 1.30m from the interior side lot line.
2	In a Residential Zone, where lot frontage is 12.0 m or greater, the minimum landscape requirement of the front yard containing the driveway shall be 50%, of which 60% shall be soft landscaping. [Section 4.19.1.2.b)]	To permit a minimum of 33.91% of the front yard to be landscaped of which 6.48% to be soft landscaped. <b>**Variance Under Review</b>

### HEARING INFORMATION

**DATE OF MEETING:** Thursday, June 20, 2024

**TIME:** 6:00 p.m.

**MEETING LOCATION:** Vaughan City Hall, Woodbridge Room (2<sup>nd</sup> Floor), 2141 Major Mackenzie Drive

**LIVE STREAM LINK:** [Vaughan.ca/LiveCouncil](http://Vaughan.ca/LiveCouncil)

#### PUBLIC PARTICIPATION

If you would like to speak to the Committee of Adjustment at the meeting, either remotely or in person, please complete the [Request to Speak Form](#) and submit to [cofa@vaughan.ca](mailto:cofa@vaughan.ca)

If you would like to submit written comments, please quote file number above and submit by mail or email to:

**Email:** [cofa@vaughan.ca](mailto:cofa@vaughan.ca)

**Mail:** City of Vaughan, Office of the City Clerk, Committee of Adjustment, 2141 Major Mackenzie Drive, Vaughan, ON, L6A 1T1

To speak electronically, pre-registration is required by completing the [Request to Speak Form](#) on-line and submitting it to [cofa@vaughan.ca](mailto:cofa@vaughan.ca) no later than NOON on the last business day before the meeting.

**THE DEADLINE TO REGISTER TO SPEAK ELECTRONICALLY OR SUBMIT WRITTEN COMMENTS ON THE ABOVE NOTED FILE(S) IS NOON ON THE LAST BUSINESS DAY BEFORE THE MEETING.**

## INTRODUCTION

Staff and Agencies act as advisory bodies to the Committee of Adjustment. The comments contained in this report are presented as recommendations to the Committee.

Section 45(1) of the Planning Act sets the criteria for authorizing minor variances to the City of Vaughan's Zoning By-law. Accordingly, review of the application may consider the following:

- That the general intent and purpose of the by-law will be maintained.
- That the general intent and purpose of the official plan will be maintained.
- That the requested variance(s) is/are acceptable for the appropriate development of the subject lands.
- That the requested variance(s) is/are minor in nature.

Public written and oral submissions relating to this application are taken into consideration by the Committee of Adjustment as part of its deliberations and final decision on this matter.

## COMMITTEE OF ADJUSTMENT

<b>Date Public Notice Mailed:</b>	June 6, 2024
<b>Date Applicant Confirmed Posting of Sign:</b>	June 4, 2024
<b>Applicant Justification for Variances:</b> <small>*As provided in Application Form</small>	Variance for widening driveway, reducing softscape & Gazebo to property line.
<b>Was a Zoning Review Waiver (ZRW) Form submitted by Applicant:</b> <small>*ZRW Form may be used by applicant in instances where a revised submission is made, and zoning staff do not have an opportunity to review and confirm variances prior to the issuance of public notice.</small>	Yes <input checked="" type="checkbox"/> No <input type="checkbox"/>

### COMMENTS:

**On May 30, 2024, Development Planning provided the following:**

Development Planning Staff have conducted a review of the above-noted Minor Variance application. Staff would not be in a position to support the requested variance for the 6.8% soft landscaping in the front yard. We will require improvements made to the front yard and encourage you to consider placing grass along the easterly portion, and/or to install a much larger L-shaped planter in the front yard. Urban Design Staff have also reviewed the proposal and provided the attached comments.

Please note that City Staff are recommending adjournment of the application to the next available meeting date to allow for sufficient time to conduct a full review of the revised drawings when they are made available.

**On May 31, 2024, Development Planning provided the following:**

Development Planning will require a substantial increase to the soft landscaping in the front yard. We will require something closer to 23.02sqm of soft landscaping for this site.

**On June 3, 2024, Development Planning provided the following:**

Development Planning will not be able to support the requested variance for the reduced soft landscaping in the front yard. Please advise if you intend on submitting revised plans to address these concerns.

**On June 6, 2024, Development Planning provided the following:**

I understand that you are choosing to proceed as is with your application. However as previously mentioned, Development Planning would not be able to support the reduced front yard soft landscaping. So, I am reaching out to you once more to see if you would be amendable to making some improvements. If changes are not made, Development Planning will be proceeding with a partial refusal report for this application.

I strongly encourage you to consider making some form of improvement such as a larger L-shaped planter, or some cedar planting/grass along the side of the driveway, we just cannot support the current 6.8% soft landscaping as it currently stands. If you are able to increase the percentage somewhat, Development Planning might be able to reconsider our position on this variance. However, we will need to see some attempt at improvement to the current proposal.

**On June 10, 2024, Development Planning provided the following:**

Firstly, thank you very much for being amendable to increasing the soft landscaping in the front yard. The changes you are contemplating work towards improving the existing conditions. As you consider revisions to your application, there are a few items I would like to provide for your further consideration to further help your position with regards to the subject variance:

## COMMITTEE OF ADJUSTMENT

I understand that you are proposing grass along the new strip in-front of the front door area. Based on Urban Design considerations, we typically like to see a minimum width of 1.2 m for landscape strips, as this is the minimum requirement to support more substantial vegetation. A slightly wider strip of grass would be preferred in the updated design.

Furthermore, one small adjustment that can greatly improve your current design would be to add a connecting horizontal portion closer to the sidewalk, similar to the conditions found at neighbouring properties (#9 and #13 Keatley Dr.). This L-shape configuration would be a very desirable addition to your design, improve streetscaping, and help further increase the overall soft landscaping percentage. I understand you have concerns regarding the challenges with removing portions of the interlocking due to the brick pattern in place and the need to cut stones. However, I encourage you to consider that removing stones along the horizontal portion may actually be less onerous as stones would not be cut since they were laid in a horizontal pattern.

Please consider these comments when revising your plan, as these suggestions would greatly benefit your position with the requested variance. Kindly send the revised plan to [cofa@vaughan.ca](mailto:cofa@vaughan.ca), as an updated Zoning review will be required.

**On June 11, 2024, the applicant provided a revised plan increasing landscaping onsite. The revised plan has been sent to zoning to review to confirm required variance.**

**Applicant to submit required Adjourment Fee to accommodate rescheduling of application from the June 20, 2024, Committee of Adjustment hearing, if required.**

<b>Committee of Adjustment Recommended Conditions of Approval:</b>	None
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## BUILDING STANDARDS (ZONING)

\*\*See Schedule B for Building Standards (Zoning) Comments

<b>Building Standards Recommended Conditions of Approval:</b>	None
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## DEVELOPMENT PLANNING

\*\*See Schedule B for Development Planning Comments.

<b>Development Planning Recommended Conditions of Approval:</b>	TBD
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## DEVELOPMENT ENGINEERING

[Link to Grading Permit](#) [Link to Pool Permit](#) [Link to Curb Curt Permit](#) [Link Culvert Installation](#)

The Owner/Applicant shall apply and obtain the necessary 'Curb Cut/Reinstating Permit' through the Transportation and Fleet Management Services. Please visit the Curb Cut Permits page at the City of Vaughan website to learn how to apply for the Curb Cut/ Reinstating Permit.

<b>Development Engineering Recommended Conditions of Approval:</b>	None
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## PARKS, FORESTRY & HORTICULTURE (PFH)

No comments received to date.

<b>PFH Recommended Conditions of Approval:</b>	None
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## DEVELOPMENT FINANCE

No comment no concerns

<b>Development Finance Recommended Conditions of Approval:</b>	None
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## BY-LAW AND COMPLIANCE, LICENSING AND PERMIT SERVICES

No comments received to date.

<b>BCLPS Recommended Conditions of Approval:</b>	None
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## BUILDING INSPECTION (SEPTIC)

No comments received to date.

<b>Building Inspection Recommended Conditions of Approval:</b>	None
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## FIRE DEPARTMENT

No comments received to date.

<b>Fire Department Recommended Conditions of Approval:</b>	None
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## RECOMMENDED CONDITIONS OF APPROVAL SUMMARY

Should the Committee find it appropriate to approve this application in accordance with request and the sketch submitted with the application, as required by Ontario Regulation 200/96, the following conditions have been recommended:

#	DEPARTMENT / AGENCY	CONDITION
1	Development Planning <a href="mailto:alyssa.pangilinan@vaughan.ca">alyssa.pangilinan@vaughan.ca</a>	TBD

*All conditions of approval, unless otherwise stated, are considered to be incorporated into the approval “if required”. If a condition is no longer required after an approval is final and binding, the condition may be waived by the respective department or agency requesting conditional approval. A condition cannot be waived without written consent from the respective department or agency.*

## IMPORTANT INFORMATION

**CONDITIONS:** It is the responsibility of the owner/applicant and/or authorized agent to obtain and provide a clearance letter from respective department and/or agency (**see condition chart above for contact**). This letter must be provided to the Secretary-Treasurer to be finalized. All conditions must be cleared prior to the issuance of a Building Permit.

**APPROVALS:** Making any changes to your proposal after a decision has been made may impact the validity of the Committee’s decision.

An approval obtained from the Committee of Adjustment, where applicable, is tied to the building envelope shown on the plans and drawings submitted with the application and subject to the variance approval.

A building envelope is defined by the setbacks of the buildings and/or structures shown on the plans and drawings submitted with the application, as required by Ontario Regulation 200/96. Future development outside of an approved building envelope, where a minor variance was obtained, must comply with the provisions of the City’s Zoning By-law.

Elevation drawings are provided to reflect the style of roof (i.e. flat, mansard, gable etc.) to which a building height variance has been applied. Where a height variance is approved, building height is applied to the style of roof (as defined in the City’s Zoning By-law) shown on the elevation plans submitted with the application.

Architectural design features that are not regulated by the City’s Zoning By-law are not to be considered part of an approval unless specified in the Committee’s decision.

**DEVELOPMENT CHARGES:** That the payment of the Regional Development Charge, if required, is payable to the City of Vaughan before issuance of a building permit in accordance with the Development Charges Act and the Regional Development Charges By-law in effect at the time of payment.

That the payment of the City Development Charge, if required, is payable to the City of Vaughan before issuance of a building permit in accordance with the Development Charges Act and the City’s Development Charges By-law in effect at the time of payment.

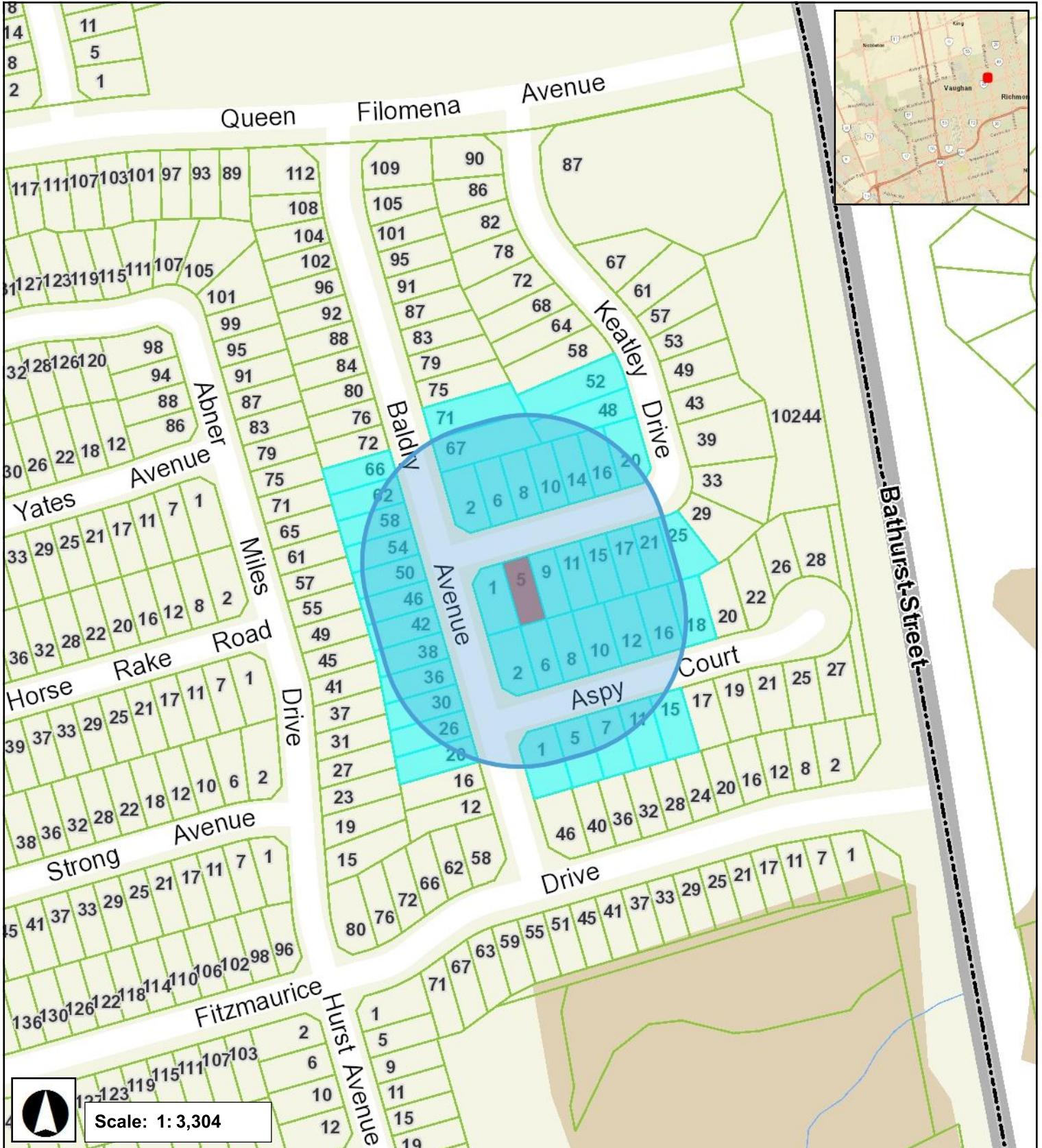
That the payment of the Education Development Charge if required, is payable to the City of Vaughan before issuance of a building permit in accordance with the Development Charges Act and the Boards of Education By-laws in effect at the time of payment

That the payment of Special Area Development charge, if required, is payable to the City of Vaughan before issuance of a building permit in accordance with the Development Charges Act and The City’s Development Charge By-law in effect at the time of Building permit issuance to the satisfaction of the Reserves/Capital Department.

**NOTICE OF DECISION:** If you wish to be notified of the decision in respect to this application or a related Ontario Land Tribunal (OLT) hearing you must complete a Request for Decision form and submit to the Secretary Treasurer (ask staff for details). In the absence of a written request to be notified of the Committee’s decision you will **not** receive notice.

**SCHEDULE A: DRAWINGS & PLANS**

5 KEATLEY DRIVE, MAPLE



# 5 KEATLEY DRIVE

**RECEIVED**

By Prabhdeep Kaur at 9:27 am, Jun 11, 2024

**\*\*Plans To be Reviewed by Zoning to Confirm Variances**

## Areas

Area Name	Area sqm
Lot Area	381.25
Front Yard Area	76.75
Driveway area	50.72
Soft landscape Area	5.33
Hard landscape Area	20.70

Existing Lot coverage including porch (No change)	162.1
Existing Lot coverage not including porch (No change)	154.7
Gazebo coverage	15.44
Lot coverage including porch and proposed Gazebo	177.54
Lot coverage including Gazebo and without porch	170.14

## COVER SHEET AND NOTES

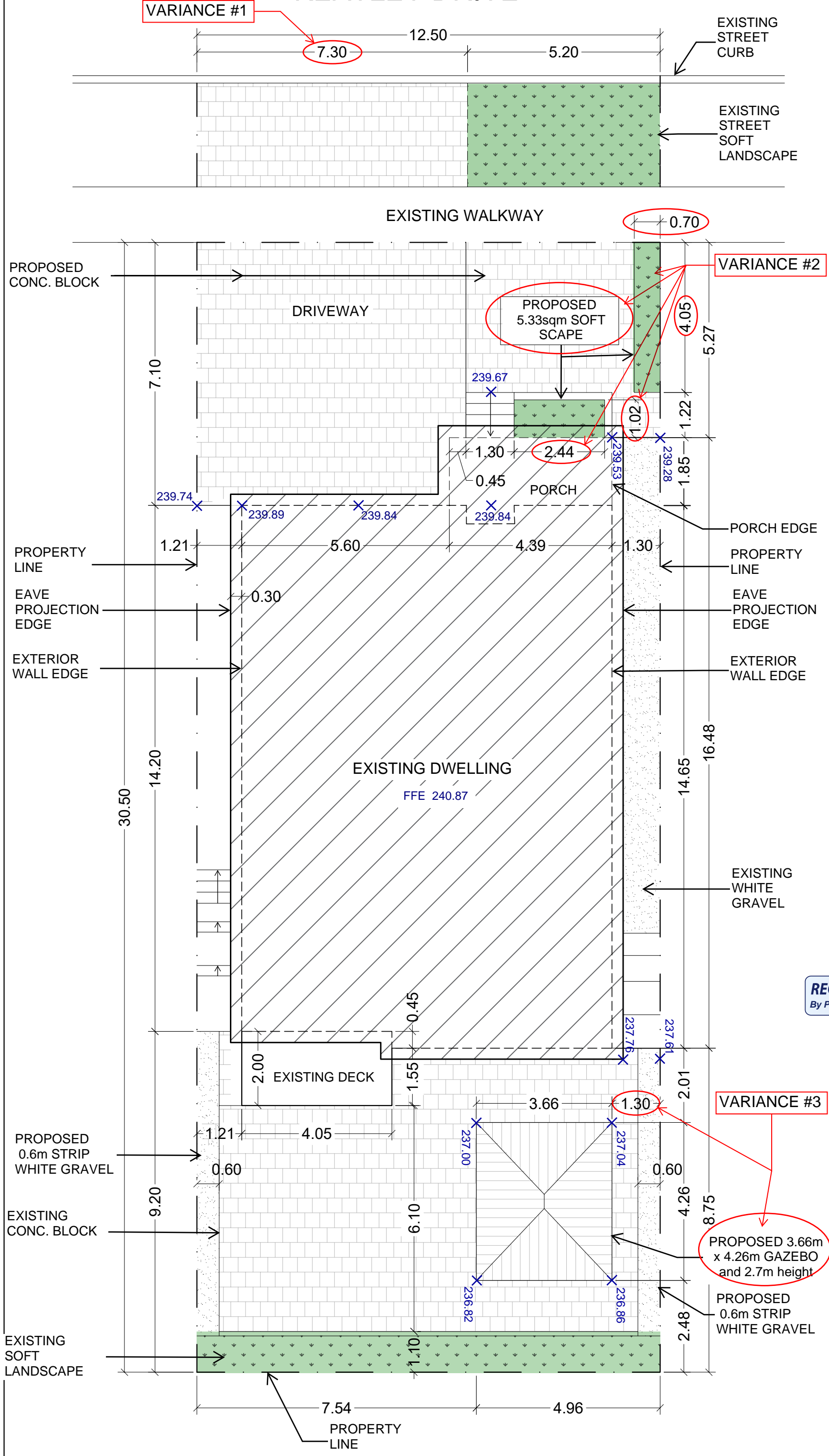
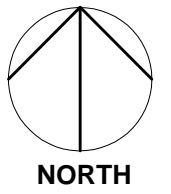
**Date:**  
09 Mar 2024

**Address:**  
5 Keatley Drive  
Vaughan, ON  
L6A 4Y3

**OWNER:**  
Mohammad Vakili Rad  
Bitra Rezazadehbaghaei



# KEATLEY DRIVE



**RECEIVED**  
By Prabhdeep Kaur at 9:27 am, Jun 11, 2024

Proposed Soft landscape area 5.33 sqm

SOFT LANDSCAPE  
HARD LANDSCAPE

**SITE PLAN**

Scale: 1:100

Date: 23 Feb 2024

Address: 5 Keatley Drive  
Vaughan, ON L6A 4Y3

OWNER: Mohammad Vakili Rad  
Bitra Rezazadehbaghaei

**VARIANCE #3**

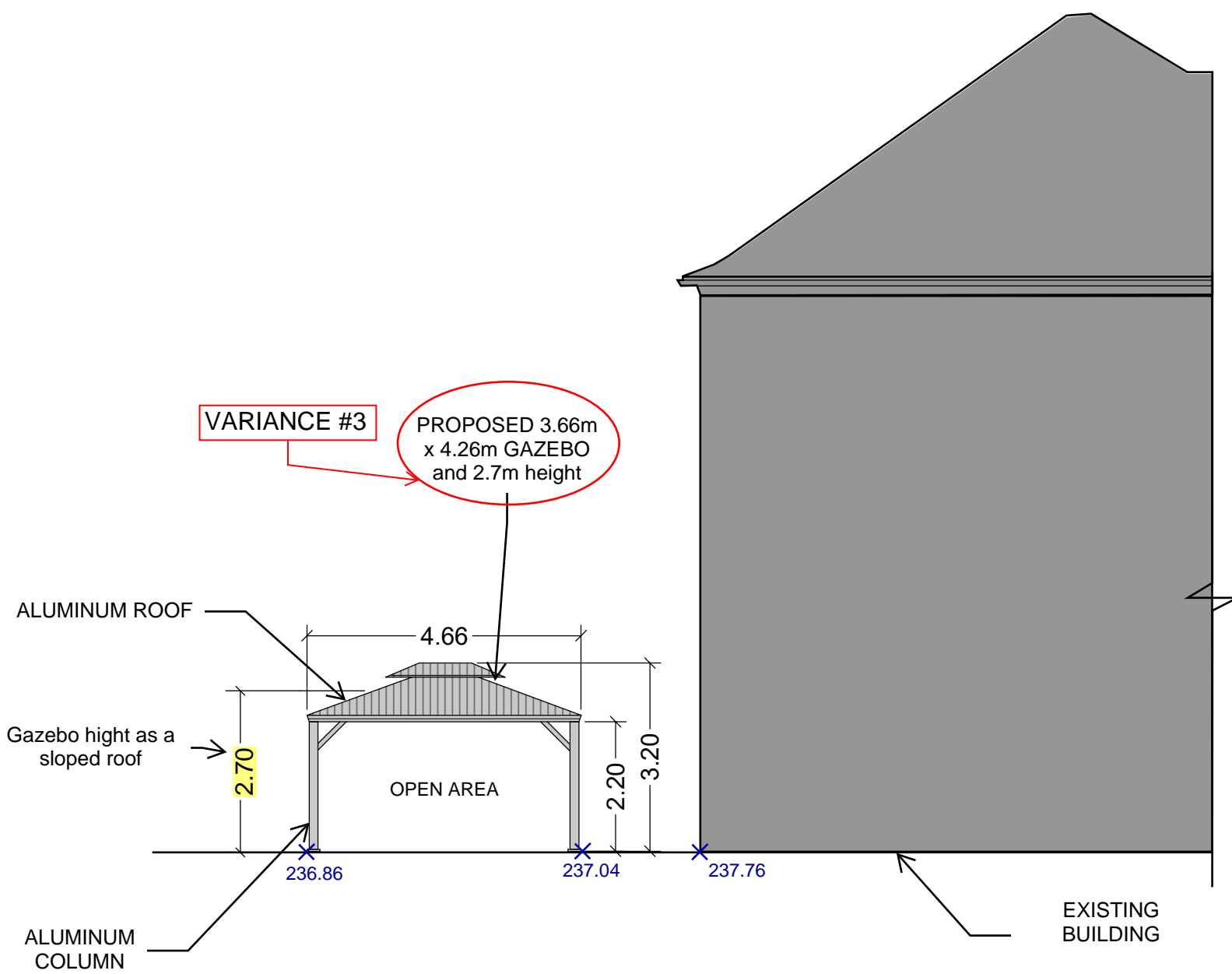
**PROPOSED 3.66m x 4.26m GAZEBO and 2.7m height**

**VARIANCE #2**

**VARIANCE #1**



Gazebo 3D view



WEST ELEVATION

Note: The accessory structure (Gazebo) has a sloped roof (More than 15°) so based on the the mean height between lower part of the roof and ridge the hight is 2.70m.

ELEVATION & 3D VIEW

Scale: 1:100

Date:  
03 Mar 2024

Address:  
5 Keatley Drive  
Vaughan, ON  
L6A 4Y3

OWNER:  
Mohammad Vakili Rad  
Bita Rezazadehbaghaei



RECEIVED DEC 16 2015

KEATLEY DRIVE

DATE REVIEWED INITIAL

GRADING

May 19, 2016 P. B.

CLIENT  
**ASPEN RIDGE HOMES LTD.**

PROJECT/LOCATION  
**LONG YARD PH2  
VAUGHAN**

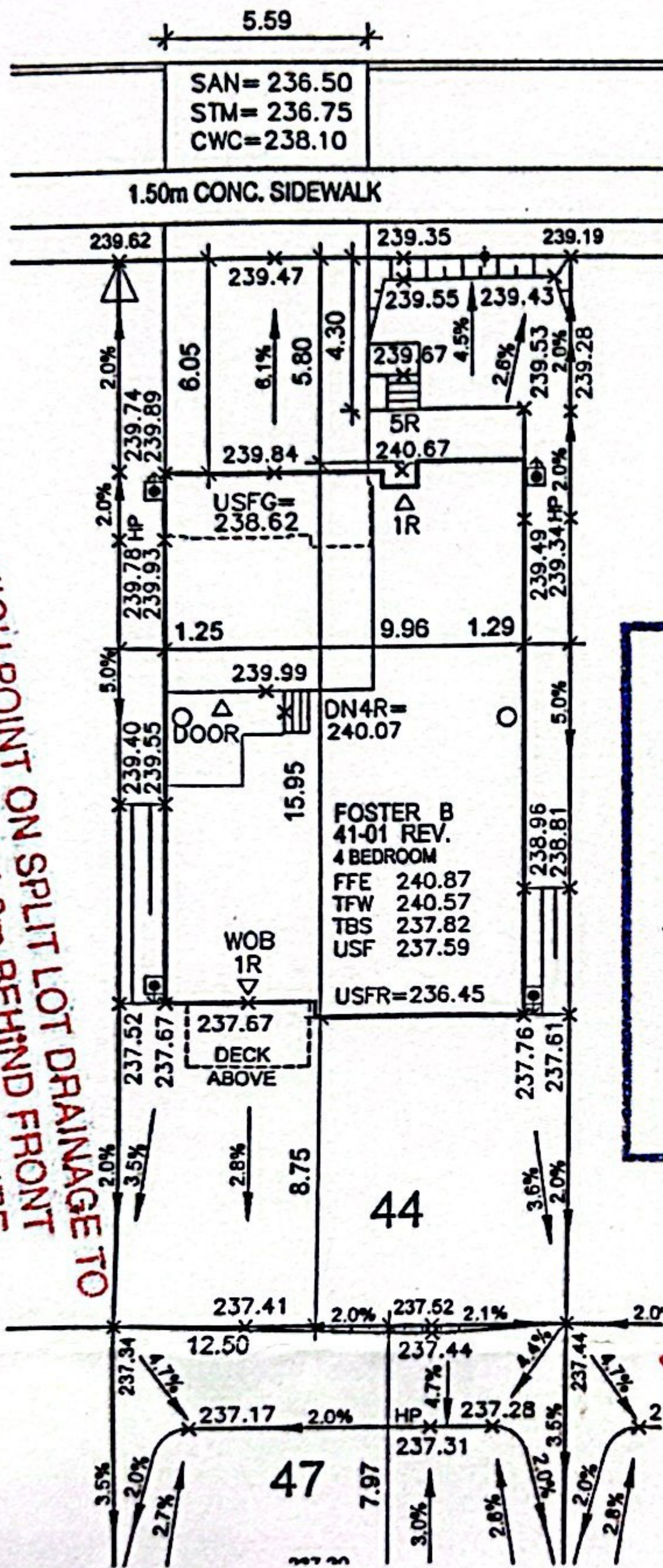
DRAWING  
**SITE PLAN**

**BUILDING STATISTICS**

REG. PLAN No.	
ZONE	RD2
LOT NUMBER	44
LOT AREA(m) <sup>2</sup>	N/A
BLDG AREA(m) <sup>2</sup>	N/A
LOT COVERAGE(%)	N/A
No. OF STOREYS	2
MEAN HEIGHT(m)	10.17
PEAK HEIGHT(m)	N/A
DECK LINE(m)	N/A

45

HIGH POINT ON SPLIT LOT DRAINAGE TO BE MINIMUM OF 1.0m BEHIND FRONT DRAINAGE OUTLETS TO STREET.



ALL SITE PLANS AND CONSTRUCTION WITH CITY OF VAUGHAN LOT GRADING CRITERIA

**W Architect Inc.**  
DESIGN CONTROL REVIEW  
DEC 07 2015  
FINAL BY: MM

This stamp is only for the purposes of design control and carries no other professional obligations.

**LEGEND**

FFE	FINISHED FLOOR ELEVATION
TFW	TOP OF FOUNDATION WALL
TBS	TOP OF BASEMENT SLAB
USF	UNDER SIDE FOOTING
USFR	UNDER SIDE FOOTING @ REAR
USFG	UNDER SIDE FOOTING @ GARAGE
TEF	TOP OF ENGINEERED FILL
R	NUMBER OF RISERS TO GRADE
WOD	WALKOUT DECK
LOB	LOOKOUT BASEMENT
WOB	WALK OUT BASEMENT
REV	REVERSE PLAN
STD	STANDARD PLAN
DOOR	DOOR
WINDOW	WINDOW
BELL PEDISTAL	BELL PEDISTAL
CABLE PEDISTAL	CABLE PEDISTAL
CATCH BASIN	CATCH BASIN
DBL CATCH BASIN	DBL CATCH BASIN
ENGINEERED FILL	ENGINEERED FILL
HYDRO CONNECTION	HYDRO CONNECTION
FIRE HYDRANT	FIRE HYDRANT
STREET LIGHT	STREET LIGHT
MAIL BOX	MAIL BOX
TRANSFORMER	TRANSFORMER
WATER VALVE	WATER VALVE
WATER CONNECTION	WATER CONNECTION
SEWER CONNECTIONS 2 LOTS	SEWER CONNECTIONS 2 LOTS
SEWER CONNECTIONS 1 LOT	SEWER CONNECTIONS 1 LOT
AIR CONDITIONING	AIR CONDITIONING
DOWN SPOUT TO SPLASH PAD	DOWN SPOUT TO SPLASH PAD
SWALE DIRECTION	SWALE DIRECTION
CHAINLINK FENCE	CHAINLINK FENCE
PRIVACY FENCE	PRIVACY FENCE
SOUND BARRIER	SOUND BARRIER
FOOTING TO BE EXTENDED TO 1.25 (MIN) BELOW GRADE	FOOTING TO BE EXTENDED TO 1.25 (MIN) BELOW GRADE

**ISSUED OR REVISION COMMENTS**

NO.	DESCRIPTION	DATE	DWN	CHK
1	ISSUED FOR REVIEW	NOV.05/15	SDU	NP
2	ISSUED FOR FINAL	DEC.01/15	SDU	NP

NOTE:  
THIS LOT IS TO HAVE 1" WATER SERVICE

NOTE:  
ALL DOWN SPOUTS ARE TO DRAIN TO THE CLEAR WATER COLLECTOR (CWC) SERVICES.

**CONSULTANTS CERTIFICATION:**

I HAVE REVIEWED THE SITE AND GRADING PLAN FOR THE PROPOSED BUILDING TO BE CONSTRUCTED AND HEREBY CERTIFY THAT:

1. THE PROPOSED GRADING AND APPURTENANCE DRAINAGE WORKS COMPLY WITH SOUND ENGINEERING PRACTICES.
2. THE PROPOSED GRADING IS IN CONFORMITY WITH THE GRADING PLAN APPROVED FOR THIS SUBDIVISION AND WILL NOT ADVERSELY AFFECT ADJACENT LANDS.
3. THE PROPOSED BUILDING IS COMPATIBLE WITH THE PROPOSED GRADING.
4. THE BUILDER IS RESPONSIBLE FOR RELOCATION OF ALL UTILITIES ON THE SITE.
5. ROOF LEADER DOWNSPOUT MUST DRAIN TO FRONT OF HOUSE.
6. WATER SERVICE TO BE RELOCATED IN THE GRASSED PORTION OF THE YARD.

SCHAEFFERS AND ASSOCIATES  
DATE DEC 013 2015

- GRADING AND DRAINAGE NOTES:**
1. STANDARD DRAWING AND LOT GRADING CRITERIA OF THE CITY OF VAUGHAN IN THE REGIONAL MUNICIPALITY OF YORK CONSTITUTE PART OF THE PROJECT DRAWINGS FOR THE SUBDIVISION.
  2. MINIMUM GRADIENT OF GRASS SWALES ALONG SIDE AND REAR LOT LINES SHALL BE 2%. THE PROPOSED ELEVATION OF THE SIDE YARD SWALE SHALL BE A MINIMUM OF 0.15M BELOW THE FINISHED GRADE AT THE BUILDING LINE. THE MAXIMUM SWALE GRADIENT SHALL BE 5%.
  3. TAKE UP REAR YARD GRADE DIFFERENCE USING SLOPES BETWEEN 2.0% AND 5.0% FOR A MAXIMUM OF 6.0 METERS OF THE REAR YARD AREA AND SLOPES OF 3% HORIZONTAL AND 1 VERTICAL MAXIMUM TO THE REAR LOT LINE. USE RETAINING WALLS IF GRADE DIFFERENCE IS MORE THAN 0.60M. CONSTRUCT RETAINING WALLS WITHIN THE REAR LOT LINE.
  4. EDGE OF DRIVEWAYS ARE TO BE A MINIMUM OF 1.0M FROM EDGE OF STREET CATCHBASIN AND STREET FURNITURE. THE BUILDER IS TO VERIFY THE LOCATION AND TO INFORM THE ENGINEER IF THIS DIMENSION CANNOT BE MAINTAINED PRIOR TO EXCAVATION FOR THE FOOTINGS.
  5. IF THE DISTANCE BETWEEN THE WALLS OF ADJACENT UNITS IS LESS THAN 1.0M, A SIDE YARD DRAINAGE SWALE SHALL BE CONSTRUCTED AND SURFACED WITH 0.10M LIMESTONE SCREENING OVERLAIN BY PATIO SLAB WALKWAY.
  6. BRICK LINE SHALL BE 0.15M ABOVE SOD ELEVATION.
  7. ALL ROOF LEADERS SHALL DISCHARGE AT THE FRONT OF DWELLING UNIT ON TO GRASSED AREAS ON CONCRETE SPLASH PADS. ROOF DOWNSPOUTS ARE NOT PERMITTED AT THE REAR OF THE HOUSE.
  8. FOOTINGS CONSTRUCTED NEXT TO A CATCHBASIN LEAD PIPE OR OTHER MUNICIPAL SERVICE SHALL BE INSTALLED BELOW THE LEAD PIPE EXCAVATION. FOOTINGS MUST BE CONSTRUCTED ON UNDISTURBED SOIL. SOIL CONSULTANT'S VERIFICATION REQUIRED.
  9. ALL NEW FENCES REQUIRED ABUTTING PUBLIC LANDS AND OR EXISTING PROPERTIES SHALL BE CONSTRUCTED WITH MATERIAL INCLUDING FOUNDATIONS COMPLETELY ON PRIVATE LANDS AND TOTALLY CLEAR OF ANY 0.3M RESERVE.
  10. IN LOTS WITH REAR LOT CATCHBASINS, THE MIN. SIDE YARD WIDTH SHALL BE 1.2M ALONG THE CATCHBASIN LEAD.
  11. REFER TO DETAIL ON SCHAEFFER DWG. FOR "BACK TO FRONT" DRAINAGE LOT, IF CLEARANCE BETWEEN BUILDINGS IS 1.0M OR LESS.
  12. SOIL CONSULTANT'S VERIFICATION IS REQUIRED FOR FOOTINGS CONSTRUCTED ON ENGINEERED FILL LOTS.
  13. THE BUILDER MUST VERIFY THE AS CONSTRUCTED ON SANITARY AND STORM SERVICES INVERTS AND INFORM THE ENGINEER IF THE MINIMUM 2% GRADE CANNOT BE MAINTAINED PRIOR TO PLACING OF CONCRETE FOOTINGS.
  14. TOP SOIL DEPTH IN BOLLIVARD MUST BE MIN. 0.45M
  15. BUILDERS TO STAKE OUT CURB DEPRESSION

I, NATALIE PANDOLFI, DECLARE THAT I HAVE REVIEWED AND TAKE DESIGN RESPONSIBILITY FOR THE DESIGN WORK ON BEHALF OF RN DESIGN LTD.

I, Natalie Pandolfi, declare that I have reviewed and take design responsibility for the design work on behalf of RN Design Limited under subsection 3.2.4 of the Building Code. I am qualified, and the firm is registered, in the appropriate class/categories.  
QUALIFIED DESIGNER BCIN 11543  
FIRM BCIN 25995

DATE DEC 10 2015  
SIGNATURE [Signature]

**DRAWN BY**  
SDU

**SCALE**  
1:250

**PROJECT No.**  
15045

**LOT NUMBER**  
44

**RN design**  
Imagine • Inspire • Create  
TEL: (905) 738-3177  
FAX: (905) 738-8449  
DWG@RNDDESIGN.COM

15-812EP



**SURVEYOR'S REAL PROPERTY REPORT  
PART 1  
PLAN OF LOTS 43 AND 44**

**PLAN 65M-4491  
CITY OF VAUGHAN  
REGIONAL MUNICIPALITY OF YORK**

SCALE 1:300  
10m 5m 0 10m 20metres

RADY-PENTEK & EDWARD SURVEYING LTD., O.L.S.

**METRIC**  
DISTANCES SHOWN ON THIS PLAN ARE IN METRES AND CAN  
BE CONVERTED TO FEET BY DIVIDING BY 0.3048.

**PART 2 (SURVEY REPORT)**

REGISTERED EASEMENTS AND/OR RIGHT-OF-WAYS: LOTS 43 AND 44  
ARE SUBJECT TO AN EASEMENT AS SET OUT IN YR2469220.  
THIS PLAN DOES NOT CERTIFY COMPLIANCE WITH ZONING BY-LAWS

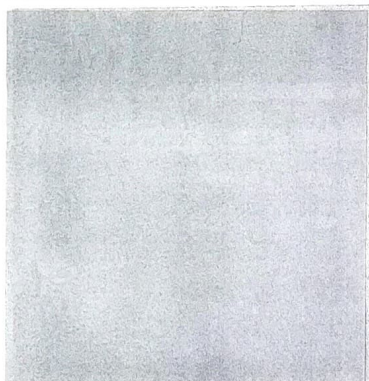
**SURVEYOR'S CERTIFICATE**

I CERTIFY THAT:

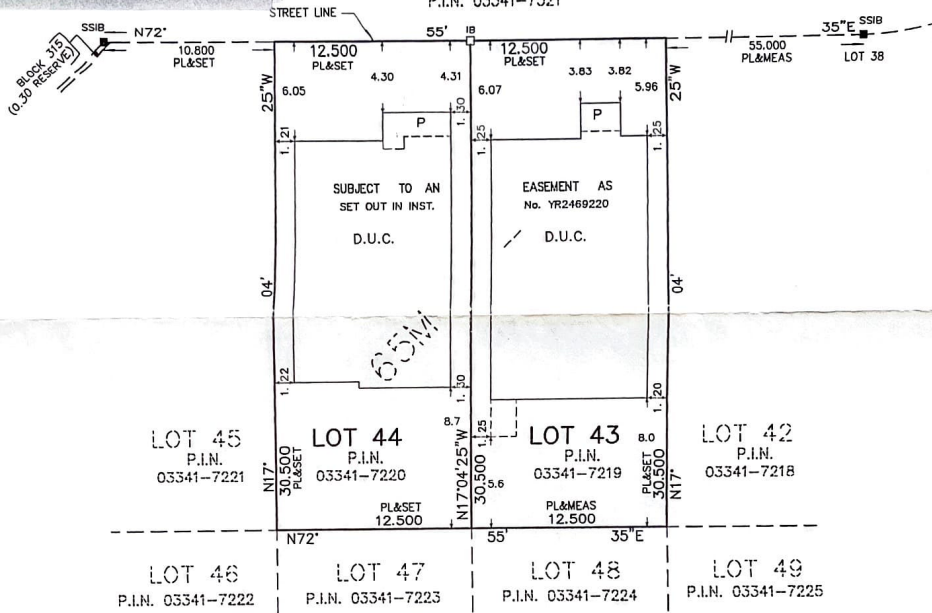
1. THIS SURVEY AND PLAN ARE CORRECT AND IN ACCORDANCE WITH THE SURVEYS ACT, THE SURVEYORS ACT AND THE LAND TITLES ACT AND THE REGULATIONS MADE UNDER THEM.
2. THE SURVEY WAS COMPLETED ON THE 7<sup>th</sup> DAY OF JULY, 2017.

DATE Sept 1, 2017.

*T. Singh*  
T. SINGH  
ONTARIO LAND SURVEYOR



**KEATLEY DRIVE**  
(BY PLAN 65M-4491)  
P.I.N. 03541-7521



PLAN

**NOTES**

- DENOTES MONUMENT SET
- DENOTES MONUMENT FOUND
- IB DENOTES IRON BAR
- SSIB DENOTES SHORT STANDARD IRON BAR
- D.U.C. DENOTES DWELLING UNDER CONSTRUCTION
- P.I.N. DENOTES PROPERTY IDENTIFIER NUMBER
- PL DENOTES PLAN 65M-4491
- P DENOTES PORCH

ALL FOUND MONUMENTS BY SCHAEFFER DZALDOV BENNETT LTD., O.L.S.  
ALL TIES TO CONCRETE FOUNDATIONS.

BEARINGS ARE GRID AND ARE REFERRED TO THE SOUTHERLY LIMIT OF KEATLEY DRIVE AS SHOWN ON PLAN 65M-4491 HAVING A BEARING OF N72°55'35"E.

THIS REPORT WAS PREPARED FOR ASPEN RIDGE HOMES AND THE UNDERSIGNED ACCEPTS NO RESPONSIBILITY FOR USE BY OTHER PARTIES.

©RADY-PENTEK & EDWARD SURVEYING LTD., O.L.S. 2017.

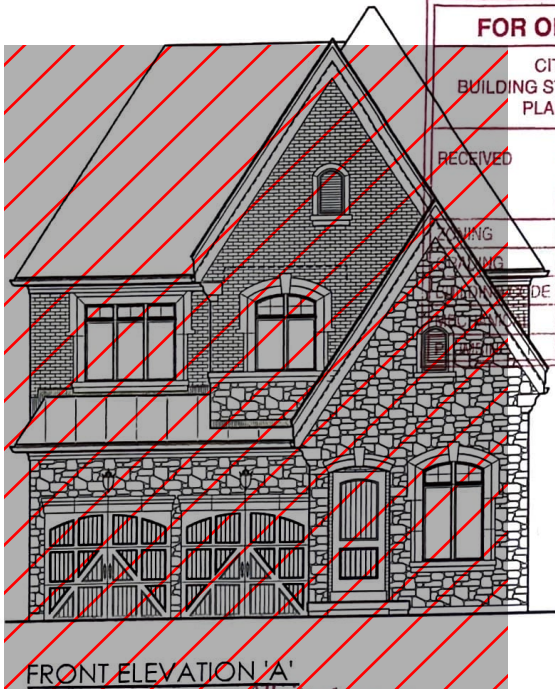
ASSOCIATION OF ONTARIO  
LAND SURVEYORS  
PLAN SUBMISSION FORM  
2026069

THIS PLAN IS NOT VALID  
UNLESS IT IS AN EMBOSSED  
ORIGINAL COPY  
ISSUED BY THE SURVEYOR  
In accordance with  
Regulation 1026, Section 29(3).

**fpe RADY-PENTEK & EDWARD SURVEYING LTD.**  
ONTARIO LAND SURVEYORS  
643 Chrislea Road, Suite 7, Woodbridge, Ontario, L4L 8A3  
Tel. (416)635-5000 Fax (416)635-5001  
Tel. (905)264-0881 Fax (905)264-2099  
Website: www.r-pe.ca  
DRAWN: V.H. CHECKED: G.Y./T.S.  
CAD FILE No. 4491(15-244)-43 JOB No. 15-244







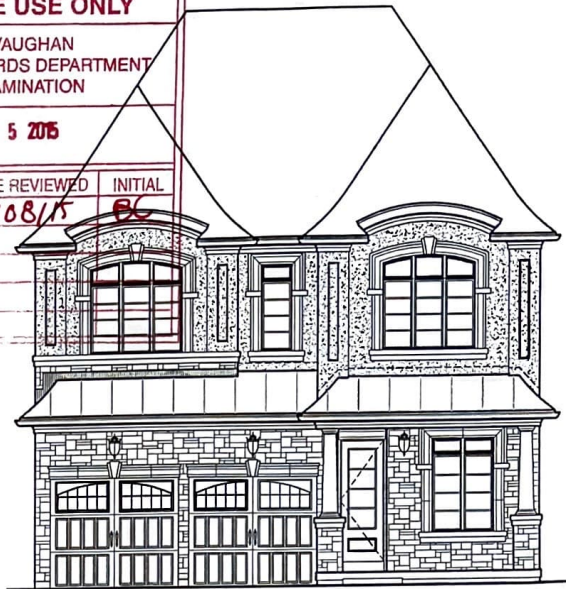
FRONT ELEVATION 'A'

**FOR OFFICE USE ONLY**

CITY OF VAUGHAN  
BUILDING STANDARDS DEPARTMENT  
PLANS EXAMINATION

RECEIVED **MAR 25 2015**

DATE REVIEWED	INITIAL
05/08/15	BC



FRONT ELEVATION 'B'

All site plans and construction to comply with City of Vaughan By-Law 1-88 a.a.

Drawing List:

- A0 TITLE SHEET
- A1 BASEMENT FLOOR ELEV. 'A'
- A2 GROUND FLOOR ELEV. 'A'
- A3 SECOND FLOOR ELEV. 'A'
- A4 PARTIAL BASEMENT FLOOR ELEV. 'B'
- A5 PARTIAL GROUND FLOOR ELEV. 'B'
- A6 FRONT ELEVATION 'A'
- A7 RIGHT SIDE ELEVATION 'A'
- A8 REAR ELEVATION 'A'
- A9 LEFT SIDE ELEVATION 'A'
- A10 FRONT ELEVATION 'B'
- A11 RIGHT SIDE ELEVATION 'B'
- A12 REAR ELEVATION 'B'
- A13 LEFT SIDE ELEVATION 'B'
- A14 PARTIAL GROUND FLOOR PLAN WOB, WOD & LOB CONDITION
- A15 REAR ELEVATION 'A' - WOD COND.
- A16 REAR ELEVATION 'A' - LOB COND.
- A17 REAR ELEVATION 'A' - WOB COND.
- A18 REAR ELEVATION 'B' - WOD COND.
- A19 REAR ELEVATION 'B' - LOB COND.
- A20 REAR ELEVATION 'B' - WOB COND.
- A21 REAR ELEVATION 'A' - WOB CONDITION (LOT 387)
- A22 PARTIAL BASEMENT FLOOR PLAN 'A' & 'B' SPLIT BASEMENT CONDITION
- A23 PARTIAL RIGHT SIDE ELEVATION 'A' & 'B' SPLIT BASEMENT CONDITION
- A24 REAR ELEVATION 'A' - SPLIT BASEMENT COND.
- A25 REAR ELEVATION 'B' - SPLIT BASEMENT COND.
- D1 CONSTRUCTION NOTES INCLUDING PERMIT DRAWINGS
- D2 CONSTRUCTION NOTES
- D3 CONSTRUCTION NOTES
- D4 CONSTRUCTION NOTES

Areas:

	ELEVATION 'A'		ELEVATION 'B'	
	SF	SM	SF	SM
GROUND FLOOR	1272.8	118.2	1275.1	118.4
GROUND FLOOR OTB	(3.0)	(0.3)	(3.0)	(0.3)
SECOND FLOOR	1549.7	144.0	1553.8	144.3
SECOND FLOOR OTB	(6.0)	(0.6)	(6.0)	(0.6)
TOTAL AREA	2822.5	262.2	2828.9	262.8
BASEMENT FLOOR	63.6	5.9	63.6	5.9
TOTAL GROSS AREA	2886.1	268.1	2892.5	268.7
COVERAGE INC PORCH	1696.2	157.6	1744.5	162.1
COVERAGE NOT INC PORCH	1189.9	110.5	1148.0	106.6

DIVISION C - SECTION 1.2 OF 2012 BUILDING CODE REQUIRES THAT THE CONSTRUCTION, INCLUDING ENLARGEMENT OR ALTERATION, OF EVERY BUILDING OR PART OF IT SHALL BE DESIGNED AND REVIEWED BY AN ARCHITECT, PROFESSIONAL ENGINEER OR BOTH

Aspen Ridge Homes

Upper West Side

FOSTER



15-606

I, NATALIE PANDOLFI DECLARE THAT I HAVE REVIEWED AND TAKEN DESIGN RESPONSIBILITY FOR THE DESIGN WORK ON BEHALF OF RN DESIGN LTD., UNDER DIVISION C, PART-3 SUBSECTION-3.2.4 OF THE BUILDING CODE. I AM QUALIFIED AND THE FIRM IS REGISTERED IN THE APPROPRIATE CLASSES / CATEGORIES.  
QUALIFIED DESIGNER BCIN: 41549  
FIRM BCIN: 26995  
DATE: Mar.-23-2015

#	revisions	date	dwn	chk	#	revisions	date	dwn	chk
1	ISSUED FOR CLIENT REVIEW	17-Jun-14	SD	np	5	REVISED AS PER FLOOR COORDINATION	10-Oct-14	haz	J
2	REVISED AS PER CLIENT COMMENTS	3-Sep-14	rem	np	6	REVISED AS PER ENG. COMMENTS ISSUED FOR PERMIT	21/11/2014	J	JR
3	ADDED WORK COND.	19-Mar-14	PV	np	7	ADDED PARTIAL PLAN & ELEVATIONS FOR SPLIT BASEMENT CONDITION	2-Dec-14	J	J
4	ADDED DECK CONDITIONS AS PER CLIENT REQUEST	7-Oct-14	J	JR	8	REV. GARAGE WIDTH PER CITY COMMENTS	23-Mar-15	np	np

RN design  
Imagine • Inspire • Create



model S411-1  
scale 3/16" = 10"  
project # 13016

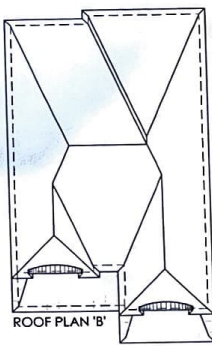
page

A0

SIGNATURE:



5.16



NOTE: ALL CONVENTIONAL ROOF FRAMING TO CONFORM TO PART 9 OF THE OBC. ROOF RAFTERS THAT MEET OR CROSS OVER TRUSSES ARE TO BE 2"x4" SPF @ 24" O.C. WITH A 2"x4" 9" VERTICAL POST TO THE TRUSS UNDER, AT EACH CROSS POINT, POSTS LONGER THAN 6' TO BE LATERALLY BRACED SO THAT THE DISTANCE BETWEEN END POINTS & BETWEEN ROWS OF BRACING DOES NOT EXCEED 6'.

NOTE: REFER TO TRUSS DRAWINGS FOR APPROVED TRUSS LAYOUT

PRE-FINISHED ALUMINUM R.W.L. AND GUTTER ON PRE-FINISHED FASCIA BOARD AND VENTED SOFFIT (TYP.)

TOP OF PLATE  
72X18" EXT. SEGMENTAL TRANSOM W/ 10" ARCH STUCCO HEADER W/ 4"X12" STUCCO IMPOSTS W/ 8" STUCCO SURROUNDS W/ DOUBLE CENTRE KEY

4"x4" PRECAST CONC. BAND  
TOP OF BAND

FIN. SECOND FLOOR  
PAINTED METAL FLASHING W/ CAULKING TO MATCH U/S OF GARAGE SOFFIT

8"x2" PRECAST CONC. HEADER W/ DOUBLE CENTRE KEYSTONE

STONE VENEER (TYP.)

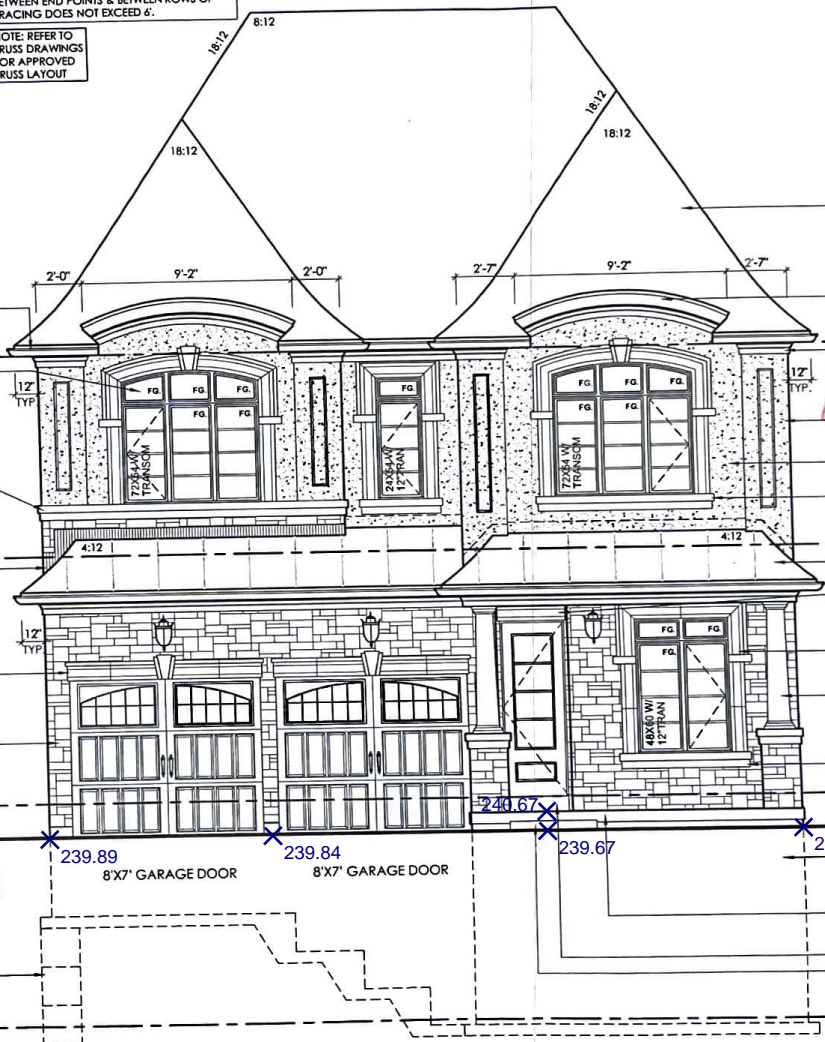
FIN. MAIN FLOOR

FIN. GRADE

U/S OF FOOTING

STEPPED FOOTING

TOP OF SLAB



FRONT ELEVATION 'B'

PEAK OF ROOF 35'-4"

GROSS GLAZING AREA ELEV 'B'

TOTAL PERIPHERAL WALL AREA	3580.25 SF	332.81 m <sup>2</sup>
FRONT GLAZING AREA	105 SF	9.75 m <sup>2</sup>
LEFT SIDE GLAZING AREA	19.23 SF	1.78 m <sup>2</sup>
RIGHT SIDE GLAZING AREA	61.65 SF	5.72 m <sup>2</sup>
REAR GLAZING AREA	210.33 SF	19.54 m <sup>2</sup>
TOTAL GLAZING AREA	396.21 SF	36.8 m <sup>2</sup>
TOTAL GLAZING PERCENTAGE	11.1 %	

MID-POINT OF ROOF 27'-9"

#210 SELF SEALING ASPHALT SHINGLES W/ FLASHING AT VALLEYS (TYP.)

METAL BARREL ROOF

TOP OF PLATE  
1"x6" PROFILED DECOR. FRIEZE BOARD  
TOP OF TRANSOM  
TOP OF WINDOW  
7" RAISED STUCCO CORNER DETAILING

STUCCO FINISH W/ FLASHING BEHIND (TYP.)  
4"x4" STUCCO SILL

FIN. SECOND FLOOR  
BLACK METAL ROOF

8" PRECAST CONC. HEADER  
TOP OF DOOR  
TOP OF WINDOW  
10" PRECAST CONC. HEADER W/ 4"X12" IMPOSTS W/ 8" SURROUNDS  
12" DIA. WD. POST TAPERED (BEARING) ON 1"-8"X1"-8"X42" HIGH SOLID MASONRY PIER W/ 4"x4" STONE CAP

4"x4" PRECAST CONC. SILL (TYP.)  
FIN. MAIN FLOOR

POURED CONC. FDN WALLS ON CONC. STRIP FOOTING (TYP.)

POURED CONC. PORCH SLAB (TYP.)

POURED CONC. SILL CAST IN PLACE STEPS

TOP OF SLAB

VAUGHN Architect Inc.  
DESIGN CONTROL REVIEW

NOV 28 2014

FINAL BY: ACE  
This stamp is only for the purposes of design control and carries no other professional obligation.

FEE 240.87

ALL WORK SHALL BE IN ACCORDANCE WITH THE ACT AND REGULATIONS OF THE PROFESSION OF ARCHITECTS IN BRITISH COLUMBIA, CANADA. THIS DRAWING IS THE PROPERTY OF VAUGHN ARCHITECT INC. AND IS TO BE USED ONLY FOR THE PROJECT AND SITE SPECIFICALLY IDENTIFIED HEREON. IT IS TO BE RETURNED TO VAUGHN ARCHITECT INC. UPON COMPLETION OF THE PROJECT. ANY REUSE OR MODIFICATION OF THIS DRAWING WITHOUT THE WRITTEN PERMISSION OF VAUGHN ARCHITECT INC. IS STRICTLY PROHIBITED.

model S41-1  
project # 13016  
scale 3/16" = 1'0"  
page

location Vaughan  
marketing name FOSTER  
date dwn ctk #

revisions

#	revisions	date	dwn ctk #	#	revisions
1	ISSUED FOR CLIENT REVIEW	17-JAN-14	SD	10	5
2	REVISED AT THE CLIENT COMMENTS	23-MAR-14	mm	10	4
3	ISSUED FOR FINAL	20-JUL-14	JK	10	7
4				10	8

client Aspen Ridge Homes  
project Upper West Side

415/9 26995  
Nov-21-2014

SIGNATURE

I, THE PASTOR, DECLARE THAT I HAVE REVIEWED AND TAKEN FULL RESPONSIBILITY FOR THE DESIGN WORK ON BEHALF OF RN DESIGN LTD. UNDER DIVISION C, PART 3 SUBSECTION 3.2.4 OF THE BUILDING CODE. I AM QUALIFIED AND THE FIRM IS REGISTERED IN THE APPROPRIATE CLASS 7 CATEGORY.

DESIGNER SIGNATURE: [Signature]

DATE: [Date]

FRM RKN:

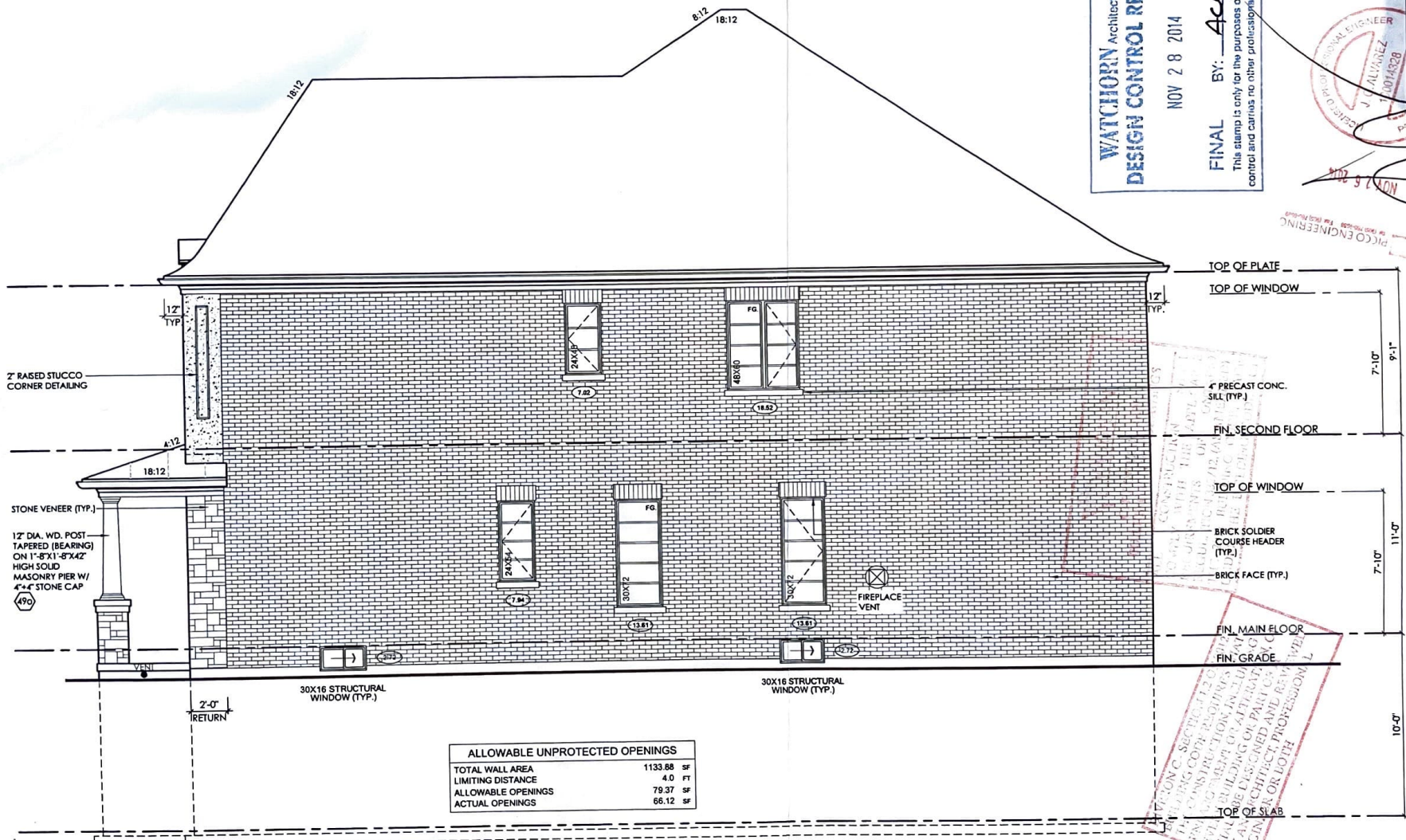
415/9 26995  
Nov-21-2014

SIGNATURE: [Signature]

A10



5.17



ALLOWABLE UNPROTECTED OPENINGS	
TOTAL WALL AREA	1133.88 SF
LIMITING DISTANCE	4.0 FT
ALLOWABLE OPENINGS	79.37 SF
ACTUAL OPENINGS	66.12 SF

RIGHT SIDE ELEVATION 'B'

**WATCHORN** Architect Inc.  
**DESIGN CONTROL REVIEW**  
 NOV 28 2014  
 FINAL BY: ACE  
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project # 13016  
 scale 3/16" = 1'0"  
 page

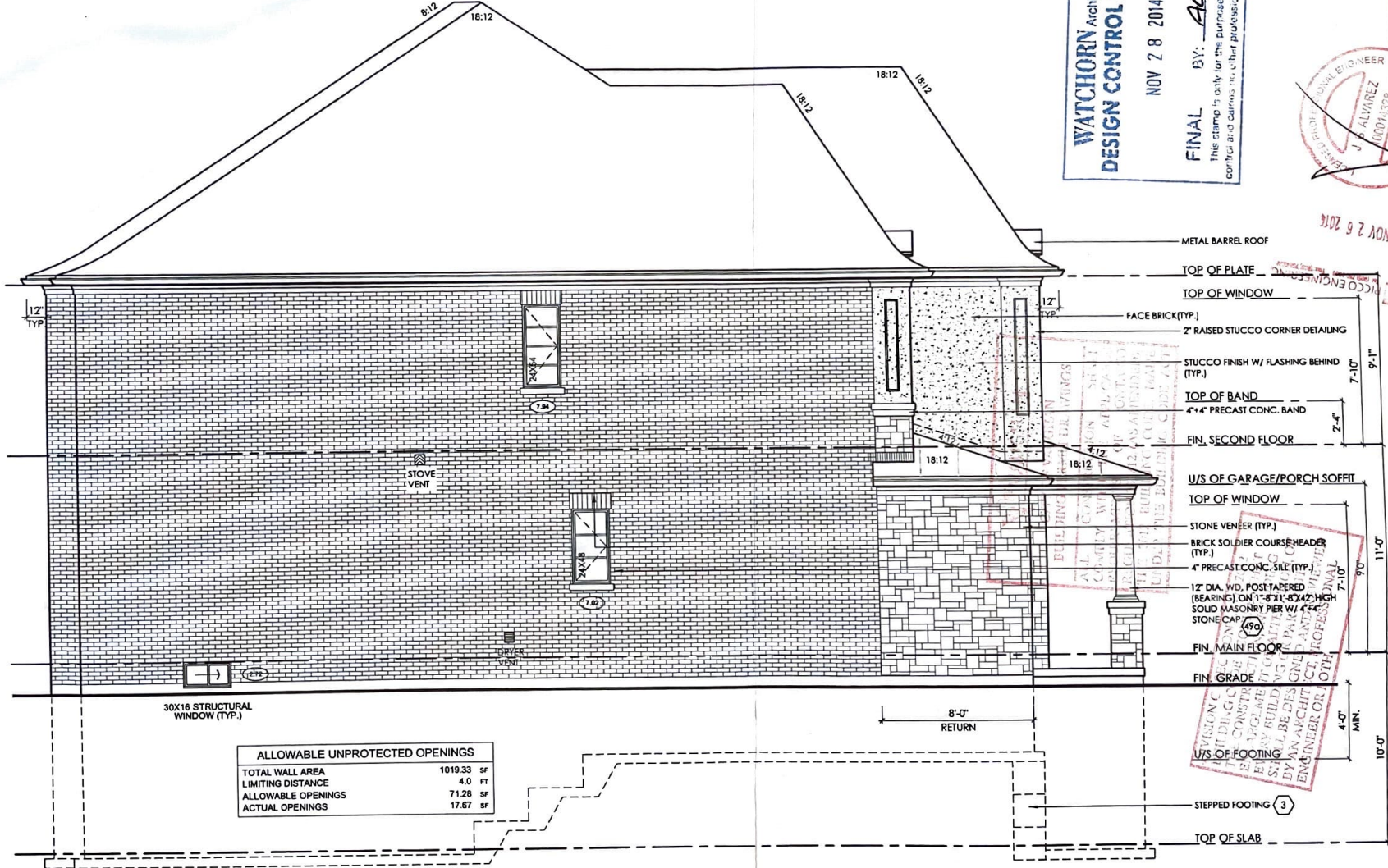
A11

client		location	
Aspen Ridge Homes		Vaughan	
project		marketing name	
Upper West Side		FOSTER	
#	revisions	date	drawn by
1	ISSUED FOR CLIENT REVIEW	17/Jun/14	SD
2	REVISED AS PER CLIENT COMMENTS	31/May/14	mm
3	ISSUED FOR FINAL	31/11/2013	JR
4			
5			

I, NATALIE PANDOUT DECLARE THAT I HAVE REVIEWED AND TAKEN DESIGN RESPONSIBILITY FOR THE DESIGN WORK ON BEHALF OF RN DESIGN LTD. UNDER DIVISION C, PART 3 SUBSECTION 3.2.4 OF THE BUILDING CODE. I AM QUALIFIED TO SIGN AND SEAL THIS DOCUMENT UNDER THE PROFESSIONAL CLASSES / CATEGORIES: ENGINEER / ARCHITECT AND / OR BOTH PROFESSIONS. QUALIFIED DESIGNER BCN: 41549 26995 Nov-21-2014 DATE: SIGNATURE: wp

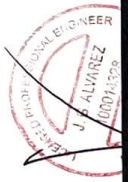


5.19



ALLOWABLE UNPROTECTED OPENINGS	
TOTAL WALL AREA	1019.33 SF
LIMITING DISTANCE	4.0 FT
ALLOWABLE OPENINGS	71.28 SF
ACTUAL OPENINGS	17.67 SF

**WATCHORN Architect Inc.**  
**DESIGN CONTROL REVIEW**  
 NOV 28 2014  
 FINAL BY: ACE  
 This stamp is only for the purposes of design control and carries no other professional obligation.



model S41-1  
 scale 3/16" = 1"  
 project 13016

page

**A13**

client Aspen Ridge Homes  
 project Upper West Side  
 location Vaughan  
 marketing name FOSTER

revisions	date	dmn	chk	#
1	ISSUED FOR CLIENT REVIEW	17-Jan-14	SD	3
2	REVISED AS PER CLIENT COMMENTS	3-Feb-14	WMT	4
3	ISSUED FOR FINAL	21-Mar-14	JR	7
4				8

I, NATALIE PANDOLF, DECLARE THAT I HAVE REVIEWED AND TAKEN DESIGN RESPONSIBILITY FOR THE DESIGN WORK ON BEHALF OF RN DESIGN LTD. UNDER DIVISION C, PART 3 SUBSECTION 3.2.4 OF THE BUILDING CODE I AM AN APPROVED DESIGNER IN THE APPLICABLE CLASSIFICATION REQUIRED IN THE QUALIFIED DESIGNER BCN. CA REGISTERED.  
 41549  
 26995  
 Nov-21-2014  
 DATE  
 FIRM BCN:  
 SIGNATURE: *mf*



5.23



REAR ELEVATION 'A' - WOB COND.

**WATCHORN Architect Inc.**  
**DESIGN CONTROL REVIEW**  
 NOV 28 2014  
 FINAL BY: AE  
 This stamp is only for the purposes of design control and carries no other professional obligation.

ALL CONSTRUCTION TO BE COMPLY WITH THE APPROVED DRAWINGS OF GENERAL CONTRACTOR UNDER THE BUILDING CODE. ALL WORK UNDER THE BUILDING CODE.

DIVISION C - SECTION 12.04.010 BUILDING CODE REQUIRES THAT THE CONSTRUCTION, INCLUDING EVERY ELEMENT OF THE ELEVATION, SHALL BE DESIGNED AND REVIEWED BY AN ARCHITECT, PROFESSIONAL ENGINEER OR BOTH

NOV 28 2014  
 PICO ENGINEERS  
 J.G. ALVAREZ  
 REGISTERED PROFESSIONAL ENGINEER

model S41-1  
 project 13016  
 scale 3/16" = 1'0"



page A17

client Aspen Ridge Homes  
 location Vaughan  
 marketing name FOSTER  
 project Upper West Side

revisions	date	own	chk	#	revisions	date	own	chk	#
1	ASBRED DECK CONDITIONS	ASBRED	10/14	1	1	3			
2	REMOVED AS PER CLIENT COMMENTS		24-OCT-14	1	2	4			
3	ISSUED FOR FINAL		31/11/2014	1	3	7			
4				4	4	8			

I, NATALIE PANDOUT DECLARE THAT I HAVE REVIEWED AND TAKEN RESPONSIBILITY FOR THE DESIGN AND CONSTRUCTION OF AN DESIGN LTD. UNDER DIVISION C, PART 3 SUBSECTION 3.2.4 OF THE BUILDING CODE. I AM QUALIFIED AND THE FIRM IS REGISTERED IN THE APPROPRIATE CLASS/7 CATEGORY.  
 APPROPRIATE DESIGNER BCIN:  
 FIRM NO. 41549  
 24975  
 DATE: Nov-21-2014

SIGNATURE:

**SCHEDULE B:  
COMMENTS FROM AGENCIES, BUILDING STANDARDS &  
DEVELOPMENT PLANNING**

Department / Agency <small>*Comments Received</small>	Conditions Required		Nature of Comments
Building Standards (Zoning) *See Schedule B	Yes <input type="checkbox"/>	No <input type="checkbox"/>	Application Under Review
Development Planning	Yes <input type="checkbox"/>	No <input type="checkbox"/>	Application Under Review

External Agencies <small>*Comments Received</small>	Conditions Required		Nature of Comments <small>*See Schedule B for full comments</small>
Alectra	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>	General Comments
TRCA	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>	General Comments
Region of York	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>	General Comments

**Date:** April 30<sup>th</sup> 2024

**Attention:** **Christine Vigneault**

**RE:**

**File No.:** **A028-24**

**Related Files:**

**Applicant** Mohammad Vakili Rad

**Location** 5 Keatley Drive



Discover the possibilities

### COMMENTS:

- We have reviewed the proposed Variance Application and have no comments or objections to its approval.
- We have reviewed the proposed Variance Application and have no objections to its approval, subject to the following comments (attached below).
- We have reviewed the proposed Variance Application and have the following concerns (attached below).

Alectra Utilities (formerly PowerStream) has received and reviewed the proposed Variance Application. This review, however, does not imply any approval of the project or plan.

All proposed billboards, signs, and other structures associated with the project or plan must maintain minimum clearances to the existing overhead or underground electrical distribution system as specified by the applicable standards, codes and acts referenced.

In the event that construction commences, and the clearance between any component of the work/structure and the adjacent existing overhead and underground electrical distribution system violates the Occupational Health and Safety Act, the customer will be responsible for 100% of the costs associated with Alectra making the work area safe. All construction work will be required to stop until the safe limits of approach can be established.

In the event construction is completed, and the clearance between the constructed structure and the adjacent existing overhead and underground electrical distribution system violates the any of applicable standards, acts or codes referenced, the customer will be responsible for 100% of Alectra's cost for any relocation work.

### References:

- Ontario Electrical Safety Code, latest edition (Clearance of Conductors from Buildings)
- Ontario Health and Safety Act, latest edition (Construction Protection)
- Ontario Building Code, latest edition (Clearance to Buildings)
- PowerStream (Construction Standard 03-1, 03-4), attached
- Canadian Standards Association, latest edition (Basic Clearances)

If more information is required, please contact either of the following:

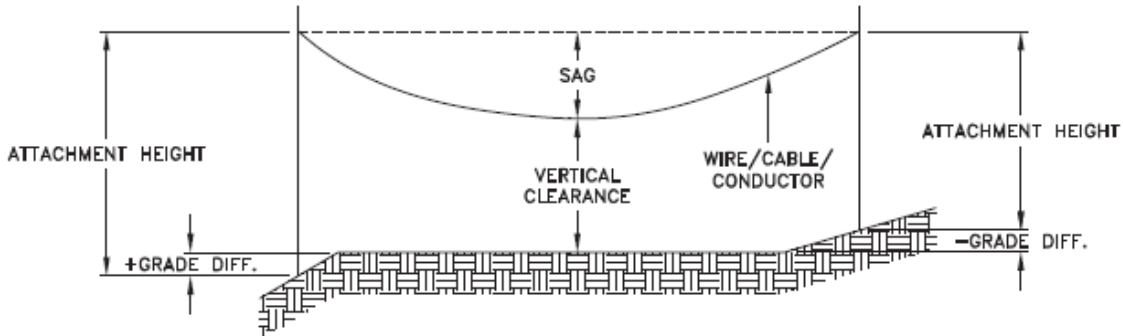
Mr. Stephen Cranley, C.E.T  
Supervisor, Distribution Design, ICI & Layouts (North)  
**Phone:** 1-877-963-6900 ext. 31297

**E-mail:** [stephen.cranley@alectrautilities.com](mailto:stephen.cranley@alectrautilities.com)

Mitchell Penner  
Supervisor, Distribution Design-Subdivisions  
**Phone:** 416-302-6215

**Email:** [Mitchell.Penner@alectrautilities.com](mailto:Mitchell.Penner@alectrautilities.com)

LOCATION OF WIRES, CABLES OR CONDUCTORS	SYSTEM VOLTAGE			
	SPAN GUYS AND COMMUNICATIONS WIRES	UP TO 600V AND NEUTRAL	4.16/2.4kV TO 27.6/16kV (SEE NOTE 1)	44kV
MINIMUM VERTICAL CLEARANCES (SEE NOTE 2)				
OVER OR ALONGSIDE ROADS, DRIVEWAYS OR LANDS ACCESSIBLE TO <u>VEHICLES</u>	442cm	442cm	480cm	520cm
OVER GROUND ACCESSIBLE TO <u>PEDESTRIANS AND BICYCLES ONLY</u>	250cm	310cm	340cm	370cm
ABOVE TOP OF RAIL AT <u>RAILWAY CROSSINGS</u>	730cm	730cm	760cm	810cm



MINIMUM ATTACHMENT HEIGHT = MAXIMUM SAG  
 + MINIMUM VERTICAL CLEARANCE (FROM ABOVE TABLE)  
 ± GRADE DIFFERENCE  
 + 0.3m (VEHICLE OR RAILWAY LOCATION)  
 + SNOW DEPTH (PEDESTRIAN LOCATION, SEE NOTE 3)

**NOTES:**

1. THE MULTIGROUNDED SYSTEM NEUTRAL HAS THE SAME CLEARANCE AS THE 600V SYSTEM.
2. THE VERTICAL CLEARANCES IN THE ABOVE TABLE ARE UNDER MAXIMUM SAG CONDITIONS.
3. REFER TO CSA STANDARD C22.3 No.1, ANNEX D FOR LOCAL SNOW DEPTH VALUES.
4. ALL CLEARANCES ARE IN ACCORDANCE TO CSA STANDARD C22.3.

**CONVERSION TABLE**

METRIC	IMPERIAL (APPROX)
810cm	27'-0"
760cm	25'-4"
730cm	24'-4"
520cm	17'-4"
480cm	16'-0"
442cm	15'-5"
370cm	12'-4"
340cm	11'-4"
310cm	10'-4"
250cm	8'-4"

**REFERENCES**

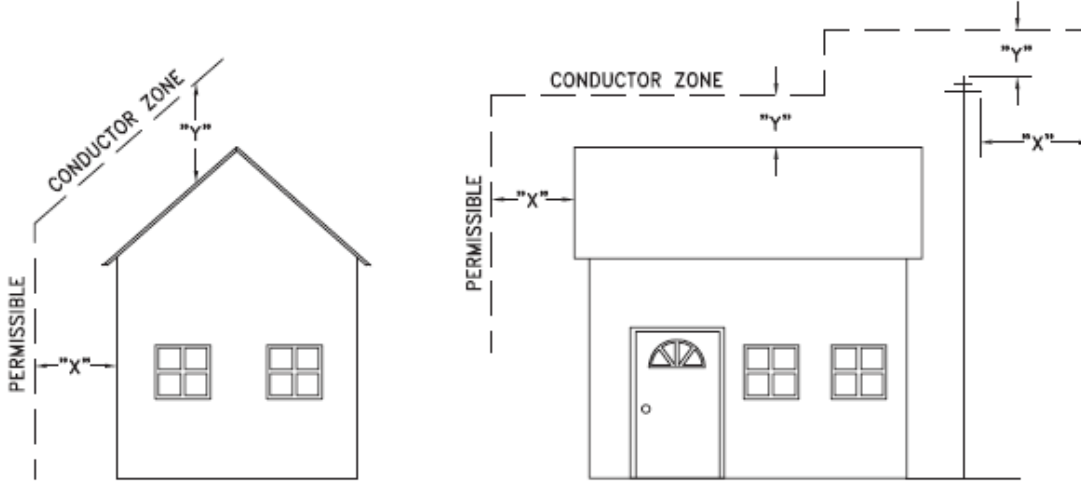
SAGS AND TENSIONS | SECTION 02

**MINIMUM VERTICAL CLEARANCES OF WIRES, CABLES AND CONDUCTORS ABOVE GROUND OR RAILS**

ORIGINAL ISSUE DATE: 2010-DEC-24 REVISION NO: R1 REVISION DATE: 2012-JAN-09

Certificate of Approval	
This construction Standard meets the safety requirements of Section 4 of Regulation 22/04	
Joe Crozier, P.Eng.	2012-JAN-09
Name	Date
P.Eng. Approval By:	Joe Crozier





VOLTAGE	MINIMUM HORIZONTAL CLEARANCE UNDER MAXIMUM SWING CONDITIONS DIMENSION "X" (SEE NOTES 1, 3 & 4)	MINIMUM VERTICAL CLEARANCE UNDER MAXIMUM DESIGN SAG CONDITIONS DIMENSION "Y" (SEE NOTES 1, 2, 4 & 5)
0-600V AND NEUTRAL	100cm	250cm
4.16/2.4 TO 44kV	300cm	480cm

**NOTES**

1. UNDER NO CIRCUMSTANCES SHALL A CONDUCTOR BE PERMITTED TO PENETRATE THE ENVELOPE SHOWN BY THE DOTTED LINE.
2. THE VERTICAL CLEARANCES ARE UNDER CONDITIONS OF MAXIMUM DESIGN SAG.
3. THE HORIZONTAL CLEARANCES ARE UNDER CONDITIONS OF MAXIMUM SWING. WHERE THE CONDUCTOR SWING IS NOT KNOWN A HORIZONTAL CLEARANCE OF 480CM SHALL BE USED.
4. BUILDINGS THAT EXCEED 3 STOREYS OR 15M IN HEIGHT, THE MINIMUM HORIZONTAL CLEARANCE OF THE SECONDARY CONDUCTORS SHOULD BE INCREASED TO 300cm WHERE IT IS NECESSARY TO ALLOW FOR THE RAISING OF LADDERS BY LOCAL FIRE DEPARTMENTS.
5. IN SITUATIONS SUCH AS MULTI-LEVEL GARAGES, WHERE ROOFS ARE NORMALLY USED BY PERSONS AND VEHICLES, THE VERTICAL CLEARANCES OF POWERSTREAM STANDARD 03-1 SHALL APPLY.
6. DISTRIBUTION LINES CONSTRUCTED NEAR BUILDINGS SHALL BE BUILT TO AVOID OVERHANG WHEREVER POSSIBLE. WHERE LINES MUST BE CONSTRUCTED OVER OR ADJACENT TO BUILDINGS THE APPLICABLE HORIZONTAL AND VERTICAL CLEARANCES SHALL BE AT CONDITIONS OF MAXIMUM CONDUCTOR SWING AND MAXIMUM SAG. THE ABOVE CLEARANCES ARE DESIGNED TO PREVENT PERSONS ON OR IN BUILDINGS AS WELL AS EXTERNAL MACHINERY USED IN CONJUNCTION WITH A BUILDING TO COME IN CONTACT WITH CONDUCTORS. EFFORTS SHOULD BE MADE TO INCREASE THESE CLEARANCES WHERE POSSIBLE.
7. ALL CLEARANCES ARE IN ACCORDANCE TO CSA C22.3 NO.1-06 (TABLE-9).

METRIC	IMPERIAL (APPROX)
480cm	16'-0"
300cm	10'-0"
250cm	8'-4"
100cm	3'-4"

**MINIMUM VERTICAL & HORIZONTAL CLEARANCES OF CONDUCTORS FROM BUILDINGS OR OTHER PERMANENT STRUCTURES (CONDUCTORS NOT ATTACHED TO BUILDINGS)**

**Certificate of Approval**  
This construction Standard meets the safety requirements of Section 4 of Regulation 22/04  
Debbie Dadwani, P.Eng. 2010-MAY-05  
Name Date  
P. Eng. Approval By: *D. Dadwani*

ORIGINAL ISSUE DATE: 2010-MAY-05 REVISION NO: REVISION DATE:  
PS:\System Planning and Standards\Standard Design\PowerStream Standards\PowerStream Standards working files\Section 3-1-02\WG 03-4 R0 May 5, 2010.dwg, 5/5/2010 10:22:02 AM, Adobe PDF



**To:** Committee of Adjustment

**From:** Faegheh Gholami, Building Standards Department

**Date:** April 29, 2024

**Applicant:** Mohammad Vakili Rad

**Location:** 5 Keatley Drive  
PLAN 65M4491 Lot 44

**File No.(s):** A008/24

# REVISED SUBMISSION UNDER REVIEW

**Zoning Classification:**

The subject lands are zoned R3 – Third Density Residential Zone and subject to the provisions of Exception 14.1014 under Zoning By-law 001-2021, as amended.

#	Zoning By-law 001-2021	Variance requested
1	A residential accessory structure with a height greater than 2.8m shall not be located closer than 2.4m to any lot line. [Section 4.1.2.1b)]	To permit a residential accessory structure with a height greater than 2.8m to be located a minimum of 1.30m from the interior side lot line.
2	In a Residential Zone, where lot frontage is 12.0 m or greater, the minimum landscape requirement of the front yard containing the driveway shall be 50%, of which 60% shall be soft landscaping. [Section 4.19.1.2.b]	To permit a minimum of 33.91% of the front yard to be landscaped of which 6.48% to be soft landscaped.

**Staff Comments:**

**Stop Work Order(s) and Order(s) to Comply:**

There are no outstanding Orders on file

**Building Permit(s) Issued:**

A Building Permit has not been issued. The Ontario Building Code requires a building permit for structures that exceed 10m<sup>2</sup>

**Other Comments:**

General Comments	
1	The applicant shall be advised that additional variances may be required upon review of detailed drawing for building permit/site plan approval.

**Conditions of Approval:**

If the committee finds merit in the application, the following conditions of approval are recommended.

\* Comments are based on the review of documentation supplied with this application.

## Prabhdeep Kaur

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**From:** Kristen Regier <Kristen.Regier@trca.ca>  
**Sent:** Wednesday, May 1, 2024 11:07 AM  
**To:** Committee of Adjustment  
**Subject:** [External] RE: A028/24 (5 Keatley Drive) - REQUEST FOR COMMENTS, CITY OF VAUGHAN

**CAUTION!** This is an external email. Verify the sender's email address and carefully examine any links or attachments before clicking. If you believe this may be a phishing email, please use the Phish Alert Button.

Hello,

The subject property at 5 Keatley Drive, Vaughan is not located within TRCA's Regulated Area. TRCA's Planning and Regulatory policy interests are not impacted.

As such, TRCA has no comments on the application.

Best,

**Kristen Regier, MA (she / her)**

Planner

Development Planning and Permits | Development and Engineering Services  
Toronto and Region Conservation Authority (TRCA)

T: [437-880-2129](tel:437-880-2129)

E: [kristen.regier@trca.ca](mailto:kristen.regier@trca.ca)

A: [101 Exchange Avenue, Vaughan, ON, L4K 5R6](https://www.trca.ca) | [trca.ca](https://www.trca.ca)



## Prabhdeep Kaur

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**From:** Development Services <developmentservices@york.ca>  
**Sent:** Monday, May 13, 2024 1:58 PM  
**To:** Christine Vigneault  
**Cc:** Committee of Adjustment  
**Subject:** [External] RE: A028/24 (5 Keatley Drive) - REQUEST FOR COMMENTS, CITY OF VAUGHAN

**CAUTION!** This is an external email. Verify the sender's email address and carefully examine any links or attachments before clicking. If you believe this may be a phishing email, please use the Phish Alert Button.

Hi Christine,

The Regional Municipality of York has completed its review of the minor variance application – A028/24 (5 Keatley Drive) and has no comment.

Please provide us with a digital copy of the notice of decision for our records.

Many thanks,

*Our working hours may be different. Please do not feel obligated to reply outside of your scheduled working hours. Let's work together to help foster healthy work-life boundaries.*

**Niranjan Rajevan, M.Pl.** | Associate Planner, Development Services, Planning and Economic Development, Corporate Services

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The Regional Municipality of York | 17250 Yonge Street | Newmarket, ON L3Y 6Z1  
1-877-464-9675 ext. 71521 | [niranjan.rajevan@york.ca](mailto:niranjan.rajevan@york.ca) | [www.york.ca](http://www.york.ca)

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## SCHEDULE C: PUBLIC & APPLICANT CORRESPONDENCE

None

## SCHEDULE D: BACKGROUND

None