

ITEM: 6.17	REPORT SUMMARY MINOR VARIANCE APPLICATION FILE NUMBER A072/24
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Report Date: Friday, June 14, 2024

**THIS REPORT CONTAINS COMMENTS FROM THE FOLLOWING
DEPARTMENTS & AGENCIES (SEE SCHEDULE B):**

Additional comments from departments and agencies received after the publication of the report will be made available on the City's [website](#).

Internal Departments <small>*Comments Received</small>	Conditions Required		Nature of Comments
Committee of Adjustment	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>	General Comments
Building Standards (Zoning)	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>	General Comments
Development Planning	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>	Recommend Approval/No Conditions
Development Engineering	Yes <input checked="" type="checkbox"/>	No <input type="checkbox"/>	Recommend Approval w/Conditions
Forestry	Yes <input checked="" type="checkbox"/>	No <input type="checkbox"/>	General Comments w/Conditions
Development Finance	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>	General Comments

External Agencies <small>*Comments Received</small>	Conditions Required		Nature of Comments <small>*See Schedule B for full comments</small>
Alectra	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>	General Comments
TRCA	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>	General Comments

PUBLIC & APPLICANT CORRESPONDENCE (SEE SCHEDULE C)				
<p>All personal information collected because of this public meeting (including both written and oral submissions) is collected under the authority of the Municipal Act, the Municipal Freedom of Information and Protection of Privacy Act (MFIPPA), the Planning Act and all other relevant legislation, and will be used to assist in deciding on this matter. All personal information (as defined by MFIPPA), including (but not limited to) names, addresses, opinions and comments collected will become property of the City of Vaughan, will be made available for public disclosure (including being posted on the internet) and will be used to assist the Committee of Adjustment and staff to process this application.</p>				
Correspondence Type	Name	Address	Date Received <small>(mm/dd/yyyy)</small>	Summary
None				

BACKGROUND (SCHEDULE D, IF REQUIRED)	
<p style="text-align: center;"><small>* Background Information contains historical development approvals considered to be related to this file. This information should not be considered comprehensive.</small></p>	
Application No. (City File)	Application Description <small>(i.e. Minor Variance Application; Approved by COA / OLT)</small>
None	None

ADJOURNMENT HISTORY	
<p style="text-align: center;"><small>* Previous hearing dates where this application was adjourned by the Committee and public notice issued.</small></p>	
Hearing Date	Reason for Adjournment <small>(to be obtained from NOD_ADJ)</small>
None	None

SCHEDULES	
Schedule A	Drawings & Plans Submitted with the Application
Schedule B	Comments from Agencies, Building Standards & Development Planning
Schedule C (if required)	Public & Applicant Correspondence
Schedule D (if required)	Background



**MINOR VARIANCE APPLICATION
FILE NUMBER A072/24
147 FINDHORN CRESCENT, MAPLE**

CITY WARD #:	1
APPLICANT:	Mary Nasso
AGENT:	Great Room Inc.
PROPERTY:	147 Findhorn Crescent, Maple
ZONING DESIGNATION:	See below.
VAUGHAN OFFICIAL PLAN (2010) DESIGNATION:	Vaughan Official Plan 2010 ('VOP 2010'): "Low-Rise Residential"
RELATED DEVELOPMENT APPLICATIONS:	None
PURPOSE OF APPLICATION:	Relief from the Zoning By-law is being requested to permit the construction of a proposed addition located at the rear of the existing dwelling.

The following variances are being requested from the City's Zoning By-law:

The subject lands are zoned R2A(EN) Second Density Residential Zone (Established Neighbourhood) and subject to the provisions of Exception 14.295 under Zoning By-law 001-2021, as amended.

#	Zoning By-law 001-2021	Variance requested
1	The minimum required rear yard is 9.0m. Exception 14.295 T36	To permit a minimum rear yard of 4.73m.
2	The maximum permitted encroachment for an eave into the rear yard is 0.50m. Section 4.13 Table 4-1	To permit a maximum encroachment of 0.52m for an eave into the rear yard.

HEARING INFORMATION

DATE OF MEETING: Thursday, June 20, 2024
TIME: 6:00 p.m.
MEETING LOCATION: Vaughan City Hall, Woodbridge Room (2nd Floor), 2141 Major Mackenzie Drive
LIVE STREAM LINK: Vaughan.ca/LiveCouncil

PUBLIC PARTICIPATION

If you would like to speak to the Committee of Adjustment at the meeting, either remotely or in person, please complete the [Request to Speak Form](#) and submit to cofa@vaughan.ca

If you would like to submit written comments, please quote file number above and submit by mail or email to:

Email: cofa@vaughan.ca

Mail: City of Vaughan, Office of the City Clerk, Committee of Adjustment, 2141 Major Mackenzie Drive, Vaughan, ON, L6A 1T1

To speak electronically, pre-registration is required by completing the [Request to Speak Form](#) on-line and submitting it to cofa@vaughan.ca no later than NOON on the last business day before the meeting.

THE DEADLINE TO REGISTER TO SPEAK ELECTRONICALLY OR SUBMIT WRITTEN COMMENTS ON THE ABOVE NOTED FILE(S) IS NOON ON THE LAST BUSINESS DAY BEFORE THE MEETING.

INTRODUCTION

Staff and Agencies act as advisory bodies to the Committee of Adjustment. The comments contained in this report are presented as recommendations to the Committee.

INTRODUCTION

Section 45(1) of the Planning Act sets the criteria for authorizing minor variances to the City of Vaughan's Zoning By-law. Accordingly, review of the application may consider the following:

- That the general intent and purpose of the by-law will be maintained.
- That the general intent and purpose of the official plan will be maintained.
- That the requested variance(s) is/are acceptable for the appropriate development of the subject lands.
- That the requested variance(s) is/are minor in nature.

Public written and oral submissions relating to this application are taken into consideration by the Committee of Adjustment as part of its deliberations and final decision on this matter.

COMMITTEE OF ADJUSTMENT

Date Public Notice Mailed:	June 6, 2024
Date Applicant Confirmed Posting of Sign:	May 30, 2024
Applicant Justification for Variances: <small>*As provided in Application Form</small>	By-law is too restrictive to allow for a residential single storey addition.
Was a Zoning Review Waiver (ZRW) Form submitted by Applicant: <small>*ZRW Form may be used by applicant in instances where a revised submission is made, and zoning staff do not have an opportunity to review and confirm variances prior to the issuance of public notice.</small>	Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>
COMMENTS:	
None.	
Committee of Adjustment Recommended Conditions of Approval:	None.

BUILDING STANDARDS (ZONING)

**See Schedule B for Building Standards (Zoning) Comments	
Building Standards Recommended Conditions of Approval:	None.

DEVELOPMENT PLANNING

**See Schedule B for Development Planning Comments.	
Development Planning Recommended Conditions of Approval:	None.

DEVELOPMENT ENGINEERING

[Link to Grading Permit](#)
 [Link to Pool Permit](#)
 [Link to Curb Curt Permit](#)
 [Link Culvert Installation](#)

As the proposed dwelling/ structure/ cabana in the subject property is 52.3 m2, the Owner/ Applicant needs to obtain a 'Lot Grading Permit' from the Development Inspection and Lot Grading Division of the City's Development Engineering Department. Please note any in-ground structure over 10 m2 requires a 'Grading Permit'. Please contact the Development Engineering Reviewer after receiving the Grading Permit to clear the condition. (Condition attached) The proposed work by the Owner/Applicant is increasing the lot coverage on the subject property. The added hardscape may have impacts on the City's Storm Water management system. Development Engineering strongly encourages the Owner / Applicant introduce Low-Impact Development (LID) measures (e.g., bioswales, permeable pavers, rain gardens, rain barrels etc.) to reduce the impacts to the stormwater system. Should further information be required, please contact the Development Engineering COA reviewer.

Development Engineering Recommended Conditions of Approval:	The Owner/Applicant shall submit an application and obtain an approved Grading Permit before initiating any work on the property. The Final Lot Grading and/or Servicing Plan will be required for the Grading Permit Application. Please visit the Permits page of the City of Vaughan's website: Permits City of Vaughan to apply for a Grading Permit. For any inquiries regarding the Grading Permit, please email DEPermits@vaughan.ca
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PARKS, FORESTRY & HORTICULTURE (PFH)

No comment no concerns.

PARKS, FORESTRY & HORTICULTURE (PFH)

PFH Recommended Conditions of Approval:	<ol style="list-style-type: none"> 1) Applicant/owner shall supply an arborist report to the satisfaction of the forestry division. 2) Applicant/owner shall obtain a "Private Property Tree Removal & Protection" permit through the forestry division prior to any construction works on the subject property.
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DEVELOPMENT FINANCE

No comment no concerns.	
Development Finance Recommended Conditions of Approval:	None.

BY-LAW AND COMPLIANCE, LICENSING AND PERMIT SERVICES

No comments received to date	
BCLPS Recommended Conditions of Approval:	None.

BUILDING INSPECTION (SEPTIC)

No comments received to date.	
Building Inspection Recommended Conditions of Approval:	None.

FIRE DEPARTMENT

No comments received to date.	
Fire Department Recommended Conditions of Approval:	None.

RECOMMENDED CONDITIONS OF APPROVAL SUMMARY

Should the Committee find it appropriate to approve this application in accordance with request and the sketch submitted with the application, as required by Ontario Regulation 200/96, the following conditions have been recommended:

#	DEPARTMENT / AGENCY	CONDITION
1	Development Engineering jonal.hall@vaughan.ca	The Owner/Applicant shall submit an application and obtain an approved Grading Permit before initiating any work on the property. The Final Lot Grading and/or Servicing Plan will be required for the Grading Permit Application. Please visit the Permits page of the City of Vaughan's website: Permits City of Vaughan to apply for a Grading Permit. For any inquiries regarding the Grading Permit, please email DEPermits@vaughan.ca
2	Parks, Forestry and Horticulture Operations zachary.quizzetti@vaughan.ca	<ol style="list-style-type: none"> 1) Applicant/owner shall supply an arborist report to the satisfaction of the forestry division. 2) Applicant/owner shall obtain a "Private Property Tree Removal & Protection" permit through the forestry division prior to any construction works on the subject property.

All conditions of approval, unless otherwise stated, are considered to be incorporated into the approval "if required". If a condition is no longer required after an approval is final and binding, the condition may be waived by the respective department or agency requesting conditional approval. A condition cannot be waived without written consent from the respective department or agency.

IMPORTANT INFORMATION

CONDITIONS: It is the responsibility of the owner/applicant and/or authorized agent to obtain and provide a clearance letter from respective department and/or agency (**see condition chart above for contact**). This letter must be provided to the Secretary-Treasurer to be finalized. All conditions must be cleared prior to the issuance of a Building Permit.

IMPORTANT INFORMATION

APPROVALS: Making any changes to your proposal after a decision has been made may impact the validity of the Committee's decision.

An approval obtained from the Committee of Adjustment, where applicable, is tied to the building envelope shown on the plans and drawings submitted with the application and subject to the variance approval.

A building envelope is defined by the setbacks of the buildings and/or structures shown on the plans and drawings submitted with the application, as required by Ontario Regulation 200/96. Future development outside of an approved building envelope, where a minor variance was obtained, must comply with the provisions of the City's Zoning By-law.

Elevation drawings are provided to reflect the style of roof (i.e. flat, mansard, gable etc.) to which a building height variance has been applied. Where a height variance is approved, building height is applied to the style of roof (as defined in the City's Zoning By-law) shown on the elevation plans submitted with the application.

Architectural design features that are not regulated by the City's Zoning By-law are not to be considered part of an approval unless specified in the Committee's decision.

DEVELOPMENT CHARGES: That the payment of the Regional Development Charge, if required, is payable to the City of Vaughan before issuance of a building permit in accordance with the Development Charges Act and the Regional Development Charges By-law in effect at the time of payment.

That the payment of the City Development Charge, if required, is payable to the City of Vaughan before issuance of a building permit in accordance with the Development Charges Act and the City's Development Charges By-law in effect at the time of payment.

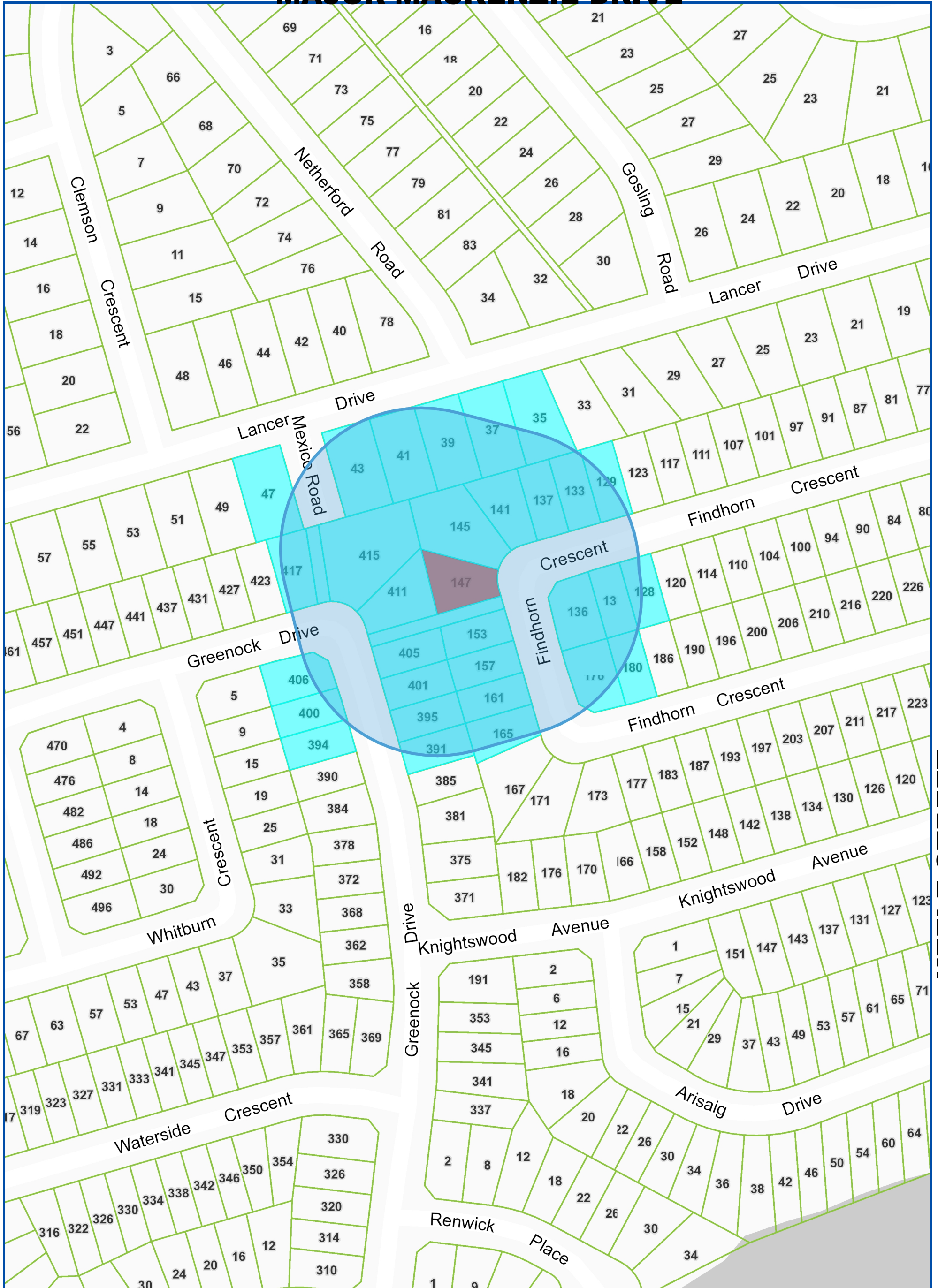
That the payment of the Education Development Charge if required, is payable to the City of Vaughan before issuance of a building permit in accordance with the Development Charges Act and the Boards of Education By-laws in effect at the time of payment

That the payment of Special Area Development charge, if required, is payable to the City of Vaughan before issuance of a building permit in accordance with the Development Charges Act and The City's Development Charge By-law in effect at the time of Building permit issuance to the satisfaction of the Reserves/Capital Department.

NOTICE OF DECISION: If you wish to be notified of the decision in respect to this application or a related Ontario Land Tribunal (OLT) hearing you must complete a Request for Decision form and submit to the Secretary Treasurer (ask staff for details). In the absence of a written request to be notified of the Committee's decision you will **not** receive notice.

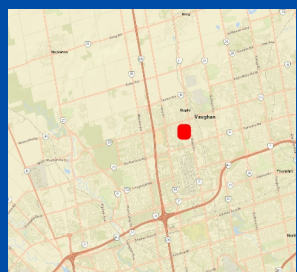
SCHEDULE A: DRAWINGS & PLANS

MAJOR MACKENZIE DRIVE



KEELE STREET

Map Information:



Title:

NOTIFICATION MAP - A072/24

147 Findhorn Crescent, Maple

Disclaimer:

Every reasonable effort has been made to ensure that the information appearing on this map is accurate and current. We believe the information to be reliable, however the City of Vaughan assumes no responsibility or liability due to errors or omissions. Please report any discrepancies to Infrastructure Programming.



Scale: 1:2,257

0 0.04 km



Created By:

Infrastructure Delivery

Department

April 18, 2024 11:57 AM

Projection:

NAD 83

UTM Zone

17N

SITE PLAN & BUILDING STATISTICS
 Lot 56
 REG. PLAN 65M-2592
 CITY of VAUGHAN
 MUNICIPALITY of YORK
 SCALE 1 : 200



ZONING SUMMARY: R2A (EN)		REQUIRED	PROPOSED OR EXISTING
ZONING SUMMARY: RESIDENTIAL ADDITION			
LOT FRONTAGE		15.0M (49'-3")	16.09M (52'-9") (EXISTING)
LOT AREA		450.0 SQ.M. (4843.9 SQ.FT.)	673.0 SQ.M. (7244.3 SQ.FT.) (EXISTING)
EXISTING DWELLING LOT COVERAGE		55.0% (370.15 SQ.M.) (3984.4 SQ.FT.)	19.7% (132.6 SQ.M.) (1427.0 SQ.FT.) (EXISTING)
EXISTING CABANA LOT COVERAGE		10.0% (67.3 SQ.M.) OR 67.0 SQ.M.	1.8% (12.3 SQ.M.) (EXISTING)
NEW DWELLING LOT COVERAGE		55.0% (370.15 SQ.M.) (3984.4 SQ.FT.)	27.5% (184.9 SQ.M.) (1990.0 SQ.FT.) (EXISTING)
NEW TOTAL LOT COVERAGE		55.0% (370.15 SQ.M.) (3984.4 SQ.FT.)	29.3% (184.9 SQ.M. + 12.3 SQ.M. = 197.2 SQ.M.) (NEW)
DWELLING BUILDING HEIGHT		11.0M (36'-1") (TO MID-P.)	6.55M (21'-6") (TO MID-P.) (EXISTING)
EXISTING DWELLING SIDE YARD SETBACK		3.5M (11'-6")	2.47M (8'-1") (EXISTING)
NEW DWELLING REAR YARD SETBACK		9.0M (29'-6")	4.73M (15'-6") (NEW)
MAX. EAVES ENCROACHMENT INTO REAR YARD		0.5M (1'-7 1/2")	0.52M (1'-8 1/2")
MIN. REAR YARD SOFT LANDSCAPE AREA		N.A.	-
MIN. FRONT YARD LANDSCAPE AREA		N.A.	-

RECEIVED
 By Prabhdeep Kaur at 11:39 am, May 31, 2024

METRIC
 DISTANCES SHOWN ON THIS PLAN ARE IN METERS AND CAN BE CONVERTED TO FEET BY DIVIDING BY 0.3048.

GRADE CONDITION
 PLEASE NOTE:
 ALL EXISTING CONTROL GRADES TO REMAIN UNCHANGED

CURB CUT NOTE
 A SEPARATE PERMIT WILL BE OBTAINED FROM THE PUBLIC WORKS DEPARTMENT, PRIOR TO INSTALLATION AND/OR EXTENSION OF THE CURB CUT.

CONSTRUCTION NOTE
 THE LOCATION OF ALL UNDERGROUND AND ABOVE GROUND UTILITIES AND STRUCTURES IS NOT NECESSARILY SHOWN ON THE CONTRACT DRAWINGS, AND WHERE SHOWN, THE ACCURACY OF THE LOCATION OF SUCH UTILITIES AND STRUCTURES IS NOT GUARANTEED. BEFORE WORK COMMENCES, THE CONTRACTOR SHALL VERIFY THE EXACT LOCATIONS OF ALL SUCH UTILITIES AND SHALL ASSUME THE LIABILITY FOR ALL DAMAGES.

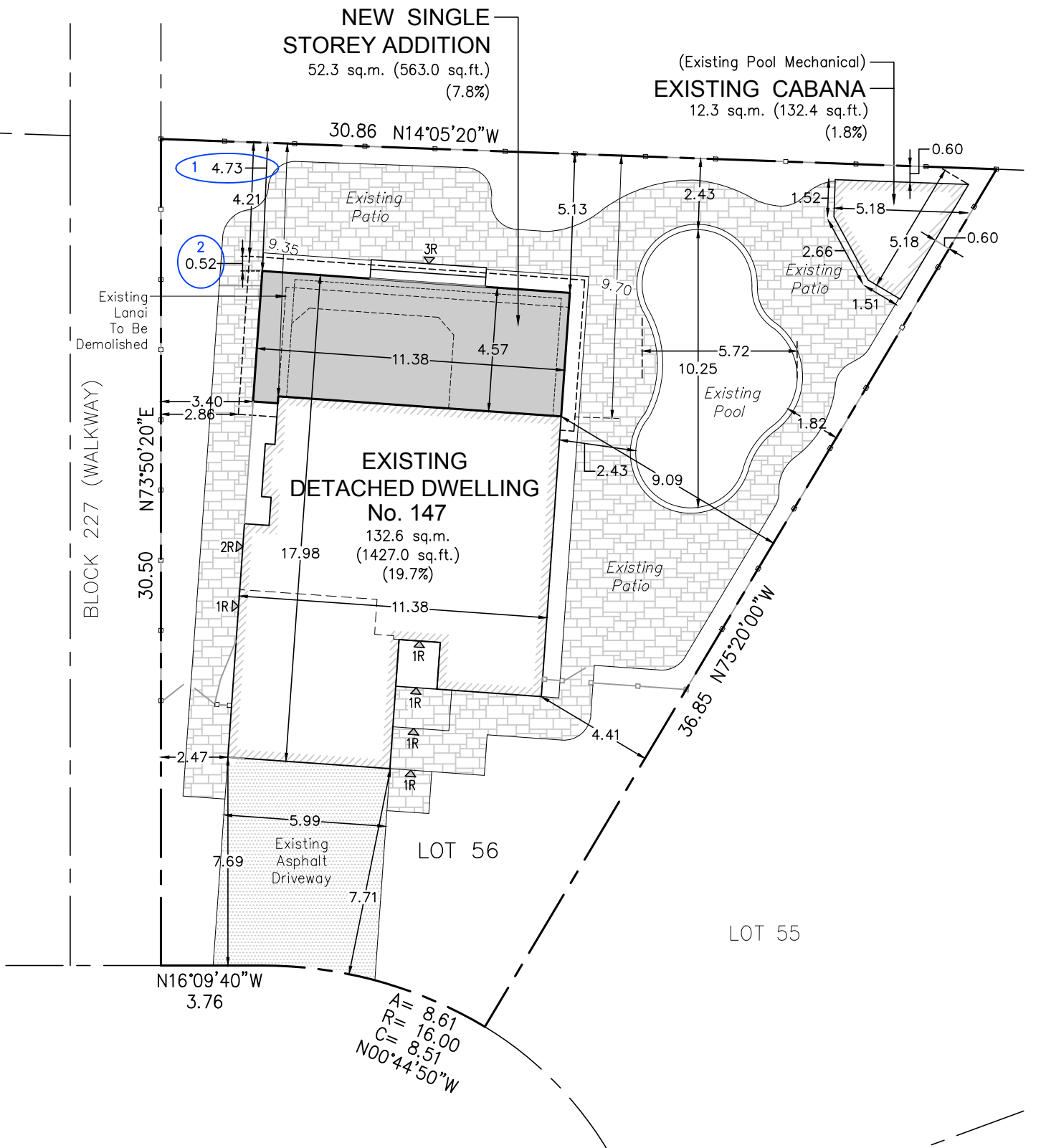
SUMP PUMP NOTE
 SUMP PUMP TO DISCHARGE TO CONCRETE SPLASH PAD OR OTHER APPROVED SOLID LANDSCAPE SURFACE.

SITING INFORMATION
 ALL INFORMATION TAKEN FROM SURVEY DATED: MARCH 23, 1988. PREPARED BY:
P. SALNA COMPANY LTD.
 ONTARIO LAND SURVEYORS
 10225 YONGE STREET
 RICHMOND HILL, ONTARIO
 L4C 3B2
 PH. (905) 884-3988

BEARING NOTE
 BEARINGS ARE ASTROMONIC AND ARE DERIVED FROM THE NORTH LIMIT OF FINDHORN CRESCENT AS SHOWN ON REGISTERED PLAN 65M-2592 HAVING A BEARING OF N74°03'00"E

CITY OF VAUGHAN RESIDENTIAL LOT GRADING NOTES

- ALL SITE PLANS, DRAWINGS AND CONSTRUCTION SHALL COMPLY WITH THE CITY OF VAUGHAN LOT GRADING CRITERIA, ENGINEERING STANDARDS, AND APPLICABLE PROVINCIAL STANDARDS, THE ONTARIO BUILDING CODE, SUBDIVISION AGREEMENT & BY-LAWS UNLESS OTHERWISE APPROVED.
- APPROVAL OF THIS SITE PLAN DOES NOT RELEASE THE BUILDER/APPLICANT/OWNER OF THEIR RESPONSIBILITIES TO ENSURE THE PROPOSED DRAINAGE WORKS ARE COMPATIBLE WITH THE OVERALL DRAINAGE WITHIN THE SUBDIVISION. PROPOSED LOT DRAINAGE SHALL NOT ADVERSELY AFFECT ADJACENT PROPERTIES.
- ALTERATIONS TO EXISTING GRADES SHALL NOT BE PERMITTED WITHIN 600mm OF LOT LINES UNLESS SPECIFICALLY APPROVED AS PART OF THIS PERMIT. THE APPROVED GRADING/DRAINAGE PATTERN FOR THIS LOT/BLOCK SHALL BE MAINTAINED AND ALTERATIONS NOT APPROVED AS PART OF THIS PERMIT SHALL BE RESTORED BY THE BUILDER/APPLICANT/OWNER TO THE SATISFACTION OF THE CITY OF VAUGHAN.
- SEDIMENTATION/SILTATION CONTROL MEASURES SHALL BE INSTALLED PRIOR TO CONSTRUCTION AND OFFSET A MIN. OF 600mm FROM LOT LINES. THESE MEASURES SHALL BE MAINTAINED IN ORDER TO PREVENT ADVERSEITIES TO ADJACENT LANDS. REFER TO ATTACHED SAMPLE DRAWING.
- BUILDER SHALL VERIFY EXISTING AND PROPOSED GRADE ELEVATIONS PRIOR TO CONSTRUCTION. FOOTINGS MUST BEAR ON NATIVE UNDISTURBED SOIL OR ROCK, AND BE A MIN. OF 1.22m BELOW FINISHED GRADE.
- PROVIDE ELEVATION FOR: TOP OF FOUNDATION WALL, UNDERSIDE OF FOOTING, TOP OF BASEMENT FLOOR AND FINISHED FLOOR.
- SHOW REVERSE VENEER WALL WHERE APPLICABLE.
- SANITARY AND STORM INVERT ELEVATIONS SHALL BE SHOWN AT MAIN LATERAL CONNECTION AND AT PROPERTY LINE. CITY ENGINEERING DEPARTMENT/YORK REGION APPROVAL IS REQUIRED FOR SANITARY, STORM AND WATER BOX LOCATION AND INSTALLATION TO THE LOT LINE PRIOR TO CONSTRUCTION.
- WATER, STORM AND SANITARY SERVICES THAT ARE TO BE REUSED OR DECOMMISSIONED ARE TO BE IDENTIFIED ON THE DRAWING.
- DOWNSPOUTS OF RAIN WATER LEADERS SHALL DISCHARGE ONTO SPLASH PADS AND DRAIN TOWARDS THE STREET. SPLASH PADS SHALL OUTLET OVER SLOPED LAND WHERE POSSIBLE TO ENCOURAGE INFILTRATION OF SURFACE RUNOFF.
- HIGH POINT ON SPLIT LOT DRAINAGE TO BE A MIN. OF 2.0m BEHIND FRONT DOWNSPOUT LOCATION TO ENSURE DRAINAGE OUTLETS TO STREET.
- TOP OF FOUNDATION WALLS, EXTERIOR CLADDING, WINDOW AND DOOR SILLS SHALL BE A MIN. OF 150mm ABOVE FINISHED GRADE.
- THE DESIGNER/CONSULTANT/ENGINEER/ARCHITECT IS RESPONSIBLE TO ENSURE THAT HEIGHT THICKNESS, LATERAL BRACING, ETC. OFF ALL FOUNDATION WALLS CONFORM TO OBC - SUBSECTION 9.15.4 SHALL APPLY.
- ALL FRONT AND REAR YARDS SHALL BE GRADED AT A 2%-5% GRADIENT WITHIN 5.0m OF THE BUILDING.
- DRAINAGE SWALES SHALL BE GRADED WITH A 2%-5% GRADIENT. DESIRABLE SWALE DEPTH IS 250mm. MIN. SWALE DEPTH IS 150mm. MAX. SWALE DEPTH IS VARIABLE AND DEPENDS ON LOCATION AND SAFETY CONSIDERATIONS, BUT MUST NOT EXCEED 450mm.
- CENTERLINE OF SWALES SHALL BE LOCATED 600mm FROM LOT LINES UNLESS OTHERWISE APPROVED.
- CENTERLINE OF SWALES MUST NOT BE LOCATED LESS THAN 600mm FROM ANY FOUNDATION WALL.
- ARTIFICIAL EMBANKMENTS AND/OR RETAINING WALLS SHALL NOT BE PERMITTED UNLESS APPROVED AS PART OF THIS PERMIT. THE MAX. EMBANKMENT SLOPE SHALL BE 3:1 (HORIZONTAL TO VERTICAL) WITH A MAX. GRADE DIFFERENTIAL OF 600mm.
- PROPOSED RETAINING WALLS ARE TO BE CONSTRUCTED IN ACCORDANCE WITH THE CITY OF VAUGHAN LOT GRADING CRITERIA AND BY-LAWS. RETAINING WALLS EXCEEDING 1.0m IN HEIGHT SHALL BE DESIGNED, INSPECTED AND CERTIFIED BY A PROFESSIONAL ENGINEER AND SHALL BE SERVED BY GUARDS OR OTHERWISE TREATED TO REDUCE ANY PUBLIC HAZARD. ALL RETAINING WALLS SHALL BE CONSTRUCTED OF STONE, PRECAST BLOCKS OR CONCRETE. A RETAINING WALL THAT EXCEEDS 1.0m IN HEIGHT MUST BE SETBACK FROM THE NEAREST PROPERTY LINE OR DISTANCE OR DISTANCE EQUAL TO ITS HEIGHT.
- DRIVEWAY GRADES SHALL BE 1.5%-8% AND COMPATIBLE WITH APPROVED SIDEWALK GRADES. BOULEVARD GRADES SHALL BE 2%-5%.
- DRIVEWAYS SHALL BE A MIN. 1.0m FROM ANY TREE, CATCH BASIN OR ABOVE GROUND UTILITY OR OTHER OBSTRUCTION.
- WATER SERVICE STOPS ARE TO BE LOCATED IN THE GRASS PORTION OF THE FRONT YARD, AS PER CITY OF VAUGHAN STANDARDS I-1.
- DRIVEWAYS, CURB CUTS AND DRIVEWAY CULVERTS SHALL BE LOCATED, APPROVED AND CONSTRUCTED IN ACCORDANCE WITH THE REQUIREMENTS OF THE CITY ENGINEERING DEPARTMENT, YORK REGION AND BY-LAWS. A SEPARATE PERMIT IS REQUIRED FROM THE TOWN'S ENGINEERING/PUBLIC WORKS DEPARTMENT FOR CURB CUTS AND/OR PROPOSED CULVERTS.
- FOOTINGS CONSTRUCTED NEXT TO CATCH BASIN LEAD PIPE OR OTHER MUNICIPAL SERVICE SHALL BE INSPECTED BELOW LEAD PIPE EXCAVATION. FOOTINGS MUST BE CONSTRUCTED ON UNDISTURBED SOIL OR SOIL. CONSULTANTS VERIFICATION REQUIRED.
- IF THE PROPOSED CONSTRUCTION IS IN THE AREA OF FILL A PROFESSIONAL ENGINEER IS TO INSPECT THE EXCAVATION AND CERTIFY THE STABILITY AND BEARING CAPACITY OF THE SOIL PRIOR TO CONSTRUCTION.
- PRIOR TO LETTER OF CREDIT RELEASE THE OWNER SHALL SUBMIT AN AS-BUILT SURVEY ILLUSTRATING BOTH PROPOSED AND AS CONSTRUCTED GRADE ELEVATIONS. A STORM WATER MANAGEMENT REPORT AUTHORED BY PROFESSIONAL ENGINEER AND/OR LOT GRADING CERTIFICATION BY A PROFESSIONAL ENGINEER OR ONTARIO LAND SURVEYOR SHALL BE SUBMITTED TO THE CITY UPON THEIR REQUEST.
- POST CONSTRUCTION FLOWS, FROM A 5 YEAR STORM FREQUENCY, SHALL NOT EXCEED THE FLOWS FOR THE PRECONSTRUCTION CONDITIONS, FOR THE SAME STORM, UNLESS IT IS DEMONSTRATED TO THE SATISFACTION OF THE CITY THAT CONTROLLED FLOWS WILL NOT ADVERSELY AFFECT THE EXISTING DRAINAGE PATTERNS (THESE FLOWS SHALL BE COMPUTED USING THE RATIONAL METHOD ONLY).
- THE BUILDING SHALL BE LOCATED OR THE BUILDING SITE GRADED SO THAT THE WATER WILL NOT ACCUMULATE AT OR NEAR THE BUILDING AND WILL NOT ADVERSELY AFFECT ADJACENT PROPERTIES. OBC 9.14.6.1.(1)



Project:
 NEW RESIDENTIAL ADDITION & RENOVATION
 147 FINDHORN CRESC., MAPLE, ONTARIO
 CITY OF VAUGHAN

Title:
 PROPOSED SITE PLAN

Scale:
 1:200

Date:
 APR. 15/2024

Drawn By:
 GS

Area:
 563 SQ.FT.

Drawing No:
 S-1

Ownership:
 MRS. MARY NASSO

GREAT ROOM INC.
 www.greatroom.ca
 Tel. No. (416) 627-2394
 DESIGN . CONSULT . MANAGE

The undersigned has reviewed and takes responsibility for this design, and has the qualifications and meets the requirements set out in the 2012 Ontario Building Code to design the project shown on the attached documents.

QUALIFIED PROFESSIONAL INFORMATION
 Registered unless design is exempt under Div. C, Section 3.2.4 of the Building Code

GEORGE SHAMA
 43035

REGISTRATION INFORMATION
 Registered unless design is exempt under Div. C, Section 3.2.4 of the Building Code

GREAT ROOM INC.
 43844

REVISIONS:

1	4/15/2024	ISSUED FOR M.V. APPLICATION
2	5/6/2024	UPDATED FOR M.V. APPLICATION
3	5/31/2024	UPDATED FOR M.V. APPLICATION
4		
5		
6		
7		

THE CONTRACTOR SHALL CHECK AND VERIFY ALL DIMENSIONS AND CONDITIONS ON SITE BEFORE PROCEEDING WITH CONSTRUCTION. ANY DISCREPANCIES SHALL BE REPORTED TO GREAT ROOM INC. PRIOR TO COMMENCEMENT OF CONSTRUCTION.

GREAT ROOM INC. IS NOT RESPONSIBLE FOR THE ACCURACY OF SURVEY, STRUCTURAL OR ENGINEERING INFORMATION SHOWN ON THESE DRAWINGS OR FOR CONSTRUCTION STARTED PRIOR TO THE ISSUANCE OF A BUILDING PERMIT.

AS CONSTRUCTED INVERTS MUST BE VERIFIED PRIOR TO POURING FOOTINGS.

GREAT ROOM INC. HAS NOT BEEN RETAINED TO CARRY OUT GENERAL REVIEW OF THE WORK AND ASSUMES NO RESPONSIBILITY FOR THE FAILURE OF THE CONTRACTOR OR SUB-CONTRACTOR TO CARRY OUT THE WORK IN ACCORDANCE WITH THE CONTRACT DOCUMENTS.

THIS DRAWING IS AN INSTRUMENT OF SERVICE. IT IS PROVIDED BY AND IS THE PROPERTY OF GREAT ROOM INC. THIS DRAWING IS NOT TO BE SCALED.

LEGEND

■ DENOTES SURVEY MONUMENT FOUND	MH	MAN HOLE	CTB	CABLE TELEVISION BOX	
□ SURVEY MONUMENT SET	INV.	INVERT	FH	FIRE HYDRANT	
IB	STANDARD IRON BAR	CULV.	CULVERT	WV	WATER VALVE
RB	IRON BAR	DS	DOWNSPOUT	WC	WATER CHAMBER
CP	CONCRETE PIN	LS	LIGHT STANDARD	GV	GAS VALVE
IP	IRON PIPE	UP	UTILITY POLE	SS	STREET SIGN
CALC.	CALCULATED	HV	HYDRO VAULT	DT	DECIDUOUS TREES
P.I.N.	PROPERTY IDENTIFIER NUMBER	HT	HYDRO TRANSFORMER	CT	CONIFEROUS TREES
WT	WITNESS	BP	BELL POLE	BC	BOTTOM OF CURB
CU	CURB UNKNOWN	BB	BELL BOX	TC	TOP OF CURB
M	MEASURED	AM	AIR CONDITIONING UNIT	○	DOWNSPOUT
RP	REGISTERED PLAN	CM	GAS METER		
N.S.E.W.	NORTH/SOUTHEAST/WEST	HM	HYDRO METER	+	EXISTING ELEVATION (ADD/REMOVE FILL)
WD	WOOD RAIL FENCE	SPP	SWIM POOL PUMP	+	EX. ELEV. TO REMAIN
RCC	REMAINS OF CONCRETE CURB	SW	SWALE (X)	3:1 SLOPE	230.88
CB	CATCH BASIN	SW	SWALE (X)	3:1 SLOPE	230.88
FF	FINISHED FLOOR ELEVATION	3:1 SLOPE			
TPW	TOP OF FOUNDATION WALL ELEVATION				
BF	BASEMENT FLOOR ELEVATION				
UF	UNDERSIDE OF FOOTING ELEVATION				
T.R.E.	TOP OF ROOF ELEVATION				

**SCHEDULE B:
COMMENTS FROM AGENCIES, BUILDING STANDARDS &
DEVELOPMENT PLANNING**

Department / Agency <small>*Comments Received</small>	Conditions Required		Nature of Comments
Building Standards (Zoning) *See Schedule B	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>	General Comments
Development Planning	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>	Recommend Approval/No Conditions
Alectra	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>	General Comments
TRCA	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>	General Comments

To: Christine Vigneault, Committee of Adjustment Secretary Treasurer
From: Nancy Tuckett, Director of Development Planning
Date: June 7, 2024
Name of Owner: Vincenzo Nasso
Location: 147 Findhorn Crescent
File No.(s): A072/24

Proposed Variance(s) (By-law 001-2021):

1. To permit a minimum rear yard of 4.73 m.
2. To permit a maximum encroachment of 0.52 m for an eave into the rear yard.

By-Law Requirement(s) (By-law 001-2021):

1. The minimum required rear yard is 9.0 m.
2. The maximum permitted encroachment for an eave into the rear yard is 0.50 m.

Official Plan:

City of Vaughan Official Plan 2010 ('VOP 2010'): "Low-Rise Residential" on Schedule 13 – Land Use.

Comments:

The Owner is requesting relief to demolish the existing lanai at the rear of the single-detached dwelling and construct a single-storey addition on a similar footprint, with the variances noted above.

Development Planning Staff have no objection to Variances 1 and 2 to facilitate the proposed addition. The addition is largely proposed on the same footprint as the existing lanai, but the addition will project further south to be in-line with the wall of the dwelling closest to the south interior side lot line. This will cause the length of the addition facing the rear lot line to be slightly longer by 0.92 m than the length of the lanai. As the addition will also be a single storey of similar mass which maintains the same rear yard setback as the lanai, no adverse massing impacts are anticipated. Due to the pie shape of the lot and the placement of the dwelling within it, the proposed reduction to the rear yard will not be anticipated to adversely impact the amount of outdoor amenity space. The dwelling is located closer to the southerly lot line, providing for a generously sized north interior side yard used as part of the rear yard. A pool and cabana are located north of the dwelling within this area where the north interior side and rear yards join. Sufficient space remains north of the dwelling to provide for the outdoor amenity space functions commonly found within a rear yard. There is sufficient space between the addition and rear lot line to maintain access and provide adequate spatial separation between uses. The 0.02 m encroachment of the eave is minimal in nature and is not anticipated to be perceptible.

Accordingly, Development Planning Department Staff support the requested variances and are of the opinion that the proposal is minor in nature, maintains the general intent and purpose of the Official Plan and Zoning By-law, and is desirable for the appropriate development of the land.

Recommendation:

Development Planning Department Staff recommends approval of the application.

Conditions of Approval:

If the Committee finds merit in the application, the following conditions of approval are recommended:

None.

Comments Prepared by:

Alyssa Pangilinan, Planner 1
David Harding, Senior Planner

Date: May 7th 2024

Attention: Christine Vigneault

RE:

File No.: A072-24

Related Files:

Applicant George Shama

Location 147 Findhorn Cr.



Discover the possibilities

COMMENTS:

- We have reviewed the proposed Variance Application and have no comments or objections to its approval.
- We have reviewed the proposed Variance Application and have no objections to its approval, subject to the following comments (attached below).
- We have reviewed the proposed Variance Application and have the following concerns (attached below).

Alectra Utilities (formerly PowerStream) has received and reviewed the proposed Variance Application. This review, however, does not imply any approval of the project or plan.

All proposed billboards, signs, and other structures associated with the project or plan must maintain minimum clearances to the existing overhead or underground electrical distribution system as specified by the applicable standards, codes and acts referenced.

In the event that construction commences, and the clearance between any component of the work/structure and the adjacent existing overhead and underground electrical distribution system violates the Occupational Health and Safety Act, the customer will be responsible for 100% of the costs associated with Alectra making the work area safe. All construction work will be required to stop until the safe limits of approach can be established.

In the event construction is completed, and the clearance between the constructed structure and the adjacent existing overhead and underground electrical distribution system violates the any of applicable standards, acts or codes referenced, the customer will be responsible for 100% of Alectra's cost for any relocation work.

References:

- Ontario Electrical Safety Code, latest edition (Clearance of Conductors from Buildings)
- Ontario Health and Safety Act, latest edition (Construction Protection)
- Ontario Building Code, latest edition (Clearance to Buildings)
- PowerStream (Construction Standard 03-1, 03-4), attached
- Canadian Standards Association, latest edition (Basic Clearances)

If more information is required, please contact either of the following:

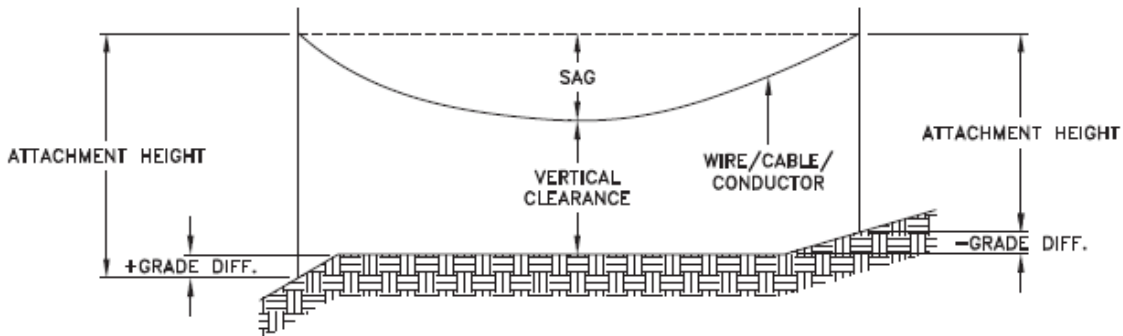
Mr. Stephen Cranley, C.E.T
Supervisor, Distribution Design, ICI & Layouts (North)
Phone: 1-877-963-6900 ext. 31297

E-mail: stephen.cranley@alectrautilities.com

Mitchell Penner
Supervisor, Distribution Design-Subdivisions
Phone: 416-302-6215

Email: Mitchell.Penner@alectrautilities.com

LOCATION OF WIRES, CABLES OR CONDUCTORS	SYSTEM VOLTAGE			
	SPAN GUYS AND COMMUNICATIONS WIRES	UP TO 600V AND NEUTRAL	4.16/2.4kV TO 27.6/16kV (SEE NOTE 1)	44kV
MINIMUM VERTICAL CLEARANCES (SEE NOTE 2)				
OVER OR ALONGSIDE ROADS, DRIVEWAYS OR LANDS ACCESSIBLE TO <u>VEHICLES</u>	442cm	442cm	480cm	520cm
OVER GROUND ACCESSIBLE TO <u>PEDESTRIANS AND BICYCLES ONLY</u>	250cm	310cm	340cm	370cm
ABOVE TOP OF RAIL AT <u>RAILWAY CROSSINGS</u>	730cm	730cm	760cm	810cm



MINIMUM ATTACHMENT HEIGHT = MAXIMUM SAG
 + MINIMUM VERTICAL CLEARANCE (FROM ABOVE TABLE)
 ± GRADE DIFFERENCE
 + 0.3m (VEHICLE OR RAILWAY LOCATION)
 + SNOW DEPTH (PEDESTRIAN LOCATION, SEE NOTE 3)

NOTES:

1. THE MULTIGROUNDED SYSTEM NEUTRAL HAS THE SAME CLEARANCE AS THE 600V SYSTEM.
2. THE VERTICAL CLEARANCES IN THE ABOVE TABLE ARE UNDER MAXIMUM SAG CONDITIONS.
3. REFER TO CSA STANDARD C22.3 No.1, ANNEX D FOR LOCAL SNOW DEPTH VALUES.
4. ALL CLEARANCES ARE IN ACCORDANCE TO CSA STANDARD C22.3.

CONVERSION TABLE

METRIC	IMPERIAL (APPROX)
810cm	27'-0"
760cm	25'-4"
730cm	24'-4"
520cm	17'-4"
480cm	16'-0"
442cm	15'-5"
370cm	12'-4"
340cm	11'-4"
310cm	10'-4"
250cm	8'-4"

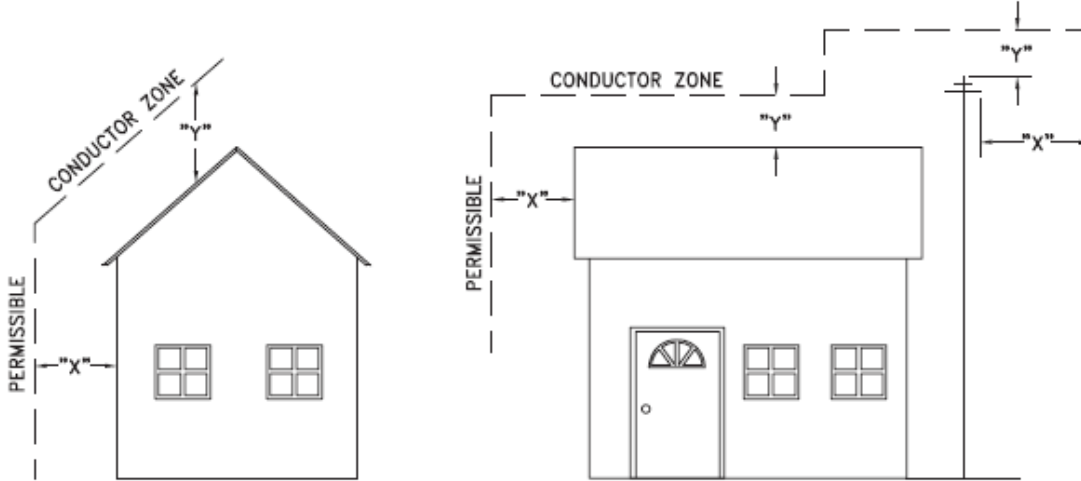
REFERENCES

SAGS AND TENSIONS | SECTION 02

MINIMUM VERTICAL CLEARANCES OF WIRES, CABLES AND CONDUCTORS ABOVE GROUND OR RAILS

ORIGINAL ISSUE DATE: 2010-DEC-24 REVISION NO: R1 REVISION DATE: 2012-JAN-09

Certificate of Approval	
This construction Standard meets the safety requirements of Section 4 of Regulation 22/04	
Joe Crozier, P.Eng.	2012-JAN-09
Name	Date
P.Eng. Approval By:	Joe Crozier



VOLTAGE	MINIMUM HORIZONTAL CLEARANCE UNDER MAXIMUM SWING CONDITIONS DIMENSION "X" (SEE NOTES 1, 3 & 4)	MINIMUM VERTICAL CLEARANCE UNDER MAXIMUM DESIGN SAG CONDITIONS DIMENSION "Y" (SEE NOTES 1, 2, 4 & 5)
0-600V AND NEUTRAL	100cm	250cm
4.16/2.4 TO 44kV	300cm	480cm

NOTES

1. UNDER NO CIRCUMSTANCES SHALL A CONDUCTOR BE PERMITTED TO PENETRATE THE ENVELOPE SHOWN BY THE DOTTED LINE.
2. THE VERTICAL CLEARANCES ARE UNDER CONDITIONS OF MAXIMUM DESIGN SAG.
3. THE HORIZONTAL CLEARANCES ARE UNDER CONDITIONS OF MAXIMUM SWING. WHERE THE CONDUCTOR SWING IS NOT KNOWN A HORIZONTAL CLEARANCE OF 480CM SHALL BE USED.
4. BUILDINGS THAT EXCEED 3 STOREYS OR 15M IN HEIGHT, THE MINIMUM HORIZONTAL CLEARANCE OF THE SECONDARY CONDUCTORS SHOULD BE INCREASED TO 300cm WHERE IT IS NECESSARY TO ALLOW FOR THE RAISING OF LADDERS BY LOCAL FIRE DEPARTMENTS.
5. IN SITUATIONS SUCH AS MULTI-LEVEL GARAGES, WHERE ROOFS ARE NORMALLY USED BY PERSONS AND VEHICLES, THE VERTICAL CLEARANCES OF POWERSTREAM STANDARD 03-1 SHALL APPLY.
6. DISTRIBUTION LINES CONSTRUCTED NEAR BUILDINGS SHALL BE BUILT TO AVOID OVERHANG WHEREVER POSSIBLE. WHERE LINES MUST BE CONSTRUCTED OVER OR ADJACENT TO BUILDINGS THE APPLICABLE HORIZONTAL AND VERTICAL CLEARANCES SHALL BE AT CONDITIONS OF MAXIMUM CONDUCTOR SWING AND MAXIMUM SAG. THE ABOVE CLEARANCES ARE DESIGNED TO PREVENT PERSONS ON OR IN BUILDINGS AS WELL AS EXTERNAL MACHINERY USED IN CONJUNCTION WITH A BUILDING TO COME IN CONTACT WITH CONDUCTORS. EFFORTS SHOULD BE MADE TO INCREASE THESE CLEARANCES WHERE POSSIBLE.
7. ALL CLEARANCES ARE IN ACCORDANCE TO CSA C22.3 NO.1-06 (TABLE-9).

METRIC	IMPERIAL (APPROX)
480cm	16'-0"
300cm	10'-0"
250cm	8'-4"
100cm	3'-4"

MINIMUM VERTICAL & HORIZONTAL CLEARANCES OF CONDUCTORS FROM BUILDINGS OR OTHER PERMANENT STRUCTURES (CONDUCTORS NOT ATTACHED TO BUILDINGS)

Certificate of Approval
This construction Standard meets the safety requirements of Section 4 of Regulation 22/04
Debbie Dadwani, P.Eng. 2010-MAY-05
Name Date
P. Eng. Approval By: *D. Dadwani*

ORIGINAL ISSUE DATE: 2010-MAY-05 REVISION NO: REVISION DATE:
PS:\System Planning and Standards\Standard Design\PowerStream Standards\PowerStream Standards working files\Section 3-1-02\WG 03-4 R0 May 5, 2010.dwg, 5/5/2010 10:22:02 AM, Adobe PDF

To: Committee of Adjustment
From: Bernd Paessler, Building Standards Department
Date: May 6, 2024
Applicant: George Shama
Location: 147 Findhorn Cr.
 PLAN 65M2592 Lot 56
File No.(s): A072/24

Zoning Classification:

The subject lands are zoned R2A(EN) Second Density Residential Zone (Established Neighbourhood) and subject to the provisions of Exception 14.295 under Zoning By-law 001-2021, as amended.

#	Zoning By-law 001-2021	Variance requested
1	The minimum required rear yard is 9.0m. Exception 14.295 T36	To permit a minimum rear yard of 4.73m.
2	The maximum permitted encroachment for an eave into the rear yard is 0.50m. Section 4.13 Table 4-1	To permit a maximum encroachment of 0.52m for an eave into the rear yard.

Staff Comments:

Stop Work Order(s) and Order(s) to Comply:

There are no outstanding Orders on file

Building Permit(s) Issued:

A Building Permit has not been issued. The Ontario Building Code requires a building permit for structures that exceed 10m².

Other Comments:

General Comments	
1	The applicant shall be advised that additional variances may be required upon review of detailed drawing for building permit/site plan approval.

Conditions of Approval:

If the committee finds merit in the application, the following conditions of approval are recommended.

* Comments are based on the review of documentation supplied with this application.

Prabhdeep Kaur

From: Kristen Regier <Kristen.Regier@trca.ca>
Sent: Friday, May 3, 2024 10:38 AM
To: Committee of Adjustment
Subject: [External] RE: A072/24 (147 Findhorn Crescent) - REQUEST FOR COMMENTS, CITY OF VAUGHAN

CAUTION! This is an external email. Verify the sender's email address and carefully examine any links or attachments before clicking. If you believe this may be a phishing email, please use the Phish Alert Button.

Hello,

The subject property at 147 Findhorn Crescent, Vaughan is not located within TRCA's Regulated Area. TRCA's Planning and Regulatory policy interests are not impacted.

As such, TRCA has no comments on the application.

Best,

Kristen Regier, MA (she / her)

Planner

Development Planning and Permits | Development and Engineering Services

Toronto and Region Conservation Authority (TRCA)

T: [437-880-2129](tel:437-880-2129)

E: kristen.regier@trca.ca

A: [101 Exchange Avenue, Vaughan, ON, L4K 5R6](https://www.trca.ca) | [trca.ca](https://www.trca.ca)



SCHEDULE C: PUBLIC & APPLICANT CORRESPONDENCE

None

SCHEDULE D: BACKGROUND

None