

ITEM: 6.15	REPORT SUMMARY MINOR VARIANCE APPLICATION FILE NUMBER A070/24
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Report Date: Friday, June 14, 2024

**THIS REPORT CONTAINS COMMENTS FROM THE FOLLOWING
DEPARTMENTS & AGENCIES (SEE SCHEDULE B):**

Additional comments from departments and agencies received after the publication of the report will be made available on the City's [website](#).

Internal Departments <small>*Comments Received</small>	Conditions Required		Nature of Comments
Committee of Adjustment	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>	General Comments
Building Standards (Zoning)	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>	General Comments
Development Planning	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>	Recommend Approval/No Conditions
Development Engineering	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>	Recommend Approval/No Conditions
Development Finance	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>	General Comments

External Agencies <small>*Comments Received</small>	Conditions Required		Nature of Comments <small>*See Schedule B for full comments</small>
Alectra	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>	General Comments
TRCA	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>	General Comments
Region of York	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>	General Comments

PUBLIC & APPLICANT CORRESPONDENCE (SEE SCHEDULE C)				
<p>All personal information collected because of this public meeting (including both written and oral submissions) is collected under the authority of the Municipal Act, the Municipal Freedom of Information and Protection of Privacy Act (MFIPPA), the Planning Act and all other relevant legislation, and will be used to assist in deciding on this matter. All personal information (as defined by MFIPPA), including (but not limited to) names, addresses, opinions and comments collected will become property of the City of Vaughan, will be made available for public disclosure (including being posted on the internet) and will be used to assist the Committee of Adjustment and staff to process this application.</p>				
Correspondence Type	Name	Address	Date Received <small>(mm/dd/yyyy)</small>	Summary
Public	Helen Zhao	112 Farrell Road	06/07/2024	Letter in Support

BACKGROUND (SCHEDULE D, IF REQUIRED)	
<p>* Background Information contains historical development approvals considered to be related to this file. This information should not be considered comprehensive.</p>	
Application No. (City File)	Application Description <small>(i.e. Minor Variance Application; Approved by COA / OLT)</small>
None	None

ADJOURNMENT HISTORY	
<p>* Previous hearing dates where this application was adjourned by the Committee and public notice issued.</p>	
Hearing Date	Reason for Adjournment <small>(to be obtained from NOD_ADJ)</small>
None	None

SCHEDULES	
Schedule A	Drawings & Plans Submitted with the Application
Schedule B	Comments from Agencies, Building Standards & Development Planning
Schedule C (if required)	Public & Applicant Correspondence
Schedule D (if required)	Background



MINOR VARIANCE APPLICATION FILE NUMBER A070/24

CITY WARD #:	4
APPLICANT:	Ruslan Gerchuk
AGENT:	Kris He
PROPERTY:	116 Farrell Road, Maple
ZONING DESIGNATION:	See below.
VAUGHAN OFFICIAL PLAN (2010) DESIGNATION:	Vaughan Official Plan 2010 ('VOP 2010'): "Low-Rise Residential" and "ORM Conservation Plan Area"
RELATED DEVELOPMENT APPLICATIONS:	None
PURPOSE OF APPLICATION:	Relief from the Zoning By-law is being requested to permit a wood deck/gazebo to be located in the rear yard.

The following variances have been requested from the City's Zoning By-law:

The subject lands are zoned R2A – Second Density Residential Zone and subject to the provisions of Exception 14.1014 under Zoning By-law 001-2021, as amended.

#	Zoning By-law 001-2021	Variance requested
1	In any Residential Zone, the maximum height of an accessory building and residential accessory structure shall be 3.0 metres. [Section 4.1.4, 1.]	To permit an accessory building (gazebo) with a maximum height of 4.22 metres.
2	A residential accessory structure with a height greater than 2.8 metres shall not be located closer than 2.4 metres to any lot line. [Section 4.1.2, 1. b.]	To permit a residential accessory structure (gazebo) with a height greater than 2.8 metres to be located 2.24 metres to the interior side lot line.

HEARING INFORMATION

DATE OF MEETING: Thursday, June 20, 2024

TIME: 6:00 p.m.

MEETING LOCATION: Vaughan City Hall, Woodbridge Room (2nd Floor), 2141 Major Mackenzie Drive

LIVE STREAM LINK: Vaughan.ca/LiveCouncil

PUBLIC PARTICIPATION

If you would like to speak to the Committee of Adjustment at the meeting, either remotely or in person, please complete the [Request to Speak Form](#) and submit to cofa@vaughan.ca

If you would like to submit written comments, please quote file number above and submit by mail or email to:

Email: cofa@vaughan.ca

Mail: City of Vaughan, Office of the City Clerk, Committee of Adjustment, 2141 Major Mackenzie Drive, Vaughan, ON, L6A 1T1

To speak electronically, pre-registration is required by completing the [Request to Speak Form](#) on-line and submitting it to cofa@vaughan.ca no later than NOON on the last business day before the meeting.

THE DEADLINE TO REGISTER TO SPEAK ELECTRONICALLY OR SUBMIT WRITTEN COMMENTS ON THE ABOVE NOTED FILE(S) IS NOON ON THE LAST BUSINESS DAY BEFORE THE MEETING.

INTRODUCTION

Staff and Agencies act as advisory bodies to the Committee of Adjustment. The comments contained in this report are presented as recommendations to the Committee.

Section 45(1) of the Planning Act sets the criteria for authorizing minor variances to the City of Vaughan's Zoning By-law. Accordingly, review of the application may consider the following:

That the general intent and purpose of the by-law will be maintained.

That the general intent and purpose of the official plan will be maintained.

That the requested variance(s) is/are acceptable for the appropriate development of the subject lands.

That the requested variance(s) is/are minor in nature.

Public written and oral submissions relating to this application are taken into consideration by the Committee of Adjustment as part of its deliberations and final decision on this matter.

COMMITTEE OF ADJUSTMENT

Date Public Notice Mailed:	June 6, 2024
Date Applicant Confirmed Posting of Sign:	June 6, 2024
Applicant Justification for Variances: <small>*As provided in Application Form</small>	The structure has been built.
Was a Zoning Review Waiver (ZRW) Form submitted by Applicant: <small>*ZRW Form may be used by applicant in instances where a revised submission is made, and zoning staff do not have an opportunity to review and confirm variances prior to the issuance of public notice.</small>	Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>
COMMENTS:	
None.	
Committee of Adjustment Recommended Conditions of Approval:	None.

BUILDING STANDARDS (ZONING)

**See Schedule B for Building Standards (Zoning) Comments	
Building Standards Recommended Conditions of Approval:	None.

DEVELOPMENT PLANNING

**See Schedule B for Development Planning Comments.	
Development Planning Recommended Conditions of Approval:	None.

DEVELOPMENT ENGINEERING

Link to Grading Permit Link to Pool Permit Link to Curb Curt Permit Link Culvert Installation	
Development Engineering does not object to Minor Variance A070/24.	
Development Engineering Recommended Conditions of Approval:	None.

PARKS, FORESTRY & HORTICULTURE (PFH)

No comments received to date.	
PFH Recommended Conditions of Approval:	None.

DEVELOPMENT FINANCE

No comment no concerns.	
Development Finance Recommended Conditions of Approval:	None.

BY-LAW AND COMPLIANCE, LICENSING AND PERMIT SERVICES

No comments received to date	
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BY-LAW AND COMPLIANCE, LICENSING AND PERMIT SERVICES

BCLPS Recommended Conditions of Approval:	None.
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BUILDING INSPECTION (SEPTIC)

No comments received to date.

Building Inspection Recommended Conditions of Approval:	None.
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FIRE DEPARTMENT

No comments received to date.

Fire Department Recommended Conditions of Approval:	None.
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RECOMMENDED CONDITIONS OF APPROVAL SUMMARY

Should the Committee find it appropriate to approve this application in accordance with request and the sketch submitted with the application, as required by Ontario Regulation 200/96, the following conditions have been recommended:

#	DEPARTMENT / AGENCY	CONDITION
1	None.	

All conditions of approval, unless otherwise stated, are considered to be incorporated into the approval "if required". If a condition is no longer required after an approval is final and binding, the condition may be waived by the respective department or agency requesting conditional approval. A condition cannot be waived without written consent from the respective department or agency.

IMPORTANT INFORMATION

CONDITIONS: It is the responsibility of the owner/applicant and/or authorized agent to obtain and provide a clearance letter from respective department and/or agency (**see condition chart above for contact**). This letter must be provided to the Secretary-Treasurer to be finalized. All conditions must be cleared prior to the issuance of a Building Permit.

APPROVALS: Making any changes to your proposal after a decision has been made may impact the validity of the Committee's decision.

An approval obtained from the Committee of Adjustment, where applicable, is tied to the building envelope shown on the plans and drawings submitted with the application and subject to the variance approval.

A building envelope is defined by the setbacks of the buildings and/or structures shown on the plans and drawings submitted with the application, as required by Ontario Regulation 200/96. Future development outside of an approved building envelope, where a minor variance was obtained, must comply with the provisions of the City's Zoning By-law.

Elevation drawings are provided to reflect the style of roof (i.e. flat, mansard, gable etc.) to which a building height variance has been applied. Where a height variance is approved, building height is applied to the style of roof (as defined in the City's Zoning By-law) shown on the elevation plans submitted with the application.

Architectural design features that are not regulated by the City's Zoning By-law are not to be considered part of an approval unless specified in the Committee's decision.

DEVELOPMENT CHARGES: That the payment of the Regional Development Charge, if required, is payable to the City of Vaughan before issuance of a building permit in accordance with the Development Charges Act and the Regional Development Charges By-law in effect at the time of payment.

That the payment of the City Development Charge, if required, is payable to the City of Vaughan before issuance of a building permit in accordance with the Development Charges Act and the City's Development Charges By-law in effect at the time of payment.

That the payment of the Education Development Charge if required, is payable to the City of Vaughan before issuance of a building permit in accordance with the Development Charges Act and the Boards of Education By-laws in effect at the time of payment

That the payment of Special Area Development charge, if required, is payable to the City of Vaughan before issuance of a building permit in accordance with the Development Charges Act and The City's Development Charge By-law in effect at the time of Building permit issuance to the satisfaction of the Reserves/Capital Department.

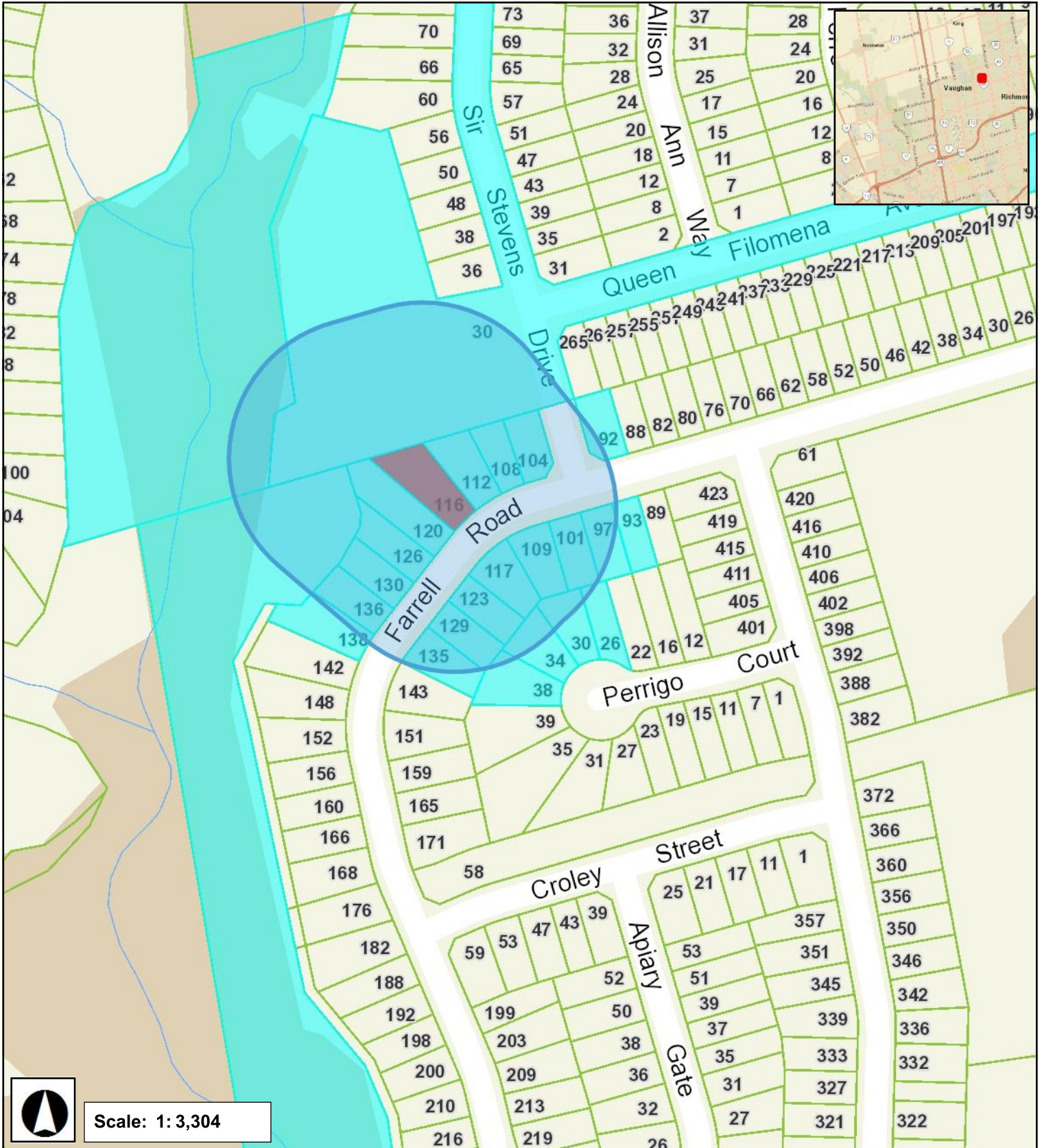
NOTICE OF DECISION: If you wish to be notified of the decision in respect to this application or a related Ontario Land Tribunal (OLT) hearing you must complete a Request for Decision form and submit

IMPORTANT INFORMATION

to the Secretary Treasurer (ask staff for details). In the absence of a written request to be notified of the Committee's decision you will **not** receive notice.

SCHEDULE A: DRAWINGS & PLANS

116 FARRELL ROAD, MAPLE



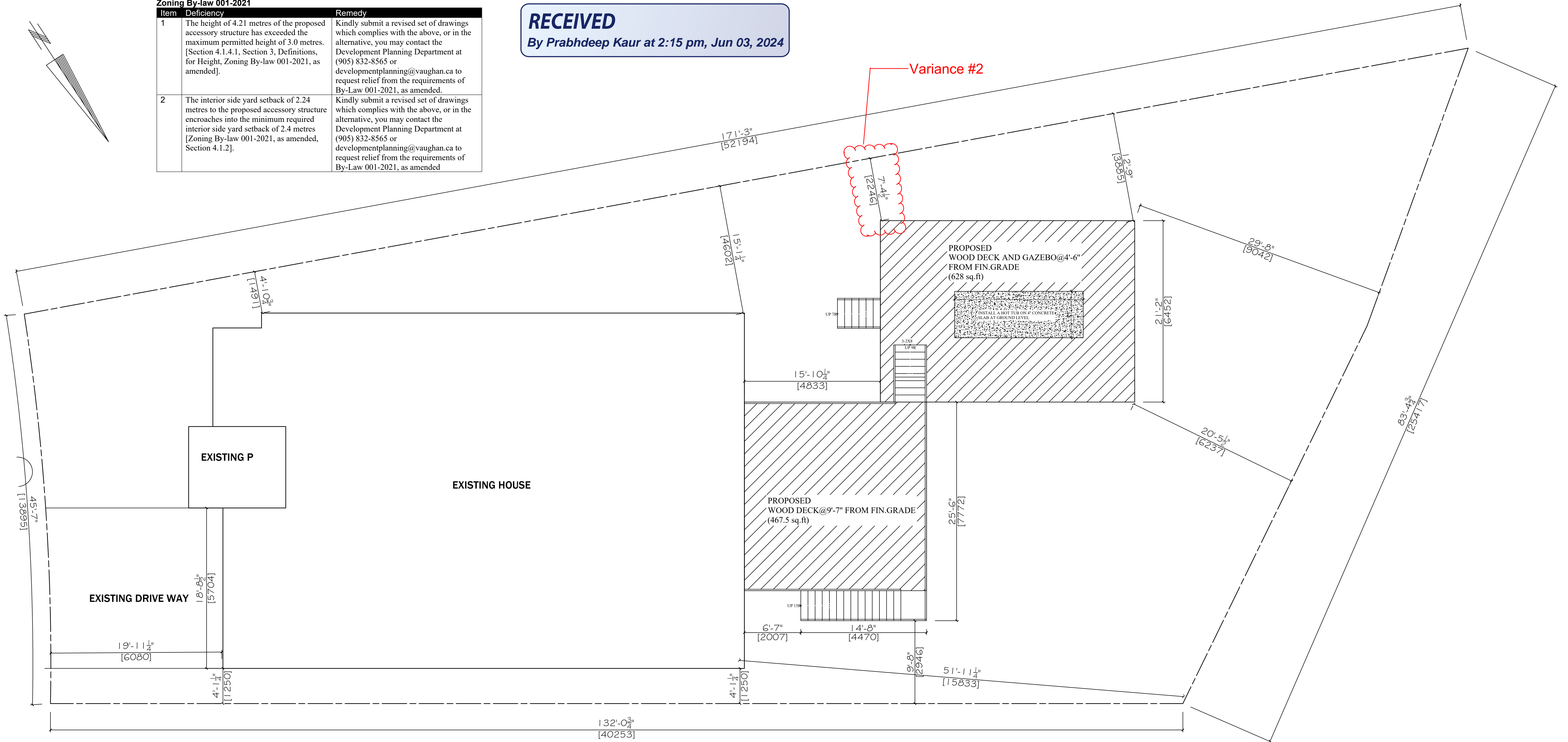
Zoning By-law 001-2021

Item	Deficiency	Remedy
1	The height of 4.21 metres of the proposed accessory structure has exceeded the maximum permitted height of 3.0 metres. [Section 4.1.4.1, Section 3, Definitions, for Height, Zoning By-law 001-2021, as amended].	Kindly submit a revised set of drawings which complies with the above, or in the alternative, you may contact the Development Planning Department at (905) 832-8565 or developmentplanning@vaughan.ca to request relief from the requirements of By-Law 001-2021, as amended.
2	The interior side yard setback of 2.24 metres to the proposed accessory structure encroaches into the minimum required interior side yard setback of 2.4 metres [Zoning By-law 001-2021, as amended, Section 4.1.2].	Kindly submit a revised set of drawings which complies with the above, or in the alternative, you may contact the Development Planning Department at (905) 832-8565 or developmentplanning@vaughan.ca to request relief from the requirements of By-Law 001-2021, as amended.

RECEIVED

By Prabhdeep Kaur at 2:15 pm, Jun 03, 2024

FARRELL RD



1 SITE PLAN

A-1.0

LOT AREA=8989 SQ.FT
 LOT COVERAGE FOR THE MAIN HOUSE=2457 SQ.FT (27.3%)
 LOT COVERAGE FOR THE PROPOSED DECK=1095.5 SQ.FT(12.2%)
 TOTAL LOT COVERAGE=39.5%
 EXISTING REAR YARD AREA= 4654 SQ.FT
 PROPOSED DECK AREA=1095.5 SQ.FT (23.5% REAR YARD)
 PROPOSED REAR YARD SOFT LANDSCAPING=3558.5 SQ.FT (76.5%)

STAMP:

- THE CONTRACTOR MUST VERIFY AND ACCEPT RESPONSIBILITY FOR ALL DIMENSIONS AND CONDITIONS ON SITE AND MUST NOTIFY THE DESIGNER/ENGINEER OF ANY VARIATIONS FROM THE SUPPLIED INFORMATION.
- THE DRAWING IS NOT TO BE SCALED.
- CONSTRUCTION MUST CONFORM TO ALL APPLICABLE CODES AND REQUIREMENTS OF AUTHORITIES HAVING JURISDICTION.
- THE DESIGNER IS NOT RESPONSIBLE FOR THE ACCURACY OF SURVEY, MECHANICAL, ELECTRICAL, ETC. INFORMATION SHOWN ON THESE PLANS. REFER TO THE APPROPRIATE CONSULTANT'S DRAWINGS BEFORE PROCEEDING WITH WORK
- THE DRAWINGS, AS AN INSTRUMENT OF SERVICE, IS PROVIDED BY AND IS THE PROPERTY OF DESIGNER. THE DESIGNER RETAINS OWNERSHIP OF COPYRIGHT IN ALL THESE DRAWINGS.

116 Farrell Rd,
 Maple, ON
 L6A 0H9

No.	Description	Date
1	Building permit application	

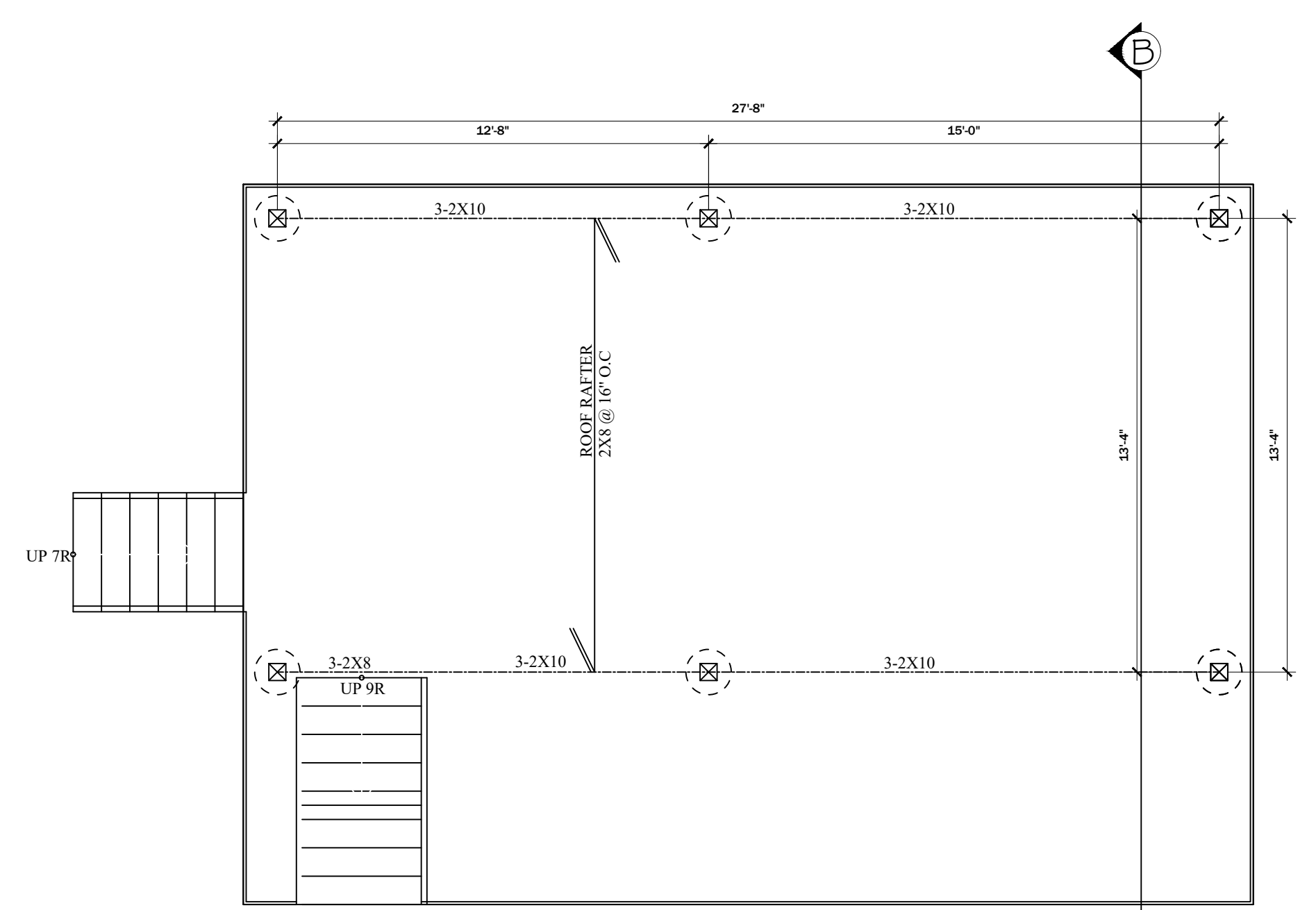
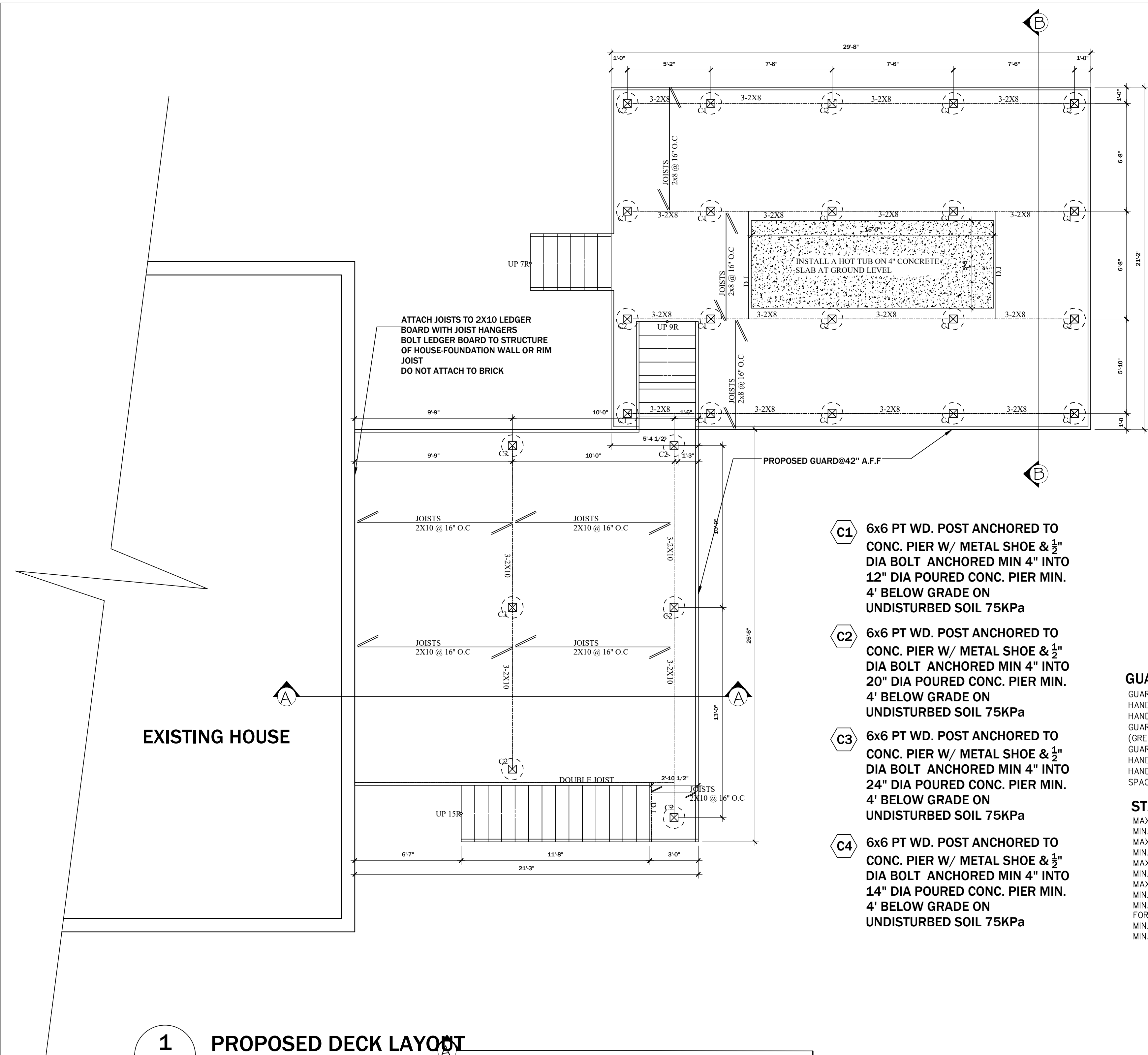
SITE PLAN

Project : WOOD DECK AT REAR YARD Sheet Number:

Drawing by: K.H Date:

checked by: Scale: 3/16" = 1'-0"

A 1.0



- C1** 6x6 PT WD. POST ANCHORED TO CONC. PIER W/ METAL SHOE & 1/2" DIA BOLT ANCHORED MIN 4" INTO 12" DIA POURED CONC. PIER MIN. 4' BELOW GRADE ON UNDISTURBED SOIL 75KPa
- C2** 6x6 PT WD. POST ANCHORED TO CONC. PIER W/ METAL SHOE & 1/2" DIA BOLT ANCHORED MIN 4" INTO 20" DIA POURED CONC. PIER MIN. 4' BELOW GRADE ON UNDISTURBED SOIL 75KPa
- C3** 6x6 PT WD. POST ANCHORED TO CONC. PIER W/ METAL SHOE & 1/2" DIA BOLT ANCHORED MIN 4" INTO 24" DIA POURED CONC. PIER MIN. 4' BELOW GRADE ON UNDISTURBED SOIL 75KPa
- C4** 6x6 PT WD. POST ANCHORED TO CONC. PIER W/ METAL SHOE & 1/2" DIA BOLT ANCHORED MIN 4" INTO 14" DIA POURED CONC. PIER MIN. 4' BELOW GRADE ON UNDISTURBED SOIL 75KPa

GUARDS

GUARD @ INT. LANDING/FLOOR/STAIR MIN. = 900 (2'-11")
 HANDRAIL @ INT. STAIR MIN. = 800 (2'-7")
 HANDRAIL @ INT. STAIR MAX. = 965 (3'-2")
 GUARD/HANDRAIL @ EXT. LANDING (GREATER THAN 1800 ABOVE FIN GRADE) = 1070 (3'-6")
 GUARD/HANDRAIL @ EXT. LANDING = 900 (2'-11")
 HANDRAIL @ EXT. STAIR MIN. = 800 (2'-7")
 HANDRAIL @ EXT. STAIR MAX. = 965 (3'-2")
 SPACE BETWEEN WOOD PICKETS MAX. = 100 mm (4")

STAIR INTERIOR/EXTERIOR

MAX. RISE = 200MM (7 7/8")
 MIN. RISE = 125 (4 7/8")
 MAX. RUN = 355 (1'-2")
 MIN. RUN = 254 (10")
 MAX. TREAD = 355 (1'-2")
 MIN. TREAD = 235 (9 1/4")
 MAX. NOSING = 25 (1")
 MIN. HEADROOM = 1950 (6'-5")
 MIN. WIDTH = 860 (2'-10")
 FOR CURVED STAIRS
 MIN. RUN = 150 (5 7/8")
 MIN. AVERAGE RUN = 200 (7 7/8")

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116 Farrell Rd,
Maple, ON
L6A 0H9

No.	Description	Date
1	Building permit application	

PROPOSED DECK & GAZEBO LAYOUT

Project : WOOD DECK AT REAR YARD

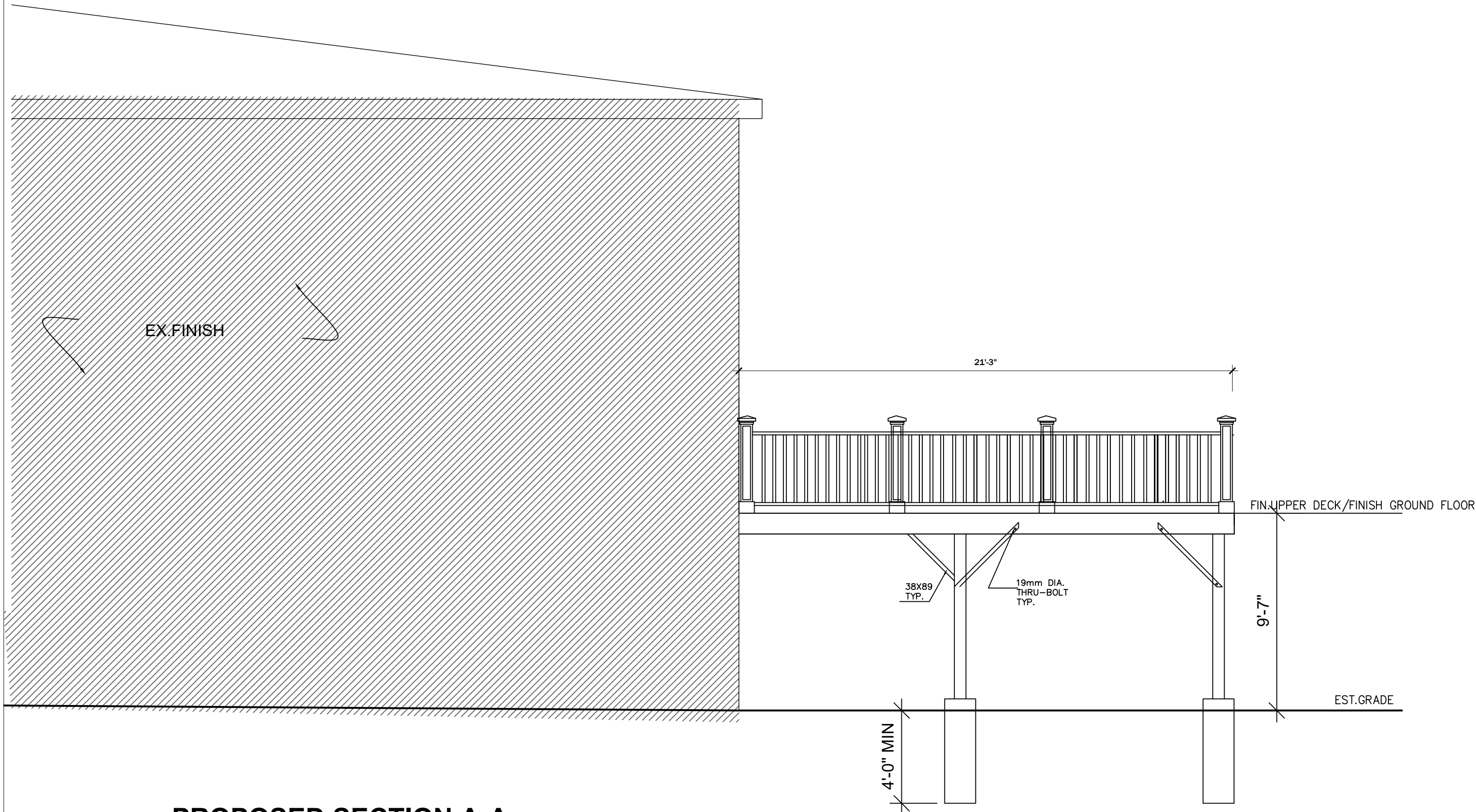
Drawing by: K.H

checked by:

Date:

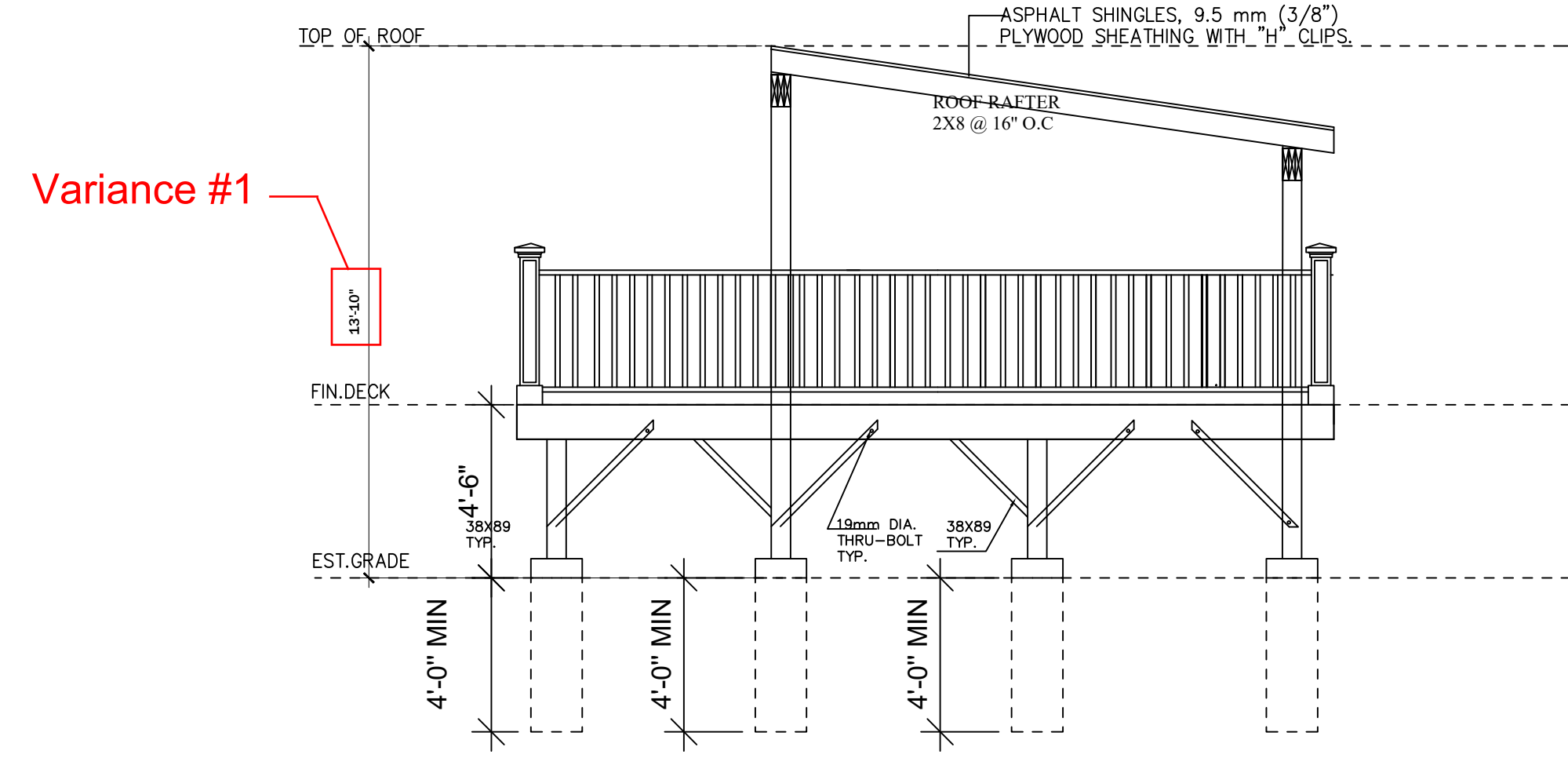
Scale: 3/16" = 1'-0"

Sheet Number: **A 1.1**



PROPOSED SECTION A-A

Zoning By-law 001-2021		
Item	Deficiency	Remedy
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Variance #1

PROPOSED SECTION B-B

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116 Farrell Rd,
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L6A 0H9

No.	Description	Date
1	Building permit application	

SECTION A AND SECTION B

Project : WOOD DECK AT REAR YARD

Sheet Number:

Drawing by: K.H

Date:

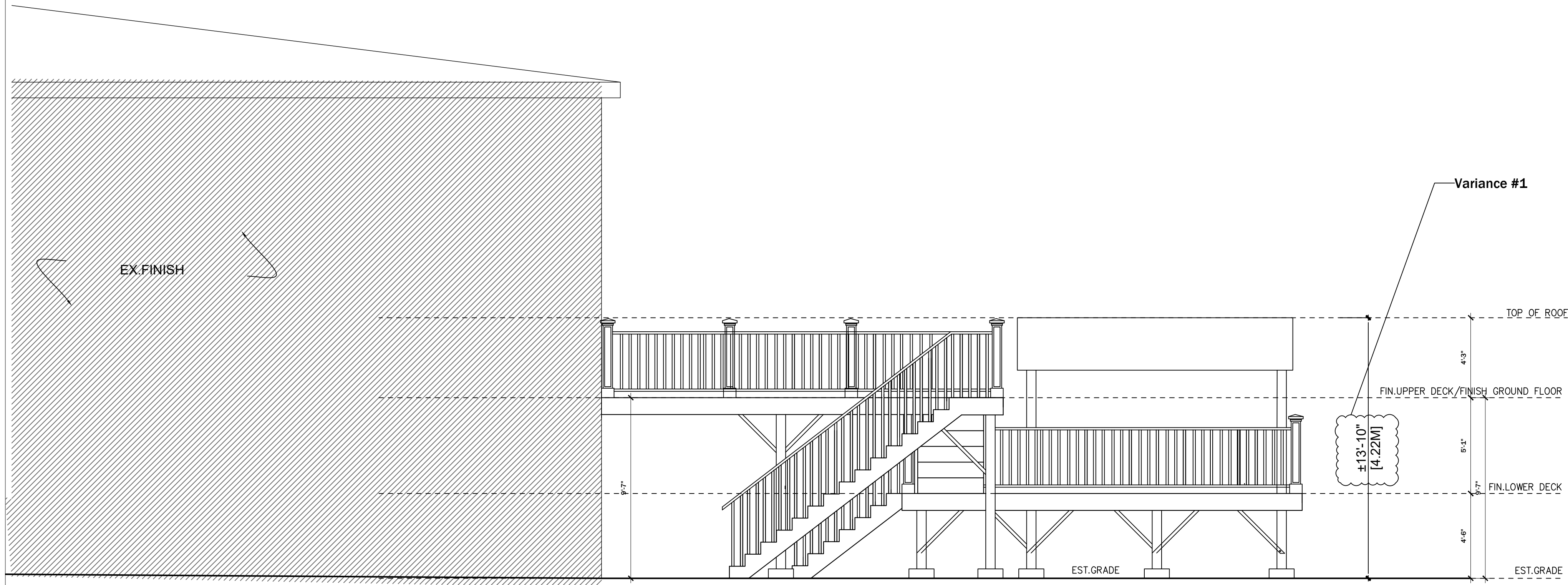
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Scale: 3/16" = 1'-0"

A 1.2

Zoning By-law 001-2021

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PROPOSED WEST ELEVATION

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No.	Description	Date
1	Building permit application	

WEST ELEVATION

Project : WOOD DECK AT REAR YARD

Sheet Number:

Drawing by: K.H

Date:

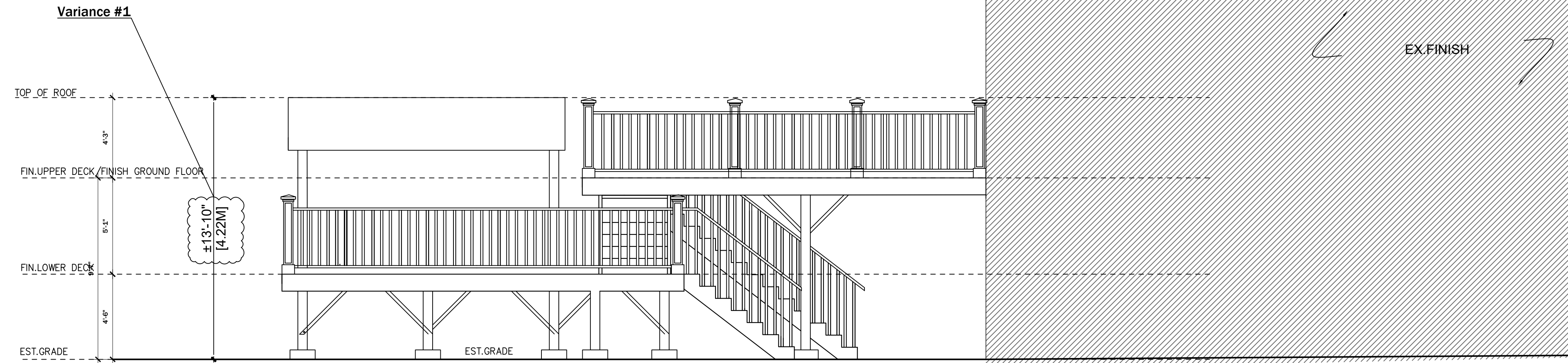
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Scale: 3/16" = 1'-0"

A 1.3

Zoning By-law 001-2021

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PROPOSED EAST ELEVATION

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L6A 0H9

No.	Description	Date
1	Building permit application	

EAST ELEVATION

Project : WOOD DECK AT REAR YARD

Sheet Number:

Drawing by: K.H

Date:

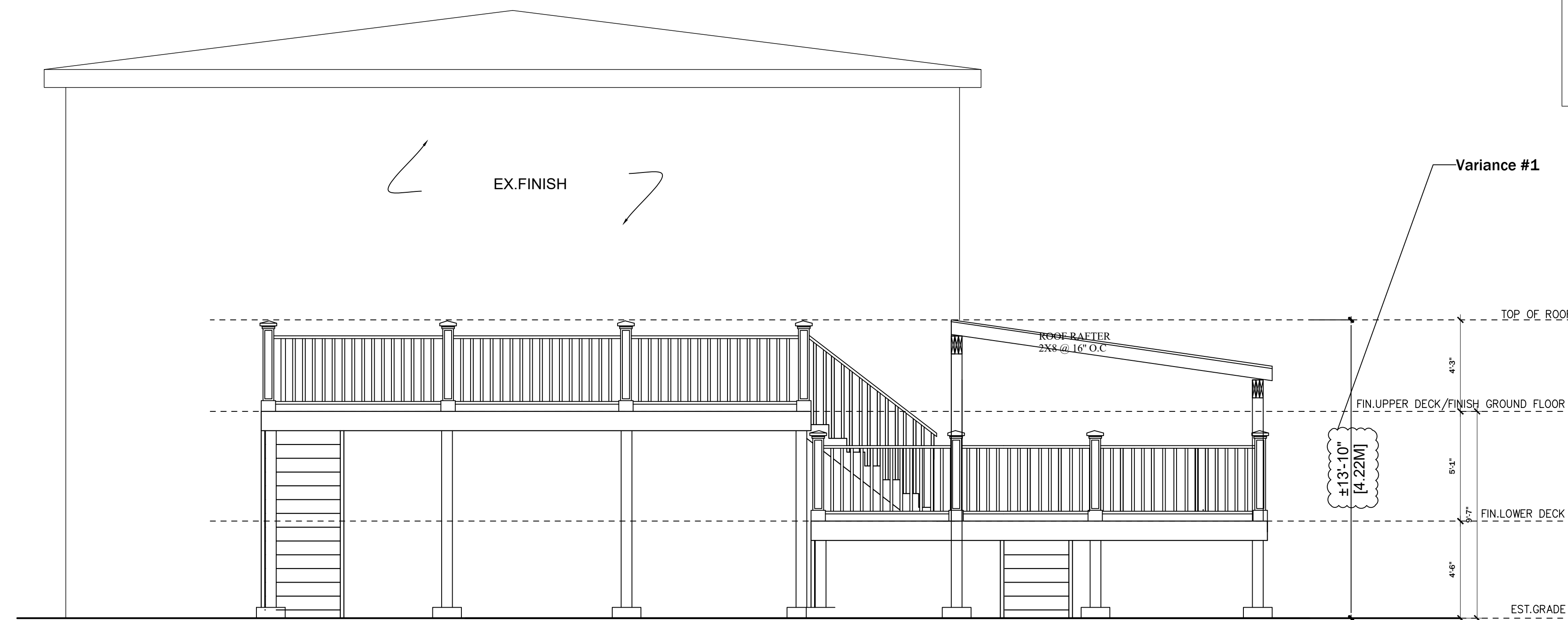
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Scale: 3/16" = 1'-0"

A 1.4

Zoning By-law 001-2021

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PROPOSED NORTH ELEVATION

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Maple, ON
L6A 0H9

No.	Description	Date
1	Building permit application	

NORTH ELEVATION

Project : WOOD DECK AT REAR YARD		Sheet Number:
Drawing by: K.H	Date:	A 1.5
checked by:	Scale: 3/16" = 1'-0"	

**SCHEDULE B:
COMMENTS FROM AGENCIES, BUILDING STANDARDS &
DEVELOPMENT PLANNING**

Department / Agency <small>*Comments Received</small>	Conditions Required		Nature of Comments
Building Standards (Zoning) *See Schedule B	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>	General Comments
Development Planning	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>	Recommend Approval/No Conditions
Alectra	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>	General Comments
TRCA	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>	General Comments
Region of York	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>	General Comments

Date: May 22nd 2024

Attention: Christine Vigneault

RE:

File No.: A070-24

Related Files:

Applicant Kris He

Location 116 Farrell Road



Discover the possibilities

COMMENTS:

- We have reviewed the proposed Variance Application and have no comments or objections to its approval.
- We have reviewed the proposed Variance Application and have no objections to its approval, subject to the following comments (attached below).
- We have reviewed the proposed Variance Application and have the following concerns (attached below).

Alectra Utilities (formerly PowerStream) has received and reviewed the proposed Variance Application. This review, however, does not imply any approval of the project or plan.

All proposed billboards, signs, and other structures associated with the project or plan must maintain minimum clearances to the existing overhead or underground electrical distribution system as specified by the applicable standards, codes and acts referenced.

In the event that construction commences, and the clearance between any component of the work/structure and the adjacent existing overhead and underground electrical distribution system violates the Occupational Health and Safety Act, the customer will be responsible for 100% of the costs associated with Alectra making the work area safe. All construction work will be required to stop until the safe limits of approach can be established.

In the event construction is completed, and the clearance between the constructed structure and the adjacent existing overhead and underground electrical distribution system violates the any of applicable standards, acts or codes referenced, the customer will be responsible for 100% of Alectra's cost for any relocation work.

References:

- Ontario Electrical Safety Code, latest edition (Clearance of Conductors from Buildings)
- Ontario Health and Safety Act, latest edition (Construction Protection)
- Ontario Building Code, latest edition (Clearance to Buildings)
- PowerStream (Construction Standard 03-1, 03-4), attached
- Canadian Standards Association, latest edition (Basic Clearances)

If more information is required, please contact either of the following:

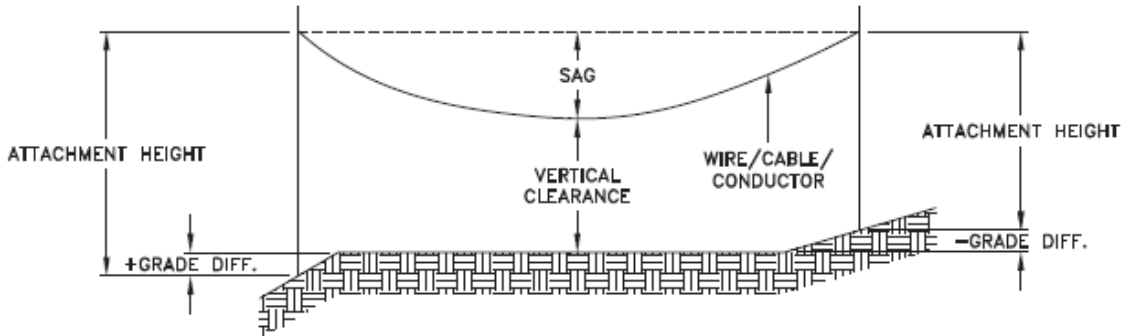
Mr. Stephen Cranley, C.E.T
Supervisor, Distribution Design, ICI & Layouts (North)
Phone: 1-877-963-6900 ext. 31297

E-mail: stephen.cranley@alectrautilities.com

Mitchell Penner
Supervisor, Distribution Design-Subdivisions
Phone: 416-302-6215

Email: Mitchell.Penner@alectrautilities.com

LOCATION OF WIRES, CABLES OR CONDUCTORS	SYSTEM VOLTAGE			
	SPAN GUYS AND COMMUNICATIONS WIRES	UP TO 600V AND NEUTRAL	4.16/2.4kV TO 27.6/16kV (SEE NOTE 1)	44kV
MINIMUM VERTICAL CLEARANCES (SEE NOTE 2)				
OVER OR ALONGSIDE ROADS, DRIVEWAYS OR LANDS ACCESSIBLE TO <u>VEHICLES</u>	442cm	442cm	480cm	520cm
OVER GROUND ACCESSIBLE TO <u>PEDESTRIANS AND BICYCLES ONLY</u>	250cm	310cm	340cm	370cm
ABOVE TOP OF RAIL AT <u>RAILWAY CROSSINGS</u>	730cm	730cm	760cm	810cm



MINIMUM ATTACHMENT HEIGHT = MAXIMUM SAG
 + MINIMUM VERTICAL CLEARANCE (FROM ABOVE TABLE)
 ± GRADE DIFFERENCE
 + 0.3m (VEHICLE OR RAILWAY LOCATION)
 + SNOW DEPTH (PEDESTRIAN LOCATION, SEE NOTE 3)

NOTES:

1. THE MULTIGROUNDED SYSTEM NEUTRAL HAS THE SAME CLEARANCE AS THE 600V SYSTEM.
2. THE VERTICAL CLEARANCES IN THE ABOVE TABLE ARE UNDER MAXIMUM SAG CONDITIONS.
3. REFER TO CSA STANDARD C22.3 No.1, ANNEX D FOR LOCAL SNOW DEPTH VALUES.
4. ALL CLEARANCES ARE IN ACCORDANCE TO CSA STANDARD C22.3.

CONVERSION TABLE

METRIC	IMPERIAL (APPROX)
810cm	27'-0"
760cm	25'-4"
730cm	24'-4"
520cm	17'-4"
480cm	16'-0"
442cm	15'-5"
370cm	12'-4"
340cm	11'-4"
310cm	10'-4"
250cm	8'-4"

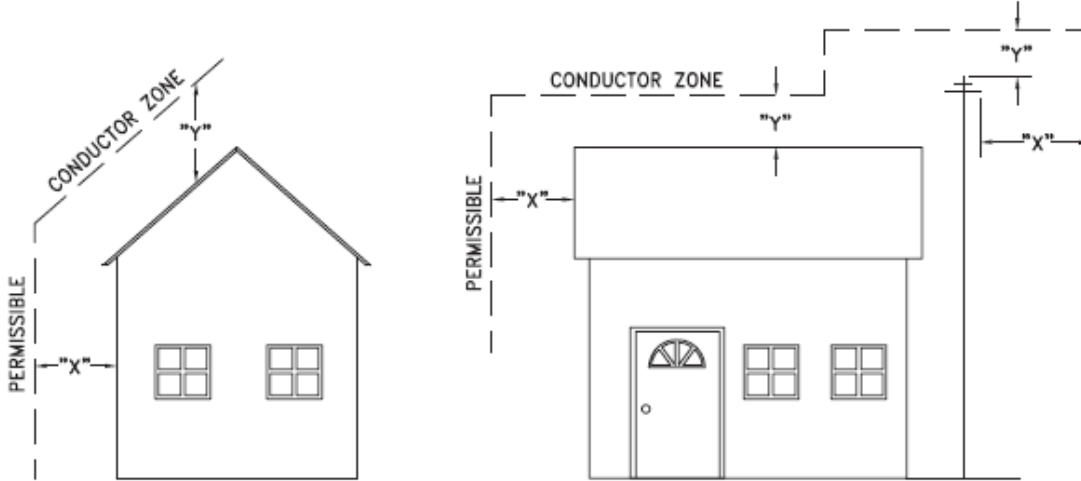
REFERENCES

SAGS AND TENSIONS | SECTION 02

MINIMUM VERTICAL CLEARANCES OF WIRES, CABLES AND CONDUCTORS ABOVE GROUND OR RAILS

ORIGINAL ISSUE DATE: 2010-DEC-24 REVISION NO: R1 REVISION DATE: 2012-JAN-09

Certificate of Approval	
This construction Standard meets the safety requirements of Section 4 of Regulation 22/04	
Joe Crozier, P.Eng.	2012-JAN-09
Name	Date
P.Eng. Approval By:	Joe Crozier



VOLTAGE	MINIMUM HORIZONTAL CLEARANCE UNDER MAXIMUM SWING CONDITIONS DIMENSION "X" (SEE NOTES 1, 3 & 4)	MINIMUM VERTICAL CLEARANCE UNDER MAXIMUM DESIGN SAG CONDITIONS DIMENSION "Y" (SEE NOTES 1, 2, 4 & 5)
0-600V AND NEUTRAL	100cm	250cm
4.16/2.4 TO 44kV	300cm	480cm

NOTES

1. UNDER NO CIRCUMSTANCES SHALL A CONDUCTOR BE PERMITTED TO PENETRATE THE ENVELOPE SHOWN BY THE DOTTED LINE.
2. THE VERTICAL CLEARANCES ARE UNDER CONDITIONS OF MAXIMUM DESIGN SAG.
3. THE HORIZONTAL CLEARANCES ARE UNDER CONDITIONS OF MAXIMUM SWING. WHERE THE CONDUCTOR SWING IS NOT KNOWN A HORIZONTAL CLEARANCE OF 480CM SHALL BE USED.
4. BUILDINGS THAT EXCEED 3 STOREYS OR 15M IN HEIGHT, THE MINIMUM HORIZONTAL CLEARANCE OF THE SECONDARY CONDUCTORS SHOULD BE INCREASED TO 300cm WHERE IT IS NECESSARY TO ALLOW FOR THE RAISING OF LADDERS BY LOCAL FIRE DEPARTMENTS.
5. IN SITUATIONS SUCH AS MULTI-LEVEL GARAGES, WHERE ROOFS ARE NORMALLY USED BY PERSONS AND VEHICLES, THE VERTICAL CLEARANCES OF POWERSTREAM STANDARD 03-1 SHALL APPLY.
6. DISTRIBUTION LINES CONSTRUCTED NEAR BUILDINGS SHALL BE BUILT TO AVOID OVERHANG WHEREVER POSSIBLE. WHERE LINES MUST BE CONSTRUCTED OVER OR ADJACENT TO BUILDINGS THE APPLICABLE HORIZONTAL AND VERTICAL CLEARANCES SHALL BE AT CONDITIONS OF MAXIMUM CONDUCTOR SWING AND MAXIMUM SAG. THE ABOVE CLEARANCES ARE DESIGNED TO PREVENT PERSONS ON OR IN BUILDINGS AS WELL AS EXTERNAL MACHINERY USED IN CONJUNCTION WITH A BUILDING TO COME IN CONTACT WITH CONDUCTORS. EFFORTS SHOULD BE MADE TO INCREASE THESE CLEARANCES WHERE POSSIBLE.
7. ALL CLEARANCES ARE IN ACCORDANCE TO CSA C22.3 NO.1-06 (TABLE-9).

METRIC	IMPERIAL (APPROX)
480cm	16'-0"
300cm	10'-0"
250cm	8'-4"
100cm	3'-4"

MINIMUM VERTICAL & HORIZONTAL CLEARANCES OF CONDUCTORS FROM BUILDINGS OR OTHER PERMANENT STRUCTURES (CONDUCTORS NOT ATTACHED TO BUILDINGS)

Certificate of Approval
This construction Standard meets the safety requirements of Section 4 of Regulation 22/04
Debbie Dadwani, P.Eng. 2010-MAY-05
Name Date
P. Eng. Approval By: *D. Dadwani*

ORIGINAL ISSUE DATE: 2010-MAY-05 REVISION NO: REVISION DATE:
PS:\System Planning and Standards\Standard Design\PowerStream Standards\PowerStream Standards working files\Section 3-1-02\WG 03-4 R0 May 5, 2010.dwg, 5/5/2010 10:22:02 AM, Adobe PDF

To: Committee of Adjustment
From: Christian Tinney, Building Standards Department
Date: May 21, 2024
Applicant: kris He
Location: 116 Farrell Road
 PLAN 65M4425 Lot 101
File No.(s): A070/24

Zoning Classification:

The subject lands are zoned R2A – Second Density Residential Zone and subject to the provisions of Exception 14.1014 under Zoning By-law 001-2021, as amended.

#	Zoning By-law 001-2021	Variance requested
1	In any Residential Zone, the maximum height of an accessory building and residential accessory structure shall be 3.0 metres. [Section 4.1.4, 1.]	To permit an accessory building (gazebo) with a maximum height of 4.22 metres.
2	A residential accessory structure with a height greater than 2.8 metres shall not be located closer than 2.4 metres to any lot line. [Section 4.1.2, 1. b.]	To permit a residential accessory structure (gazebo) with a height greater than 2.8 metres to be located 2.24 metres to the interior side lot line.

Staff Comments:

Stop Work Order(s) and Order(s) to Comply:

Order No. 23-144663, Order to Comply for Constructed a two-tier wood deck at the rear of the property without obtaining a permit., Issue Date: Dec 15, 2023

Building Permit(s) Issued:

Building Permit No. 24-100497 for Single Detached Dwelling - Deck, Issue Date: (Not Yet Issued)

Other Comments:

General Comments	
1	The applicant shall be advised that additional variances may be required upon review of detailed drawing for building permit/site plan approval.
2	The subject lands may be subject to the Oak Ridges Moraine Conservation Act, RSO 2001.

Conditions of Approval:

If the committee finds merit in the application, the following conditions of approval are recommended.

* Comments are based on the review of documentation supplied with this application.

To: Christine Vigneault, Committee of Adjustment Secretary Treasurer
From: Nancy Tuckett, Director of Development Planning
Date: June 7, 2024
Name of Owner: Ruslan Gerchuk
Location: 116 Farrell Road
File No.(s): A070/24

Proposed Variance(s) (By-law 001-2021):

1. To permit an accessory building (gazebo) with a maximum height of 4.22 m.
2. To permit a residential accessory structure (gazebo) with a height greater than 2.8 m to be located 2.24 m to the interior side lot line.

By-Law Requirement(s) (By-law 001-2021):

1. In any Residential Zone, the maximum height of an accessory building and residential accessory structure shall be 3.0 m.
2. A residential accessory structure with a height greater than 2.8 m shall not be located closer than 2.4 m to any lot line.

Official Plan:

City of Vaughan Official Plan 2010 ('VOP 2010'): "Oak Ridges Moraine Settlement Area" on Schedule 4 Oak Ridges Moraine Conservation Plan & Greenbelt Plan Areas and "Low-Rise Residential" on Schedule 13 – Land Use.

Comments:

The Owner is seeking relief to permit the construction of a gazebo in the rear yard of a single detached dwelling, with the above-noted variances.

Development Planning Department Staff have no objections to Variances 1 and 2 for the proposed gazebo. There is an existing open deck ('higher deck') with stairs attached to the rear of the dwelling, at a height of 2.96 m (total of 4.22m in height, with the railings). The structure identified as the gazebo is located upon a second, lower deck ('lower deck') to the northwest. The gazebo provides shelter to a hot tub on the lower deck. The lower deck is 1.4 m above grade and the roof portion accounts for the remaining 2.82 m of height. Stairs are also being proposed to connect the existing deck and gazebo together. The proposed gazebo is of the same height as the existing higher deck and will be located closer to the southerly interior side lot line. The gazebo has no proposed walls which helps reduce the overall massing impacts of the structure. With regards to Variance 2, the 0.16 m deviation from the permitted distance of the gazebo to the southerly lot line is minimal in nature and is not anticipated to be perceptible. Furthermore, the relief is only required for a portion of the gazebo due to the angle of the southern property line. It is the southwest corner of the gazebo which requires relief, whereas the southwest corner of the gazebo exceeds compliance by maintaining an approximately 3.9 m setback from the interior side lot line. Cedar plantings along the neighboring property's fence line to the south help to provide some screening. A newly planted tree between the gazebo and southerly fence line will also provide some additional screening once fully mature. There is sufficient distance in the reduced area of the interior side lot line to allow for access and maintenance.

Accordingly, Development Planning Department Staff can support the requested variances and is of the opinion that the proposal is minor in nature, maintains the general intent and purpose of the Official Plan and Zoning By-law, and is desirable for the appropriate development of the land.

Recommendation:

Development Planning Department Staff recommends approval of the application.

Conditions of Approval:

If the Committee finds merit in the application, the following conditions of approval are recommended:

None.

Comments Prepared by:

Alyssa Pangilinan, Planner 1
David Harding, Senior Planner

From: [Cameron McDonald](#)
To: [Committee of Adjustment](#)
Subject: [External] RE: A070/24 (116 Farrell Road) - REQUEST FOR COMMENTS, CITY OF VAUGHAN
Date: Thursday, May 23, 2024 9:54:38 AM
Attachments: [image003.png](#)

CAUTION! This is an external email. Verify the sender's email address and carefully examine any links or attachments before clicking. If you believe this may be a phishing email, please use the Phish Alert Button.

Good morning,

Based on a review of our screening mapping, I can confirm that the subject property is not located within TRCA's Regulated Area. As such, any site alteration or development on the property would not require a permit from TRCA.

Based on the above, we have no comments/requirements.

Regards,

Cameron McDonald

Planner I

Development Planning and Permits | Development and Engineering Services

T: [\(437\) 880-1925](tel:(437)880-1925)

E: cameron.mcdonald@trca.ca

A: [101 Exchange Avenue, Vaughan, ON, L4K 5R6](https://www.trca.ca) | [trca.ca](https://www.trca.ca)



From: [Development Services](#)
To: [Lenore Providence](#)
Cc: [Committee of Adjustment](#)
Subject: [External] RE: A070/24 (116 Farrell Road) - REQUEST FOR COMMENTS, CITY OF VAUGHAN
Date: Tuesday, May 28, 2024 4:27:26 PM
Attachments: [image002.png](#)
[image004.png](#)

CAUTION! This is an external email. Verify the sender's email address and carefully examine any links or attachments before clicking. If you believe this may be a phishing email, please use the Phish Alert Button.

Hi Lenore,

The Regional Municipality of York has completed its review of the minor variance application – A070/24 (116 Farrell Road) and has no comment.

Please provide us with a **digital copy of the notice of decision** for our records.

Many thanks,

Our working hours may be different. Please do not feel obligated to reply outside of your scheduled working hours. Let's work together to help foster healthy work-life boundaries.

Niranjan Rajevan, M.Pl. | Associate Planner, Development Services, Planning and Economic Development, Corporate Services

The Regional Municipality of York | 17250 Yonge Street | Newmarket, ON L3Y 6Z1
1-877-464-9675 ext. 71521 | niranjan.rajevan@york.ca | www.york.ca

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SCHEDULE C: PUBLIC & APPLICANT CORRESPONDENCE

Name	Address	Date Received (mm/dd/yyyy)	Summary
Helen Zhao	112 Farrell Road	06/07/2024	Letter in Support

From: [REDACTED]
To: [Committee of Adjustment](#)
Subject: [External] Support for Neighbor's Backyard Jacuzzi
Date: Friday, June 7, 2024 4:56:23 PM
Attachments: [image0.png](#)

CAUTION! This is an external email. Verify the sender's email address and carefully examine any links or attachments before clicking. If you believe this may be a phishing email, please use the Phish Alert Button.

Dear City Council,

I am writing to express my full support for my neighbor Ruslan , and their recently built jacuzzi in their backyard at 116 Farrell Rd, Maple.

I have had the pleasure of seeing the effort and dedication they put into constructing the jacuzzi, and I am truly impressed by the time, energy, and resources they have invested in this project. It is clear that they have put a lot of thought and care into creating a better space where they can relax and enjoy their home.

As a next-door neighbor, I believe that allowing Russell and his family members to enhance their living spaces contributes positively to the overall happiness and well-being of our neighborhood. I am confident that their new jacuzzi will not only bring them joy but also serve as an inspiration for others.

Additionally, I would like to mention that Ruslan s wife had hip replacement surgery. Her doctors recommended physiotherapy, specifically aquatic exercises, as the best way to aid her recovery. Consequently, Ruslan bought this jacuzzi for his wife to perform these exercises anytime, using the water's resistance while holding onto a bar to work her legs and progress in her recovery. This jacuzzi has been crucial for her rehabilitation and overall well-being.

I kindly urge you to approve the continuation and use of their backyard jacuzzi. It is my belief that supporting such personal initiatives fosters a stronger, more vibrant community where everyone can enjoy their lives to the fullest.

If you have any questions please contact me at [REDACTED]

Thank you for your time and consideration.

Sincerely,

Helen Zhao

112 Farrell Rd Maple

SCHEDULE D: BACKGROUND

None