

ITEM: 6.1	REPORT SUMMARY MINOR VARIANCE APPLICATION FILE NUMBER A003/24
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Report Date: June 14, 2024

**THIS REPORT CONTAINS COMMENTS FROM THE FOLLOWING
DEPARTMENTS & AGENCIES (SEE SCHEDULE B):**

Additional comments from departments and agencies received after the publication of the report will be made available on the City's [website](#).

Internal Departments <small>*Comments Received</small>	Conditions Required		Nature of Comments
Committee of Adjustment	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>	General Comments
Building Standards (Zoning)	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>	General Comments
Development Planning	Yes <input checked="" type="checkbox"/>	No <input type="checkbox"/>	General Comments w/Conditions
Development Engineering	Yes <input checked="" type="checkbox"/>	No <input type="checkbox"/>	Recommend Approval w/Conditions
Development Finance	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>	General Comments
By-law & Compliance	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>	General Comments

External Agencies <small>*Comments Received</small>	Conditions Required		Nature of Comments <small>*See Schedule B for full comments</small>
Alectra	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>	General Comments
TRCA	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>	General Comments
Region of York	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>	General Comments

PUBLIC & APPLICANT CORRESPONDENCE (SEE SCHEDULE C)

All personal information collected because of this public meeting (including both written and oral submissions) is collected under the authority of the Municipal Act, the Municipal Freedom of Information and Protection of Privacy Act (MFIPPA), the Planning Act and all other relevant legislation, and will be used to assist in deciding on this matter. All personal information (as defined by MFIPPA), including (but not limited to) names, addresses, opinions and comments collected will become property of the City of Vaughan, will be made available for public disclosure (including being posted on the internet) and will be used to assist the Committee of Adjustment and staff to process this application.

Correspondence Type	Name	Address	Date Received <small>(mm/dd/yyyy)</small>	Summary
Public	Claudia Monardo	48 Northlane Road	02/26/2024	Letter confirming no grading or drainage issues
Public	Olive McFarlane	39 Roxana Avenue	02/26/2024	Letter confirming no grading or drainage issues

BACKGROUND (SCHEDULE D, IF REQUIRED)	
<small>* Background Information contains historical development approvals considered to be related to this file. This information should not be considered comprehensive.</small>	
Application No. (City File)	Application Description <small>(i.e. Minor Variance Application; Approved by COA / OLT)</small>
N/A	N/A

ADJOURNMENT HISTORY	
<small>* Previous hearing dates where this application was adjourned by the Committee and public notice issued.</small>	
Hearing Date	Reason for Adjournment <small>(to be obtained from NOD_ADJ)</small>
N/A	N/A

SCHEDULES	
Schedule A	Drawings & Plans Submitted with the Application
Schedule B	Comments from Agencies, Building Standards & Development Planning
Schedule C (if required)	Public & Applicant Correspondence
Schedule D (if required)	Background



MINOR VARIANCE APPLICATION FILE NUMBER A003/24

CITY WARD #:	2
APPLICANT:	Maria Barbieri and Sandra Santos
AGENT:	2730099 Ontario Corporation
PROPERTY:	43 Roxana Avenue, Woodbridge
ZONING DESIGNATION:	See below.
VAUGHAN OFFICIAL PLAN (2010) DESIGNATION:	Vaughan Official Plan 2010 ('VOP 2010'): "Low-Rise Residential".
RELATED DEVELOPMENT APPLICATIONS:	None
PURPOSE OF APPLICATION:	Relief from the Zoning By-law is being requested to permit two existing sheds (located in the westerly side yard and rear yard), a swimming pool, a constructed addition located in the easterly side yard, increased maximum driveway width and reduced soft landscaping requirements in the rear yard.

The following variances are being requested from the City's Zoning By-law to accommodate the above proposal:

The subject lands are zoned R4(EN) 4th Density Residential Zone (Established Neighbourhood) under Zoning By-law 001-2021, as amended.

#	Zoning By-law 001-2021	Variance requested
1	An accessory building or residential accessory structure (shed # 2) shall not be located closer to a front lot line or an exterior side lot line than the principal building on the lot. Section 4.1.2 1c	To permit the residential accessory structure (Shed # 2) to be located closer to the exterior side lot line than the principal building in the location shown on the site plan.
2	An accessory building and residential accessory structure (shed # 2) shall be subject to the exterior side yard requirements for the principal building on the lot of 4.5m. Section 4.1.2 1a	To permit a minimum exterior side yard of 0.54m for the residential accessory structure (shed 2).
3	In the R1, R1A, R1B, R1C, R1D, R1E, R2, R2A, R3, R4, R5 and RT Zones, any portion of a yard in excess of 135 square metres shall be comprised of a minimum 60% soft landscape. Section 4.19.1 1	To permit the portion of the rear yard in excess of 135 square metres to be comprised of 42% soft landscape.
4	Unless otherwise expressly permitted by this By-law, a minimum distance of 0.6 m shall be required from any permitted encroachment to the nearest lot line Section 4.13 3	To permit the eaves of the residential accessory structure (shed #2) to be located a minimum of 0.29m from the exterior lot line.
5	In no case shall the outdoor swimming pool be located closer to an exterior side lot line than the dwelling. Section 4.21.5	To permit the outdoor swimming pool to be located closer to the exterior lot line than the dwelling in the location shown on the site plan.
6	The maximum driveway width on a lot with a lot frontage of 12.0m or greater is 9.0m. Section 6.7.3 Table 6-11	To permit a maximum driveway width of 9.16m.
7	A residential accessory structure (Shed # 1) with a height greater than 2.8 m shall not be located closer than 2.4 m to any lot line.	To permit a residential accessory structure (Shed # 1) with a height greater than 2.8m to be setback 0.51m from the rear lot line.

#	Zoning By-law 001-2021	Variance requested
	Section 4.1.2 1b	
8	A residential accessory structure (Shed # 1) with a height greater than 2.8 m shall not be located closer than 2.4 m to any lot line. Section 4.1.2 1b	To permit a residential accessory structure (Shed # 1) with a height greater and 2.8m to be setback 0.78m from the interior lot line.
9	The minimum required interior side yard for the existing addition is 0.60m. Section 7.2.4 Table 7-5	To permit a minimum interior side yard of 0.30m for the existing addition.

HEARING INFORMATION

DATE OF MEETING: Thursday, June 20, 2024
TIME: 6:00 p.m.
MEETING LOCATION: Vaughan City Hall, Woodbridge Room (2nd Floor), 2141 Major Mackenzie Drive
LIVE STREAM LINK: Vaughan.ca/LiveCouncil

PUBLIC PARTICIPATION

If you would like to speak to the Committee of Adjustment at the meeting, either remotely or in person, please complete the [Request to Speak Form](#) and submit to cofa@vaughan.ca

If you would like to submit written comments, please quote file number above and submit by mail or email to:

Email: cofa@vaughan.ca

Mail: City of Vaughan, Office of the City Clerk, Committee of Adjustment, 2141 Major Mackenzie Drive, Vaughan, ON, L6A 1T1

To speak electronically, pre-registration is required by completing the [Request to Speak Form](#) on-line and submitting it to cofa@vaughan.ca no later than NOON on the last business day before the meeting.

THE DEADLINE TO REGISTER TO SPEAK ELECTRONICALLY OR SUBMIT WRITTEN COMMENTS ON THE ABOVE NOTED FILE(S) IS NOON ON THE LAST BUSINESS DAY BEFORE THE MEETING.

INTRODUCTION

Staff and Agencies act as advisory bodies to the Committee of Adjustment. The comments contained in this report are presented as recommendations to the Committee.

Section 45(1) of the Planning Act sets the criteria for authorizing minor variances to the City of Vaughan's Zoning By-law. Accordingly, review of the application may consider the following:

- That the general intent and purpose of the by-law will be maintained.
- That the general intent and purpose of the official plan will be maintained.
- That the requested variance(s) is/are acceptable for the appropriate development of the subject lands.
- That the requested variance(s) is/are minor in nature.

Public written and oral submissions relating to this application are taken into consideration by the Committee of Adjustment as part of its deliberations and final decision on this matter.

COMMITTEE OF ADJUSTMENT

Date Public Notice Mailed:	June 6, 2024
Date Applicant Confirmed Posting of Sign:	June 1, 2024
Applicant Justification for Variances: <small>*As provided in Application Form</small>	Percentage Of Soft landscaping
Was a Zoning Review Waiver (ZRW) Form submitted by Applicant: <small>*ZRW Form may be used by applicant in instances where a revised submission is made, and zoning staff do not have an opportunity to review and confirm variances prior to the issuance of public notice.</small>	Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>

COMMENTS:

None

Committee of Adjustment Recommended Conditions of Approval:	None
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BUILDING STANDARDS (ZONING)

**See Schedule B for Building Standards (Zoning) Comments

Building Standards Recommended Conditions of Approval:	None
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DEVELOPMENT PLANNING

**See Schedule B for Development Planning Comments.

Development Planning Recommended Conditions of Approval:	That prior to the issuance of a Building Permit, the Owners shall provide photographic evidence to the satisfaction of Development Planning Staff that the four (4) trees proposed in the front yard are planted.
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DEVELOPMENT ENGINEERING

[Link to Grading Permit](#)
 [Link to Pool Permit](#)
 [Link to Curb Curt Permit](#)
 [Link Culvert Installation](#)

The Owner / Applicant has revised their Site Plan to remove and relocate the existing carport wall. Initially set at a 0m setback from the east property line, the wall will now be moved to maintain a 0.6m setback, in accordance with the Engineering Design standards of the City of Vaughan and Zoning By-law 001-2021. While it is preferred to move the entire carport wall by 600mm, the Owner / Applicant proposes to shift the front portion of the wall by 0.3m and the remaining rear portion by 0.6m. The proposed work by the Owner / Applicant is increasing the lot coverage on the subject property by 30%. The added hardscape may have impacts on the City's Storm Water management system. Development Engineering strongly encourages the Owner / Applicant introduce Low-Impact Development (LID) measures (e.g., bioswales, permeable pavers, rain gardens, rain barrels etc.) to reduce the impacts to the stormwater system. Should further information be required, please contact the Development Engineering COA reviewer. Due to the size of the existing structures including two sheds, carport and greenhouse on the subject property, which totals to 63.48 m², the Owner/Applicant must acquire a Lot Grading Permit from the Development Inspection and Lot Grading Division of the City's Development Engineering Department. It's important note that any in-ground structure exceeding 10 m² necessitates a Grading Permit. Once the Grading Permit is obtained, please reach out to the Development Engineering Reviewer to clear the Condition imposed on this application. The Owner / Applicant shall apply for a Pool Grading Permit with the Development Engineering (DE) Department. Please visit the grading permits page at City of Vaughan website to learn how to apply for the Pool Permit. If you have any question about Pool Grading Permit, please contact the Development Engineering Department through email at DEPermits@vaughan.ca. The Development Engineering Department does not object to the Minor Variance application A003/24, subject to the following condition(s):

Development Engineering Recommended Conditions of Approval:	The Owner / Applicant shall provide a Letter of Undertaking, using the City's template, confirming that the carport wall has been moved away from the property line as agreed upon. This adjustment must be in accordance with the submitted Site Plan Drawing (A00, revision 14, dated May 21, 2024) to the satisfaction of the Development Engineering Department. Please reach out to the DE Reviewer at rex.bondad@vaughan.ca for a copy of the Letter of Undertaking. The Owner / Applicant shall submit an application and obtain an approved Grading Permit before initiating any work on the property. The Final Lot Grading and/or Servicing Plan will be required for the Grading Permit Application. Please visit the Permits page of the City of Vaughan's website: Permits City of Vaughan to apply for a Grading Permit. For any inquiries regarding the Grading Permit, please email DEPermits@vaughan.ca
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PARKS, FORESTRY & HORTICULTURE (PFH)

No comments received to date.

PFH Recommended Conditions of Approval:	None
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DEVELOPMENT FINANCE

No comment no concerns

Development Finance Recommended Conditions of Approval:	None
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BY-LAW AND COMPLIANCE, LICENSING AND PERMIT SERVICES

No comment.

BCLPS Recommended Conditions of Approval:	None
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BUILDING INSPECTION (SEPTIC)

No comments received to date.

Building Inspection Recommended Conditions of Approval:	None
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FIRE DEPARTMENT

No comments received to date.

Fire Department Recommended Conditions of Approval:	None
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RECOMMENDED CONDITIONS OF APPROVAL SUMMARY

Should the Committee find it appropriate to approve this application in accordance with request and the sketch submitted with the application, as required by Ontario Regulation 200/96, the following conditions have been recommended:

#	DEPARTMENT / AGENCY	CONDITION
1	Development Planning Nicholas.delprete@vaughan.ca	That prior to the issuance of a Building Permit, the Owners shall provide photographic evidence to the satisfaction of Development Planning Staff that the four (4) trees proposed in the front yard are planted.
2	Development Engineering Rex.bondad@vaughan.ca	The Owner / Applicant shall provide a Letter of Undertaking, using the City's template, confirming that the carport wall has been moved away from the property line as agreed upon. This adjustment must be in accordance with the submitted Site Plan Drawing (A00, revision 14, dated May 21, 2024) to the satisfaction of the Development Engineering Department. Please reach out to the DE Reviewer at rex.bondad@vaughan.ca for a copy of the Letter of Undertaking. The Owner / Applicant shall submit an application and obtain an approved Grading Permit before initiating any work on the property. The Final Lot Grading and/or Servicing Plan will be required for the Grading Permit Application. Please visit the Permits page of the City of Vaughan's website: Permits City of Vaughan to apply for a Grading Permit. For any inquiries regarding the Grading Permit, please email DEPermits@vaughan.ca

All conditions of approval, unless otherwise stated, are considered to be incorporated into the approval "if required". If a condition is no longer required after an approval is final and binding, the condition may be waived by the respective department or agency requesting conditional approval. A condition cannot be waived without written consent from the respective department or agency.

IMPORTANT INFORMATION

CONDITIONS: It is the responsibility of the owner/applicant and/or authorized agent to obtain and provide a clearance letter from respective department and/or agency (**see condition chart above for contact**). This letter must be provided to the Secretary-Treasurer to be finalized. All conditions must be cleared prior to the issuance of a Building Permit.

IMPORTANT INFORMATION

APPROVALS: Making any changes to your proposal after a decision has been made may impact the validity of the Committee's decision.

An approval obtained from the Committee of Adjustment, where applicable, is tied to the building envelope shown on the plans and drawings submitted with the application and subject to the variance approval.

A building envelope is defined by the setbacks of the buildings and/or structures shown on the plans and drawings submitted with the application, as required by Ontario Regulation 200/96. Future development outside of an approved building envelope, where a minor variance was obtained, must comply with the provisions of the City's Zoning By-law.

Elevation drawings are provided to reflect the style of roof (i.e. flat, mansard, gable etc.) to which a building height variance has been applied. Where a height variance is approved, building height is applied to the style of roof (as defined in the City's Zoning By-law) shown on the elevation plans submitted with the application.

Architectural design features that are not regulated by the City's Zoning By-law are not to be considered part of an approval unless specified in the Committee's decision.

DEVELOPMENT CHARGES: That the payment of the Regional Development Charge, if required, is payable to the City of Vaughan before issuance of a building permit in accordance with the Development Charges Act and the Regional Development Charges By-law in effect at the time of payment.

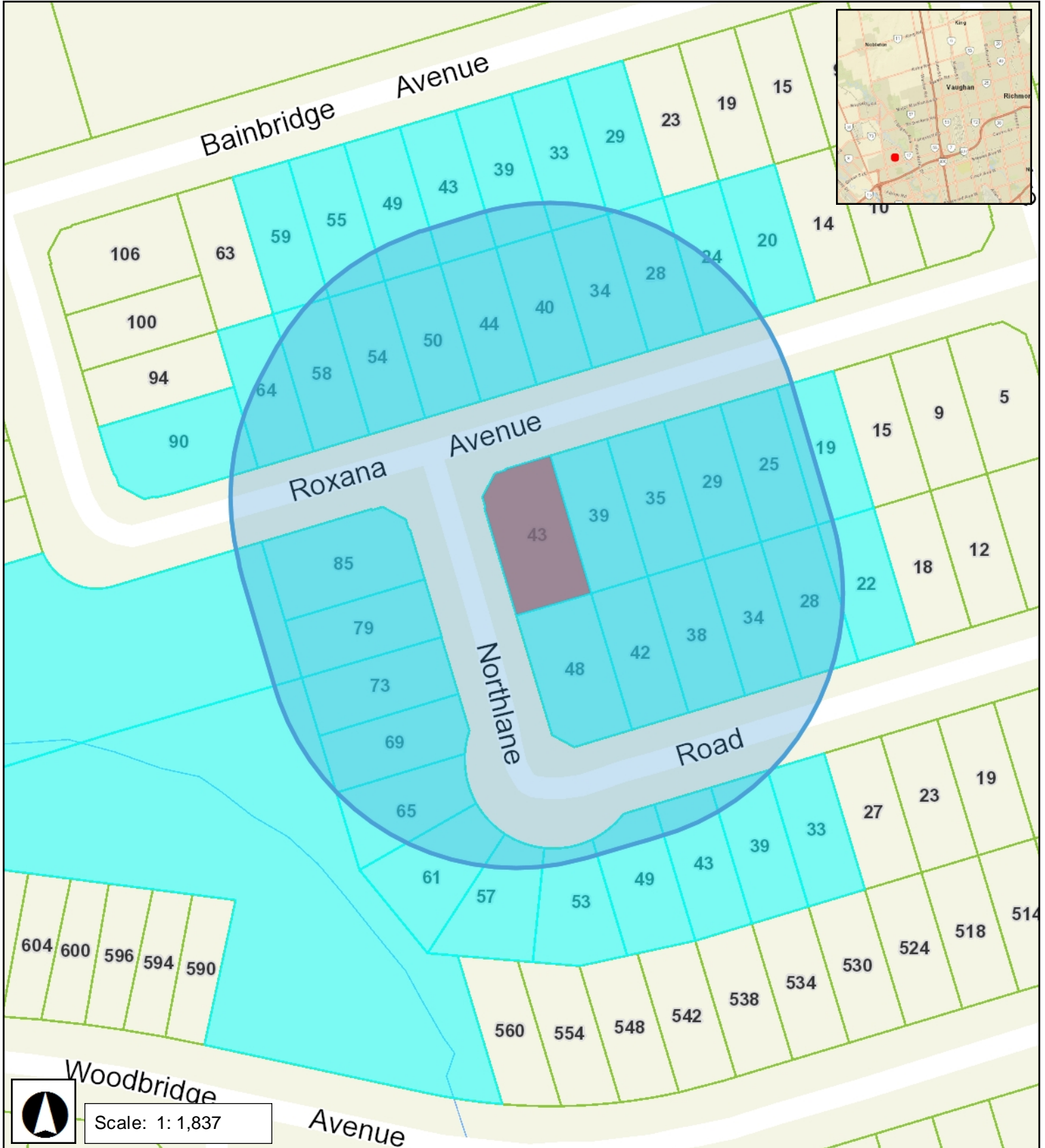
That the payment of the City Development Charge, if required, is payable to the City of Vaughan before issuance of a building permit in accordance with the Development Charges Act and the City's Development Charges By-law in effect at the time of payment.

That the payment of the Education Development Charge if required, is payable to the City of Vaughan before issuance of a building permit in accordance with the Development Charges Act and the Boards of Education By-laws in effect at the time of payment

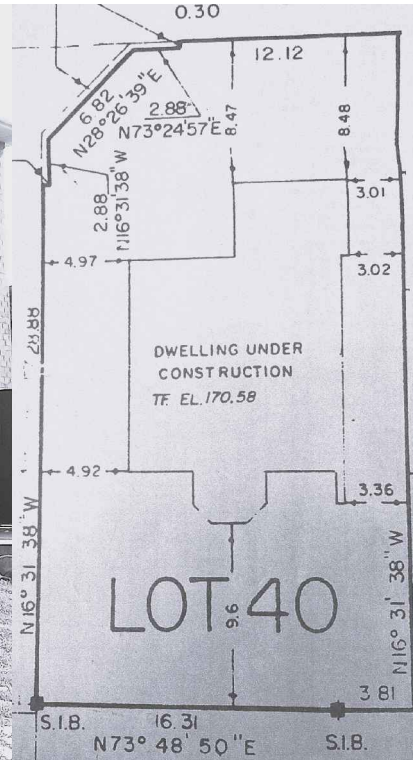
That the payment of Special Area Development charge, if required, is payable to the City of Vaughan before issuance of a building permit in accordance with the Development Charges Act and The City's Development Charge By-law in effect at the time of Building permit issuance to the satisfaction of the Reserves/Capital Department.

NOTICE OF DECISION: If you wish to be notified of the decision in respect to this application or a related Ontario Land Tribunal (OLT) hearing you must complete a Request for Decision form and submit to the Secretary Treasurer (ask staff for details). In the absence of a written request to be notified of the Committee's decision you will **not** receive notice.

SCHEDULE A: DRAWINGS & PLANS



Scale: 1: 1,837



CITY: VAUGHAN, ON

MUNICIPAL ADDRESS

43 ROXANA AVE,
WOODBIDGE,

SCOPE OF WORK

- POOL PERMIT
- EX. ACCESSORY STRUCTURES PERMIT



LEGEND	
EXISTING WALL	
PROPOSED WALL	
CONCRETE WALL	
WALLS TO BE REMOVED	
BEAM	
FLOOR JOIST	
POST	
ROUND POST	
PROPERTY LINE	
FENCE	
REVISION CLOUD	
REVISION NUMBER	
MIN 45 MIN FIRE SEPARATION	
SUPPLY AIR REGISTER	
RETURN AIR GRILLE	
EXHAUST FAN	
FLOOR DRAIN	
SMOKE DETECTOR AND SMOKE ALARM	
CARBON MONOXIDE DETECTOR/ALARM	
SPRINKLER	

ABBREVIATIONS			
ABV	ABOVE	LD	LONG DIRECTION
ADD	ADDITIONAL	LL	LOWER LAYER
ARCH	ARCHITECTURAL	MAX	MAXIMUM
BLW	BELOW	MECH	MECHANICAL
BOT	BOTTOM	MIN	MINIMUM
¢	CENTERLINE	NLB	NON-LOAD BEARING
CL	CLOSET	NTS	NOT TO SCALE
COL	COLUMN	OC	ON CENTER
C/W	COMPLETE WITH	OPN	OPENING
CONC	CONCRETE	O.F	OUTER FACE
CONT	CONTINUOUS	PL	PLATE
DP	DEPTH	PC	PRECAST
DET	DETAIL	PROJ	PROJECTION
DIA	DIAMETER	PRO	PROPOSED
DJ	DOUBLE JOIST	R/W	REINFORCED WITH
DWL	DOWEL	SD	SHORT DIRECTION
EF	EACH FACE	STIF	STIFFENER
EW	EACH WAY	STRU	STRUCTURAL
ELEC	ELECTRICAL	THK	THICKNESS
EP	ELECTRICAL PANEL	T&B	TOP AND BOTTOM
EL	ELEVATION	TOC	TOP OF CONCRETE
EQ	EQUAL	TOF	TOP OF FLOOR
EX	EXISTING	TOR	TOP OF ROOF
EXPJ	EXPANSION JOINT	TOS	TOP OF STEEL
EXT	EXTERIOR	TOW	TOP OF WALL
F	FURNACE	TJ	TRIPLE JOIST
FIN	FINISHED	TYP	TYPICAL
FP	FIREPLACE	U/S	UNDERSIDE
FL	FLOOR	UNO	UNLESS NOTED OTHERWISE
FD	FLOOR DRAIN	UL	UPPER LAYER
FT	FOOTING	VER	VERTICAL
FDN	FOUNDATION WALL	WIC	WALKING CLOSET
GALV	GALVANIZED	WIN	WINDOW
H	HEIGHT	WPL	WALL PLATE
HOR	HORIZONTAL	WH	WATER HEATER
I.F	INNER FACE	WWF	WELDED WIRE FABRIC
INT	INTERIOR	W	WIDTH
LB	LOAD BEARING	W/	WITH

DRAWING LIST
A-00 TITLE SHEET
A-01 SITE PLAN
A-02 SHED AND GREEN HOUSE PLAN AND ELEVATION
A-03 EX. ADDITION PLAN AND ELEVATION

STANDARDS & LOADS:

THE ENGINEERING HAS PERFORMED BASED ON THE LATEST UPDATE OF THE 2012 ONTARIO BUILDING CODE COMPENDIUM, WHICH IS A REGULATION MADE UNDER THE BUILDING CODE ACT, 1992, AND ALSO THE REFERRED STANDARDS.

STRUCTURAL LOADS:
NO STRUCTURAL ALTERATION CONSIDERED IN DESIGN. ALL EXISTING STRUCTURAL COMPONENTS TO REMAIN.

DISCLAIMER:

- NO WARRANTY IS MADE OR IMPLIED AS TO THE ACCURACY OF DIMENSIONS.
- ALL DIMENSIONS MUST BE SITE VERIFIED. DRAWINGS ARE NOT TO BE USED FOR QUANTITY ESTIMATES.
- ALL WALL THICKNESS OR COMPOSITION HAS NOT BEEN DETERMINED.
- SITE GRADING & FLOOD CONTROL DESIGN AND CALCULATIONS ARE NOT INCLUDED IN THE ENGINEER'S SCOPE OF WORK AND THE ENGINEER ACCEPTS NO RESPONSIBILITY.
- THE SOIL BEARING CAPACITY & GROUNDWATER LEVEL SHALL BE DETERMINED BY A GEOTECHNICAL ENGINEER PRIOR TO CONSTRUCTION.
- CONTACT YOUR LOCAL BUILDING DEPARTMENT FOR FURTHER INFORMATION ABOUT LOCAL SOIL-BEARING CAPACITIES.
- THE BUILDING IS NOT DESIGNED TO BE USE AS A POST-DISASTER SHELTER OR A MANUFACTURING AND STORAGE OF TOXIC, EXPLOSIVE OR OTHER HAZARDOUS SUBSTANCES.

REV	DATE	DESCRIPTION	NOTE
14	2024/05/21	ISSUED FOR PERMIT	C.O.A
13	2024/05/16	ISSUED FOR PERMIT	C.O.A
12	2024/05/14	ISSUED FOR PERMIT	C.O.A
11	2024/04/19	ISSUED FOR PERMIT	C.O.A
10	2024/03/27	ISSUED FOR PERMIT	C.O.A
9	2024/03/13	ISSUED FOR PERMIT	C.O.A
8	2024/02/27	ISSUED FOR PERMIT	C.O.A
7	2024/02/15	ISSUED FOR PERMIT	C.O.A
6	2024/02/06	ISSUED FOR PERMIT	C.O.A
5	2024/02/05	ISSUED FOR REVIEW	CLIENT

PROJECT:
POOL PERMIT

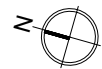
ADDRESS:
43 ROXANA AVE, WOODBRIDGE, VAUGHAN

DRAWING TITLE:
TITLE SHEET

JOB DATE :	DEC 2023	DRAWN BY: HOUMAN M.
JOB NO :	23360	CHECKED BY: MAHSHAD M.
PAGE NO :	A-00	APPROVED BY: FARZIN F.R.
		SCALE: AS SHOWN
		REV NO : REV 14

RECEIVED

By Prabhdeep Kaur at 1:30 pm, May 21, 2024



ROXANA AVE

SITE PLAN

SCALE 1 : 175

NORTHLANE RD

- MANDATORY STANDARD NOTES FOR SWIMMING POOLS
- ALL ELEVATIONS AND SETBACKS ARE TO BE CONFIRMED BY A REGISTERED PROFESSIONAL ENGINEER OR REGISTERED ONTARIO LAND SURVEYOR PRIOR TO THE PLACING OF ANY CONCRETE.
 - PRIOR TO SWIMMING POOL WORKS PROCEEDING TO THE FINAL RELEASE STAGE, THE OWNER'S CONSULTANT MUST CERTIFY IN WRITING THAT ALL ELEVATIONS ARE IN CONFORMANCE WITH THE GRADING PLAN REVIEWED BY THE CITY.
 - EXISTING BOUNDARY ELEVATIONS ALONG THE SITE PERIMETER SHALL REMAIN UNDISTURBED. DRAINAGE RECEIVED FROM ADJACENT PROPERTIES SHALL BE ACCOMMODATED AND DRAINAGE FROM THE SUBJECT LANDS SHALL BE SELF-CONTAINED.
 - PURSUANT TO BY-LAW NO. 41-07, ALL TREES WITHIN 6 METERS OF THE CONSTRUCTION ACTIVITY*, MUST BE PROTECTED USING THE PROTECTION FENCING CONSISTENT WITH THE DETAIL ON THE BACK OF THE TREE DECLARATION PAGE WHILE WORK IS UNDERWAY. ALL WORKS MUST BE KEPT OUTSIDE OF THE MINIMUM PROTECTION ZONE (MPZ) FOR ALL TREES. ANY WORKS WITHIN THE MPZ COUNT AS INJURY. DESTRUCTION/ INJURY TO TREES GREATER THAN OR EQUAL TO 20CM DBH WITHOUT A PERMIT WOULD BE A CONTRAVENTION OF THE BY-LAW AND MAY RESULT IN CHARGES BEING LAID.
 - BOUNDARY TREES: IN ADDITION TO THE MUNICIPAL BY-LAWS, IT IS REQUIRED BY LAW IN THE PROVINCE OF ONTARIO TO OBTAIN THE CONSENT OF ANY BOUNDARY TREE'S OWNED PRIOR TO INJURING OR REMOVING THAT TREE. PARAGRAPH 10 OF THE FORESTRY ACT, R.S.O. 1990, C. F.26 STATES THAT:
(2) EVERY TREE WHOSE TRUNK IS GROWING ON THE BOUNDARY BETWEEN ADJOINING LANDS IS THE COMMON PROPERTY OF THE OWNERS OF THE ADJOINING LANDS. 1998, C. 18, SCHED. I, S. 21. (3) EVERY PERSON WHO INJURES OR DESTROYS A TREE GROWING ON THE BOUNDARY BETWEEN ADJOINING LANDS WITHOUT THE CONSENT OF THE LAND OWNERS IS GUILTY OF AN OFFENCE UNDER THIS ACT. 1998, C. 18, SCHED. I, S. 21. THE DETERMINATION OF OWNERSHIP OF THE SUBJECT TREE(S) IS THE RESPONSIBILITY OF THE APPLICANT. ANY CIVIL OR COMMON-LAW ISSUES BETWEEN PROPERTY OWNERS WITH RESPECT TO JOINT/MULTIPLE OWNERSHIP OF TREES MUST BE RESOLVED BY THE APPLICANT. A PERMIT/APPROVAL TO INJURE OR DESTROY (A) TREE(S) ON PRIVATE PROPERTY DOES NOT GRANT AUTHORITY TO ENCROACH IN ANY MANNER OR ENTER ONTO ADJACENT PRIVATE PROPERTIES. PLEASE CONTACT A PARK & NATURAL HERITAGE PLANNING REPRESENTATIVE IF YOU REQUIRE MORE INFORMATION.
 - THE APPLICANT IS RESPONSIBLE TO ENSURE THAT ALL CONSTRUCTION ACTIVITY AND FINAL PRODUCT CONFORM TO ALL CITY BY-LAWS.
 - EXISTING DRAINAGE TO REMAIN UNALTERED.
 - 0.6M AREA TO REMAIN UNALTERED AT LOT LINES
 - TOP OF POOL TO BE 0.15M ABOVE SURROUNDING YARD.
 - ANY DAMAGES TO MUNICIPAL SERVICES AND/OR ADJACENT PROPERTIES MUST BE RESTORED BY THIS HOMEOWNER AND/OR POOL CONTRACTOR.
 - ALL PROPOSED SWALES TO BE 2% MIN. TO 5% MAX. WITH MIN. DEPTH OF 0.15M.
 - TRANSITIONAL SLOPES NOT TO EXCEED 3:1.
 - BOULEVARD AND SIDEWALK (IF APPLICABLE) TO BE RESTORED TO ORIGINAL CONDITION OR BETTER.
 - ALL GATES TO BE SELF-CLOSING AND SELF-LATCHING.
 - FENCING AROUND POOL AREA TO BE NON-CLIMBABLE. MINIMUM 1.2M, MAX 1.8M HIGH. FOR CHAIN LINK FENCES THE MAXIMUM SIZE OF EACH LINK IS 1 - 12".
 - POOL SETBACK TO BE THE GREATER OF 1.5M FROM THE PROPERTY LINE OR SUCH THAT NO PORTION OF THE POOL, THE CONCRETE POOL DECK OR THE SUPPORTING STRUCTURE ENCLOSES ONTO OR UNDER ANY EASEMENTS.
 - ALL DOORS LEADING TO POOL AREA SHALL HAVE HIGH-MOUNTED LOCKS 1.5M ABOVE FLOOR.
 - THE OWNER IS RESPONSIBLE TO ENSURE ALL CONSTRUCTION AND GRADING IS IN CONFORMITY WITH THIS APPROVED SITE GRADING PLAN OR/ SITE ALTERATION PLAN AND TO THE SATISFACTION OF CITY STAFF. ANY DEVIATION FROM THIS APPROVED SITE GRADING PLAN OR/ SITE ALTERATION PLAN COULD RESULT IN AN AMENDMENT TO THE SITE PLAN AGREEMENT OR/ SITE ALTERATION PERMIT AND/OR DELAY RELEASE OF THE SECURITY DEPOSIT. *CONSTRUCTION ACTIVITY INCLUDES, BUT IS NOT LIMITED TO: DEMOLITION WORK; SOIL EXCAVATION; GRADING OR BORING; CARPENTRY; ELECTRICAL OR PLUMBING WORK; AND, MOVEMENT/ STORAGE OF CONSTRUCTION MATERIALS, EQUIPMENT, VEHICLES, SOIL OR DEBRIS.

NOTE: PRESIDENTIAL ACCESSORY STRUCTURE WITH LESS THAN 2.8 SHALL NOT BE LOCATED CLOSER THAN 0.6 M TO ANY LOT LINE (4.1.2 - 1 - A)

NOTE: THE SITE PLAN DRAWING IS BASED ON THE INFORMATION PROVIDED BY THE CLIENT. AND ALL THE STRUCTURE CONSTRUCTED AND WE ARE GETTING PERMIT BY THIS DRAWINGS

NOTE: THE POOL STRUCTURAL DESIGN AND CONTROLLING THE LOAD INTERACTIONS WITH THE MAIN BUILDING ARE NOT INCLUDED IN THIS PLAN'S SCOPE OF WORK AND SHALL BE CARRIED OUT BY THE POOL DESIGNER/PROVIDER

ZONING INFORMATION SUBJECT TO APPLY FOR COMMITTEE OF ADJUSTMENT			
	VARIANCE	PERMITTED	PROVIDE
1	AN ACCESSORY BUILDING NOT CLOSER TO THE EXTERIOR SIDE YARD LOT LINE THAN MAIN BUILDING (4.1.2 1C) SHED #2	4.75 M (NOT LESS THAN MAIN BUILDING)	0.54 M
2	AN ACCESSORY BUILDING MINIMUM EXTERIOR SIDE YARD SETBACK (4.1.2 1A) SHED #2	4.5 M	0.54 M
3	SOFT LANDSCAPE(% FROM REAR YARD) (4.19.1 1)	60% (145.09 M ²)	30.78% (70.27 M ²)
4	DISTANCE OF TO THE EX. SHED #2 EAVE TO THE LOT LINE (4.13 3)	0.6 M	0.29 M
5	IN NO CASE SHALL THE OUTDOOR SWIMMING POOL CLOSER TO EXTERIOR SIDE LOT THAN DWELLING (4.21.5)	4.97 M (EX BUILDING SIDE SET BACK)	1.68 M
6	THE MAXIMUM DRIVEWAY WIDTH (6.7.3 TABLE 6-11)	9 M	9.16 M
7	RESIDENTIAL ACCESSORY (SHED #1) HIGHT MORE THAN 2.8 M (SECTION 4.1.2 1B)	2.4M MIN.	0.51 M
8	RESIDENTIAL ACCESSORY (SHED #1) HIGHT MORE THAN 2.8 M (SECTION 4.1.2 1B)	2.4M MIN.	0.78 M
9	MIN REQUIRED INTERIOR SIDE YARD FOR EXISTING ADDITION	0.6 M	0.3 M & 0.6M

FRONT YARD	
FRONT YARD AREA = 2135 FT ² - 198.34 M ²	
DRIVEWAY AREA = 851 FT ² - 79.06 M ² (39.8 % OF FRONT YARD)	
TOTAL LANDSCAPE AREA = 1284 FT ² - 119.19 M ² (60.2% OF FRONT YARD)	
PAVED AREA, PORCH & STEPS = 380 FT ² - 35.30 M ² (17.7 % OF FRONT YARD) - (29.61 % OF FRONT YARD LANDSCAPE)	
SOFT LANDSCAPE = 903 FT ² - 83.89 M ² (42.2 % OF FRONT YARD) - (70.39% OF FRONT YARD LANDSCAPE)	

SITE STATISTIC	PROPERTY ZONE: R4	
MAX. LOT COVERAGE	55 %	
TOTAL LOT AREA	7658.50 SQF	711.50 M ²
REAR YARD AREA	2457.51 SQF	228.31 M ²
PRO. POOL	449 SQF	41.8 M ²
PRO. INTERLOCKING	1411.95 SQF	131.17 M ²
PRO. SOD	307.38 SQF	28.56 M ²
TOTAL SOFT LANDSCAPE	756.38 SQF	70.27 M ²
TOTAL HARD LANDSCAPE	1701.13 SQF	158.04 M ²
SOFT LANDSCAPING REQUIREMENT:		60% REAR YARD
SOFT LANDSCAPING PROVIDED:		30.78% REAR YARD

EX. SHED #1	192 SQFT	17.88 M ²
EX. SHED #2	91 SQFT	8.45 M ²
EX. GREEN HOUSE	59 SQFT	5.48 M ²
TOTAL ACCESSORY BUILDING (MAX 10%): (SHED #1, #2, GREEN HOUSE)	31.81 M ²	(4.47% LOT COVERAGE)
PRO. POOL	449 SQFT - 41.8 M ²	(5.87 % LOT COVERAGE)
EX. ADDITION	426 SQFT - 39.57 M ²	(5.5 % LOT COVERAGE)
EX. MAIN BUILDING	1818 SQFT - 168.89 M ²	(23.73 % LOT COVERAGE)
TOTAL LOT COVERAGE: (ACCESSORY + MAIN BUILDING + ADDITION)	240.27 M ²	33.76% LOT COVERAGE

PERMITMAN BUILDING DESIGN SERVICES

info@permitman.ca +1(647)408-5050



DISCLAIMER: - NO WARRANTY IS MADE OR IMPLIED AS TO THE ACCURACY OF DIMENSIONS. - ALL DIMENSIONS MUST BE SITE VERIFIED. DRAWINGS ARE NOT TO BE USED FOR QUANTITY ESTIMATES. - ALL WALL THICKNESS OR COMPOSITION HAS NOT BEEN DETERMINED. - SITE GRADING & FLOOD CONTROL DESIGN AND CALCULATIONS ARE NOT INCLUDED IN THE ENGINEER'S SCOPE OF WORK AND THE ENGINEER ACCEPTS NO RESPONSIBILITY. - THE SOIL BEARING CAPACITY & GROUNDWATER LEVEL SHALL BE DETERMINED BY A GEOTECHNICAL ENGINEER PRIOR TO CONSTRUCTION. - CONTACT YOUR LOCAL BUILDING DEPARTMENT FOR FURTHER INFORMATION ABOUT LOCAL SOIL-BEARING CAPACITIES. - THE BUILDING IS NOT DESIGNED TO BE USE AS A POST-DISASTER SHELTER OR A MANUFACTURING AND STORAGE OF TOXIC, EXPLOSIVE OR OTHER HAZARDOUS SUBSTANCES.

REV	DATE	DESCRIPTION	NOTE
14	2024/05/21	ISSUED FOR PERMIT	C.O.A
13	2024/05/16	ISSUED FOR PERMIT	C.O.A
12	2024/05/14	ISSUED FOR PERMIT	C.O.A
11	2024/04/19	ISSUED FOR PERMIT	C.O.A
10	2024/03/27	ISSUED FOR PERMIT	C.O.A
9	2024/03/13	ISSUED FOR PERMIT	C.O.A
8	2024/02/27	ISSUED FOR PERMIT	C.O.A
7	2024/02/15	ISSUED FOR PERMIT	C.O.A
6	2024/02/06	ISSUED FOR PERMIT	C.O.A
5	2024/02/05	ISSUED FOR REVIEW	CLIENT

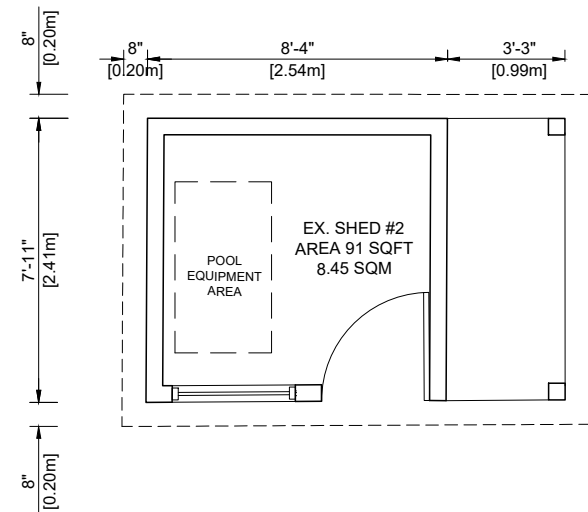
PROJECT: POOL PERMIT
ADDRESS: 43 ROXANA AVE, WOODBRIDGE, VAUGHAN

DRAWING TITLE: SITE PLAN

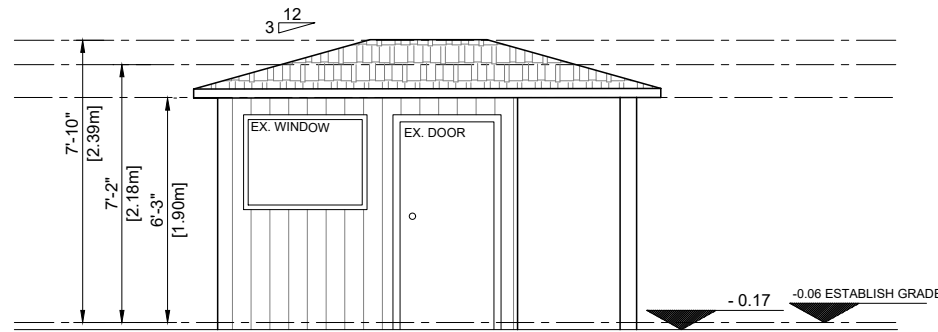
JOB DATE : DEC 2023	DRAWN BY: HOUMAN M.
JOB NO : 23360	CHECKED BY: MAHSHAD M.
PAGE NO : A-01	APPROVED BY: FARZIN F.R.
	SCALE: AS SHOWN
	REV NO : REV 14



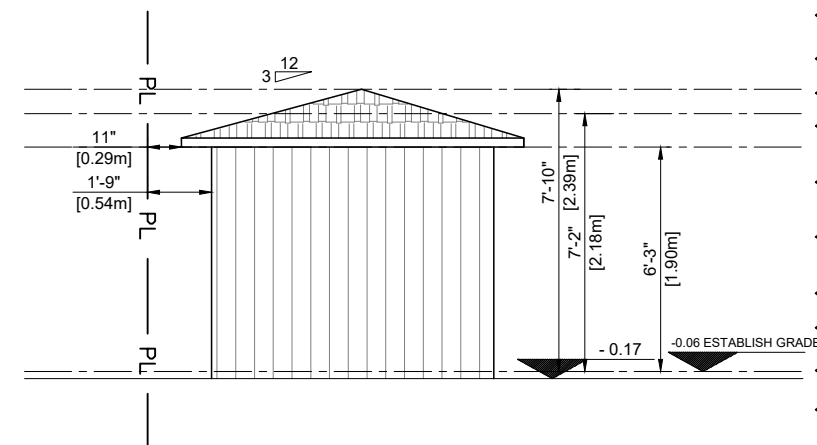
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EX. SHE #2 PLAN
SCALE 3/16" = 1'-0"

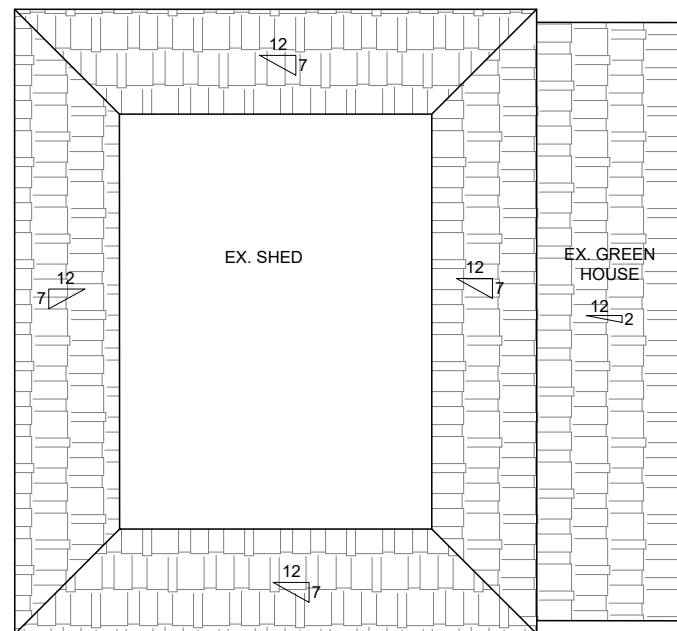


EX. SHED #2 EAST ELEVATIONS
SCALE 3/16" = 1'-0"



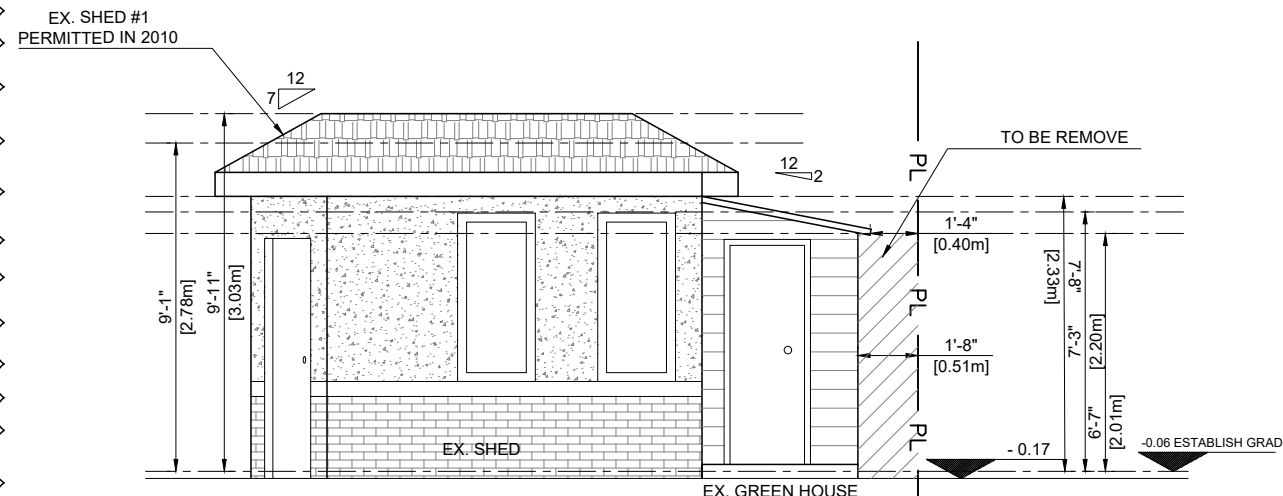
EX. SHED #2 SOUTH ELEVATIONS
SCALE 3/16" = 1'-0"

14



SLOPED ROOF 14.02 M² (60%)
FLAT AREA 9.29 M² (40%)
ROOF AREA 23.31 M²

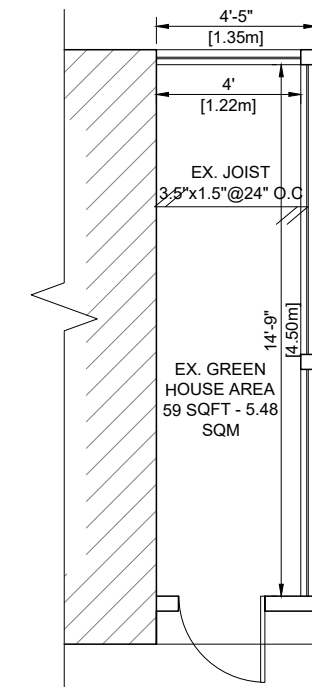
GREEN HOUSE AND SHED #1 ROOF PLAN
SCALE 3/16" = 1'-0"



NOTE:
THE ROOF DETERMINED AS A SLOPE ROOFED (14.02 M²) BECAUSE MORE THAN HALF OF THE AREA OF ROOF (23.31 M²) IS MORE THAN 15 DEGREES

PRESIDENTIAL ACCESSORY STRUCTURE WITH LESS THAN 2.8 SHALL NOT BE LOCATED CLOSER THAN 0.6 M TO ANY LOT LINE (4.1.2 - 1 - A)

EX. GREEN HOUSE AND SHED #1 EAST ELEVATION
SCALE 3/16" = 1'-0"



EX. GREEN HOUSE PLAN
SCALE 3/16" = 1'-0"

14

REV	DATE	DESCRIPTION	NOTE
14	2024/05/21	ISSUED FOR PERMIT	C.O.A
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12	2024/05/14	ISSUED FOR PERMIT	C.O.A
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10	2024/03/27	ISSUED FOR PERMIT	C.O.A
9	2024/03/13	ISSUED FOR PERMIT	C.O.A
8	2024/02/27	ISSUED FOR PERMIT	C.O.A
7	2024/02/15	ISSUED FOR PERMIT	C.O.A
6	2024/02/06	ISSUED FOR PERMIT	C.O.A
5	2024/02/05	ISSUED FOR REVIEW	CLIENT

PROJECT: POOL PERMIT

ADDRESS: 43 ROXANA AVE, WOODBRIDGE, VAUGHAN

DRAWING TITLE: EX. SHED AND GREEN HOUSE PLAN AND ELEVATION

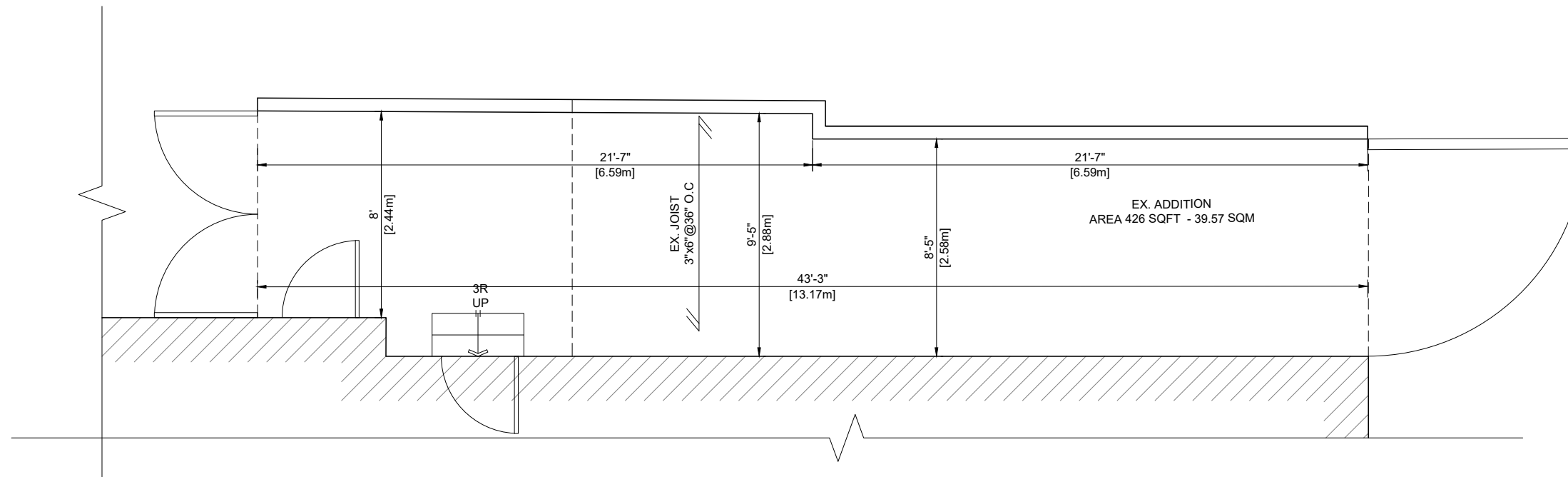
JOB DATE: DEC 2023
DRAWN BY: HOUMAN M.
CHECKED BY: MAHSHAD M.

JOB NO: 23360
APPROVED BY: FARZIN F.R.
SCALE: AS SHOWN

PAGE NO: A-02
REV NO: REV 14



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EX. ADDITION PLAN

SCALE $\frac{3}{16}'' = 1'-0''$

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14	2024/05/21	ISSUED FOR PERMIT	C.O.A
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6	2024/02/06	ISSUED FOR PERMIT	C.O.A
5	2024/02/05	ISSUED FOR REVIEW	CLIENT

PROJECT: POOL PERMIT

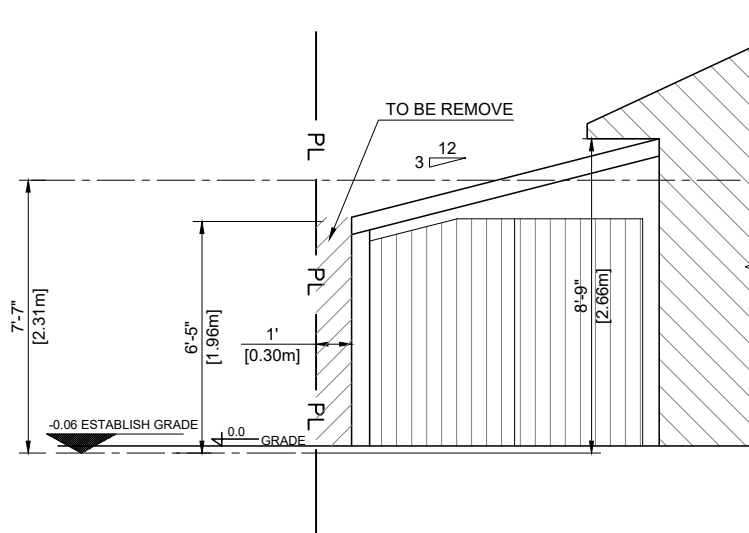
ADDRESS: 43 ROXANA AVE, WOODBRIDGE, VAUGHAN

DRAWING TITLE: EX. ADDITION PLAN AND ELEVATION

JOB DATE: DEC 2023
DRAWN BY: HOUMAN M.
CHECKED BY: MAHSHAD M.

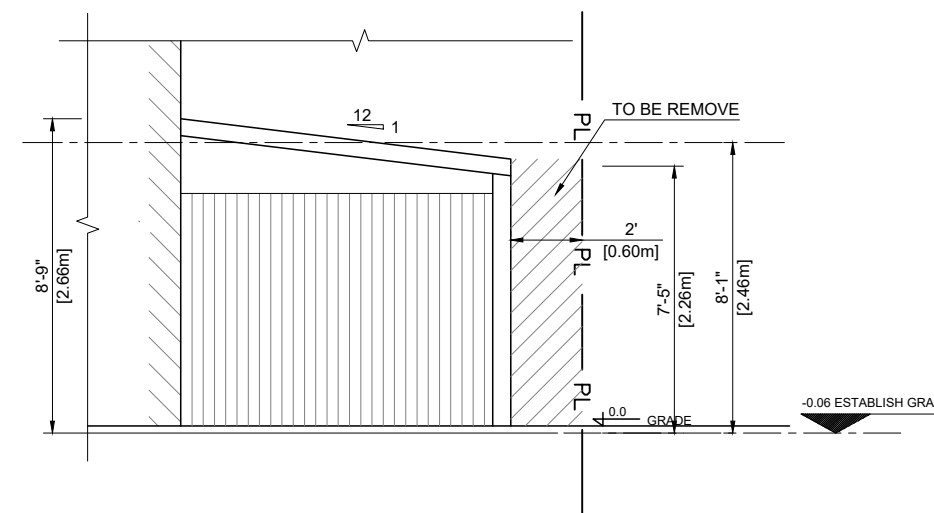
JOB NO: 23360
APPROVED BY: FARZIN F.R.
SCALE: AS SHOWN

PAGE NO: A-03
REV NO: REV 14



EX. ADDITION NORTH ELEVATION

SCALE $\frac{3}{16}'' = 1'-0''$



EX. ADDITION NORTH ELEVATION

SCALE $\frac{3}{16}'' = 1'-0''$

**SCHEDULE B:
COMMENTS FROM AGENCIES, BUILDING STANDARDS &
DEVELOPMENT PLANNING**

Department / Agency <small>*Comments Received</small>	Conditions Required		Nature of Comments
Building Standards (Zoning) *See Schedule B	Yes <input type="checkbox"/>	No <input type="checkbox"/>	General Comments
Development Planning	Yes <input checked="" type="checkbox"/>	No <input type="checkbox"/>	Recommend Approval w/Conditions

External Agencies <small>*Comments Received</small>	Conditions Required		Nature of Comments <small>*See Schedule B for full comments</small>
Alectra	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>	General Comments
TRCA	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>	General Comments
Region of York	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>	General Comments

Date: April 10th 2024

Attention: **Christine Vigneault**

RE: Request for Comments

File No.: **A003-24**

Related Files:

Applicant Permit Man

Location 43 Roxanna Avenue

COMMENTS:

- We have reviewed the proposed Variance Application and have no comments or objections to its approval.
- We have reviewed the proposed Variance Application and have no objections to its approval, subject to the following comments (attached below).
- We have reviewed the proposed Variance Application and have the following concerns (attached below).

Alectra Utilities (formerly PowerStream) has received and reviewed the proposed Variance Application. This review, however, does not imply any approval of the project or plan.

All proposed billboards, signs, and other structures associated with the project or plan must maintain minimum clearances to the existing overhead or underground electrical distribution system as specified by the applicable standards, codes and acts referenced.

In the event that construction commences, and the clearance between any component of the work/structure and the adjacent existing overhead and underground electrical distribution system violates the Occupational Health and Safety Act, the customer will be responsible for 100% of the costs associated with Alectra making the work area safe. All construction work will be required to stop until the safe limits of approach can be established.

In the event construction is completed, and the clearance between the constructed structure and the adjacent existing overhead and underground electrical distribution system violates the any of applicable standards, acts or codes referenced, the customer will be responsible for 100% of Alectra's cost for any relocation work.

References:

- Ontario Electrical Safety Code, latest edition (Clearance of Conductors from Buildings)
- Ontario Health and Safety Act, latest edition (Construction Protection)
- Ontario Building Code, latest edition (Clearance to Buildings)
- PowerStream(Construction Standard 03-1, 03-4, 03-9), attached
- Canadian Standards Association, latest edition (Basic Clearances)

If more information is required, please contact either of the following:

Stephen Cranley, C.E.T

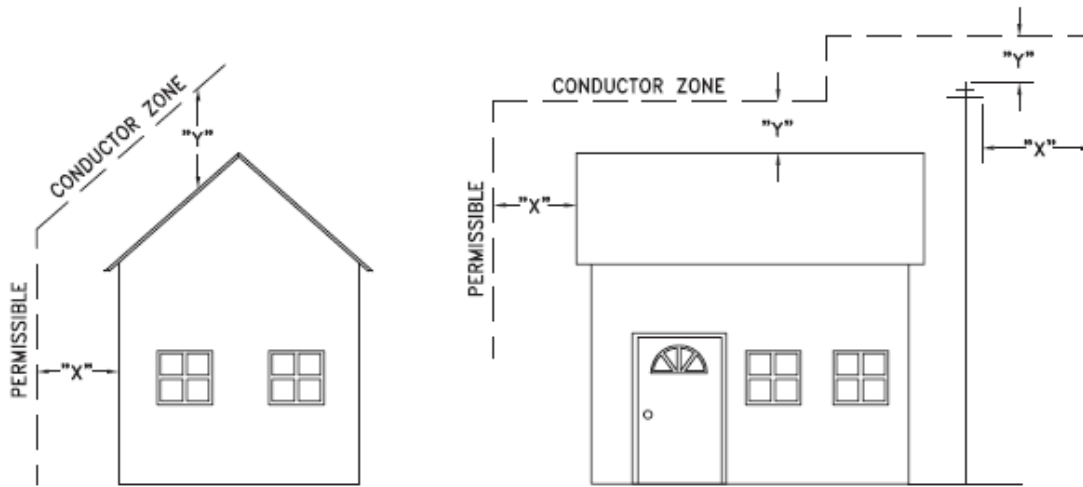
Mitchell Penner

Supervisor, Distribution Design, ICI & Layouts (North)
Phone: 1-877-963-6900 ext. 31297

Supervisor, Distribution Design-Subdivisions
Phone: 416-302-6215

E-mail: stephen.cranley@alecrautilities.com

Email: Mitchell.Penner@alecrautilities.com



VOLTAGE	MINIMUM HORIZONTAL CLEARNACE UNDER MAXIMUM SWING CONDITIONS DIMENSION "X" (SEE NOTES 1, 3 & 4)	MINIMUM VERTICAL CLEARANCE UNDER MAXIMUM DESIGN SAG CONDITIONS DIMENSION "Y" (SEE NOTES 1, 2, 4 & 5)
0-600V AND NEUTRAL	100cm	250cm
4.16/2.4 TO 44kV	300cm	480cm

NOTES

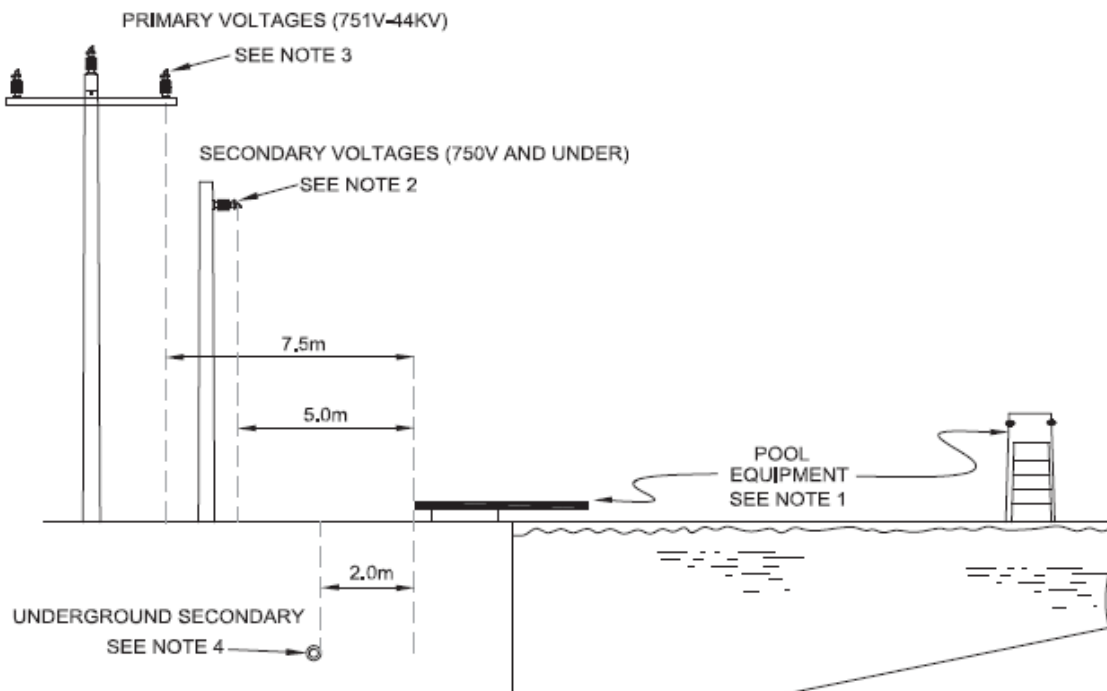
1. UNDER NO CIRCUMSTANCES SHALL A CONDUCTOR BE PERMITTED TO PENETRATE THE ENVELOPE SHOWN BY THE DOTTED LINE.
2. THE VERTICAL CLEARANCES ARE UNDER CONDITIONS OF MAXIMUM DESIGN SAG.
3. THE HORIZONTAL CLEARANCES ARE UNDER CONDITIONS OF MAXIMUM SWING. WHERE THE CONDUCTOR SWING IS NOT KNOWN A HORIZONTAL CLEARANCE OF 480CM SHALL BE USED.
4. BUILDINGS THAT EXCEED 3 STOREYS OR 15M IN HEIGHT, THE MINIMUM HORIZONTAL CLEARANCE OF THE SECONDARY CONDUCTORS SHOULD BE INCREASED TO 300cm WHERE IT IS NECESSARY TO ALLOW FOR THE RAISING OF LADDERS BY LOCAL FIRE DEPARTMENTS.
5. IN SITUATIONS SUCH AS MULTI-LEVEL GARAGES, WHERE ROOFS ARE NORMALLY USED BY PERSONS AND VEHICLES, THE VERTICAL CLEARANCES OF POWERSTREAM STANDARD 03-1 SHALL APPLY.
6. DISTRIBUTION LINES CONSTRUCTED NEAR BUILDINGS SHALL BE BUILT TO AVOID OVERHANG WHEREVER POSSIBLE. WHERE LINES MUST BE CONSTRUCTED OVER OR ADJACENT TO BUILDINGS THE APPLICABLE HORIZONTAL AND VERTICAL CLEARANCES SHALL BE AT CONDITIONS OF MAXIMUM CONDUCTOR SWING AND MAXIMUM SAG. THE ABOVE CLEARANCES ARE DESIGNED TO PREVENT PERSONS ON OR IN BUILDINGS AS WELL AS EXTERNAL MACHINERY USED IN CONJUNCTION WITH A BUILDING TO COME IN CONTACT WITH CONDUCTORS. EFFORTS SHOULD BE MADE TO INCREASE THESE CLEARANCES WHERE POSSIBLE.
7. ALL CLEARANCES ARE IN ACCORDANCE TO CSA C22.3 NO.1-06 (TABLE-9).

METRIC	IMPERIAL (APPROX)
480cm	16'-0"
300cm	10'-0"
250cm	8'-4"
100cm	3'-4"

MINIMUM VERTICAL & HORIZONTAL CLEARANCES OF CONDUCTORS FROM BUILDINGS OR OTHER PERMANENT STRUCTURES (CONDUCTORS NOT ATTACHED TO BUILDINGS)

Certificate of Approval
This construction Standard meets the safety requirements of Section 4 of Regulation 22/04
Debbie Dadwani, P.Eng. 2010-MAY-05
Name Date
P.Eng. Approval By: D. Dadwani

ORIGINAL ISSUE DATE: 2010-MAY-05 REVISION NO: REVISION DATE:
PS\System Planning and Standards\Standard Design\PowerStream Standards\PowerStream Standards working folder\Section 23-4\DWG 03-4 R0 May 5, 2010.dwg, 5/5/2010 9:22:02 AM, Adobe PDF



NOTES:

1. ANY STRUCTURE WITHIN 5.0 METRES OF POOL EDGE SHALL BE CONSIDERED PART OF THE POOL.
2. THERE SHALL NOT BE ANY OVERHEAD SECONDARY OR COMMUNICATION WIRING (750V OR LESS) ABOVE THE POOL, AND ABOVE OTHER ELEVATED SURFACES ASSOCIATED WITH THE POOL, INCLUDING BUT NOT RESTRICTED TO A DIVING STRUCTURE, SLIDE, SWINGS, OBSERVATION STAND, TOWER OR PLATFORM, OR ABOVE THE ADJACENT AREA EXTENDING 5.0M HORIZONTALLY FROM THE POOL EDGE.
3. THERE SHALL NOT BE ANY OVERHEAD PRIMARY WIRING (751V - 44KV) ABOVE THE POOL AND OTHER ELEVATED SURFACES ASSOCIATED WITH THE POOL, OR ABOVE THE ADJACENT AREA EXTENDING 7.5M HORIZONTALLY FROM THE POOL EDGE.
4. ANY UNDERGROUND CONDUCTORS SHALL BE 2.0M AWAY FROM POOL EDGE IN DUCT WITH NON-CONDUCTING JACKET. FOR DEPTH AND DUCT DETAILS REFER TO FIGURE 3 IN 25-100 FOR 200A SERVICE AND 25-101 FOR 400A SERVICE RESPECTIVELY, AS PER POWERSTREAM SERVICE DESIGN SPECIFICATIONS.
5. THESE DIMENSIONS APPLY TO ALL SIDES OF THE POOL.

CONVERSION TABLE	
METRIC	IMPERIAL (APPROX.)
7.5m	24'-6"
5.0m	16'-3"
2.0m	6'-6"

REFERENCES

FIGURE 3, 25-100	SECTION 25
FIGURE 3, 25-101	SECTION 25

Certificate of Approval

This construction Standard meets the safety requirements of Section 4 of Regulation 22/04

Joe Crozier, P.Eng.	2013-JUN-12
Name	Date
P.Eng. Approval By:	Joe Crozier

MINIMUM CLEARANCES FOR CONDUCTORS ADJACENT TO SWIMMING POOLS

ORIGINAL ISSUE DATE: 2013-JUNE-12 REVISION NO: R0 REVISION DATE:

To: Committee of Adjustment

From: Bernd Paessler, Building Standards Department

Date: May 28, 2024

Applicant: Permit Man

Location: 43 Roxana Avenue
PLAN 65M2155 Lot 40

File No.(s): A003/24

Zoning Classification:

The subject lands are zoned R4(EN) 4th Density Residential Zone (Established Neighbourhood) under Zoning By-law 001-2021, as amended.

#	Zoning By-law 001-2021	Variance requested
1	An accessory building or residential accessory structure (shed # 2) shall not be located closer to a front lot line or an exterior side lot line than the principal building on the lot. Section 4.1.2 1c	To permit the residential accessory structure (Shed # 2) to be located closer to the exterior side lot line than the principal building in the location shown on the site plan.
2	An accessory building and residential accessory structure (shed # 2) shall be subject to the exterior side yard requirements for the principal building on the lot of 4.5m. Section 4.1.2 1a	To permit a minimum exterior side yard of 0.54m for the residential accessory structure (shed 2).
3	In the R1, R1A, R1B, R1C, R1D, R1E, R2, R2A, R3, R4, R5 and RT Zones, any portion of a yard in excess of 135 square metres shall be comprised of a minimum 60% soft landscape. Section 4.19.1 1	To permit the portion of the rear yard in excess of 135 square metres to be comprised of 42% soft landscape.
4	Unless otherwise expressly permitted by this By-law, a minimum distance of 0.6 m shall be required from any permitted encroachment to the nearest lot line Section 4.13 3	To permit the eaves of the residential accessory structure (shed #2) to be located a minimum of 0.29m from the exterior lot line.
5	In no case shall the outdoor swimming pool be located closer to an exterior side lot line than the dwelling. Section 4.21.5	To permit the outdoor swimming pool to be located closer to the exterior lot line than the dwelling in the location shown on the site plan.
6	The maximum driveway width on a lot with a lot frontage of 12.0m or greater is 9.0m. Section 6.7.3 Table 6-11	To permit a maximum driveway width of 9.16m.
7	A residential accessory structure (Shed # 1) with a height greater than 2.8 m shall not be located closer than 2.4 m to any lot line. Section 4.1.2 1b	To permit a residential accessory structure (Shed # 1) with a height greater than 2.8m to be setback 0.51m from the rear lot line.
8	A residential accessory structure (Shed # 1) with a height greater than 2.8 m shall not be located closer than 2.4 m to any lot line. Section 4.1.2 1b	To permit a residential accessory structure (Shed # 1) with a height greater and 2.8m to be setback 0.78m from the interior lot line.
9	The minimum required interior side yard for the existing addition is 0.60m. Section 7.2.4 Table 7-5	To permit a minimum interior side yard of 0.30m for the existing addition.

Staff Comments:

Stop Work Order(s) and Order(s) to Comply:

There are no outstanding Orders on file

Building Permit(s) Issued:

A Building Permit has not been issued. The Ontario Building Code requires a building permit for structures that exceed 10m²

Other Comments:

General Comments	
1	The applicant shall be advised that additional variances may be required upon review of detailed drawing for building permit/site plan approval.

Conditions of Approval:

If the committee finds merit in the application, the following conditions of approval are recommended.

* Comments are based on the review of documentation supplied with this application.

To: Christine Vigneault, Committee of Adjustment Secretary Treasurer
From: Nancy Tuckett, Director of Development Planning
Date: June 12, 2024
Name of Owners: Sandra Santos and Maria Rosa Barbieri
Location: 43 Roxana Avenue
File No.: A003/24

Proposed Variances (By-law 001-2021):

1. To permit the residential accessory structure (Shed # 2) to be located closer to the exterior side lot line than the principal building in the location shown on the site plan.
2. To permit a minimum exterior side yard of **0.54 m** for the residential accessory structure (Shed #2).
3. To permit the portion of the rear yard in excess of 135 square metres to be comprised of **42%** soft landscape.
4. To permit the eaves of the residential accessory structure (Shed #2) to be located a minimum of **0.29 m** from the exterior lot line.
5. To permit the outdoor swimming pool to be located closer to the exterior lot line than the dwelling in the location shown on the site plan.
6. To permit a maximum driveway width of **9.16 m**.
7. To permit a residential accessory structure (Shed # 1) with a height greater than **2.8 m** to be setback **0.51 m** from the rear lot line.
8. To permit a residential accessory structure (Shed # 1) with a height greater than **2.8 m** to be set back **0.78 m** from the interior lot line.
9. To permit a minimum interior side yard of **0.30 m** for the existing addition.

By-Law Requirements (By-law 001-2021):

1. An accessory building or residential accessory structure (Shed # 2) shall not be located closer to a front lot line or an exterior side lot line than the principal building on the lot.
2. An accessory building and residential accessory structure (Shed # 2) shall be subject to the exterior side yard requirements for the principal building on the lot of **4.5 m**.
3. In the R1, R1A, R1B, R1C, R1D, R1E, R2, R2A, R3, R4, R5 and RT Zones, any portion of a yard in excess of 135 square metres shall be comprised of a minimum **60%** soft landscape.
4. Unless otherwise expressly permitted by this By-law, a minimum distance of **0.6 m** shall be required from any permitted encroachment to the nearest lot line.
5. In no case shall the outdoor swimming pool be located closer to an exterior side lot line than the dwelling.
6. The maximum driveway width on a lot with a lot frontage of **12.0 m** or greater is **9.0 m**.
7. A residential accessory structure (Shed # 1) with a height greater than **2.8 m** shall not be located closer than **2.4 m** to any lot line.
8. A residential accessory structure (Shed # 1) with a height greater than **2.8 m** shall not be located closer than **2.4 m** to any lot line.
9. The minimum required interior side yard for the existing addition is **0.60 m**.

Official Plan:

Vaughan Official Plan 2010 ('VOP 2010'): "Low-Rise Residential"

Comments:

The Owners are requesting relief to permit two (2) existing residential accessory sheds, as well as an existing in-ground pool in the rear yard, and an existing addition located in the east interior side yard of 43 Roxana Avenue, with the above noted variances.

The Development Planning Department has no objection to Variances 1, 2, & 4 to permit the existing accessory structure (Shed #2). Shed #2 is located within the fenced-off area portion of the exterior side yard. The shed complies with the maximum height and lot coverage requirements for accessory structures in Zoning By-law 001-2021. The proposed minimum setbacks from the exterior side lot line are not anticipated to pose significant adverse impacts to the abutting street (Northlane Road) as the eaves and gutters do not overhang outside of the property line, and sufficient space for maintenance and safe access is provided. Additionally, sufficient spatial separation is provided between it and the dwelling to maintain its appearance as a separate and distinct building from the dwelling. The Development Engineering ('DE') Department have also reviewed the proposal and are satisfied that drainage will be maintained. As such, staff are of the opinion that Shed #2 will have minor massing and visual (privacy) impacts on the existing streetscapes of Northlane Road and Roxana Avenue.

The Development Planning Department has no objections for the proposed reduction in soft landscaping in the rear yard (Variance 3). Approximately 70.27 m² of soft landscaping in the form of river rock is proposed around the perimeter of the rear yard that will allow for stormwater to infiltrate and provide a distinct break from the existing hardscape in the rear yard. DE Staff have also reviewed the application and do not have any concerns regarding drainage in the rear yard.

The Development Planning Department has no objection to Variance 5 to permit the existing in-ground pool located in the south-west portion of what functions as the greater rear yard, closer to the exterior lot line than the principal dwelling. The majority of the existing pool is located behind the west wall of the dwelling and does not adversely impact the visual prominence of the dwelling. The existing in-ground pool also complies with the minimum exterior side yard and rear yard setback requirements of Zoning By-law 001-2021.

The Development Planning Department has no objection to Variance 6 to permit a maximum driveway width of 9.16 m. The 0.16 m increase is negligible from a visual perspective and the existing landscaped areas in the front yard exceed the requirements of Zoning By-law 001-2021.

The Development Planning Department has no objection to Variances 7 and 8 to permit the attached sunroom at the rear of Shed #1. The shed is located in the southeast corner of the rear yard and was previously approved through Minor Variance Application A090/10 with a minimum rear yard setback of 1.5 m and a minimum interior side yard setback of 0.6 m. The attached sunroom to the accessory shed exceeds the approved minimum interior side yard setback (as approved through File A090/10) and encroaches into the minimum required rear yard (by 0.99 m). The sunroom addition presents with minimal mass and is within the height and coverage requirements of Zoning By-law 001-2021. The 0.51 metre setback provides sufficient space for safe maintenance and access. The greenhouse wall facing the rear lot line is modest in height, its roof has a modest slope, and there is no eave overhang onto the neighbouring properties. Anticipated massing impacts resulting from the east wall's proximity to the interior side lot line is partially mitigated by the existing tall wooden privacy fence. In addition, the abutting property to the rear (48 Northlane Road) has an accessory building facing Shed #1, which assists in alleviating any perceived massing impacts on the abutting property.

Development Planning Staff have no objection to Variance 9 to permit a reduced interior side yard setback for the existing addition to the dwelling (carport). The carport is used to house a vehicle and is set back from the front wall of the dwelling that alleviates any perceived massing or use impacts on the existing streetscape. At the request of the Development Planning Department, the Owner has proposed to increase the interior side yard setback to 0.6 m along approximately half of its total length. The requested 0.3 m encroachment into the required interior side yard is requested only at the front of the carport to allow for the maneuvering of a vehicle around the existing bump-out on the east wall of the primary dwelling. The rear half of the carport maintains a 0.6 m setback and complies with the requirements of Zoning By-law 001-2021. The carport also complies with the maximum building height and lot coverage requirements of Zoning By-law 001-2021. The carport is a single storey structure of modest height, with a more modest wall height facing the abutting neighbouring property to the east (39 Roxanna Avenue) due to the slope of its roof. As such, the carport provides sufficient space for safe access and maintenance and is not anticipated to have adverse use (privacy) or massing impacts on the neighbouring property to the east (39 Roxana Avenue), or the existing streetscape and surrounding neighbourhood.

Accordingly, the Development Planning Department supports the requested variances and are of the opinion that the proposal is minor in nature, maintains the general intent and purpose of the Official Plan and Zoning By-law, and is desirable for the appropriate development of the land.

Recommendation:

The Development Planning Department recommends approval of the application with the following conditions:

Condition of Approval:

If the Committee finds merit in the application, the following condition of approval is recommended:

1. That prior to the issuance of a Building Permit, the Owners shall provide photographic evidence to the satisfaction of Development Planning Staff that the four (4) trees proposed in the front yard are planted.

Comments Prepared by:

Nicholas Del Prete, Planner 1
Mark Antoine, Senior Manager





POOL
rules
RELAX
SWIM
ENJOY

HAYWARD









Grow
through
what you
go
through

Home
is where you
plant
your feet





pool
rules
•RELAX
•SWIM
•ENJOY



RELAX
SWIM
ENJOY













welcome to our home







kind ★

others

grace ★



















welcome to our home

Lenore Providence

Subject: FW: [External] RE: A003/24 (43 Roxanna Avenue) - REQUEST FOR COMMENTS, CITY OF VAUGHAN

From: Kristen Regier <Kristen.Regier@trca.ca>

Sent: Friday, April 5, 2024 3:35 PM

To: Committee of Adjustment <CofA@vaughan.ca>

Subject: [External] RE: A003/24 (43 Roxanna Avenue) - REQUEST FOR COMMENTS, CITY OF VAUGHAN

CAUTION! This is an external email. Verify the sender's email address and carefully examine any links or attachments before clicking. If you believe this may be a phishing email, please use the Phish Alert Button.

Hello,

The subject property at 43 Roxanna Avenue, Vaughan is not located within TRCA's Regulated Area. TRCA's Planning and Regulatory policy interests are not impacted.

As such, TRCA has no comments on the application.

Best,

Kristen Regier, MA (she / her)

Planner

Development Planning and Permits | Development and Engineering Services

Toronto and Region Conservation Authority (TRCA)

T: [437-880-2129](tel:437-880-2129)

E: kristen.regier@trca.ca

A: [101 Exchange Avenue, Vaughan, ON, L4K 5R6](https://www.trca.ca) | [trca.ca](https://www.trca.ca)



Pravina Attwala

Subject: FW: [External] RE: A003/24 (43 Roxanna Avenue) - REQUEST FOR COMMENTS, CITY OF VAUGHAN

From: Development Services <developmentsservices@york.ca>
Sent: Tuesday, April 9, 2024 5:36 PM
To: Lenore Providence <Lenore.Providence@vaughan.ca>
Cc: Committee of Adjustment <CofA@vaughan.ca>
Subject: [External] RE: A003/24 (43 Roxanna Avenue) - REQUEST FOR COMMENTS, CITY OF VAUGHAN

CAUTION! This is an external email. Verify the sender's email address and carefully examine any links or attachments before clicking. If you believe this may be a phishing email, please use the Phish Alert Button.

Hi Lenore,

The Regional Municipality of York has completed its review of the minor variance application – A003/24 (43 Roxanna Avenue) and has no comment.

Please provide us with a digital copy of the notice of decision for our records.

Many thanks,

Our working hours may be different. Please do not feel obligated to reply outside of your scheduled working hours. Let's work together to help foster healthy work-life boundaries.

Niranjan Rajevan, M.Pl. | Associate Planner, Development Services, Planning and Economic Development, Corporate Services

The Regional Municipality of York | 17250 Yonge Street | Newmarket, ON L3Y 6Z1
1-877-464-9675 ext. 71521 | niranjan.rajevan@york.ca | www.york.ca

Our Values: Integrity, Commitment, Accountability, Respect, Excellence



Our Mission: **Working together to serve our thriving communities – today and tomorrow**

Please consider the environment before printing this email.

SCHEDULE C: PUBLIC & APPLICANT CORRESPONDENCE

Correspondence Type	Name	Address	Date Received (mm/dd/yyyy)	Summary
Public	Claudia Monardo	48 Northlane Road	02/26/2024	Letter confirming no grading or drainage issues
Public	Olive McFarlane	39 Roxana Avenue	02/26/2024	Letter confirming no grading or drainage issues

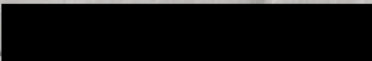
Received
February 26, 2024

CONSENT LETTER FROM NEIGHBOUR

Date: Feb 23 2024

Homeowner's name: Claudia Monardo

Homeowner's address: 48 Northlane Road

Homeowner's contact information
(e.g., email and/or phone number): 

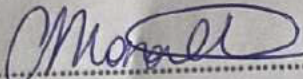
SUBJECT: COA REFERENCE FILE #:

NEIGHBOUR'S ACKNOWLEDGMENT LETTER FOR GREEN HOUSE
[Name/Type of Existing Structure]

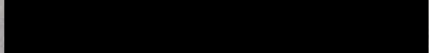
To: The City of Vaughan Development Engineering Department,

This is to confirm that I, Claudia Monardo (The Neighbour) residing at
48 Northlane Road (Neighbour's address)

have not experienced any grading and/or drainage adverse effects on my property and have no
objections to the presence of the CAR PORT
[Name/Type of Existing Structure].


Neighbour's Signature

Date Signed on (mm/dd/yy): 02/23/24

Neighbour's contact information (e.g., email and/or phone number): 

Received


February 26, 2024

CONSENT LETTER FROM NEIGHBOUR

Date: February 20, 2024

Homeowner's name: Olive McFARLANE

Homeowner's address: 39 Roxana Avenue, Woodbridge, Ontario, L4L3Y6

Homeowner's contact information (e.g., email and/or phone number): 

SUBJECT: COA REFERENCE FILE #:

NEIGHBOUR'S ACKNOWLEDGMENT LETTER FOR GREEN HOUSE
[Name/Type of Existing Structure]

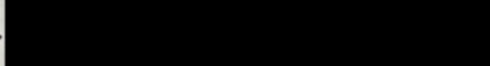
To: The City of Vaughan Development Engineering Department,

This is to confirm that I, OLIVE MCFARLANE (The Neighbour) residing at 39 Roxana Avenue, Woodbridge (Neighbour's address)

have not experienced any grading and/or drainage adverse effects on my property and have no objections to the presence of the CAR PORT
[Name/Type of Existing Structure].

Olive McFarlane
Neighbour's Signature

Date Signed on (mm/dd/yy): 02 / 20 / 24

Neighbour's contact information (e.g., email and/or phone number): 

SCHEDULE D: BACKGROUND

None