

ITEM: 6.14	COMMITTEE OF ADJUSTMENT REPORT SUMMARY MINOR VARIANCE APPLICATION FILE NUMBER A163/23 144 PIERRE BERTON BLVD KLEINBURG
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**THIS REPORT CONTAINS COMMENTS FROM THE FOLLOWING
DEPARTMENTS & AGENCIES:**

*Please see **Schedule B** of this report for a copy of Development Planning and Agency correspondence.

Additional comments from departments and agencies may be received after the publication of the Staff Report. These comments will be processed as an addendum and posted on the City's Website.

DEPARTMENTS	Circulated	Comments Received	Conditions	Nature of Comments
Committee of Adjustment	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	General Comments
Building Standards (Zoning Review)	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	General Comments
Building Inspection (Septic)	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	No Comments Received to Date
Development Planning	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	Recommend Approval/No Conditions
Development Engineering	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	Recommend Approval w/Conditions
Parks, Forestry and Horticulture Operations	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	Recommend Approval w/Conditions
By-law & Compliance, Licensing & Permits	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	No Comments Received to Date
Development Finance	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	General Comments
Real Estate	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Fire Department	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	No Comments Received to Date
AGENCIES	Circulated	Comments Received	Conditions	Nature of Comments
TRCA	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	No Comments Received to Date
Ministry of Transportation (MTO)	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Region of York	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	No Comments Received to Date
Alectra	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	General Comments
Bell Canada	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	No Comments Received to Date
YRDSB	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
YCDSB	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
CN Rail	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
CP Rail	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
TransCanada Pipeline	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	No Comments Received to Date
Metrolinx	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Propane Operator	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	

PUBLIC & APPLICANT CORRESPONDENCE

*Please see **Schedule C** of this report for a copy of the public & applicant correspondence listed below.

The deadline to submit public comments is **noon on the last business day prior to the scheduled hearing date.**

Comments and written public submissions received after the publication of this Staff Report will be processed as an addendum and posted on the City's Website.

All personal information collected because of this public meeting (including both written and oral submissions) is collected under the authority of the Municipal Act, the Municipal Freedom of Information and Protection of Privacy Act (MFIPPA), the Planning Act and all other relevant legislation, and will be used to assist in deciding on this matter. All personal information (as defined by MFIPPA), including (but not limited to) names, addresses, opinions and comments collected will become property of the City of Vaughan, will be made available for public disclosure (including being posted on the internet) and will be used to assist the Committee of Adjustment and staff to process this application.

Correspondence Type	Name	Address	Date Received (mm/dd/yyyy)	Summary
None				

PREVIOUS COA DECISIONS ON THE SUBJECT LAND

*Please see **Schedule D** for a copy of the Decisions listed below

File Number	Date of Decision MM/DD/YYYY	Decision Outcome

PREVIOUS COA DECISIONS ON THE SUBJECT LAND

*Please see Schedule D for a copy of the Decisions listed below

None		
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ADJOURNMENT HISTORY

* Previous hearing dates where this application was adjourned by the Committee and public notice issued.

None	
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**COMMITTEE OF ADJUSTMENT REPORT
MINOR VARIANCE APPLICATION
A163/23
144 PIERRE BERTON BLVD KLEINBURG**

ITEM NUMBER: 6.14	CITY WARD #: 1
APPLICANT:	Kevin [REDACTED] and Krista Gallant
AGENT:	None
PROPERTY:	144 Pierre Berton Blvd, Kleinburg
ZONING DESIGNATION:	See below.
VAUGHAN OFFICIAL PLAN (2010) DESIGNATION:	Vaughan Official Plan 2010 ('VOP 2010'): "KN Low-Rise Residential I" by Volume 2, Section 11.8 – North Kleinburg Nashville Secondary Plan.
RELATED DEVELOPMENT APPLICATIONS:	None
PURPOSE OF APPLICATION:	Relief from the Zoning By-law is being requested to permit a proposed swimming pool and the location of related pool equipment in the easterly side yard.

The following variances have been requested from the City's Zoning By-law:

The subject lands are zoned R3, Third Density Residential Zone, subject to the provisions of Exception 14.1040 under Zoning By-law 001-2021.

#	Zoning By-law 001-2021	Variance requested
1	In no case shall the outdoor swimming pool be located closer to an exterior side lot line than the dwelling. [4.21.5]	To permit an outdoor swimming pool be located closer to an exterior side lot line than the dwelling (1.52 m exterior side yard setback).
2	A maximum encroachment of 0.6 m is permitted into the minimum required interior side yard of 1.2 m for ground-mounted pool equipment.	To permit a maximum encroachment of 0.9 m into the minimum required interior side yard of 1.2 m for ground-mounted pool equipment.

The subject lands are zoned RD3, Residential Detached Zone Three, subject to the provisions of Exception 9(1413) under Zoning By-law 1-88, as amended.

	Zoning By-law 1-88	Variance requested
3	Notwithstanding Subsection 3.16, a private swimming pool shall not be located nearer to any exterior side lot line than the required setback of the main dwelling unit on the lot. A minimum exterior side yard setback of 4.5 m is required for the private swimming pool. [4.1.1 i)]	To permit a private swimming pool to be setback 1.52 m from the exterior side lot line.
4	External ground-mounted heat pump units shall be permitted in the interior side yard with a minimum setback of 0.6 m from the interior side lot line. [3.14 h)]	To permit pool equipment on a pad, uncovered and unenclosed, to be setback a minimum of 0.3 m from the interior side lot line.

HEARING INFORMATION

DATE OF MEETING: Thursday, November 16, 2023
TIME: 6:00 p.m.
MEETING LOCATION: Vaughan City Hall, Woodbridge Room (2nd Floor), 2141 Major Mackenzie Drive
LIVE STREAM LINK: Vaughan.ca/LiveCouncil

PUBLIC PARTICIPATION

If you would like to speak to the Committee of Adjustment at the meeting, either remotely or in person, please complete the [Request to Speak Form](#) and submit to cofa@vaughan.ca

HEARING INFORMATION

If you would like to submit written comments, please quote file number above and submit by mail or email to:

Email: cofa@vaughan.ca

Mail: City of Vaughan, Office of the City Clerk, Committee of Adjustment, 2141 Major Mackenzie Drive, Vaughan, ON, L6A 1T1

To speak electronically, pre-registration is required by completing the [Request to Speak Form](#) on-line and submitting it to cofa@vaughan.ca no later than NOON on the last business day before the meeting.

THE DEADLINE TO REGISTER TO SPEAK ELECTRONICALLY OR SUBMIT WRITTEN COMMENTS ON THE ABOVE NOTED FILE(S) IS NOON ON THE LAST BUSINESS DAY BEFORE THE MEETING.

INTRODUCTION

Staff and Agencies act as advisory bodies to the Committee of Adjustment. The comments contained in this report are presented as recommendations to the Committee.

Section 45(1) of the Planning Act sets the criteria for authorizing minor variances to the City of Vaughan's Zoning By-law. Accordingly, review of the application may consider the following:

- That the general intent and purpose of the by-law will be maintained.
- That the general intent and purpose of the official plan will be maintained.
- That the requested variance(s) is/are acceptable for the appropriate development of the subject lands.
- That the requested variance(s) is/are minor in nature.

Public written and oral submissions relating to this application are taken into consideration by the Committee of Adjustment as part of its deliberations and final decision on this matter.

COMMITTEE OF ADJUSTMENT COMMENTS

Date Public Notice Mailed:	November 2, 2023	
Date Applicant Confirmed Posting of Sign:	October 29, 2023	
Applicant Justification for Variances: <small>*As provided by Applicant in Application Form</small>	To maximize space, aesthetics, and enjoyment of our backyard we have proposed a site plan requiring two minor variances: (1) a setback of 1.52 m (instead of 1.5 m) from the exterior lot line for the swimming pool; and (2) a setback of 0.3 m (instead of 0.6 m) from the interior lot line for the pool pump pad.	
Adjournment Requests (from staff): <small>*Adjournment requests provided to applicant prior to issuance of public notice</small>	None	
Was a Zoning Review Waiver (ZRW) Form submitted by Applicant: <small>*ZRW Form may be used by applicant in instances where a revised submission is made, and zoning staff do not have an opportunity to review and confirm variances prior to the issuance of public notice. *A revised submission may be required to address staff / agency comments received as part of the application review process. *Where a zoning review has not been completed on a revised submission, an opportunity is provided to the applicant to adjourn the proposal prior to the issuance of public notice.</small>	No	
Adjournment Fees: In accordance with Procedural By-law 069-2019, an Adjournment Fee is applicable to reschedule an application after the issuance of public notice where a request for adjournment has been provided to the applicant prior to the issuance of public notice. An Adjournment Fee can only be waived in instances where adjournment of an application is requested by the Committee or staff after the issuance of public notice.		
Committee of Adjustment Comments:	None	
Committee of Adjustment Recommended Conditions of Approval:	None	

BUILDING STANDARDS (ZONING) COMMENTS

**See Schedule B for Building Standards (Zoning) Comments

BUILDING STANDARDS (ZONING) COMMENTS

Building Standards Recommended Conditions of Approval:	None
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DEVELOPMENT PLANNING COMMENTS

**See Schedule B for Development Planning Comments.

Development Planning Recommended Conditions of Approval:	None
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DEVELOPMENT ENGINEERING COMMENTS

[Link to Grading Permit](#) [Link to Pool Permit](#) [Link to Curb Curt Permit](#) [Link Culvert Installation](#)

Development Engineering has advised moving the pool equipment from the sideyard to the backyard. Development Engineering performed a site assessment to determine the viability of relocating the pool equipment to the backyard. However, it was found that the proposed pool equipment necessitates a pool pad measuring 4' x 7', which is currently unavailable in the backyard.

The Owner / Applicant shall apply for a Pool Grading Permit with the Development Engineering (DE) Department. Please visit the grading permits page at City of Vaughan website to learn how to apply for the Pool Permit. If you have any question about Pool Grading Permit, please contact the Development Engineering Department through email at DEPermits@vaughan.ca.

The proposed work by the Owner / Applicant is increasing the lot coverage on the subject property. The added hardscape may have impacts on the City's Storm Water management system. Development Engineering strongly encourages the Owner / Applicant introduce Low-Impact Development (LID) measures (e.g., bioswales, permeable pavers, rain gardens, rain barrels etc.) to reduce the impacts to the stormwater system. Should further information be required, please contact the Development Engineering COA reviewer.

The Development Engineering Department does not object to the Minor Variance application A163/23.

Development Engineering Recommended Conditions of Approval:	None
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PARKS, FORESTRY & HORTICULTURE (PFH) COMMENTS

Forestry: Comments with condition

PFH Recommended Conditions of Approval:	Tree protection & preservation methods must be followed according to City of Vaughan By-law 052-2018. Tree protection hoarding must be installed around side yard boulevard trees.
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DEVELOPMENT FINANCE COMMENTS

No comment no concerns

Development Finance Recommended Conditions of Approval:	None
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BY-LAW AND COMPLIANCE, LICENSING AND PERMIT SERVICES COMMENTS

No comments received to date

BCLPS Recommended Conditions of Approval:	None
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BUILDING INSPECTION (SEPTIC) COMMENTS

No comments received to date

Building Inspection Recommended Conditions of Approval:	None
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FIRE DEPARTMENT COMMENTS

No comments received to date

Fire Department Recommended Conditions of Approval:	None
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SCHEDULES TO STAFF REPORT

*See Schedule for list of correspondence

Schedule A	Drawings & Plans Submitted with the Application
Schedule B	Staff & Agency Comments
Schedule C (if required)	Correspondence (Received from Public & Applicant)
Schedule D (if required)	Previous COA Decisions on the Subject Land

Should the Committee find it appropriate to approve this application in accordance with request and the sketch submitted with the application, as required by Ontario Regulation 200/96, the following conditions have been recommended:

SUMMARY OF RECOMMENDED CONDITIONS OF APPROVAL

All conditions of approval, unless otherwise stated, are considered to be incorporated into the approval “if required”. If a condition is no longer required after an approval is final and binding, the condition may be waived by the respective department or agency requesting conditional approval. A condition cannot be waived without written consent from the respective department or agency.

#	DEPARTMENT / AGENCY	CONDITION(S) DESCRIPTION
1	Parks, Forestry and Horticulture Operations zachary.quizzetti@vaughan.ca	Tree protection & preservation methods must be followed according to City of Vaughan By-law 052-2018. Tree protection hoarding must be installed around side yard boulevard trees.

IMPORTANT INFORMATION – PLEASE READ

CONDITIONS: It is the responsibility of the owner/applicant and/or authorized agent to obtain and provide a clearance letter from respective department and/or agency (**see condition chart above for contact**). This letter must be provided to the Secretary-Treasurer to be finalized. All conditions must be cleared prior to the issuance of a Building Permit.

APPROVALS: Making any changes to your proposal after a decision has been made may impact the validity of the Committee’s decision.

An approval obtained from the Committee of Adjustment, where applicable, is tied to the building envelope shown on the plans and drawings submitted with the application and subject to the variance approval.

A building envelope is defined by the setbacks of the buildings and/or structures shown on the plans and drawings submitted with the application, as required by Ontario Regulation 200/96. Future development outside of an approved building envelope, where a minor variance was obtained, must comply with the provisions of the City’s Zoning By-law.

Elevation drawings are provided to reflect the style of roof (i.e. flat, mansard, gable etc.) to which a building height variance has been applied. Where a height variance is approved, building height is applied to the style of roof (as defined in the City’s Zoning By-law) shown on the elevation plans submitted with the application.

Architectural design features that are not regulated by the City’s Zoning By-law are not to be considered part of an approval unless specified in the Committee’s decision.

DEVELOPMENT CHARGES: That the payment of the Regional Development Charge, if required, is payable to the City of Vaughan before issuance of a building permit in accordance with the Development Charges Act and the Regional Development Charges By-law in effect at the time of payment.

That the payment of the City Development Charge, if required, is payable to the City of Vaughan before issuance of a building permit in accordance with the Development Charges Act and the City’s Development Charges By-law in effect at the time of payment.

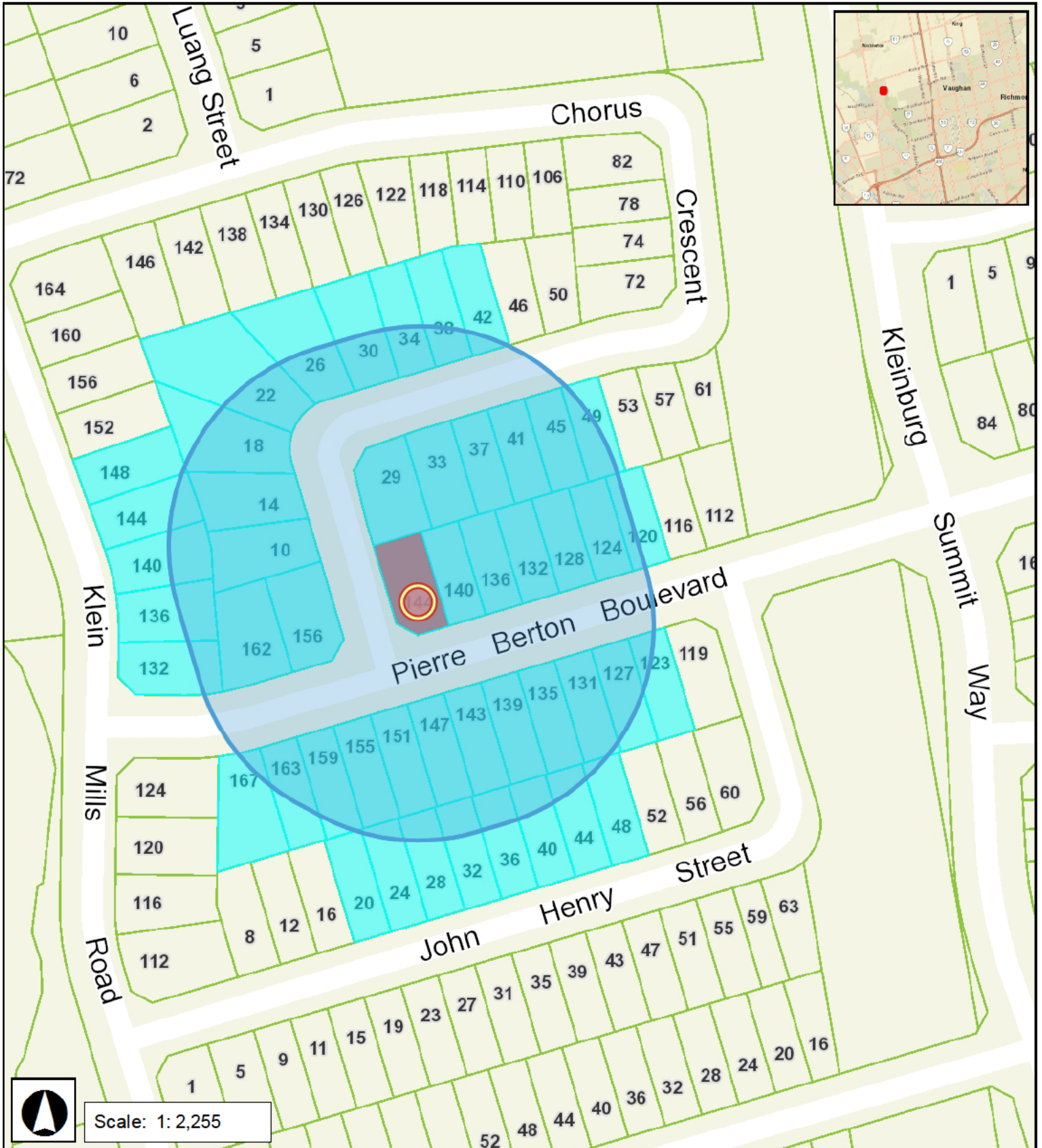
That the payment of the Education Development Charge if required, is payable to the City of Vaughan before issuance of a building permit in accordance with the Development Charges Act and the Boards of Education By-laws in effect at the time of payment

That the payment of Special Area Development charge, if required, is payable to the City of Vaughan before issuance of a building permit in accordance with the Development Charges Act and The City’s Development Charge By-law in effect at the time of Building permit issuance to the satisfaction of the Reserves/Capital Department.

NOTICE OF DECISION: If you wish to be notified of the decision in respect to this application or a related Ontario Land Tribunal (OLT) hearing you must complete a Request for Decision form and submit to the Secretary Treasurer (ask staff for details). In the absence of a written request to be notified of the Committee’s decision you will **not** receive notice.

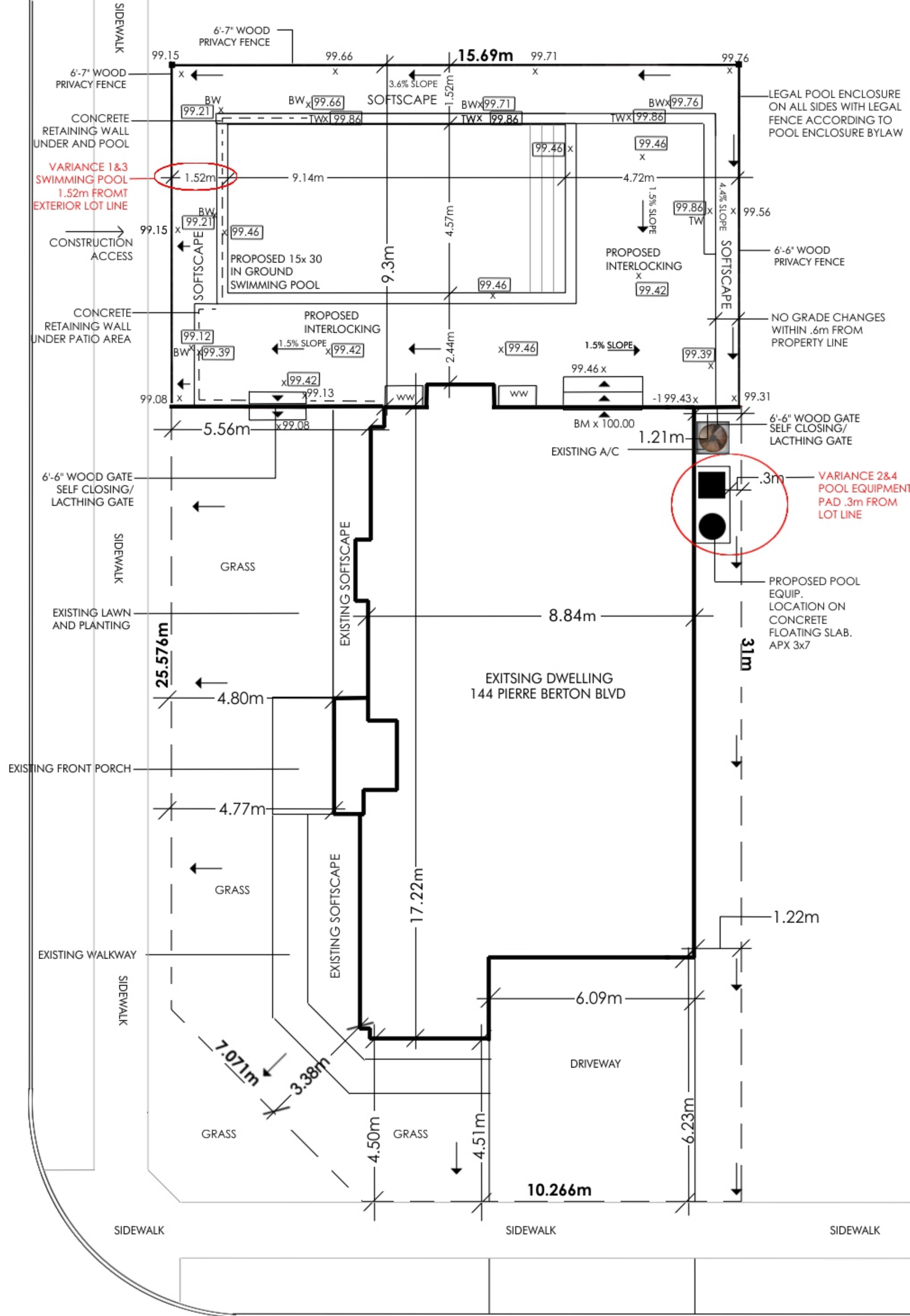
SCHEDULE A: DRAWINGS & PLANS

144 Pierre Berton Boulevard, Kleinburg



CHORUS CRES

CHORUS CRES



PIERRE BERTON BLVD

PIERRE BERTON BLVD

PLAN NO: 1 DATE: 2023-08-17

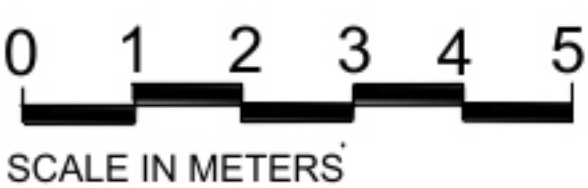
ELEVATION PLAN

144 PIERRE BERTON BLVD
KLEINBURG

BM: BENCHMARK x100.00
 EXISTING ELEVATIONS: x00.00
 PROPOSED ELEVATIONS: x00.00
 DRAINAGE ARROWS: →
 TW- TOP OF WALL
 BW- BOTTOM OF WALL



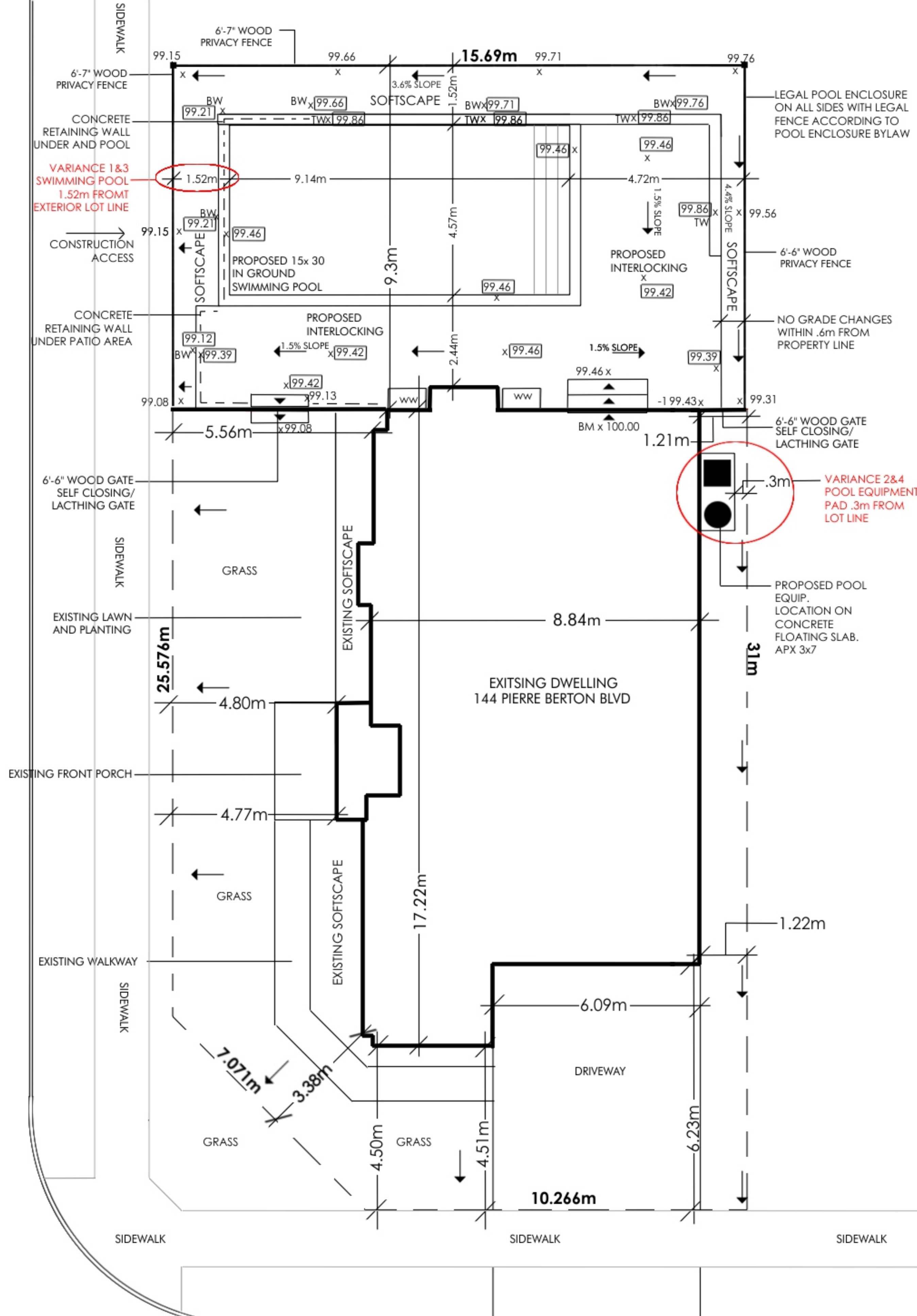
NO CHANGES TO GRADE WITHIN .6M OF THE PROPERTY LINES



- Roof drains to discharge at front of dwelling units onto grassed areas via concrete splash pads and not to conflict with walkways where architecture permits.
- Roof drains should not discharge to the rear of the property unless otherwise approved by the City.
- The contractor shall check and verify all given grade elevations prior to commencement of construction.
- Footings to bear on natural undisturbed soil or rock and to be a minimum of 1.22 m below finished grade.
- All front and rear yards shall be graded at a 2% to 5% grade within 5.0 m of the dwelling unit.
- Driveway slopes: Minimum 2%; Maximum 8%.
- The maximum allowable slope is 3:1 (horizontal to vertical) with a maximum elevation difference of 600 mm.
- Driveways to be set back a minimum of 1.0 m from above ground services (e.g., hydrants, transformers, streetlights, utility poles and pedestals, etc.) or other obstructions.

CHORUS CRES

CHORUS CRES



PIERRE BERTON BLVD

PIERRE BERTON BLVD

PLAN NO: 1 DATE: 2023-08-17

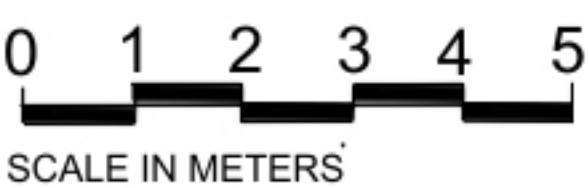
ELEVATION PLAN

144 PIERRE BERTON BLVD
KLEINBURG

BM: BENCHMARK x100.00
 EXISTING ELEVATIONS: x00.00
 PROPOSED ELEVATIONS: x00.00
 DRAINAGE ARROWS:
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**SURVEYOR'S REAL PROPERTY REPORT
PART 1
PLAN OF LOT 47
PLAN 65M-4608
CITY OF VAUGHAN
REGIONAL MUNICIPALITY OF YORK**

SCALE 1:300
0 10m 20m 40m

R-PE SURVEYING LTD., O.L.S.

METRIC

DISTANCES SHOWN ON THIS PLAN ARE IN METRES AND CAN BE CONVERTED TO FEET BY DIVIDING BY 0.3048.

PART 2 (SURVEY REPORT)

REGISTERED EASEMENTS AND/OR RIGHT-OF-WAYS: NONE
THIS PLAN DOES NOT CERTIFY COMPLIANCE WITH ZONING BY-LAWS

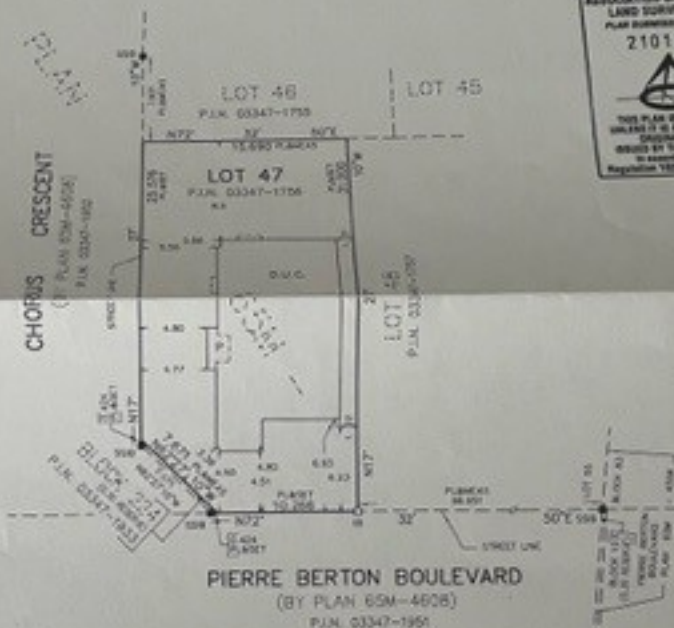
SURVEYOR'S CERTIFICATE

I CERTIFY THAT:

1. THIS SURVEY AND PLAN ARE CORRECT AND IN ACCORDANCE WITH THE SURVEY ACT, THE SURVEYORS ACT AND THE LAND TILES ACT AND THE REGULATIONS MADE UNDER THEM.
2. THE SURVEY WAS COMPLETED ON THE 21ST DAY OF AUGUST, 2014.

DATE Sept 11 2014

[Signature]
I SURVEYOR
ONTARIO LAND SURVEYOR

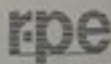


NOTES

- DENOTES MONUMENT SET
- DENOTES MONUMENT FOUND
- ▨ DENOTES IRON BAR
- SSB DENOTES SHORT STANDARD IRON BAR
- D.U.C. DENOTES DWELLING UNDER CONSTRUCTION
- P.I.N. DENOTES PROPERTY IDENTIFIER NUMBER
- PL DENOTES PLAN 65M-4608
- P DENOTES PORCH

ALL FOUND MONUMENTS BY GUIDO PAPA SURVEYING LTD., O.L.S.
ALL TIES TO CONCRETE FOUNDATIONS.

BEARINGS ARE GRID AND ARE REFERRED TO THE
NORTHWESTERLY LIMIT OF PIERRE BERTON BOULEVARD AS SHOWN
ON PLAN 65M-4608 HAVING A BEARING OF N72°32'30"E.



R-PE SURVEYING LTD.

ONTARIO LAND SURVEYORS
643 Chrysler Road, Suite 7, Woodbridge, Ontario, L4L 8A3
Tel.(416)635-5000 Fax (416)635-5001
Tel.(905)264-0881 Fax (905)264-2099
Website: www.r-pe.ca
DRAWN: V.H.
CAD FILE No. 4608-47

THIS REPORT WAS PREPARED FOR
MATTAMY HOMES
AND THE UNDERSIGNED ACCEPTS NO
RESPONSIBILITY FOR USE BY OTHER PARTIES

CHECKED: G.Y./T.S.
JOB No. 18-240



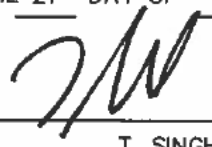
**SURVEYOR'S REAL PROPERTY REPORT
PART 1
PLAN OF LOT 47
PLAN 65M-4608
CITY OF VAUGHAN
REGIONAL MUNICIPALITY OF YORK**

PART 2 (SURVEY REPORT)
REGISTERED EASEMENTS AND/OR RIGHT-OF-WAYS: NONE
THIS PLAN DOES NOT CERTIFY COMPLIANCE WITH ZONING BY-LAWS

SURVEYOR'S CERTIFICATE

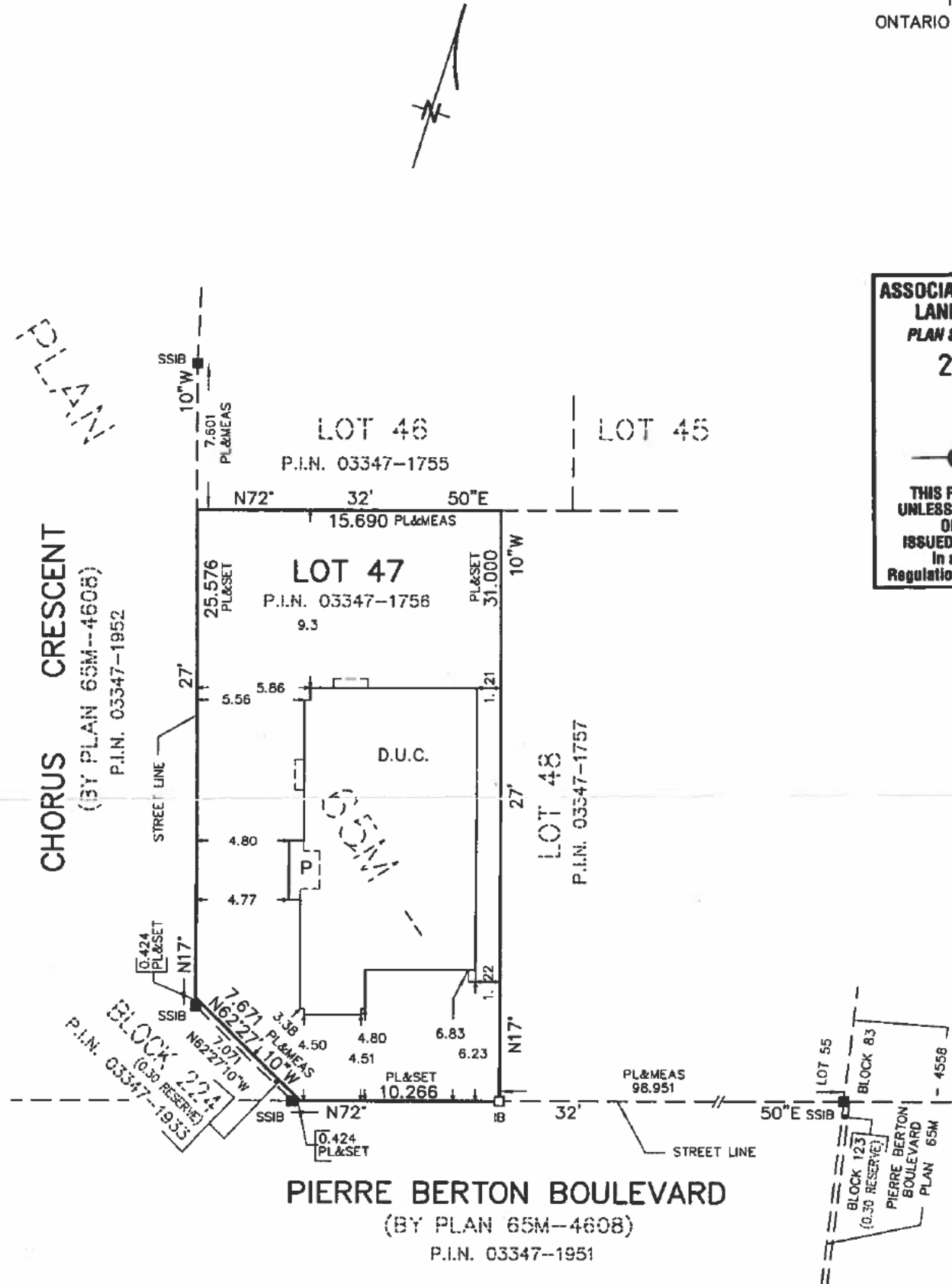
I CERTIFY THAT:
1. THIS SURVEY AND PLAN ARE CORRECT AND IN ACCORDANCE WITH THE SURVEYS ACT, THE SURVEYORS ACT AND THE LAND TITLES ACT AND THE REGULATIONS MADE UNDER THEM.
2. THE SURVEY WAS COMPLETED ON THE 21st DAY OF AUGUST, 2019.

DATE Sept. 11, 2019.



T. SINGH
ONTARIO LAND SURVEYOR

SCALE 1:300
10m 5m 0 10m 20metres

R-PE SURVEYING LTD., O.L.S.
METRIC
DISTANCES SHOWN ON THIS PLAN ARE IN METRES AND CAN BE CONVERTED TO FEET BY DIVIDING BY 0.3048.



**ASSOCIATION OF ONTARIO
LAND SURVEYORS
PLAN SUBMISSION FORM
2101138**



**THIS PLAN IS NOT VALID
UNLESS IT IS AN EMBOSSED
ORIGINAL COPY
ISSUED BY THE SURVEYOR
In accordance with
Regulation 1026, Section 29(3).**

NOTES

- DENOTES MONUMENT SET
- DENOTES MONUMENT FOUND
- IB DENOTES IRON BAR
- SSIB DENOTES SHORT STANDARD IRON BAR
- D.U.C. DENOTES DWELLING UNDER CONSTRUCTION
- P.I.N. DENOTES PROPERTY IDENTIFIER NUMBER
- PL DENOTES PLAN 65M-4608
- P DENOTES PORCH

ALL FOUND MONUMENTS BY GUIDO PAPA SURVEYING LTD., O.L.S.
ALL TIES TO CONCRETE FOUNDATIONS.

BEARINGS ARE GRID AND ARE REFERRED TO THE
NORTHWESTERLY LIMIT OF PIERRE BERTON BOULEVARD AS SHOWN
ON PLAN 65M-4608 HAVING A BEARING OF N72°32'50"E.



R-PE SURVEYING LTD.
ONTARIO LAND SURVEYORS
643 Chrislea Road, Suite 7, Woodbridge, Ontario, L4L 8A3
Tel.(416)635-5000 Fax (416)635-5001
Tel.(905)264-0881 Fax (905)264-2099
Website: www.r-pe.ca
DRAWN: V.H.
CAD FILE No. 4608-47

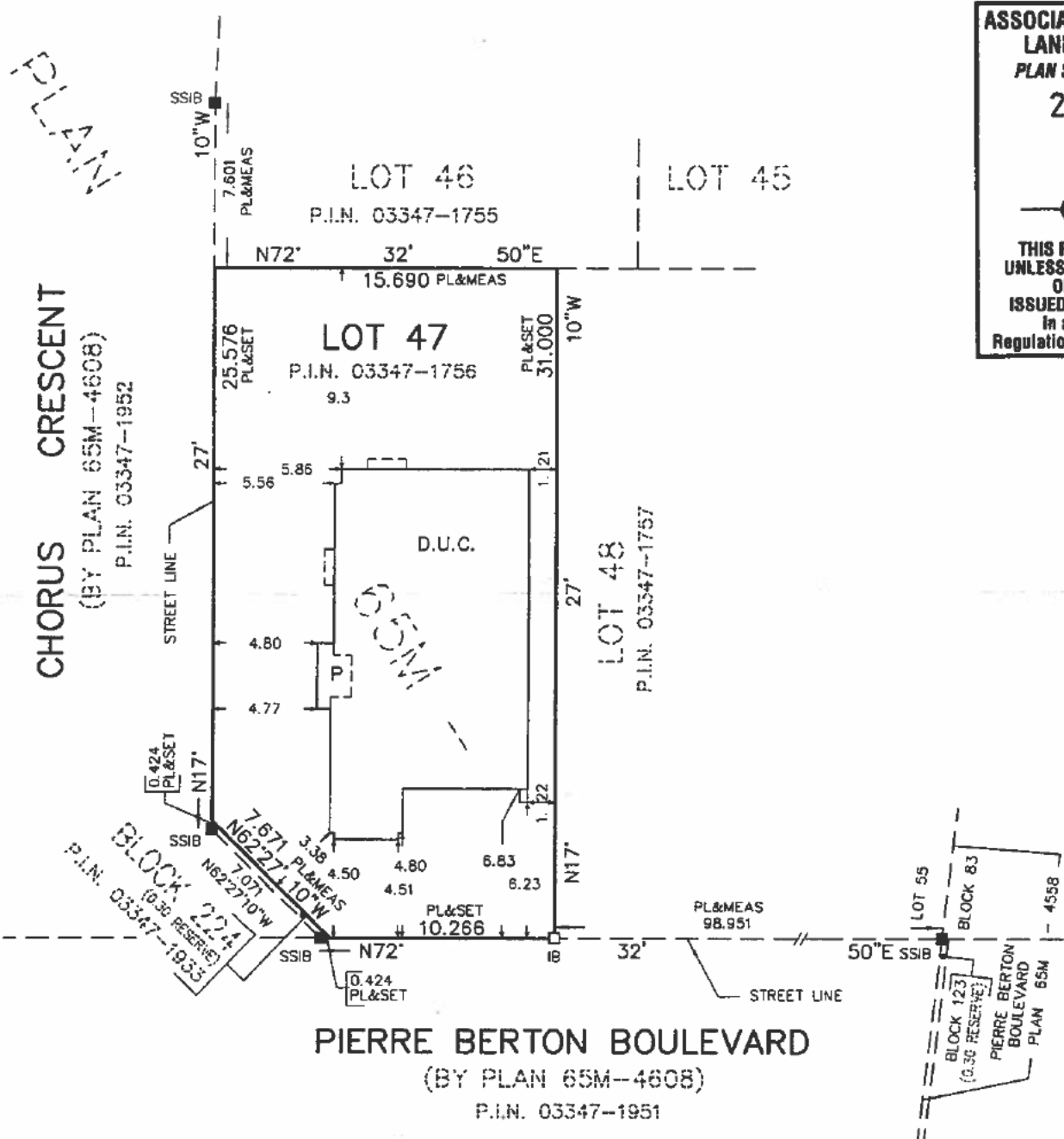
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MATTAMY HOMES
AND THE UNDERSIGNED ACCEPTS NO
RESPONSIBILITY FOR USE BY OTHER PARTIES

CHECKED: G.Y./T.S.
JOB No. 18-240



ED TO FEET BY DIVIDING BY 0.3048.

T. SINGH
ONTARIO LAND SURVEYOR



ASSOCIATION OF
LAND SURVEYORS
PLAN SUBMISSION
21011

THIS PLAN IS NOT VALID
UNLESS IT IS AN ORIGINAL COPY
ISSUED BY THE SURVEYOR
IN ACCORDANCE WITH
REGULATION 1026, SECT. 10

- ES MONUMENT SET
- ES MONUMENT FOUND
- ES IRON BAR
- ES SHORT STANDARD IRON BAR
- ES DWELLING UNDER CONSTRUCTION
- ES PROPERTY IDENTIFIER NUMBER
- ES PLAN 65M-4608
- ES PORCH

FOUNDATIONS BY GUIDO PAPA SURVEYING LTD., O.L.S.
CONCRETE FOUNDATIONS.

GRID AND ARE REFERRED TO THE
NORTH LIMIT OF PIERRE BERTON BOULEVARD AS SHOWN
4608 HAVING A BEARING OF N72°32'50"E.

rpe R-PE SURVEYING LTD.
ONTARIO LAND SURVEYORS
643 Chrislea Road, Suite 7, Woodbridge, Ontario,
Tel.(416)635-5000 Fax (416)635-5001
Tel.(905)264-0881 Fax (905)264-2099
Website: www.r-pe.ca
DRAWN: V.H. CHECKED: C
CAD FILE No. 4608-47 JOB No. 18

AS PREPARED FOR
SIGNED ACCEPTS NO
FOR USE BY OTHER PARTIES

D., O.L.S. 2019,

SURVEYOR'S REAL PROPERTY REPORT
PART 1
PLAN OF LOT 47
PLAN 65M-4608
CITY OF VAUGHAN
REGIONAL MUNICIPALITY OF YORK

SCALE 1:300



R-PE SURVEYING LTD., O.L.S.
 METRIC

DISTANCES SHOWN ON THIS PLAN ARE IN METRES AND CAN BE CONVERTED TO FEET BY DIVIDING BY 0.3048.

PART 2 (SURVEY REPORT)
 REGISTERED EASEMENTS AND/OR RIGHT-OF-WAYS: NONE
 THIS PLAN DOES NOT CERTIFY COMPLIANCE WITH ZONING BY-LAWS

SURVEYOR'S CERTIFICATE

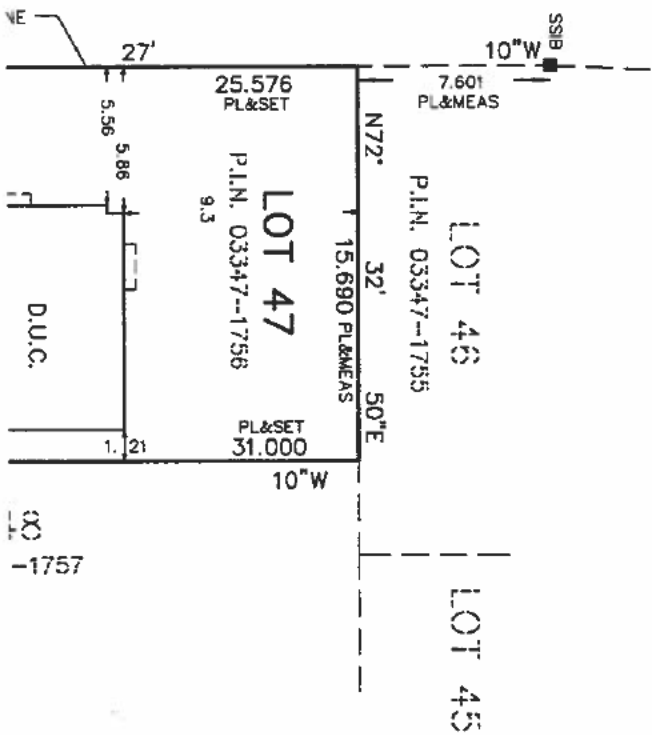
I CERTIFY THAT:

1. THIS SURVEY AND PLAN ARE CORRECT AND IN ACCORDANCE WITH THE SURVEYS ACT, THE SURVEYORS ACT AND THE LAND TITLES ACT AND THE REGULATIONS MADE UNDER THEM.
2. THE SURVEY WAS COMPLETED ON THE 21st DAY OF AUGUST, 2019.


DATE Sept. 11, 2019.


 T. SINGH
 ONTARIO LAND SURVEYOR

IS CRESCENT
 PLAN 65M-4608)
 P.I.N. 03347-1952



ASSOCIATION OF ONTARIO
LAND SURVEYORS
PLAN SUBMISSION FORM
2101138



THIS PLAN IS NOT VALID UNLESS IT IS AN EMBOSSED ORIGINAL COPY ISSUED BY THE SURVEYOR in accordance with Regulation 1026, Section 29(3).

03347-1757

SCHEDULE B: STAFF & AGENCY COMMENTS

DEPT/AGENCY	Circulated	Comments Received	Conditions	Nature of Comments
TRCA	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	No Comments Received to Date
Ministry of Transportation (MTO)	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Region of York	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	No Comments Received to Date
Alectra	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	General Comments
Bell Canada	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	No Comments Received to Date
YRDSB	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
YCDSB	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
CN Rail	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
CP Rail	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
TransCanada Pipeline	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	No Comments Received to Date
Metrolinx	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Propane Operator	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Development Planning	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>		Recommend Approval/No Conditions
Building Standards (Zoning)	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>		General Comments

Date: October 24th 2023

Attention: **Christine Vigneault**

RE: Request for Comments

File No.: **A163-23**

Related Files:

Applicant Krista Gallant

Location 144 Pierre Berton Blvd

COMMENTS:

- We have reviewed the proposed Variance Application and have no comments or objections to its approval.
- We have reviewed the proposed Variance Application and have no objections to its approval, subject to the following comments (attached below).
- We have reviewed the proposed Variance Application and have the following concerns (attached below).

Alectra Utilities (formerly PowerStream) has received and reviewed the proposed Variance Application. This review, however, does not imply any approval of the project or plan.

All proposed billboards, signs, and other structures associated with the project or plan must maintain minimum clearances to the existing overhead or underground electrical distribution system as specified by the applicable standards, codes and acts referenced.

In the event that construction commences, and the clearance between any component of the work/structure and the adjacent existing overhead and underground electrical distribution system violates the Occupational Health and Safety Act, the customer will be responsible for 100% of the costs associated with Alectra making the work area safe. All construction work will be required to stop until the safe limits of approach can be established.

In the event construction is completed, and the clearance between the constructed structure and the adjacent existing overhead and underground electrical distribution system violates the any of applicable standards, acts or codes referenced, the customer will be responsible for 100% of Alectra's cost for any relocation work.

References:

- Ontario Electrical Safety Code, latest edition (Clearance of Conductors from Buildings)
- Ontario Health and Safety Act, latest edition (Construction Protection)
- Ontario Building Code, latest edition (Clearance to Buildings)
- PowerStream(Construction Standard 03-1, 03-4, 03-9), attached
- Canadian Standards Association, latest edition (Basic Clearances)

If more information is required, please contact either of the following:

Stephen Cranley, C.E.T

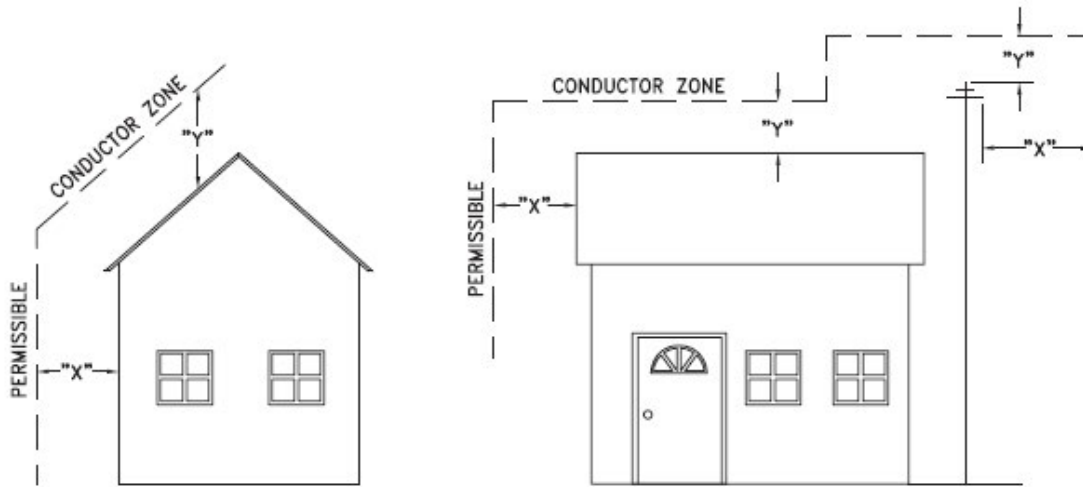
Mitchell Penner

Supervisor, Distribution Design, ICI & Layouts (North)
Phone: 1-877-963-6900 ext. 31297

Supervisor, Distribution Design-Subdivisions
Phone: 416-302-6215

E-mail: stephen.cranley@alectrautilities.com

Email: Mitchell.Penner@alectrautilities.com



VOLTAGE	MINIMUM HORIZONTAL CLEARNACE UNDER MAXIMUM SWING CONDITIONS DIMENSION "X" (SEE NOTES 1, 3 & 4)	MINIMUM VERTICAL CLEARANCE UNDER MAXIMUM DESIGN SAG CONDITIONS DIMENSION "Y" (SEE NOTES 1, 2, 4 & 5)
0-600V AND NEUTRAL	100cm	250cm
4.16/2.4 TO 44kV	300cm	480cm

NOTES

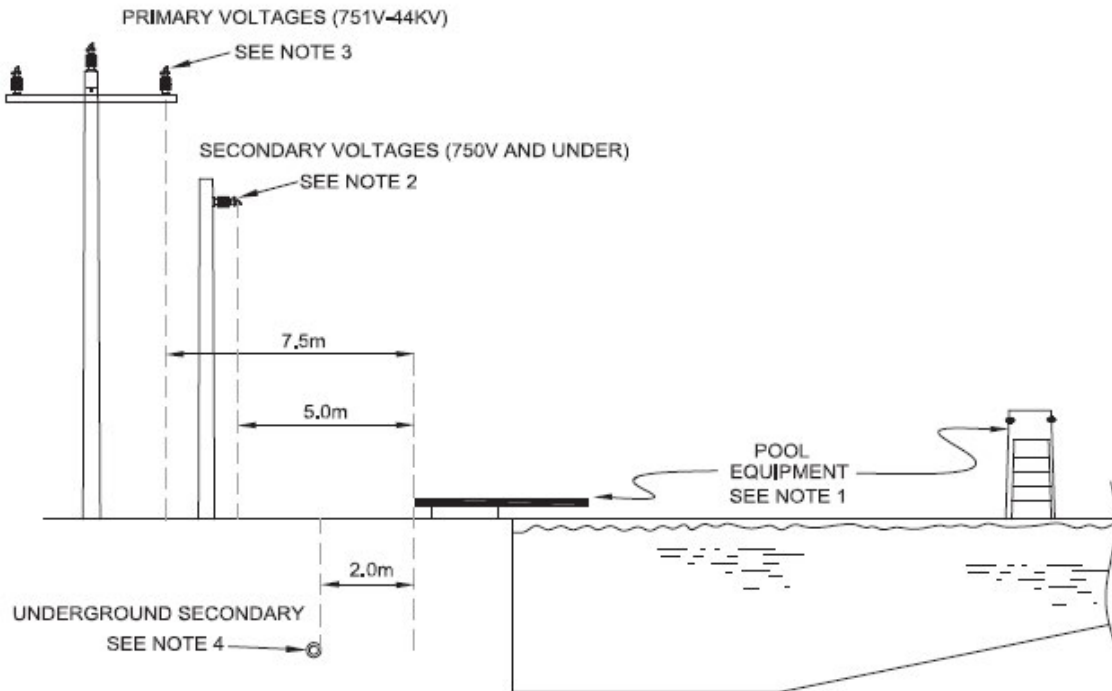
1. UNDER NO CIRCUMSTANCES SHALL A CONDUCTOR BE PERMITTED TO PENETRATE THE ENVELOPE SHOWN BY THE DOTTED LINE.
2. THE VERTICAL CLEARANCES ARE UNDER CONDITIONS OF MAXIMUM DESIGN SAG.
3. THE HORIZONTAL CLEARANCES ARE UNDER CONDITIONS OF MAXIMUM SWING. WHERE THE CONDUCTOR SWING IS NOT KNOWN A HORIZONTAL CLEARANCE OF 480CM SHALL BE USED.
4. BUILDINGS THAT EXCEED 3 STOREYS OR 15M IN HEIGHT, THE MINIMUM HORIZONTAL CLEARANCE OF THE SECONDARY CONDUCTORS SHOULD BE INCREASED TO 300cm WHERE IT IS NECESSARY TO ALLOW FOR THE RAISING OF LADDERS BY LOCAL FIRE DEPARTMENTS.
5. IN SITUATIONS SUCH AS MULTI-LEVEL GARAGES, WHERE ROOFS ARE NORMALLY USED BY PERSONS AND VEHICLES, THE VERTICAL CLEARANCES OF POWERSTREAM STANDARD 03-1 SHALL APPLY.
6. DISTRIBUTION LINES CONSTRUCTED NEAR BUILDINGS SHALL BE BUILT TO AVOID OVERHANG WHEREVER POSSIBLE. WHERE LINES MUST BE CONSTRUCTED OVER OR ADJACENT TO BUILDINGS THE APPLICABLE HORIZONTAL AND VERTICAL CLEARANCES SHALL BE AT CONDITIONS OF MAXIMUM CONDUCTOR SWING AND MAXIMUM SAG. THE ABOVE CLEARANCES ARE DESIGNED TO PREVENT PERSONS ON OR IN BUILDINGS AS WELL AS EXTERNAL MACHINERY USED IN CONJUNCTION WITH A BUILDING TO COME IN CONTACT WITH CONDUCTORS. EFFORTS SHOULD BE MADE TO INCREASE THESE CLEARANCES WHERE POSSIBLE.
7. ALL CLEARANCES ARE IN ACCORDANCE TO CSA C22.3 NO.1-06 (TABLE-9).

METRIC	IMPERIAL (APPROX)
480cm	16'-0"
300cm	10'-0"
250cm	8'-4"
100cm	3'-4"

MINIMUM VERTICAL & HORIZONTAL CLEARANCES OF CONDUCTORS FROM BUILDINGS OR OTHER PERMANENT STRUCTURES (CONDUCTORS NOT ATTACHED TO BUILDINGS)

This construction Standard meets the safety requirements of Section 4 of Regulation 22/04	
Debbie Dadwani, P.Eng.	2010-MAY-05
Name	Date
P.Eng. Approval By: <u>D. Dadwani</u>	

ORIGINAL ISSUE DATE: 2010-MAY-05 REVISION NO: REVISION DATE:
PS(System Planning and Standards)Standard Design/PowerStream Standards/PowerStream Standards working folder/Section 2.3-4(DWG 03-4 R0 May 5, 2010.dwg, 5/5/2010 9:27:02 AM, Adobe PDF



NOTES:

1. ANY STRUCTURE WITHIN 5.0 METRES OF POOL EDGE SHALL BE CONSIDERED PART OF THE POOL.
2. THERE SHALL NOT BE ANY OVERHEAD SECONDARY OR COMMUNICATION WIRING (750V OR LESS) ABOVE THE POOL, AND ABOVE OTHER ELEVATED SURFACES ASSOCIATED WITH THE POOL, INCLUDING BUT NOT RESTRICTED TO A DIVING STRUCTURE, SLIDE, SWINGS, OBSERVATION STAND, TOWER OR PLATFORM, OR ABOVE THE ADJACENT AREA EXTENDING 5.0M HORIZONTALLY FROM THE POOL EDGE.
3. THERE SHALL NOT BE ANY OVERHEAD PRIMARY WIRING (751V - 44KV) ABOVE THE POOL AND OTHER ELEVATED SURFACES ASSOCIATED WITH THE POOL, OR ABOVE THE ADJACENT AREA EXTENDING 7.5M HORIZONTALLY FROM THE POOL EDGE.
4. ANY UNDERGROUND CONDUCTORS SHALL BE 2.0M AWAY FROM POOL EDGE IN DUCT WITH NON-CONDUCTING JACKET. FOR DEPTH AND DUCT DETAILS REFER TO FIGURE 3 IN 25-100 FOR 200A SERVICE AND 25-101 FOR 400A SERVICE RESPECTIVELY, AS PER POWERSTREAM SERVICE DESIGN SPECIFICATIONS.
5. THESE DIMENSIONS APPLY TO ALL SIDES OF THE POOL.

CONVERSION TABLE	
METRIC	IMPERIAL (APPROX.)
7.5m	24'-6"
5.0m	16'-3"
2.0m	6'-6"

REFERENCES	
FIGURE 3, 25-100	SECTION 25
FIGURE 3, 25-101	SECTION 25

MINIMUM CLEARANCES FOR CONDUCTORS ADJACENT TO SWIMMING POOLS

ORIGINAL ISSUE DATE: 2013-JUNE-12 REVISION NO: R0 REVISION DATE:

Certificate of Approval	
This construction Standard meets the safety requirements of Section 4 of Regulation 22/04	
Joe Crozier, P.Eng.	2013-JUN-12
Name	Date
P.Eng. Approval By:	Joe Crozier

To: Committee of Adjustment
From: Catherine Saluri, Building Standards Department
Date: October 19, 2023
Applicant: Krista Gallant
Location: 144 Pierre Berton Blvd
 Plan 65M4608 Lot 47
File No.(s): A163/23

Zoning Classification:

The subject lands are zoned R3, Third Density Residential Zone, subject to the provisions of Exception 14.1040 under Zoning By-law 001-2021.

#	Zoning By-law 001-2021	Variance requested
1	In no case shall the outdoor swimming pool be located closer to an exterior side lot line than the dwelling. [4.21.5]	To permit an outdoor swimming pool be located closer to an exterior side lot line than the dwelling (1.52 m exterior side yard setback).
2	A maximum encroachment of 0.6 m is permitted into the minimum required interior side yard of 1.2 m for ground-mounted pool equipment.	To permit a maximum encroachment of 0.9 m into the minimum required interior side yard of 1.2 m for ground-mounted pool equipment.

The subject lands are zoned RD3, Residential Detached Zone Three, subject to the provisions of Exception 9(1413) under Zoning By-law 1-88, as amended.

	Zoning By-law 1-88	Variance requested
3	Notwithstanding Subsection 3.16, a private swimming pool shall not be located nearer to any exterior side lot line than the required setback of the main dwelling unit on the lot. A minimum exterior side yard setback of 4.5 m is required for the private swimming pool. [4.1.1 i)]	To permit a private swimming pool to be setback 1.52 m from the exterior side lot line.
4	External ground-mounted heat pump units shall be permitted in the interior side yard with a minimum setback of 0.6 m from the interior side lot line. [3.14 h)]	To permit pool equipment on a pad, uncovered and unenclosed, to be setback a minimum of 0.3 m from the interior side lot line.

Staff Comments:

Permit(s) Issued:

A permit shall be obtained from the Engineering Department for the proposed inground swimming pool.

Other Comments:

General Comments	
1	The applicant shall be advised that additional variances may be required upon review of detailed drawing for permit.

Conditions of Approval:

If the committee finds merit in the application, the following conditions of approval are recommended.

None

* Comments are based on the review of documentation supplied with this application.

To: Christine Vigneault, Committee of Adjustment Secretary Treasurer
From: Nancy Tuckett, Director of Development Planning
Date: November 9, 2023
Name of Owners: Kevin [REDACTED] and Krista Gallant
Location: 144 Pierre Berton Boulevard
File No.(s): A163/23

Proposed Variance(s) (By-law 001-2021):

1. To permit an outdoor swimming pool be located closer to an exterior side lot line than the dwelling (1.52 m exterior side yard setback).
2. To permit a maximum encroachment of 0.9 m into the minimum required interior side yard of 1.2 m for ground-mounted pool equipment.

By-Law Requirement(s) (By-law 001-2021):

1. In no case shall the outdoor swimming pool be located closer to an exterior side lot line than the dwelling.
2. A maximum encroachment of 0.6 m is permitted into the minimum required interior side yard of 1.2 m for ground-mounted pool equipment.

Proposed Variance(s) (By-law 1-88):

3. To permit a private swimming pool to be setback 1.52 m from the exterior side lot line.
4. To permit pool equipment on a pad, uncovered and unenclosed, to be setback a minimum of 0.3 m from the interior side lot line.

By-Law Requirement(s) (By-law 1-88):

3. Notwithstanding Subsection 3.16, a private swimming pool shall not be located nearer to any exterior side lot line than the required setback of the main dwelling unit on the lot. A minimum exterior side yard setback of 4.5 m is required for the private swimming pool.
4. External ground-mounted heat pump units shall be permitted in the interior side yard with a minimum setback of 0.6 m from the interior side lot line.

Official Plan:

City of Vaughan Official Plan 2010 ("VOP 2010"): "KN Low-Rise Residential I" by Volume 2, Section 11.8 – North Kleinburg Nashville Secondary Plan

Comments:

The Owners are requesting relief to permit the construction of a pool and pool equipment, with the above-noted variances.

The Development Planning Department has no objection to Variances 1 and 3 for the proposed pool. The portion of the rear yard beyond the exterior side wall of the dwelling is fenced, providing privacy for the rear yard amenity area. Due to the fence, no portion of the rear yard is contributing to the streetscape. Most of the pool's length will not project beyond the dwelling's exterior side wall and the balance of the pool will be screened from the street and sidewalk by the existing wood fence. The proposed 1.52 m exterior side yard setback is sufficient for access and maintenance and provides sufficient space for future plantings, if desired. As such, the proposed pool will not pose any adverse impacts to the neighbouring properties or the existing streetscape.

The Development Planning Department has no objection to Variances 2 and 4 for the proposed pool equipment. The proposal maintains a sufficient area for maintenance and is not anticipated to adversely impact the neighbouring properties. Access between the front and rear yards will be restricted through the interior side yard due to the pool equipment. However, access between the front and rear yards will be maintained through the eastern exterior side yard. The Development Engineering Department has also reviewed the proposal and is satisfied that drainage will be maintained.

Accordingly, the Development Planning Department can support the requested variances and is of the opinion that the proposal is minor in nature, maintains the general intent and purpose of the Official Plan and Zoning By-laws, and is desirable for the appropriate development of the land.

Recommendation:

The Development Planning Department recommends approval of the application.

Conditions of Approval:

If the Committee finds merit in the application, the following conditions of approval are recommended:

None

Comments Prepared by:

Joshua Cipolletta, Planner
David Harding, Senior Planner

SCHEDULE C: PUBLIC & APPLICANT CORRESPONDENCE

None

SCHEDULE D: PREVIOUS COA DECISIONS ON THE SUBJECT LAND

None