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|-------------------|--------------------------------------------------------------------------------------------------------------------------------|
| ITEM: 6.18 | COMMITTEE OF ADJUSTMENT REPORT SUMMARY MINOR VARIANCE APPLICATION FILE NUMBER A170/23 4 AHCHIE COURT, MAPLE |
|-------------------|--------------------------------------------------------------------------------------------------------------------------------|

**THIS REPORT CONTAINS COMMENTS FROM THE FOLLOWING
DEPARTMENTS & AGENCIES:**

*Please see **Schedule B** of this report for a copy of Development Planning and Agency correspondence.

Additional comments from departments and agencies may be received after the publication of the Staff Report. These comments will be processed as an addendum and posted on the City's Website.

| DEPARTMENTS | Circulated | Comments Received | Conditions | Nature of Comments |
|---------------------------------------------|-------------------------------------|-------------------------------------|-------------------------------------|----------------------------------|
| Committee of Adjustment | <input checked="" type="checkbox"/> | <input checked="" type="checkbox"/> | <input type="checkbox"/> | General Comments |
| Building Standards (Zoning Review) | <input checked="" type="checkbox"/> | <input checked="" type="checkbox"/> | <input type="checkbox"/> | General Comments |
| Building Inspection (Septic) | <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | No Comments Received to Date |
| Development Planning | <input checked="" type="checkbox"/> | <input checked="" type="checkbox"/> | <input type="checkbox"/> | Recommend Approval/No Conditions |
| Development Engineering | <input checked="" type="checkbox"/> | <input checked="" type="checkbox"/> | <input checked="" type="checkbox"/> | Recommend Approval w/Conditions |
| Parks, Forestry and Horticulture Operations | <input checked="" type="checkbox"/> | <input checked="" type="checkbox"/> | <input type="checkbox"/> | General Comments |
| By-law & Compliance, Licensing & Permits | <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | No Comments Received to Date |
| Development Finance | <input checked="" type="checkbox"/> | <input checked="" type="checkbox"/> | <input type="checkbox"/> | General Comments |
| Real Estate | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | |
| Fire Department | <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | No Comments Received to Date |
| AGENCIES | Circulated | Comments Received | Conditions | Nature of Comments |
| TRCA | <input checked="" type="checkbox"/> | <input checked="" type="checkbox"/> | <input type="checkbox"/> | Recommend Approval/No Conditions |
| Ministry of Transportation (MTO) | <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | |
| Region of York | <input checked="" type="checkbox"/> | <input checked="" type="checkbox"/> | <input type="checkbox"/> | General Comments |
| Alectra | <input checked="" type="checkbox"/> | <input checked="" type="checkbox"/> | <input type="checkbox"/> | General Comments |
| Bell Canada | <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | No Comments Received to Date |
| YRDSB | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | |
| YCDSB | <input checked="" type="checkbox"/> | <input checked="" type="checkbox"/> | <input type="checkbox"/> | General Comments |
| CN Rail | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | |
| CP Rail | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | |
| TransCanada Pipeline | <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | No Comments Received to Date |
| Metrolinx | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | |
| Propane Operator | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | |

PUBLIC & APPLICANT CORRESPONDENCE

*Please see **Schedule C** of this report for a copy of the public & applicant correspondence listed below.

The deadline to submit public comments is **noon on the last business day prior to the scheduled hearing date.**

Comments and written public submissions received after the publication of this Staff Report will be processed as an addendum and posted on the City's Website.

All personal information collected because of this public meeting (including both written and oral submissions) is collected under the authority of the Municipal Act, the Municipal Freedom of Information and Protection of Privacy Act (MFIPPA), the Planning Act and all other relevant legislation, and will be used to assist in deciding on this matter. All personal information (as defined by MFIPPA), including (but not limited to) names, addresses, opinions and comments collected will become property of the City of Vaughan, will be made available for public disclosure (including being posted on the internet) and will be used to assist the Committee of Adjustment and staff to process this application.

| Correspondence Type | Name | Address | Date Received (mm/dd/yyyy) | Summary |
|---------------------|------|---------|-------------------------------|---------|
| None | | | | |

PREVIOUS COA DECISIONS ON THE SUBJECT LAND

*Please see **Schedule D** for a copy of the Decisions listed below

| File Number | Date of Decision MM/DD/YYYY | Decision Outcome |
|-------------|--------------------------------|------------------|
| | | |

PREVIOUS COA DECISIONS ON THE SUBJECT LAND

*Please see **Schedule D** for a copy of the Decisions listed below

| | | |
|------|--|--|
| None | | |
|------|--|--|

ADJOURNMENT HISTORY

* Previous hearing dates where this application was adjourned by the Committee and public notice issued.

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| None | |
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**COMMITTEE OF ADJUSTMENT REPORT
MINOR VARIANCE APPLICATION
A170/23
4 AHCHIE COURT, MAPLE**

| | |
|--------------------------------------------------|---------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|
| ITEM NUMBER: 6.18 | CITY WARD #: 4 |
| APPLICANT: | Dufferin Vistas Ltd |
| AGENT: | Lucas And Associates |
| PROPERTY: | 4 Ahchie Ct., Maple ON |
| ZONING DESIGNATION: | See Below |
| VAUGHAN OFFICIAL PLAN (2010) DESIGNATION: | City of Vaughan Official Plan 2010 ('VOP 2010'): "Low-Rise Residential" by Schedule 13 – Land Use, "Unapproved" by Schedule 2 – Natural Heritage Network, and "Oak Ridges Moraine Settlement Area" by Schedule 4 – Oak Ridges Moraine Conservation Plan & Greenbelt Areas |
| RELATED DEVELOPMENT APPLICATIONS: | A169/23 |
| PURPOSE OF APPLICATION: | Relief from the Zoning By-law is being requested to permit a proposed dwelling. |

The following variances have been requested from the City's Zoning By-law:

The subject lands are zoned RD4 and subject to the provisions of Exception 9(1483) under Zoning By-law 1-88, as amended.

| | Zoning By-law 1-88 | Variance requested |
|---|----------------------------------------------------------------------|--------------------------------------------------------|
| 1 | A minimum exterior side yard of 4.5 metres is required. [Schedule A] | To permit a minimum exterior side yard of 4.25 metres. |

HEARING INFORMATION

DATE OF MEETING: Thursday, November 16, 2023
TIME: 6:00 p.m.
MEETING LOCATION: Vaughan City Hall, Woodbridge Room (2nd Floor), 2141 Major Mackenzie Drive
LIVE STREAM LINK: Vaughan.ca/LiveCouncil

PUBLIC PARTICIPATION

If you would like to speak to the Committee of Adjustment at the meeting, either remotely or in person, please complete the [Request to Speak Form](#) and submit to cofa@vaughan.ca

If you would like to submit written comments, please quote file number above and submit by mail or email to:

Email: cofa@vaughan.ca

Mail: City of Vaughan, Office of the City Clerk, Committee of Adjustment, 2141 Major Mackenzie Drive, Vaughan, ON, L6A 1T1

To speak electronically, pre-registration is required by completing the [Request to Speak Form](#) on-line and submitting it to cofa@vaughan.ca no later than NOON on the last business day before the meeting.

THE DEADLINE TO REGISTER TO SPEAK ELECTRONICALLY OR SUBMIT WRITTEN COMMENTS ON THE ABOVE NOTED FILE(S) IS NOON ON THE LAST BUSINESS DAY BEFORE THE MEETING.

INTRODUCTION

Staff and Agencies act as advisory bodies to the Committee of Adjustment. The comments contained in this report are presented as recommendations to the Committee.

Section 45(1) of the Planning Act sets the criteria for authorizing minor variances to the City of Vaughan's Zoning By-law. Accordingly, review of the application may consider the following:

INTRODUCTION

That the general intent and purpose of the by-law will be maintained.
 That the general intent and purpose of the official plan will be maintained.
 That the requested variance(s) is/are acceptable for the appropriate development of the subject lands.
 That the requested variance(s) is/are minor in nature.

Public written and oral submissions relating to this application are taken into consideration by the Committee of Adjustment as part of its deliberations and final decision on this matter.

COMMITTEE OF ADJUSTMENT COMMENTS

| | |
|--------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|--------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|
| Date Public Notice Mailed: | November 2, 2023 |
| Date Applicant Confirmed Posting of Sign: | November 1, 2023 |
| Applicant Justification for Variances: <small>*As provided by Applicant in Application Form</small> | A 0.3 m reserve was unexpectedly added to the exterior side lot line in the M-Plan after the draft approval of the plan of subdivision. The design and siting of the residential unit was undertaken with the belief that there would not be a 0.3 m reserve. The introduction of a 0.3 m reserve results in an encroachment and the need for a minor variance from 4.5 m to 4.25 m. |
| Adjournment Requests (from staff): <small>*Adjournment requests provided to applicant prior to issuance of public notice</small> | None |
| Was a Zoning Review Waiver (ZRW) Form submitted by Applicant: <small>*ZRW Form may be used by applicant in instances where a revised submission is made, and zoning staff do not have an opportunity to review and confirm variances prior to the issuance of public notice. *A revised submission may be required to address staff / agency comments received as part of the application review process. *Where a zoning review has not been completed on a revised submission, an opportunity is provided to the applicant to adjourn the proposal prior to the issuance of public notice.</small> | No |
| Adjournment Fees: In accordance with Procedural By-law 069-2019, an Adjournment Fee is applicable to reschedule an application after the issuance of public notice where a request for adjournment has been provided to the applicant prior to the issuance of public notice. An Adjournment Fee can only be waived in instances where adjournment of an application is requested by the Committee or staff after the issuance of public notice. | |
| Committee of Adjustment Comments: | None |
| Committee of Adjustment Recommended Conditions of Approval: | None |

BUILDING STANDARDS (ZONING) COMMENTS

****See Schedule B for Building Standards (Zoning) Comments**

| | |
|---------------------------------------------------------------|------|
| Building Standards Recommended Conditions of Approval: | None |
|---------------------------------------------------------------|------|

DEVELOPMENT PLANNING COMMENTS

****See Schedule B for Development Planning Comments.**

| | |
|-----------------------------------------------------------------|------|
| Development Planning Recommended Conditions of Approval: | None |
|-----------------------------------------------------------------|------|

DEVELOPMENT ENGINEERING COMMENTS

[Link to Grading Permit](#) [Link to Pool Permit](#) [Link to Curb Curt Permit](#) [Link Culvert Installation](#)

As the proposed dwelling/ structure/ cabana in the subject property exceeds 10 m², the Owner/ Applicant needs to obtain a 'Lot Grading Permit' from the Development Inspection and Lot Grading Division of the City's Development Engineering Department. Please note any in-ground structure over 10 m² requires a 'Grading Permit'. Please contact the Development Engineering Reviewer after receiving the Grading Permit to clear the condition. (Condition attached)

The proposed work by the Owner/Applicant is increasing the lot coverage on the subject property. The added hardscape may have impacts on the City's Storm Water management system. Development

DEVELOPMENT ENGINEERING COMMENTS

[Link to Grading Permit](#)
 [Link to Pool Permit](#)
 [Link to Curb Curt Permit](#)
 [Link Culvert Installation](#)

Engineering strongly encourages the Owner / Applicant introduce Low-Impact Development (LID) measures (e.g., bioswales, permeable pavers, rain gardens, rain barrels etc.) to reduce the impacts to the stormwater system. Should further information be required, please contact the Development Engineering COA reviewer.

| | |
|--------------------------------------------------------------------|------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|
| Development Engineering Recommended Conditions of Approval: | <ol style="list-style-type: none"> 1. The Owner/Applicant shall submit an application and obtain an approved Grading Permit before initiating any work on the property. The Final Lot Grading and/or Servicing Plan will be required for the Grading Permit Application. Please visit the Permits page of the City of Vaughan's website: https://www.vaughan.ca/about-city-vaughan/departments/development-engineering/permits to apply for a Grading Permit. For any inquiries regarding the Grading Permit, please email DEPermits@vaughan.ca. 2. The Owner/Applicant shall submit an application for a Service Connection and obtain a Cost Estimate by emailing serviceconnections@vaughan.ca. The Final Lot Grading and/or Servicing Plan will be required for the Service Connection Application. All costs associated with the service connection shall be the responsibility of the Owner/Applicant. Please visit the Service Connection page of the City of Vaughan's website: https://www.vaughan.ca/about-city-vaughan/departments/development-engineering/service-connections for more information. The Owner/Applicant is encouraged to initiate the process as early as possible as the Service Connection Application process typically takes 4-6 weeks. |
|--------------------------------------------------------------------|------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|

PARKS, FORESTRY & HORTICULTURE (PFH) COMMENTS

Forestry has no comment at this time

| | |
|------------------------------------------------|------|
| PFH Recommended Conditions of Approval: | None |
|------------------------------------------------|------|

DEVELOPMENT FINANCE COMMENTS

No comment no concerns

| | |
|----------------------------------------------------------------|------|
| Development Finance Recommended Conditions of Approval: | None |
|----------------------------------------------------------------|------|

BY-LAW AND COMPLIANCE, LICENSING AND PERMIT SERVICES COMMENTS

No comments received to date.

| | |
|--------------------------------------------------|------|
| BCLPS Recommended Conditions of Approval: | None |
|--------------------------------------------------|------|

BUILDING INSPECTION (SEPTIC) COMMENTS

No comments received to date.

| | |
|----------------------------------------------------------------|------|
| Building Inspection Recommended Conditions of Approval: | None |
|----------------------------------------------------------------|------|

FIRE DEPARTMENT COMMENTS

No comments received to date.

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|------------------------------------------------------------|------|
| Fire Department Recommended Conditions of Approval: | None |
|------------------------------------------------------------|------|

SCHEDULES TO STAFF REPORT

*See Schedule for list of correspondence

| | |
|---------------------------------|---------------------------------------------------|
| Schedule A | Drawings & Plans Submitted with the Application |
| Schedule B | Staff & Agency Comments |
| Schedule C (if required) | Correspondence (Received from Public & Applicant) |

SCHEDULES TO STAFF REPORT

*See Schedule for list of correspondence

| | |
|---------------------------------|--------------------------------------------|
| Schedule D (if required) | Previous COA Decisions on the Subject Land |
|---------------------------------|--------------------------------------------|

Should the Committee find it appropriate to approve this application in accordance with request and the sketch submitted with the application, as required by Ontario Regulation 200/96, the following conditions have been recommended:

SUMMARY OF RECOMMENDED CONDITIONS OF APPROVAL

All conditions of approval, unless otherwise stated, are considered to be incorporated into the approval “if required”. If a condition is no longer required after an approval is final and binding, the condition may be waived by the respective department or agency requesting conditional approval. A condition cannot be waived without written consent from the respective department or agency.

| # | DEPARTMENT / AGENCY | CONDITION(S) DESCRIPTION |
|---|---------------------------------------------------------------------------------------------|-------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|
| 1 | Development Engineering jonal.hall@vaughan.ca | <p>1. The Owner/Applicant shall submit an application and obtain an approved Grading Permit before initiating any work on the property. The Final Lot Grading and/or Servicing Plan will be required for the Grading Permit Application. Please visit the Permits page of the City of Vaughan’s website: https://www.vaughan.ca/about-city-vaughan/departments/development-engineering/permits to apply for a Grading Permit. For any inquiries regarding the Grading Permit, please email DEPermits@vaughan.ca.</p> <p>The Owner/Applicant shall submit an application for a Service Connection and obtain a Cost Estimate by emailing serviceconnections@vaughan.ca. The Final Lot Grading and/or Servicing Plan will be required for the Service Connection Application. All costs associated with the service connection shall be the responsibility of the Owner/Applicant. Please visit the Service Connection page of the City of Vaughan’s website: https://www.vaughan.ca/about-city-vaughan/departments/development-engineering/service-connections for more information.</p> <p>The Owner/Applicant is encouraged to initiate the process as early as possible as the Service Connection Application process typically takes 4-6 weeks.</p> |

IMPORTANT INFORMATION – PLEASE READ

CONDITIONS: It is the responsibility of the owner/applicant and/or authorized agent to obtain and provide a clearance letter from respective department and/or agency (**see condition chart above for contact**). This letter must be provided to the Secretary-Treasurer to be finalized. All conditions must be cleared prior to the issuance of a Building Permit.

APPROVALS: Making any changes to your proposal after a decision has been made may impact the validity of the Committee’s decision.

An approval obtained from the Committee of Adjustment, where applicable, is tied to the building envelope shown on the plans and drawings submitted with the application and subject to the variance approval.

A building envelope is defined by the setbacks of the buildings and/or structures shown on the plans and drawings submitted with the application, as required by Ontario Regulation 200/96. Future development outside of an approved building envelope, where a minor variance was obtained, must comply with the provisions of the City’s Zoning By-law.

Elevation drawings are provided to reflect the style of roof (i.e. flat, mansard, gable etc.) to which a building height variance has been applied. Where a height variance is approved, building height is applied to the style of roof (as defined in the City’s Zoning By-law) shown on the elevation plans submitted with the application.

Architectural design features that are not regulated by the City’s Zoning By-law are not to be considered part of an approval unless specified in the Committee’s decision.

DEVELOPMENT CHARGES: That the payment of the Regional Development Charge, if required, is payable to the City of Vaughan before issuance of a building permit in accordance with the Development Charges Act and the Regional Development Charges By-law in effect at the time of payment.

IMPORTANT INFORMATION – PLEASE READ

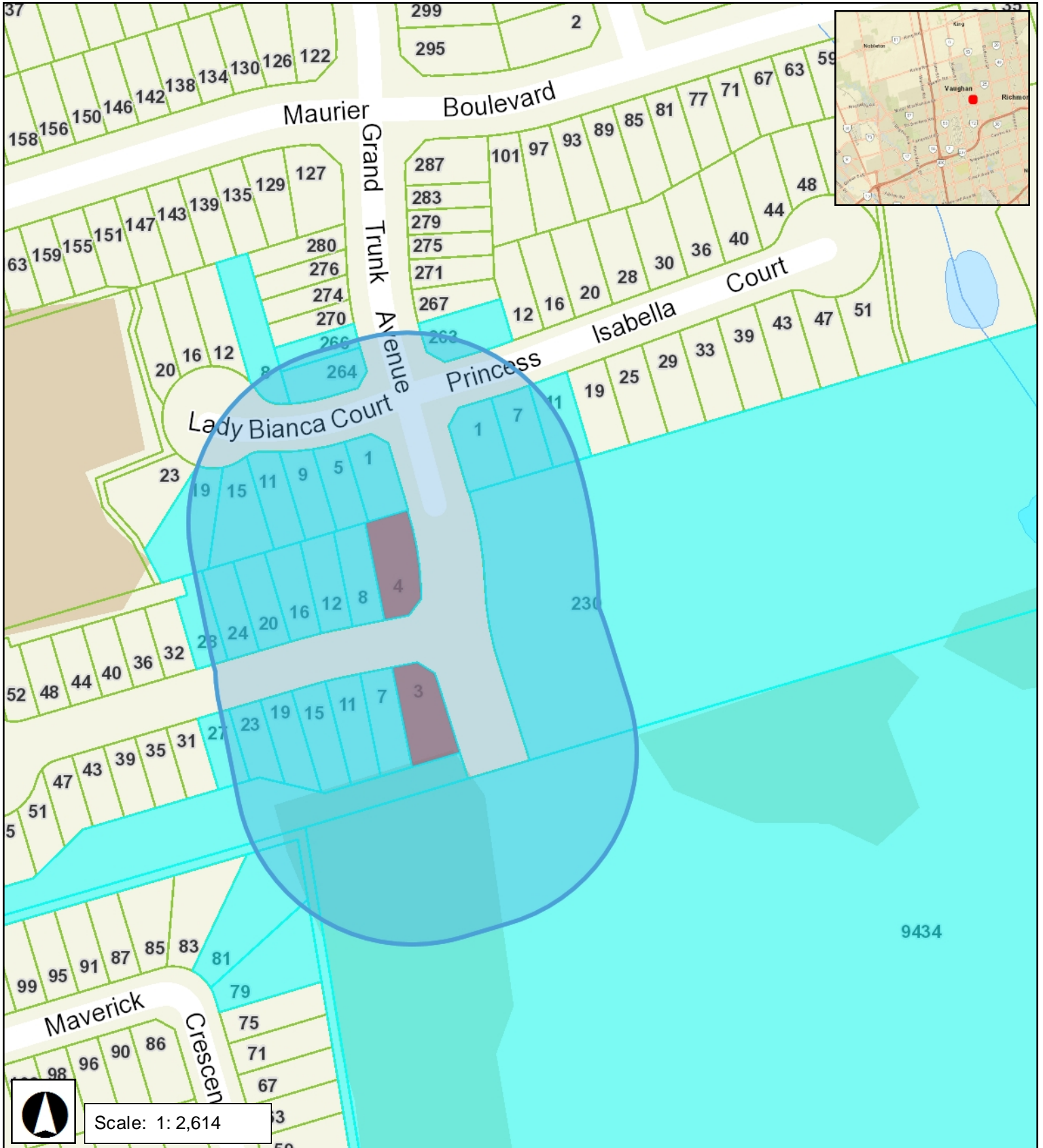
That the payment of the City Development Charge, if required, is payable to the City of Vaughan before issuance of a building permit in accordance with the Development Charges Act and the City's Development Charges By-law in effect at the time of payment.

That the payment of the Education Development Charge if required, is payable to the City of Vaughan before issuance of a building permit in accordance with the Development Charges Act and the Boards of Education By-laws in effect at the time of payment

That the payment of Special Area Development charge, if required, is payable to the City of Vaughan before issuance of a building permit in accordance with the Development Charges Act and The City's Development Charge By-law in effect at the time of Building permit issuance to the satisfaction of the Reserves/Capital Department.

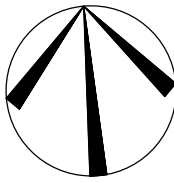
NOTICE OF DECISION: If you wish to be notified of the decision in respect to this application or a related Ontario Land Tribunal (OLT) hearing you must complete a Request for Decision form and submit to the Secretary Treasurer (ask staff for details). In the absence of a written request to be notified of the Committee's decision you will **not** receive notice.

SCHEDULE A: DRAWINGS & PLANS



CITY OF VAUGHAN LOT GRADING STANDARD NOTES

1. ROOF DRAINS TO DISCHARGE AT FRONT OF DWELLING UNITS ONTO GRASSED AREAS VIA CONCRETE SPLASH PADS AND NOT TO CONFLICT WITH WALKWAYS WHERE ARCHITECTURE PERMITS. ROOF DRAINS SHOULD NOT DISCHARGE TO THE REAR OF THE PROPERTY UNLESS OTHERWISE APPROVED BY THE CITY.
2. THE CONTRACTOR SHALL CHECK AND VERIFY ALL GIVEN GRADE ELEVATIONS PRIOR TO COMMENCEMENT OF CONSTRUCTION.
3. FOOTINGS TO BEAR ON NATURAL UNDISTURBED SOIL OR ROCK AND TO BE A MINIMUM OF 1.22 M BELOW FINISHED GRADE.
4. ALL FRONT AND REAR YARDS SHALL BE GRADED AT A 2% TO 5% GRADE WITHIN 5.0 M OF THE DWELLING UNIT.
5. DRIVEWAY SLOPES: MINIMUM 2%; MAXIMUM 8%.
6. THE MAXIMUM ALLOWABLE SLOPE IS 3:1 (HORIZONTAL TO VERTICAL) WITH A MAXIMUM ELEVATION DIFFERENCE OF 600 MM.
7. DRIVEWAYS TO BE SET BACK A MINIMUM OF 1.0 M FROM ABOVE GROUND SERVICES (E.G., HYDRANTS, TRANSFORMERS, STREETLIGHTS, UTILITY POLES AND PEDESTALS, ETC.) OR OTHER OBSTRUCTIONS.



A170/23

PLANS PREPARED AND VARIANCES IDENTIFIED BY APPLICANT

RECEIVED

By providel at 6:22 pm, Oct 31, 2023

NOTE: BUILDER TO VERIFY LOCATION OF ALL HYDRANTS, STREET LIGHTS, TRANSFORMERS AND OTHER SERVICES. IF MIN. DIMENSIONS ARE NOT MAINTAINED BUILDER IS TO RELOCATE AT HIS OWN EXPENSE.

BUILDING STATISTICS

| | |
|---------------------------|--------|
| REG. PLAN No. | |
| ZONE | RD4 |
| LOT NUMBER | LOT 1 |
| LOT AREA(m) ² | 591.78 |
| BLDG AREA(m) ² | N/A |
| LOT COVERAGE(%) | N/A |
| No. OF STOREYS | 2 |
| MEAN HEIGHT(m) | 8.84 |
| PEAK HEIGHT(m) | N/A |
| SPECIFIED HOUSE GRADE(m) | 242.50 |

LEGEND

| | | | |
|------|------------------------------|------|--------------------------|
| FFE | FINISHED FLOOR ELEVATION | [SP] | SUMP PUMP |
| TFW | TOP OF FOUNDATION WALL | [X] | BELL PEDESTAL |
| TBS | TOP OF BASEMENT SLAB | [□] | CABLE PEDESTAL |
| USF | UNDER SIDE FOOTING | [□] | CATCH BASIN |
| USFR | UNDER SIDE FOOTING @ REAR | [*] | DBL CATCH BASIN |
| USFG | UNDER SIDE FOOTING @ GARAGE | [*] | ENGINEERED FILL |
| TEF | TOP OF ENGINEERED FILL | [○] | FIRE HYDRANT |
| R | NUMBER OF RISERS TO GRADE | [SL] | STREET LIGHT |
| WOD | WALKOUT DECK | [X] | MAIL BOX |
| LOB | LOOKOUT BASEMENT | [X] | TRANSFORMER |
| WOB | WALK OUT BASEMENT | [▽] | SEWER CONNECTIONS 2 LOTS |
| WUB | WALK UP BASEMENT | [▽] | SEWER CONNECTIONS 1 LOT |
| REV | REVERSE PLAN | [+] | WATER CONNECTION |
| STD | STANDARD PLAN | [○] | WATER VALVE CHAMBER |
| △ | DOOR | [○] | HYDRANT AND VALVE |
| ○ | WINDOW | [○] | HYDRO METER |
| [AC] | AIR CONDITIONING | [○] | GAS METER |
| [SP] | DOWN SPOUT TO SPLASH PAD | [○] | MANHOLE - STORM |
| [CS] | DOWN SPOUT CONNECTED TO STIM | [○] | MANHOLE - SANITARY |
| [S] | SWALE DIRECTION | [○] | |
| --- | CHAINLINK FENCE | | |
| --- | PRIVACY FENCE | | |
| --- | SOUND BARRIER | | |

NOTE: USF IS BASED ON 150mm (6") FOOTING DEPTH. CONTRACTOR TO CONFIRM WITH WORKING DRAWINGS FOR SPECIFIC SIZES THAT MAY SUPERSEDE THIS SIZE.

ISSUED OR REVISION COMMENTS

| NO. | DESCRIPTION | DATE | DWN | CHK |
|-----|-------------------------------|-----------|-----|-----|
| 1 | ISSUED FOR REVIEW | 27-SEP-21 | BWS | |
| 2 | REVISED PER ENG COMM - FINAL | 20-OCT-21 | BWS | |
| 3 | ISSUED FINAL | 02-NOV-21 | BWS | MSA |
| 4 | REVISED PER ENG COMM - FINAL | 28-JAN-22 | BWS | MSA |
| 5 | 9' BASEMENT ADDED-FINAL | 11-APR-23 | DA | |
| 6 | ISSUED FINAL | 30-MAY-23 | DA | |
| 7 | REVISED PER CITY COMM - FINAL | 15-JUN-23 | RP | |
| 8 | REVISED PER CITY COMM - FINAL | 23-JUN-23 | RP | |
| 9 | ISSUED FOR C OF A | 28-AUG-23 | RP | |

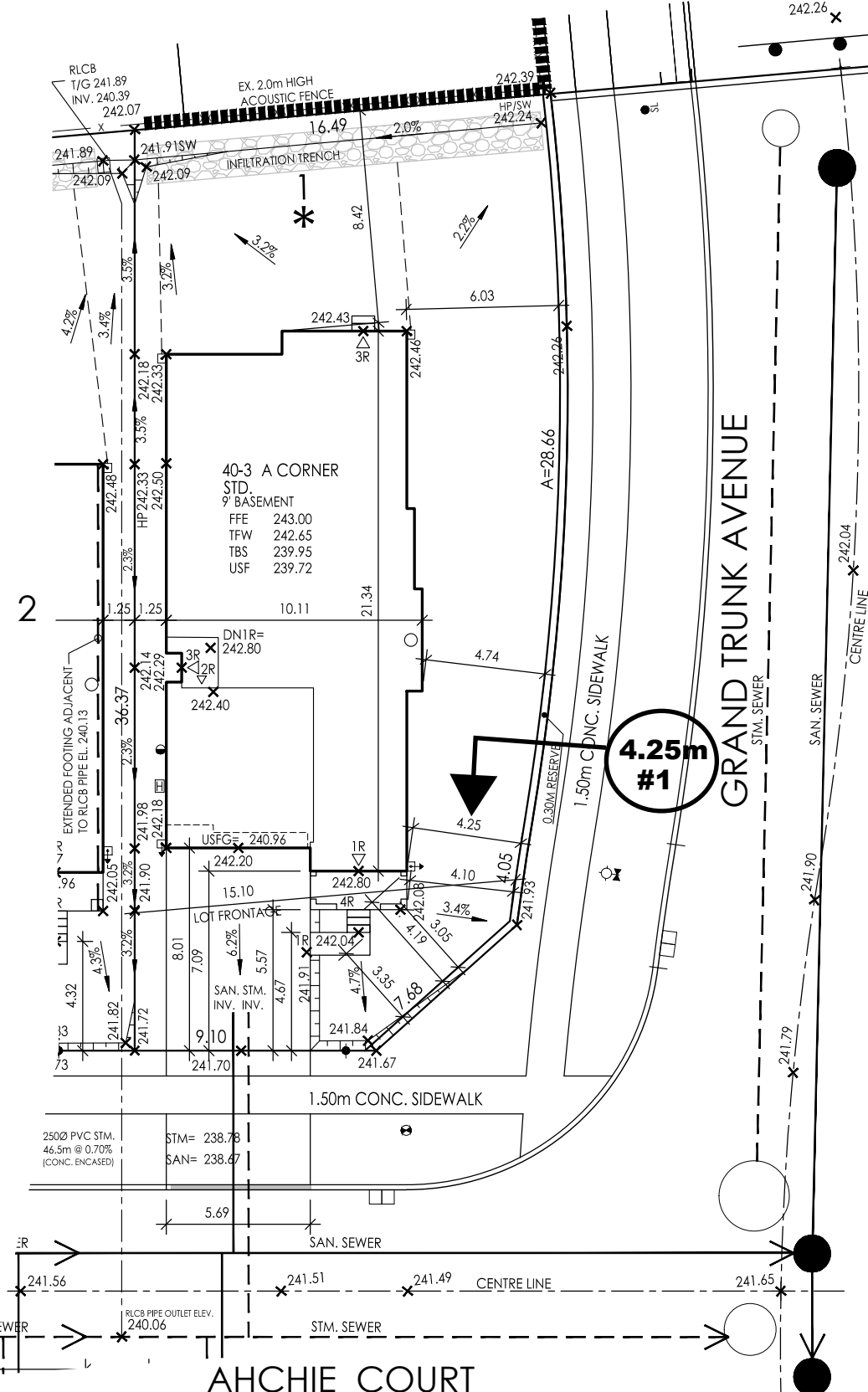
IMPORTANT FOOTING NOTE:
 - IT IS THE RESPONSIBILITY OF THE BUILDER TO VERIFY FROM THE ARCHITECTURAL DRAWINGS BEFORE CONSTRUCTION, WHETHER ADDITIONAL THICKNESS MAY BE REQUIRED.
 - LOT GRADING PLANS ASSUME A TBS TO USF DISTANCE OF 0.23, BASED ON FOOTING THICKNESS UP TO 6".
 - IF ADDITIONAL FOOTING THICKNESS IS REQUIRED THE USF IS TO BE LOWERED BY THE FOLLOWING AMOUNTS:
 - UP TO 9' FOOTING, LOWER USF BY 0.07
 - 10' FOOTING, LOWER USF BY 0.10
 - 11' FOOTING, LOWER USF BY 0.13
 - 12' FOOTING, LOWER USF BY 0.15
 - 13' FOOTING, LOWER USF BY 0.18
 - 14' FOOTING, LOWER USF BY 0.20

RN DESIGN
 WWW.RNDESIGN.COM
 T:905-738-3177
 WWW.THEPLUSGROUP.CA

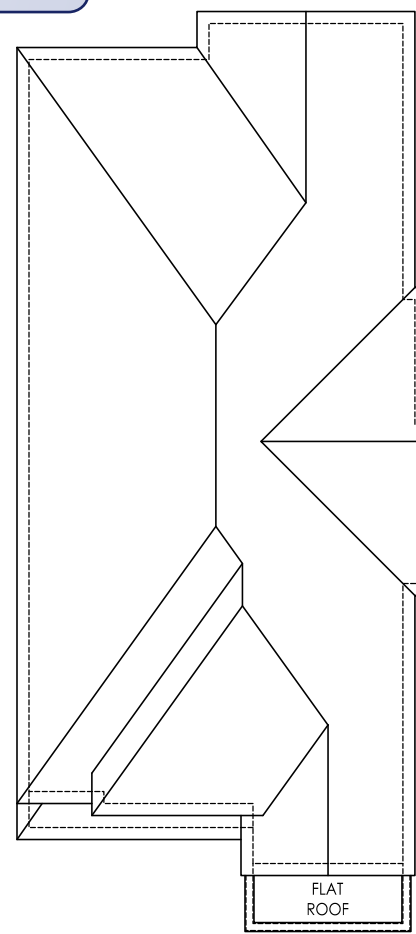
I, MARTHA SANDOVAL DECLARE THAT I HAVE REVIEWED AND TAKEN DESIGN RESPONSIBILITY FOR THE DESIGN WORK ON BEHALF OF **RN DESIGN LTD.** UNDER DIVISION C, PART-3 SUBSECTION-3.2.4 OF THE BUILDING CODE. I AM QUALIFIED AND THE FIRM IS REGISTERED IN THE APPROPRIATE CLASSES / CATEGORIES.
 QUALIFIED DESIGNER BCIN: 103017
 FIRM BCIN: 26995
 DATE:
 SIGNATURE:

CLIENT: **MILANI GROUP**
 PROJECT/LOCATION: **DUFFERIN VISTAS**
 4 AHCHIE COURT
 VAUGHAN, ON
 DRAWING: **SITE PLAN**

DRAWN BY: **BWS** SCALE: **1:250**
 PROJECT No. **20063** LOT NUMBER: **LOT 1**



A170/23



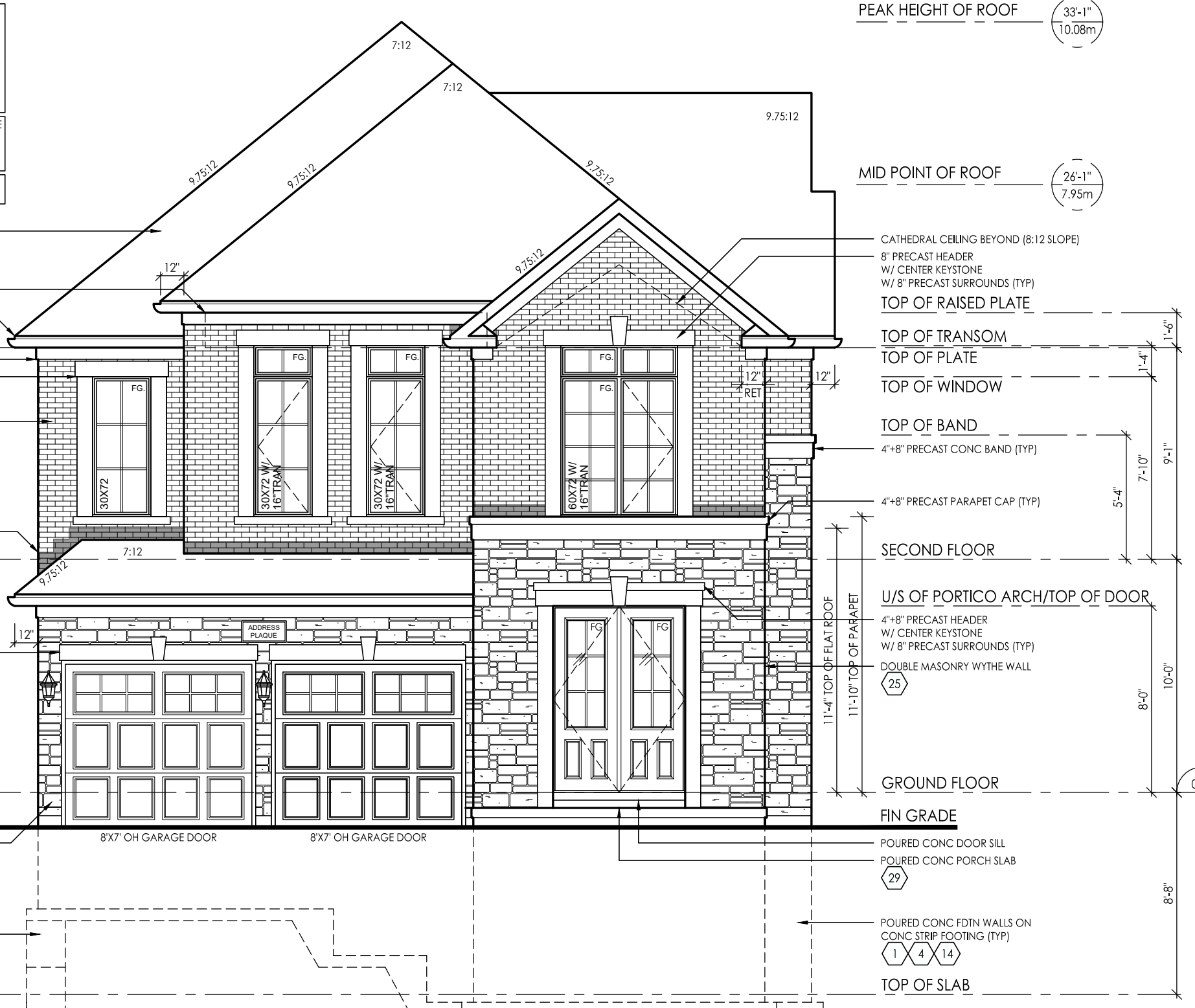
**ROOF PLAN ELEV 'A'
UPGRADED**

NOTE: ALL CONVENTIONAL ROOF FRAMING TO CONFORM TO PART 9 OF THE O.B.C. ROOF RAFTERS THAT MEET OR CROSS OVER TRUSSES ARE TO BE 2"x4" SPF @ 24" OC WITH A 2"x4" SPF VERTICAL POST TO THE TRUSS UNDER. AT EACH CROSS POINT, POSTS LONGER THAN 6' TO BE LATERALLY BRACED SO THAT THE DISTANCE BETWEEN END POINTS & BETWEEN ROWS OF BRACING DOES NOT EXCEED 6'.
NOTE: REFER TO TRUSS DRAWINGS FOR APPROVED TRUSS LAYOUT
NOTE: UNLESS OTHERWISE NOTED, ROOF OVERHANGS ARE 12" STANDARD
NOTE: REFER TO STREETSAPES FOR POSSIBLE MINOR CHANGES DUE TO GRADING CONDITIONS

ASPHALT SHINGLES W/ FLASHING AT VALLEYS (TYP)
18" HIGH RAISED CEILING (TYP)
PRE-FINISHED ALUMINUM RWL AND GUTTER ON PRE-FINISHED FASCIA BOARD AND VENTED SOFFIT (TYP)
1"x6" DECOR FRIEZE BOARD (TYP)
8" PRECAST HEADER W/ 8" PRECAST SURROUNDS W/ 4" PRECAST CONC SILL (TYP)
FACE BRICK (TYP)

PRE-FIN METAL FLASHING W/ CAULKING TO MATCH (TYP)
U/S OF GARAGE/PORCH SOFFIT & TOP OF GARAGE PLATE
8" PRECAST HEADER W/ CENTER KEYSTONE (TYP)

GROUND FLOOR
FIN GRADE
STONE VENEER (TYP)
U/S OF FOOTING
STEPPED FOOTING (TYP)



UPGRADED FRONT ELEVATION 'A'

PEAK HEIGHT OF ROOF 33'-1" / 10.08m
MID POINT OF ROOF 26'-1" / 7.95m

CATHEDRAL CEILING BEYOND (8:12 SLOPE)
8" PRECAST HEADER W/ CENTER KEYSTONE W/ 8" PRECAST SURROUNDS (TYP)
TOP OF RAISED PLATE
TOP OF TRANSOM
TOP OF PLATE
TOP OF WINDOW
TOP OF BAND
4"x8" PRECAST CONC BAND (TYP)
4"x8" PRECAST PARAPET CAP (TYP)
SECOND FLOOR
U/S OF PORTICO ARCH/TOP OF DOOR
4"x8" PRECAST HEADER W/ CENTER KEYSTONE W/ 8" PRECAST SURROUNDS (TYP)
DOUBLE MASONRY WYTHE WALL
11'-4" TOP OF FLAT ROOF
11'-10" TOP OF PARAPET
GROUND FLOOR
FIN GRADE
POURED CONC DOOR SILL
POURED CONC PORCH SLAB
POURED CONC FDN WALLS ON CONC STRIP FOOTING (TYP)
TOP OF SLAB

EVERY WALKING SURFACE SHALL BE PROTECTED BY A WALL OR PROPER GUARD WHERE / IF THE DIFFERENCE IN ELEVATION BETWEEN THE WALKING SURFACE AND ADJACENT SURFACE / GRADE EXCEEDS 600mm (23 5/8 in.), TYPICAL

City of Vaughan
ARCHITECTURAL REVIEWED BY
Jeffrey Resendes
March 06, 2023

VAUGHAN
CITY OF VAUGHAN
BUILDING PERMIT DRAWINGS
ALL CONSTRUCTION SHALL COMPLY WITH THE APPLICABLE REQUIREMENTS OF ONTARIO REGULATION 332/12. (AS AMENDED), THE 2012 BUILDING CODE, MADE UNDER THE BUILDING CODE ACT



WWW.RNDESIGN.COM
Tel: 905-738-3177
WWW.THEPLUSGROUP.CA

I, JORGE MORENO DECLARE THAT I HAVE REVIEWED AND TAKEN DESIGN RESPONSIBILITY FOR THE DESIGN WORK ON BEHALF OF RN DESIGN LTD. UNDER DIVISION C.PART-3 SUBSECTION-3.2.4 OF THE BUILDING CODE. I AM QUALIFIED AND THE FIRM IS REGISTERED IN THE APPROPRIATE CLASSES / CATEGORIES.

QUALIFIED DESIGNER BCIN: 47345
FIRM BCIN: 26995
DATE: 10-AUG-22

SIGNATURE:



R.F. Merrill
2218045 Ontario Limited
Design Control Review

I, Richard F. Merrill, certify that the Plans/ Drawings comply with the approved architectural control guidelines. This stamp is ONLY for the purposes of design control and carries no other professional obligation.

Reviewed by: [Signature]
Date: August 28, 2022
Reviewed for: Final Review

City of Vaughan
ZONING REVIEWED BY
Sarah Scuzzillo
March 16 2023

ALL BUILDING PERMIT DRAWINGS, SPECIFICATIONS AND CONSTRUCTION SHALL COMPLY WITH CITY OF VAUGHAN ZONING BY-LAW 001-2021, AS AMENDED

ALL BUILDING PERMIT DRAWINGS, SPECIFICATIONS AND CONSTRUCTION SHALL COMPLY WITH CITY OF VAUGHAN BY-LAW 1-88, AS AMENDED

City of Vaughan Zoning Review for a **SINGLE DWELLING UNIT ONLY***
*A separate building permit is required for a Secondary Suite subject to the provisions of Subsection 4.1.8 of By-law 1-88, as amended

| # | revisions | date | dwn | chk |
|---|---------------------------------------------------|-----------|-----|-----|
| 1 | ISSUED FOR CLIENT REVIEW | 6-Aug-21 | KK | JM |
| 3 | ISSUED FOR ENG. REVIEW | 5-Jul-22 | KS | JM |
| 4 | REVISED PER ENGINEER COMMENTS & ISSUED FOR PERMIT | 10-Aug-22 | KS | JM |

| | |
|-----------|------------------------|
| client | Milani Group |
| project | Grand Trunk Vaughan |
| model | 40-03 |
| project # | 20063 |
| scale | 3/16" = 1'-0" |
| page | |

GROSS GLAZING AREA-ELEV A-UPG

| | | |
|----------------------------|------------|-----------------------|
| TOTAL PERIPHERAL WALL AREA | 3739.53 SF | 347.41 m ² |
| FRONT GLAZING AREA | 102.79 SF | 9.55 m ² |
| LEFT SIDE GLAZING AREA | 48.78 SF | 4.53 m ² |
| RIGHT SIDE GLAZING AREA | 246.67 SF | 22.92 m ² |
| REAR GLAZING AREA | 209.33 SF | 19.45 m ² |
| TOTAL GLAZING AREA | 607.58 SF | 56.45 m ² |
| TOTAL GLAZING PERCENTAGE | 16.25 % | |

GROSS GLAZING AREA-ELEV A-UPG-OPT

| | | |
|----------------------------|------------|-----------------------|
| TOTAL PERIPHERAL WALL AREA | 3739.53 SF | 347.41 m ² |
| FRONT GLAZING AREA | 102.79 SF | 9.55 m ² |
| LEFT SIDE GLAZING AREA | 48.78 SF | 4.53 m ² |
| RIGHT SIDE GLAZING AREA | 246.67 SF | 22.92 m ² |
| REAR GLAZING AREA | 180.33 SF | 16.75 m ² |
| TOTAL GLAZING AREA | 578.58 SF | 53.75 m ² |
| TOTAL GLAZING PERCENTAGE | 15.47 % | |



UPGRADED RIGHT SIDE ELEVATION 'A'

NOTE: UNLESS OTHERWISE NOTED, ROOF OVERHANGS ARE 12" STANDARD
NOTE: REFER TO FRONT ELEVATION FOR TYPICAL MATERIAL NOTATION

ALLOWABLE UNPROTECTED OPENINGS

| | | |
|--------------------|------------|-------------|
| Total Wall Area | 1476.02 SF | 137.13 S.M. |
| Limiting Distance | 14.1 M | 92.00 F. |
| Allowable Openings | 1357.94 SF | 126.14 S.M. |
| Actual Openings | 204.83 SF | 18.98 S.M. |

ALLOWABLE UNPROTECTED OPENINGS

| | | |
|--------------------|------------|-------------|
| Total Wall Area | 1476.02 SF | 137.13 S.M. |
| Limiting Distance | 14.1 M | 92.00 F. |
| Allowable Openings | 1037.24 SF | 96.4 S.M. |
| Actual Openings | 204.83 SF | 18.98 S.M. |

UPDATED UNPROTECTED OPENINGS CHART PROVIDED BY DESIGNER MAR.07.2023

Building Permit No.: 23-105480 CM
Received: February 13, 2023

A16

RECEIVED
By attwalap at 11:35 am, Oct 27, 2023

City of Vaughan
ARCHITECTURAL REVIEWED BY
Jeffrey Resendes
March 06, 2023

VAUGHAN
CITY OF VAUGHAN
BUILDING PERMIT DRAWINGS

ALL CONSTRUCTION SHALL COMPLY WITH THE APPLICABLE REQUIREMENTS OF ONTARIO REGULATION 332/12, (AS AMENDED), THE 2012 BUILDING CODE, MADE UNDER THE BUILDING CODE ACT



WWW.RNDESIGN.COM
Tel: 905-738-3177
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I, JORGE MORENO DECLARE THAT I HAVE REVIEWED AND TAKEN DESIGN RESPONSIBILITY FOR THE DESIGN WORK ON BEHALF OF **RN DESIGN LTD.** UNDER DIVISION C PART-3 SUBSECTION 3.2.4 OF THE BUILDING CODE. I AM QUALIFIED AND THE FIRM IS REGISTERED IN THE APPROPRIATE CLASSES / CATEGORIES.

QUALIFIED DESIGNER BCIN: 47345
FIRM BCIN: 26995
DATE: 10-AUG-22

SIGNATURE: *J. Moreno*



UPGRADED REAR ELEVATION 'A'

NOTE: UNLESS OTHERWISE NOTED, ROOF OVERHANGS ARE 12" STANDARD
NOTE: REFER TO FRONT ELEVATION FOR TYPICAL MATERIAL NOTATION

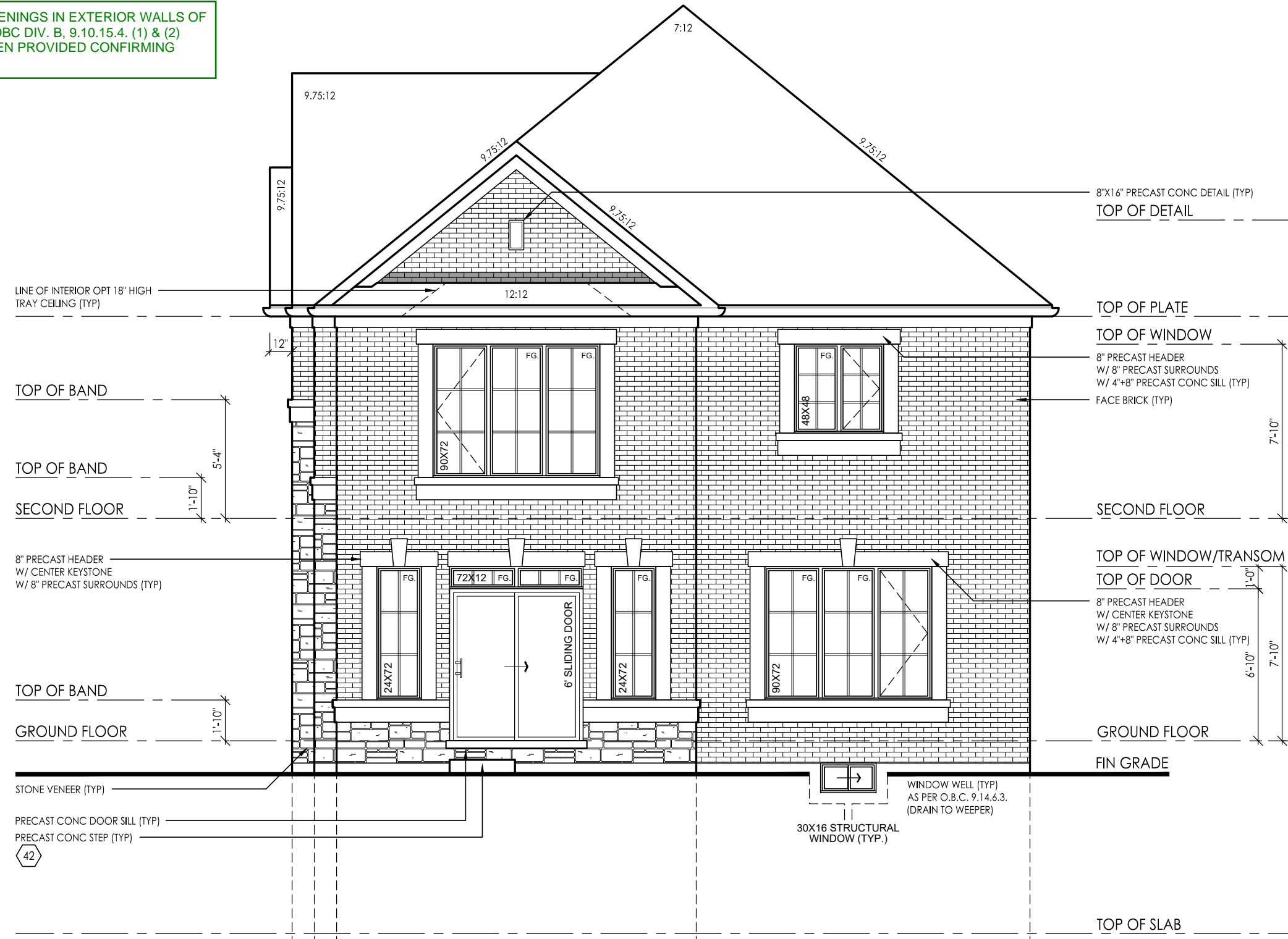
MAXIMUM AREA OF GLAZED OPENINGS IN EXTERIOR WALLS OF HOUSES SHALL CONFORM TO OBC DIV. B, 9.10.15.4. (1) & (2) SEPARATE DOCUMENT HAS BEEN PROVIDED CONFIRMING COMPLIANCE.

City of Vaughan
ZONING REVIEWED BY
Sarah Scuzzillo
March 16 2023

ALL BUILDING PERMIT DRAWINGS, SPECIFICATIONS AND CONSTRUCTION SHALL COMPLY WITH CITY OF VAUGHAN ZONING BY-LAW 001-2021, AS AMENDED

ALL BUILDING PERMIT DRAWINGS, SPECIFICATIONS AND CONSTRUCTION SHALL COMPLY WITH CITY OF VAUGHAN BY-LAW 1-88, AS AMENDED

City of Vaughan Zoning Review for a **SINGLE DWELLING UNIT ONLY***
*A separate building permit is required for a Secondary Suite subject to the provisions of Subsection 4.1.8 of By-law 1-88, as amended



UPGRADED REAR ELEVATION 'A' - OPT 2ND FLR

NOTE: UNLESS OTHERWISE NOTED, ROOF OVERHANGS ARE 12" STANDARD
NOTE: REFER TO FRONT ELEVATION FOR TYPICAL MATERIAL NOTATION

| # | revisions | date | dwn | chk |
|---|---------------------------------------------------|-----------|-----|-----|
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| | | | | |
| | | | | |
| | | | | |
| | | | | |
| | | | | |
| | | | | |
| | | | | |

client: **Milani Group**

project: **Grand Trunk**
Vaughan

model: **40-03**

project #: **20063**

scale: **3/16" = 1'-0"**

page:

R.F. Merrill
2218045 Ontario Limited
Design Control Review

I, Richard F. Merrill, certify that the Plans/ Drawings comply with the approved architectural control guidelines. This stamp is ONLY for the purposes of design control and carries no other professional obligation.

Reviewed by: *R.F. Merrill*
Date: August 28, 2022
Reviewed for: Final Review

Building Permit No.: **23-105480 CM**
Received: February 13, 2023

A17

RECEIVED
By attwalap at 11:35 am, Oct 27, 2023

City of Vaughan
ARCHITECTURAL REVIEWED BY
Jeffrey Resendes
March 06, 2023

VAUGHAN
CITY OF VAUGHAN
BUILDING PERMIT DRAWINGS

ALL CONSTRUCTION SHALL COMPLY WITH THE APPLICABLE REQUIREMENTS OF ONTARIO REGULATION 332/12, (AS AMENDED), THE 2012 BUILDING CODE, MADE UNDER THE BUILDING CODE ACT



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I, JORGE MORENO DECLARE THAT I HAVE REVIEWED AND TAKEN DESIGN RESPONSIBILITY FOR THE DESIGN WORK ON BEHALF OF **RN DESIGN LTD.** UNDER DIVISION C, PART 3 SUBSECTION 3.2.4 OF THE BUILDING CODE. I AM QUALIFIED AND THE FIRM IS REGISTERED IN THE APPROPRIATE CLASSES / CATEGORIES.

QUALIFIED DESIGNER BCIN: 47345
FIRM BCIN: 26995
DATE: 10-AUG-22

SIGNATURE: *[Signature]*



| ALLOWABLE UNPROTECTED OPENINGS | | | | |
|--------------------------------|---------|------|--------|------|
| Total Wall Area | 1212.92 | S.F. | 112.68 | S.M. |
| Limiting Distance | 3.93 | FT | 1.2 | M |
| Allowable Openings | 84.90 | S.F. | 7.89 | S.M. |
| Actual Openings | 54.56 | S.F. | 5.07 | S.M. |

UPGRADED LEFT SIDE ELEVATION 'A'

NOTE: UNLESS OTHERWISE NOTED, ROOF OVERHANGS ARE 12\"/>

City of Vaughan
ZONING REVIEWED BY
Sarah Scauzillo
March 16 2023

ALL BUILDING PERMIT DRAWINGS, SPECIFICATIONS AND CONSTRUCTION SHALL COMPLY WITH CITY OF VAUGHAN ZONING BY-LAW 001-2021, AS AMENDED

ALL BUILDING PERMIT DRAWINGS, SPECIFICATIONS AND CONSTRUCTION SHALL COMPLY WITH CITY OF VAUGHAN BY-LAW 1-88, AS AMENDED

City of Vaughan Zoning Review for a **SINGLE DWELLING UNIT ONLY***
*A separate building permit is required for a Secondary Suite subject to the provisions of Subsection 4.1.8 of By-law 1-88, as amended

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| | |
|-----------|------------------------|
| client | Milani Group |
| project | Grand Trunk Vaughan |
| model | 40-03 |
| project # | 20063 |
| scale | 3/16" = 1'-0" |
| page | A18 |

R.F. Merrill
2218045 Ontario Limited
Design Control Review

I, Richard F. Merrill, certify that the Plans/ Drawings comply with the approved architectural control guidelines. This stamp is ONLY for the purposes of design control and carries no other professional obligation.

Reviewed by: *[Signature]*
Date: August 28, 2022
Reviewed for: Final Review

Building Permit No.: **23-105480 CM**
Received: February 13, 2023

SCHEDULE B: STAFF & AGENCY COMMENTS

| DEPT/AGENCY | Circulated | Comments Received | Conditions | Nature of Comments |
|----------------------------------------------|-------------------------------------|-------------------------------------|--------------------------|----------------------------------|
| TRCA *Schedule B | <input checked="" type="checkbox"/> | <input checked="" type="checkbox"/> | <input type="checkbox"/> | Recommend Approval/No Conditions |
| Ministry of Transportation (MTO) *Schedule B | <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | |
| Region of York *Schedule B | <input checked="" type="checkbox"/> | <input checked="" type="checkbox"/> | <input type="checkbox"/> | General Comments |
| Alectra *Schedule B | <input checked="" type="checkbox"/> | <input checked="" type="checkbox"/> | <input type="checkbox"/> | General Comments |
| Bell Canada *Schedule B | <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | No Comments Received to Date |
| YRDSB *Schedule B | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | |
| YCDSB *Schedule B | <input checked="" type="checkbox"/> | <input checked="" type="checkbox"/> | <input type="checkbox"/> | General Comments |
| CN Rail *Schedule B | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | |
| CP Rail *Schedule B | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | |
| TransCanada Pipeline *Schedule B | <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | No Comments Received to Date |
| Metrolinx *Schedule B | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | |
| Propane Operator *Schedule B | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | |
| Development Planning | <input checked="" type="checkbox"/> | <input checked="" type="checkbox"/> | | Recommend Approval/no conditions |
| Building Standards (Zoning) | <input checked="" type="checkbox"/> | <input checked="" type="checkbox"/> | | General Comments |

Date: October 26th 2023

Attention: **Christine Vigneault**

RE: Request for Comments

File No.: **A170-23**

Related Files:

Applicant Glenn Lucas

Location 4 Archie Court



Discover the possibilities

COMMENTS:

- We have reviewed the proposed Variance Application and have no comments or objections to its approval.
- We have reviewed the proposed Variance Application and have no objections to its approval, subject to the following comments (attached below).
- We have reviewed the proposed Variance Application and have the following concerns (attached below).

Alectra Utilities (formerly PowerStream) has received and reviewed the proposed Variance Application. This review, however, does not imply any approval of the project or plan.

All proposed billboards, signs, and other structures associated with the project or plan must maintain minimum clearances to the existing overhead or underground electrical distribution system as specified by the applicable standards, codes and acts referenced.

In the event that construction commences, and the clearance between any component of the work/structure and the adjacent existing overhead and underground electrical distribution system violates the Occupational Health and Safety Act, the customer will be responsible for 100% of the costs associated with Alectra making the work area safe. All construction work will be required to stop until the safe limits of approach can be established.

In the event construction is completed, and the clearance between the constructed structure and the adjacent existing overhead and underground electrical distribution system violates the any of applicable standards, acts or codes referenced, the customer will be responsible for 100% of Alectra's cost for any relocation work.

References:

- Ontario Electrical Safety Code, latest edition (Clearance of Conductors from Buildings)
- Ontario Health and Safety Act, latest edition (Construction Protection)
- Ontario Building Code, latest edition (Clearance to Buildings)
- PowerStream (Construction Standard 03-1, 03-4), attached
- Canadian Standards Association, latest edition (Basic Clearances)

If more information is required, please contact either of the following:

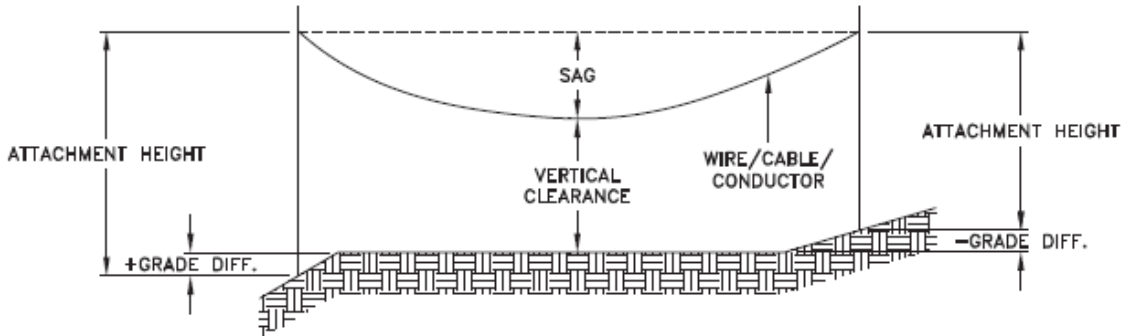
Mr. Stephen Cranley, C.E.T
Supervisor, Distribution Design, ICI & Layouts (North)
Phone: 1-877-963-6900 ext. 31297

E-mail: stephen.cranley@alectrautilities.com

Mitchell Penner
Supervisor, Distribution Design-Subdivisions
Phone: 416-302-6215

Email: Mitchell.Penner@alectrautilities.com

| LOCATION OF WIRES, CABLES OR CONDUCTORS | SYSTEM VOLTAGE | | | |
|---------------------------------------------------------------------------|------------------------------------|------------------------|--------------------------------------|-------|
| | SPAN GUYS AND COMMUNICATIONS WIRES | UP TO 600V AND NEUTRAL | 4.16/2.4kV TO 27.6/16kV (SEE NOTE 1) | 44kV |
| MINIMUM VERTICAL CLEARANCES (SEE NOTE 2) | | | | |
| OVER OR ALONGSIDE ROADS, DRIVEWAYS OR LANDS ACCESSIBLE TO <u>VEHICLES</u> | 442cm | 442cm | 480cm | 520cm |
| OVER GROUND ACCESSIBLE TO <u>PEDESTRIANS AND BICYCLES ONLY</u> | 250cm | 310cm | 340cm | 370cm |
| ABOVE TOP OF RAIL AT <u>RAILWAY CROSSINGS</u> | 730cm | 730cm | 760cm | 810cm |



MINIMUM ATTACHMENT HEIGHT = MAXIMUM SAG
 + MINIMUM VERTICAL CLEARANCE (FROM ABOVE TABLE)
 ± GRADE DIFFERENCE
 + 0.3m (VEHICLE OR RAILWAY LOCATION)
 + SNOW DEPTH (PEDESTRIAN LOCATION, SEE NOTE 3)

NOTES:

1. THE MULTIGROUNDED SYSTEM NEUTRAL HAS THE SAME CLEARANCE AS THE 600V SYSTEM.
2. THE VERTICAL CLEARANCES IN THE ABOVE TABLE ARE UNDER MAXIMUM SAG CONDITIONS.
3. REFER TO CSA STANDARD C22.3 No.1, ANNEX D FOR LOCAL SNOW DEPTH VALUES.
4. ALL CLEARANCES ARE IN ACCORDANCE TO CSA STANDARD C22.3.

CONVERSION TABLE

| METRIC | IMPERIAL (APPROX) |
|--------|-------------------|
| 810cm | 27'-0" |
| 760cm | 25'-4" |
| 730cm | 24'-4" |
| 520cm | 17'-4" |
| 480cm | 16'-0" |
| 442cm | 15'-5" |
| 370cm | 12'-4" |
| 340cm | 11'-4" |
| 310cm | 10'-4" |
| 250cm | 8'-4" |

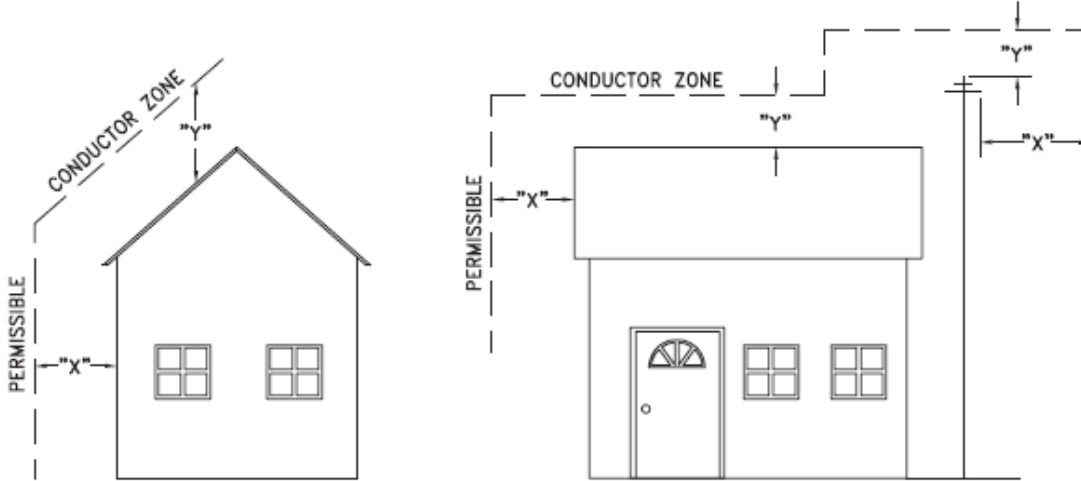
REFERENCES

SAGS AND TENSIONS | SECTION 02

MINIMUM VERTICAL CLEARANCES OF WIRES, CABLES AND CONDUCTORS ABOVE GROUND OR RAILS

ORIGINAL ISSUE DATE: 2010-DEC-24 REVISION NO: R1 REVISION DATE: 2012-JAN-09

| Certificate of Approval | |
|-------------------------------------------------------------------------------------------|-------------|
| This construction Standard meets the safety requirements of Section 4 of Regulation 22/04 | |
| Joe Crozier, P.Eng. | 2012-JAN-09 |
| Name | Date |
| P.Eng. Approval By: | Joe Crozier |



| VOLTAGE | MINIMUM HORIZONTAL CLEARANCE UNDER MAXIMUM SWING CONDITIONS DIMENSION "X" (SEE NOTES 1, 3 & 4) | MINIMUM VERTICAL CLEARANCE UNDER MAXIMUM DESIGN SAG CONDITIONS DIMENSION "Y" (SEE NOTES 1, 2, 4 & 5) |
|--------------------|------------------------------------------------------------------------------------------------|------------------------------------------------------------------------------------------------------|
| 0-600V AND NEUTRAL | 100cm | 250cm |
| 4.16/2.4 TO 44kV | 300cm | 480cm |

NOTES

1. UNDER NO CIRCUMSTANCES SHALL A CONDUCTOR BE PERMITTED TO PENETRATE THE ENVELOPE SHOWN BY THE DOTTED LINE.
2. THE VERTICAL CLEARANCES ARE UNDER CONDITIONS OF MAXIMUM DESIGN SAG.
3. THE HORIZONTAL CLEARANCES ARE UNDER CONDITIONS OF MAXIMUM SWING. WHERE THE CONDUCTOR SWING IS NOT KNOWN A HORIZONTAL CLEARANCE OF 480CM SHALL BE USED.
4. BUILDINGS THAT EXCEED 3 STOREYS OR 15M IN HEIGHT, THE MINIMUM HORIZONTAL CLEARANCE OF THE SECONDARY CONDUCTORS SHOULD BE INCREASED TO 300cm WHERE IT IS NECESSARY TO ALLOW FOR THE RAISING OF LADDERS BY LOCAL FIRE DEPARTMENTS.
5. IN SITUATIONS SUCH AS MULTI-LEVEL GARAGES, WHERE ROOFS ARE NORMALLY USED BY PERSONS AND VEHICLES, THE VERTICAL CLEARANCES OF POWERSTREAM STANDARD 03-1 SHALL APPLY.
6. DISTRIBUTION LINES CONSTRUCTED NEAR BUILDINGS SHALL BE BUILT TO AVOID OVERHANG WHEREVER POSSIBLE. WHERE LINES MUST BE CONSTRUCTED OVER OR ADJACENT TO BUILDINGS THE APPLICABLE HORIZONTAL AND VERTICAL CLEARANCES SHALL BE AT CONDITIONS OF MAXIMUM CONDUCTOR SWING AND MAXIMUM SAG. THE ABOVE CLEARANCES ARE DESIGNED TO PREVENT PERSONS ON OR IN BUILDINGS AS WELL AS EXTERNAL MACHINERY USED IN CONJUNCTION WITH A BUILDING TO COME IN CONTACT WITH CONDUCTORS. EFFORTS SHOULD BE MADE TO INCREASE THESE CLEARANCES WHERE POSSIBLE.
7. ALL CLEARANCES ARE IN ACCORDANCE TO CSA C22.3 NO.1-06 (TABLE-9).

| METRIC | IMPERIAL (APPROX) |
|--------|-------------------|
| 480cm | 16'-0" |
| 300cm | 10'-0" |
| 250cm | 8'-4" |
| 100cm | 3'-4" |

MINIMUM VERTICAL & HORIZONTAL CLEARANCES OF CONDUCTORS FROM BUILDINGS OR OTHER PERMANENT STRUCTURES (CONDUCTORS NOT ATTACHED TO BUILDINGS)

| Certificate of Approval | |
|-------------------------------------------------------------------------------------------|-------------|
| This construction Standard meets the safety requirements of Section 4 of Regulation 22/04 | |
| Debbie Dadwani, P.Eng. | 2010-MAY-05 |
| Name | Date |
| P. Eng. Approval By: <i>D. Dadwani</i> | |

ORIGINAL ISSUE DATE: 2010-MAY-05 REVISION NO: REVISION DATE:
PS System Planning and Standards/Standard Design/PowerStream Standards/PowerStream Standards working folder/Section 3.3-6/DWG 03-4 R0 May 5, 2010.dwg, 5/5/2010 10:20:22 AM, Adobe PDF

To: Committee of Adjustment
From: Sarah Scauzillo, Building Standards Department
Date: October 25, 2023
Applicant: Glenn Lucas
Location: 4 Ahchie Court
 PLAN 65M4782 Lot 1
File No.(s): A170/23

Zoning Classification:

The subject lands are zoned RD4 and subject to the provisions of Exception 9(1483) under Zoning By-law 1-88, as amended.

| Zoning By-law 1-88 | | Variance requested |
|---------------------------|----------------------------------------------------------------------|--------------------------------------------------------|
| 1 | A minimum exterior side yard of 4.5 metres is required. [Schedule A] | To permit a minimum exterior side yard of 4.25 metres. |

Staff Comments:

| Zoning By-law 01-2021 | |
|------------------------------|-------------------------------------------------------------------|
| 1 | The application is transitioned in accordance with Section 1.6.2. |

| General Comments | |
|-------------------------|--------------------------------------------------------------------------------------------------------------------------------------------------|
| 2 | The applicant shall be advised that additional variances may be required upon review of detailed drawing for building permit/site plan approval. |
| 3 | The subject lands may be subject to Ontario Regulation 166/06 (TRCA - Toronto and Region Conservation Authority). |
| 4 | The subject lands may be subject to the Oak Ridges Moraine Conservation Act, RSO 2001. |

Conditions of Approval:

If the committee finds merit in the application, the following conditions of approval are recommended.

* Comments are based on the review of documentation supplied with this application.

To: Christine Vigneault, Committee of Adjustment Secretary Treasurer
From: Nancy Tuckett, Director of Development Planning
Date: October 31, 2023
Name of Owner: Glenn Lucas
Location: 4 Ahchie Court
File No.(s): A170/23

Proposed Variance(s) (By-law 1-88):

1. To permit a minimum exterior side yard of 4.25 metres.

By-Law Requirement(s) (By-law 1-88):

1. A minimum exterior side yard of 4.5 metres is required.

Official Plan:

City of Vaughan Official Plan 2010 ('VOP 2010'): "Low-Rise Residential" by Schedule 13 – Land Use, "Unapproved" by Schedule 2 – Natural Heritage Network, and "Oak Ridges Moraine Settlement Area" by Schedule 4 – Oak Ridges Moraine Conservation Plan & Greenbelt Areas

Comments:

The Owner is requesting permission to construct a two-storey dwelling with the above noted variance.

The Development Planning Department has no objection to the above noted variance for the 0.25 m reduction to the exterior side yard setback. There is additional spatial separation between the exterior lot line and travelled portion of Grand Trunk Avenue. Also, the eastern façade is not uniform, but has modest stepping and uses different cladding materials to provide variation and visual interest. Only the southeast corner of the dwelling requires relief due to how the property is shaped. Due to the combination of spatial separation, façade treatments, and the relative modesty of the distance being sought, it is minor in nature, and is not anticipated to be a perceptible alteration to the Grand Trunk Avenue streetscape. The 4.25 m exterior side yard setback maintains an appropriate area for access, drainage, and vegetated amenity space. The proposed dwelling complies with all other requirements of the Zoning By-law.

Accordingly, the Development Planning Department can support the requested variances and is of the opinion that the proposal is minor in nature, maintains the general intent and purpose of the Official Plan and Zoning By-law, and is desirable for the appropriate development of the land.

Recommendation:

The Development Planning Department recommends approval of the application.

Conditions of Approval:

If the Committee finds merit in the application, the following conditions of approval are recommended:

None

Comments Prepared by:

Michelle Perrone, Planner 1
David Harding, Senior Planner

Lenore Providence

From: Kristen Regier <Kristen.Regier@trca.ca>
Sent: October-31-23 3:22 PM
To: Committee of Adjustment
Cc: Christine Vigneault
Subject: [External] TRCA Comments - A169/23 & A170/23 - 3 & 4 Ahchie Court

Hello,

Please note that given the revised limits of the natural hazards and features established as part of the subdivision process (City File No. 19T-16V001), the subject properties at 3 and 4 Ahchie Court are no longer within TRCA's Regulated Area. TRCA's online Regulated Area screening tool has not yet been updated to reflect this change.

TRCA's Planning and Regulatory policy interests are not impacted. As such, TRCA has no comments on the applications.

Please let me know if you have any questions.

Best,

Kristen Regier, MA (she / her)
Planner I
Development Planning and Permits | Development and Engineering Services
Toronto and Region Conservation Authority (TRCA)

T: [437-880-2129](tel:437-880-2129)
E: kristen.regier@trca.ca
A: [101 Exchange Avenue, Vaughan, ON, L4K 5R6](https://www.trca.ca) | [trca.ca](https://www.trca.ca)



Pravina Attwala

Subject: FW: [External] Re: A170/23 (4 Ahchie Court) - REQUEST FOR COMMENTS, CITY OF VAUGHAN

From: Monika Sadler <monika.sadler@ycdsb.ca>

Sent: October-26-23 9:01 AM

To: Committee of Adjustment <CofA@vaughan.ca>

Subject: [External] Re: A170/23 (4 Ahchie Court) - REQUEST FOR COMMENTS, CITY OF VAUGHAN

Hello,

Thank you for the opportunity to review the above referenced Minor Variance application. YCDSB staff have reviewed the material provided and have no comments or objections to their approval.

Thank you,

Monika Sadler
Planner and Project Analyst, Planning Services
York Catholic District School Board
T. 905.713.1211 ext. 12377
monika.sadler@ycdsb.ca

Pravina Attwala

Subject: FW: [External] RE: A170/23 (4 Archie Court) - REQUEST FOR COMMENTS, CITY OF VAUGHAN

From: Development Services <developmentsservices@york.ca>
Sent: November-01-23 5:52 PM
To: Christine Vigneault <Christine.Vigneault@vaughan.ca>
Cc: Committee of Adjustment <CofA@vaughan.ca>
Subject: [External] RE: A170/23 (4 Archie Court) - REQUEST FOR COMMENTS, CITY OF VAUGHAN

Hi Christine,

The Regional Municipality of York has completed its review of the minor variance application – A170/23 (4 Archie Court) and has no comment.

Please provide us with a copy of the notice of decision for our records.

Many thanks,

Our working hours may be different. Please do not feel obligated to reply outside of your scheduled working hours. Let's work together to help foster healthy work-life boundaries.

Niranjan Rajevan, M.Pl. | Associate Planner, Development Services, Planning and Economic Development, Corporate Services

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SCHEDULE C: PUBLIC & APPLICANT CORRESPONDENCE

None