

ITEM: 6.17	COMMITTEE OF ADJUSTMENT REPORT SUMMARY MINOR VARIANCE APPLICATION FILE NUMBER A169/23 3 AHCHIE COURT, MAPLE
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**THIS REPORT CONTAINS COMMENTS FROM THE FOLLOWING
DEPARTMENTS & AGENCIES:**

*Please see **Schedule B** of this report for a copy of Development Planning and Agency correspondence.

Additional comments from departments and agencies may be received after the publication of the Staff Report. These comments will be processed as an addendum and posted on the City's Website.

DEPARTMENTS	Circulated	Comments Received	Conditions	Nature of Comments
Committee of Adjustment	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	General Comments
Building Standards (Zoning Review)	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	General Comments
Building Inspection (Septic)	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	No Comments Received to Date
Development Planning	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	Recommend Approval/No Conditions
Development Engineering	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	Recommend Approval w/Conditions
Parks, Forestry and Horticulture Operations	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	General Comments
By-law & Compliance, Licensing & Permits	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	No Comments Received to Date
Development Finance	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	General Comments
Real Estate	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Fire Department	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	No Comments Received to Date
AGENCIES	Circulated	Comments Received	Conditions	Nature of Comments
TRCA	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	Recommend Approval/No Conditions
Ministry of Transportation (MTO)	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Region of York	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	General Comments
Alectra	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	General Comments
Bell Canada	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	No Comments Received to Date
YRDSB	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
YCDSB	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	General Comments
CN Rail	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
CP Rail	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
TransCanada Pipeline	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	No Comments Received to Date
Metrolinx	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Propane Operator	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	

PUBLIC & APPLICANT CORRESPONDENCE

*Please see **Schedule C** of this report for a copy of the public & applicant correspondence listed below.

The deadline to submit public comments is **noon on the last business day prior to the scheduled hearing date.**

Comments and written public submissions received after the publication of this Staff Report will be processed as an addendum and posted on the City's Website.

All personal information collected because of this public meeting (including both written and oral submissions) is collected under the authority of the Municipal Act, the Municipal Freedom of Information and Protection of Privacy Act (MFIPPA), the Planning Act and all other relevant legislation, and will be used to assist in deciding on this matter. All personal information (as defined by MFIPPA), including (but not limited to) names, addresses, opinions and comments collected will become property of the City of Vaughan, will be made available for public disclosure (including being posted on the internet) and will be used to assist the Committee of Adjustment and staff to process this application.

Correspondence Type	Name	Address	Date Received (mm/dd/yyyy)	Summary
None				

PREVIOUS COA DECISIONS ON THE SUBJECT LAND

*Please see **Schedule D** for a copy of the Decisions listed below

File Number	Date of Decision MM/DD/YYYY	Decision Outcome

PREVIOUS COA DECISIONS ON THE SUBJECT LAND

*Please see **Schedule D** for a copy of the Decisions listed below

None		
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ADJOURNMENT HISTORY

* Previous hearing dates where this application was adjourned by the Committee and public notice issued.

None	
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**COMMITTEE OF ADJUSTMENT REPORT
MINOR VARIANCE APPLICATION
A169/23
3 AHCHIE COURT, MAPLE**

ITEM NUMBER: 6.17	CITY WARD #: 4
APPLICANT:	Dufferin Vistas Ltd
AGENT:	Lucas And Associates
PROPERTY:	3 Ahchie Court, Maple
ZONING DESIGNATION:	See Below
VAUGHAN OFFICIAL PLAN (2010) DESIGNATION:	City of Vaughan Official Plan 2010 ('VOP 2010'): "Low-Rise Residential" by Schedule 13 – Land Use, "Unapproved" by Schedule 2 – Natural Heritage Network, and "Oak Ridges Moraine Settlement Area" by Schedule 4 – Oak Ridges Moraine Conservation Plan & Greenbelt Areas
RELATED DEVELOPMENT APPLICATIONS:	A170/23
PURPOSE OF APPLICATION:	Relief from the Zoning By-law is being requested to permit a proposed dwelling.

The following variances have been requested from the City's Zoning By-law:

The subject lands are zoned RD4 and subject to the provisions of Exception 9(1483) under Zoning By-law 1-88, as amended.

Zoning By-law 1-88		Variance requested
1	A minimum exterior side yard of 4.5 metres is required. [Schedule A]	To permit a minimum exterior side yard of 4.2 metres.

HEARING INFORMATION

<p>DATE OF MEETING: Thursday, November 16, 2023 TIME: 6:00 p.m. MEETING LOCATION: Vaughan City Hall, Woodbridge Room (2nd Floor), 2141 Major Mackenzie Drive LIVE STREAM LINK: Vaughan.ca/LiveCouncil</p> <p style="text-align: center;">PUBLIC PARTICIPATION</p> <p>If you would like to speak to the Committee of Adjustment at the meeting, either remotely or in person, please complete the Request to Speak Form and submit to cofa@vaughan.ca</p> <p>If you would like to submit written comments, please quote file number above and submit by mail or email to:</p> <p>Email: cofa@vaughan.ca</p> <p>Mail: City of Vaughan, Office of the City Clerk, Committee of Adjustment, 2141 Major Mackenzie Drive, Vaughan, ON, L6A 1T1</p> <p>To speak electronically, pre-registration is required by completing the Request to Speak Form on-line and submitting it to cofa@vaughan.ca no later than NOON on the last business day before the meeting.</p> <p>THE DEADLINE TO REGISTER TO SPEAK ELECTRONICALLY OR SUBMIT WRITTEN COMMENTS ON THE ABOVE NOTED FILE(S) IS NOON ON THE LAST BUSINESS DAY BEFORE THE MEETING.</p>
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INTRODUCTION

Staff and Agencies act as advisory bodies to the Committee of Adjustment. The comments contained in this report are presented as recommendations to the Committee.

Section 45(1) of the Planning Act sets the criteria for authorizing minor variances to the City of Vaughan's Zoning By-law. Accordingly, review of the application may consider the following:

That the general intent and purpose of the by-law will be maintained.

INTRODUCTION

That the general intent and purpose of the official plan will be maintained.
 That the requested variance(s) is/are acceptable for the appropriate development of the subject lands.
 That the requested variance(s) is/are minor in nature.

Public written and oral submissions relating to this application are taken into consideration by the Committee of Adjustment as part of its deliberations and final decision on this matter.

COMMITTEE OF ADJUSTMENT COMMENTS

Date Public Notice Mailed:	November 2, 2023
Date Applicant Confirmed Posting of Sign:	November 1, 2023
Applicant Justification for Variances: <small>*As provided by Applicant in Application Form</small>	A 0.3 m reserve was unexpectedly added to the exterior side lot line in the M-Plan after the draft approval of the plan of subdivision. The design and siting of the residential unit was undertaken with the belief that there would not be a 0.3 m reserve. The introduction of a 0.3 m reserve results in an encroachment and the need for a minor variance from 4.5 m to 4.25 m.
Adjournment Requests (from staff): <small>*Adjournment requests provided to applicant prior to issuance of public notice</small>	None
Was a Zoning Review Waiver (ZRW) Form submitted by Applicant: <small>*ZRW Form may be used by applicant in instances where a revised submission is made, and zoning staff do not have an opportunity to review and confirm variances prior to the issuance of public notice. *A revised submission may be required to address staff / agency comments received as part of the application review process. *Where a zoning review has not been completed on a revised submission, an opportunity is provided to the applicant to adjourn the proposal prior to the issuance of public notice.</small>	No
Adjournment Fees: In accordance with Procedural By-law 069-2019, an Adjournment Fee is applicable to reschedule an application after the issuance of public notice where a request for adjournment has been provided to the applicant prior to the issuance of public notice. An Adjournment Fee can only be waived in instances where adjournment of an application is requested by the Committee or staff after the issuance of public notice.	
Committee of Adjustment Comments:	None
Committee of Adjustment Recommended Conditions of Approval:	None

BUILDING STANDARDS (ZONING) COMMENTS

**See Schedule B for Building Standards (Zoning) Comments

Building Standards Recommended Conditions of Approval:	None
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DEVELOPMENT PLANNING COMMENTS

**See Schedule B for Development Planning Comments.

Development Planning Recommended Conditions of Approval:	None
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DEVELOPMENT ENGINEERING COMMENTS

[Link to Grading Permit](#) [Link to Pool Permit](#) [Link to Curb Curt Permit](#) [Link Culvert Installation](#)

As the proposed dwelling/ structure/ cabana in the subject property exceeds 10 m², the Owner/ Applicant needs to obtain a 'Lot Grading Permit' from the Development Inspection and Lot Grading Division of the City's Development Engineering Department. Please note any in-ground structure over 10 m² requires a 'Grading Permit'. Please contact the Development Engineering Reviewer after receiving the Grading Permit to clear the condition. (Condition attached)

The proposed work by the Owner/Applicant is increasing the lot coverage on the subject property. The added hardscape may have impacts on the City's Storm Water management system. Development Engineering strongly encourages the Owner / Applicant introduce Low-Impact Development (LID)

DEVELOPMENT ENGINEERING COMMENTS

[Link to Grading Permit](#)
 [Link to Pool Permit](#)
 [Link to Curb Curt Permit](#)
 [Link Culvert Installation](#)

measures (e.g., bioswales, permeable pavers, rain gardens, rain barrels etc.) to reduce the impacts to the stormwater system. Should further information be required, please contact the Development Engineering COA reviewer.

Development Engineering Recommended Conditions of Approval:	<ol style="list-style-type: none"> 1. The Owner/Applicant shall submit an application and obtain an approved Grading Permit before initiating any work on the property. The Final Lot Grading and/or Servicing Plan will be required for the Grading Permit Application. Please visit the Permits page of the City of Vaughan's website: https://www.vaughan.ca/about-city-vaughan/departments/development-engineering/permits to apply for a Grading Permit. For any inquiries regarding the Grading Permit, please email DEPermits@vaughan.ca. 2. The Owner/Applicant shall submit an application for a Service Connection and obtain a Cost Estimate by emailing serviceconnections@vaughan.ca. The Final Lot Grading and/or Servicing Plan will be required for the Service Connection Application. All costs associated with the service connection shall be the responsibility of the Owner/Applicant. Please visit the Service Connection page of the City of Vaughan's website: https://www.vaughan.ca/about-city-vaughan/departments/development-engineering/service-connections for more information. The Owner/Applicant is encouraged to initiate the process as early as possible as the Service Connection Application process typically takes 4-6 weeks.
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PARKS, FORESTRY & HORTICULTURE (PFH) COMMENTS

Forestry has no comment at this time

PFH Recommended Conditions of Approval:	None
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DEVELOPMENT FINANCE COMMENTS

No comment no concerns

Development Finance Recommended Conditions of Approval:	None
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BY-LAW AND COMPLIANCE, LICENSING AND PERMIT SERVICES COMMENTS

No comments received to date.

BCLPS Recommended Conditions of Approval:	None
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BUILDING INSPECTION (SEPTIC) COMMENTS

No comments received to date.

Building Inspection Recommended Conditions of Approval:	None
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FIRE DEPARTMENT COMMENTS

No comments received to date.

Fire Department Recommended Conditions of Approval:	None
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SCHEDULES TO STAFF REPORT

*See Schedule for list of correspondence

Schedule A	Drawings & Plans Submitted with the Application
Schedule B	Staff & Agency Comments
Schedule C (if required)	Correspondence (Received from Public & Applicant)
Schedule D (if required)	Previous COA Decisions on the Subject Land

Should the Committee find it appropriate to approve this application in accordance with request and the sketch submitted with the application, as required by Ontario Regulation 200/96, the following conditions have been recommended:

SUMMARY OF RECOMMENDED CONDITIONS OF APPROVAL		
All conditions of approval, unless otherwise stated, are considered to be incorporated into the approval “if required”. If a condition is no longer required after an approval is final and binding, the condition may be waived by the respective department or agency requesting conditional approval. A condition cannot be waived without written consent from the respective department or agency.		
#	DEPARTMENT / AGENCY	CONDITION(S) DESCRIPTION
1	Development Engineering jonal.hall@vaughan.ca	<ol style="list-style-type: none"> 1. The Owner/Applicant shall submit an application and obtain an approved Grading Permit before initiating any work on the property. The Final Lot Grading and/or Servicing Plan will be required for the Grading Permit Application. Please visit the Permits page of the City of Vaughan’s website: https://www.vaughan.ca/about-city-vaughan/departments/development-engineering/permits to apply for a Grading Permit. For any inquiries regarding the Grading Permit, please email DEPermits@vaughan.ca. 2. The Owner/Applicant shall submit an application for a Service Connection and obtain a Cost Estimate by emailing serviceconnections@vaughan.ca. The Final Lot Grading and/or Servicing Plan will be required for the Service Connection Application. All costs associated with the service connection shall be the responsibility of the Owner/Applicant. Please visit the Service Connection page of the City of Vaughan’s website: https://www.vaughan.ca/about-city-vaughan/departments/development-engineering/service-connections for more information. The Owner/Applicant is encouraged to initiate the process as early as possible as the Service Connection Application process typically takes 4-6 weeks.

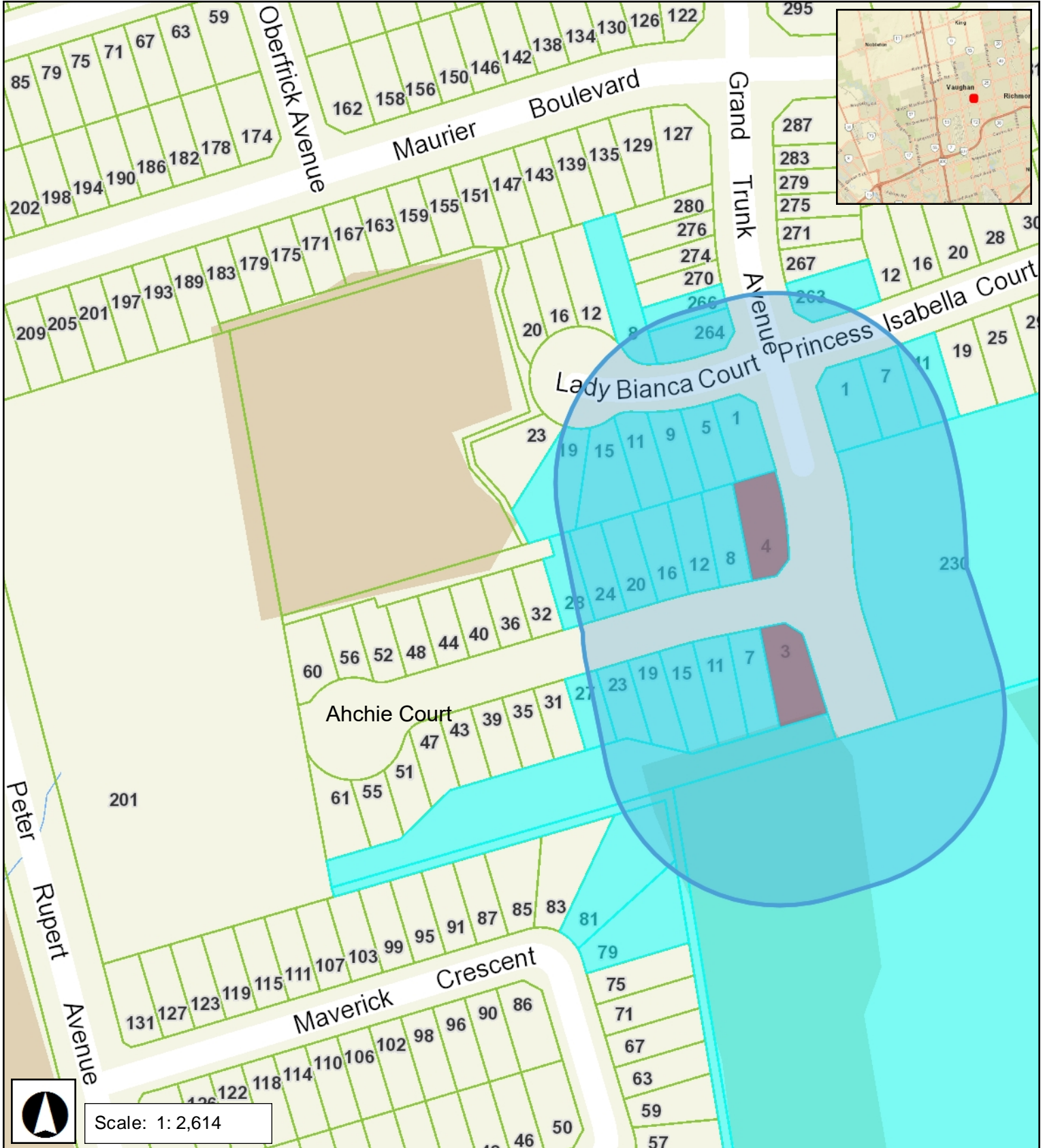
IMPORTANT INFORMATION – PLEASE READ
<p>CONDITIONS: It is the responsibility of the owner/applicant and/or authorized agent to obtain and provide a clearance letter from respective department and/or agency (see condition chart above for contact). This letter must be provided to the Secretary-Treasurer to be finalized. All conditions must be cleared prior to the issuance of a Building Permit.</p>
<p>APPROVALS: Making any changes to your proposal after a decision has been made may impact the validity of the Committee’s decision.</p> <p>An approval obtained from the Committee of Adjustment, where applicable, is tied to the building envelope shown on the plans and drawings submitted with the application and subject to the variance approval.</p> <p>A building envelope is defined by the setbacks of the buildings and/or structures shown on the plans and drawings submitted with the application, as required by Ontario Regulation 200/96. Future development outside of an approved building envelope, where a minor variance was obtained, must comply with the provisions of the City’s Zoning By-law.</p> <p>Elevation drawings are provided to reflect the style of roof (i.e. flat, mansard, gable etc.) to which a building height variance has been applied. Where a height variance is approved, building height is applied to the style of roof (as defined in the City’s Zoning By-law) shown on the elevation plans submitted with the application.</p> <p>Architectural design features that are not regulated by the City’s Zoning By-law are not to be considered part of an approval unless specified in the Committee’s decision.</p>
<p>DEVELOPMENT CHARGES: That the payment of the Regional Development Charge, if required, is payable to the City of Vaughan before issuance of a building permit in accordance with the Development Charges Act and the Regional Development Charges By-law in effect at the time of payment.</p> <p>That the payment of the City Development Charge, if required, is payable to the City of Vaughan before issuance of a building permit in accordance with the Development Charges Act and the City’s Development Charges By-law in effect at the time of payment.</p> <p>That the payment of the Education Development Charge if required, is payable to the City of Vaughan before issuance of a building permit in accordance with the Development Charges Act and the Boards of Education By-laws in effect at the time of payment</p>

IMPORTANT INFORMATION – PLEASE READ

That the payment of Special Area Development charge, if required, is payable to the City of Vaughan before issuance of a building permit in accordance with the Development Charges Act and The City's Development Charge By-law in effect at the time of Building permit issuance to the satisfaction of the Reserves/Capital Department.

NOTICE OF DECISION: If you wish to be notified of the decision in respect to this application or a related Ontario Land Tribunal (OLT) hearing you must complete a Request for Decision form and submit to the Secretary Treasurer (ask staff for details). In the absence of a written request to be notified of the Committee's decision you will **not** receive notice.

SCHEDULE A: DRAWINGS & PLANS

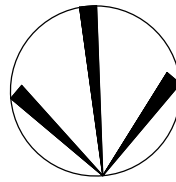


CITY OF VAUGHAN LOT GRADING STANDARD NOTES

1. ROOF DRAINS TO DISCHARGE AT FRONT OF DWELLING UNITS ONTO GRASSED AREAS VIA CONCRETE SPLASH PADS AND NOT TO CONFLICT WITH WALKWAYS WHERE ARCHITECTURE PERMITS. ROOF DRAINS SHOULD NOT DISCHARGE TO THE REAR OF THE PROPERTY UNLESS OTHERWISE APPROVED BY THE CITY.
2. THE CONTRACTOR SHALL CHECK AND VERIFY ALL GIVEN GRADE ELEVATIONS PRIOR TO COMMENCEMENT OF CONSTRUCTION.
3. FOOTINGS TO BEAR ON NATURAL UNDISTURBED SOIL OR ROCK AND TO BE A MINIMUM OF 1.22 M BELOW FINISHED GRADE.
4. ALL FRONT AND REAR YARDS SHALL BE GRADED AT A 2% TO 5% GRADE WITHIN 5.0 M OF THE DWELLING UNIT.
5. DRIVEWAY SLOPES: MINIMUM 2%; MAXIMUM 8%.
6. THE MAXIMUM ALLOWABLE SLOPE IS 3:1 (HORIZONTAL TO VERTICAL) WITH A MAXIMUM ELEVATION DIFFERENCE OF 600 MM.
7. DRIVEWAYS TO BE SET BACK A MINIMUM OF 1.0 M FROM ABOVE GROUND SERVICES (E.G., HYDRANTS, TRANSFORMERS, STREETLIGHTS, UTILITY POLES AND PEDESTALS, ETC.) OR OTHER OBSTRUCTIONS.

LOT 30 LANDSCAPE CALCULATION	
FRONT YARD AREA (m ²)	61.0
LANDSCAPED FRONT YARD (m ²)	32.2
LANDSCAPED FRONT YARD (%)	52.8
SOFT LANDSCAPE AREA (m ²)	29.6
SOFT LANDSCAPE (%)	91.9

A169/23



NOTE: BUILDER TO VERIFY LOCATION OF ALL HYDRANTS, STREET LIGHTS, TRANSFORMERS AND OTHER SERVICES. IF MIN. DIMENSIONS ARE NOT MAINTAINED BUILDER IS TO RELOCATE AT HIS OWN EXPENSE.

BUILDING STATISTICS

REG. PLAN No.	
ZONE	RD4
LOT NUMBER	LOT 30
LOT AREA (m ²)	587.41
BLDG AREA (m ²)	N/A
LOT COVERAGE (%)	N/A
No. OF STOREYS	2
MEAN HEIGHT (m)	7.93
PEAK HEIGHT (m)	N/A
SPECIFIED HOUSE GRADE (m)	242.03

LEGEND

FFE	FINISHED FLOOR ELEVATION	SP	SUMP PUMP
TFW	TOP OF FOUNDATION WALL	BP	BELL PEDESTAL
TBS	TOP OF BASEMENT SLAB	CP	CABLE PEDESTAL
USF	UNDER SIDE FOOTING	CB	CATCH BASIN
USFR	UNDER SIDE FOOTING @ REAR	DBL CB	DBL CATCH BASIN
USFG	UNDER SIDE FOOTING @ GARAGE	EF	ENGINEERED FILL
TEF	TOP OF ENGINEERED FILL	HC	HYDRO CONNECTION
R	NUMBER OF RISERS TO GRADE	HY	FIRE HYDRANT
WOD	WALKOUT DECK	SL	STREET LIGHT
LOB	LOOKOUT BASEMENT	MB	MAIL BOX
WOB	WALK OUT BASEMENT	TR	TRANSFORMER
WUB	WALK UP BASEMENT	SC2	SEWER CONNECTIONS 2 LOTS
REV	REVERSE PLAN	SC1	SEWER CONNECTIONS 1 LOT
STD	STANDARD PLAN	WC	WATER CONNECTION
DOOR	DOOR	WVC	WATER VALVE CHAMBER
WINDOW	WINDOW	HAV	HYDRANT AND VALVE
AC	AIR CONDITIONING	HM	HYDRO METER
DS	DOWN SPOUT TO SPLASH PAD	GM	GAS METER
DC	DOWN SPOUT CONNECTED TO STIM	MS	MANHOLE - STORM
SD	SWALE DIRECTION	MS-S	MANHOLE - SANITARY
---	CHAINLINK FENCE		
---	PRIVACY FENCE		
---	SOUND BARRIER		

NOTE: USF IS BASED ON 150mm (6") FOOTING DEPTH. CONTRACTOR TO CONFIRM WITH WORKING DRAWINGS FOR SPECIFIC SIZES THAT MAY SUPERSEDE THIS SIZE.

ISSUED OR REVISION COMMENTS

NO.	DESCRIPTION	DATE	DWN	CHK
1	ISSUED FOR REVIEW	27-SEP-21	BWS	
2	REVISED PER ENG COMM - FINAL	20-OCT-21	BWS	
3	ISSUED FINAL	02-NOV-21	BWS	MSA
4	REVISED PER ENG COMM - FINAL	28-JAN-22	BWS	MSA
5	9' BASEMENT ADDED-FINAL	11-APR-23	DA	
6	ISSUED FINAL	30-MAY-23	DA	
7	REVISED PER CITY COMM - FINAL	15-JUN-23	RP	
8	REVISED PER CITY COMM - FINAL	23-JUN-23	RP	
9	ISSUED FOR C OF A	28-AUG-23	RP	

IMPORTANT FOOTING NOTE:
 - IT IS THE RESPONSIBILITY OF THE BUILDER TO VERIFY FROM THE ARCHITECTURAL DRAWINGS BEFORE CONSTRUCTION, WHETHER ADDITIONAL THICKNESS MAY BE REQUIRED.
 - LOT GRADING PLANS ASSUME A TBS TO USF DISTANCE OF 0.23, BASED ON FOOTING THICKNESS UP TO 6".
 - IF ADDITIONAL FOOTING THICKNESS IS REQUIRED THE USF IS TO BE LOWERED BY THE FOLLOWING AMOUNTS:
 - UP TO 9" FOOTING, LOWER USF BY 0.07
 - 10" FOOTING, LOWER USF BY 0.10
 - 11" FOOTING, LOWER USF BY 0.13
 - 12" FOOTING, LOWER USF BY 0.15
 - 13" FOOTING, LOWER USF BY 0.18
 - 14" FOOTING, LOWER USF BY 0.20

RN DESIGN
 WWW.RNDESIGN.COM
 T:905-738-3177
 WWW.THEPLUSGROUP.CA

I, MARTHA SANDOVAL DECLARE THAT I HAVE REVIEWED AND TAKEN DESIGN RESPONSIBILITY FOR THE BUILDING WORK ON BEHALF OF **RN DESIGN LTD.** UNDER DIVISION C, PART-3 SUBSECTION-3.2.4 OF THE BUILDING CODE. I AM QUALIFIED AND THE FIRM IS REGISTERED IN THE APPROPRIATE CLASSES / CATEGORIES.
 QUALIFIED DESIGNER BCIN: 103017
 FIRM BCIN: 26995
 DATE: _____
 SIGNATURE: _____

CLIENT	MILANI GROUP
PROJECT/LOCATION	DUFFERIN VISTAS 3 AHCHIE COURT VAUGHAN, ON
DRAWING	SITE PLAN

DRAWN BY	SCALE
BWS	1:250
PROJECT No.	LOT NUMBER
20063	LOT 30

GRAND TRUNK AVENUE

AHCHIE COURT

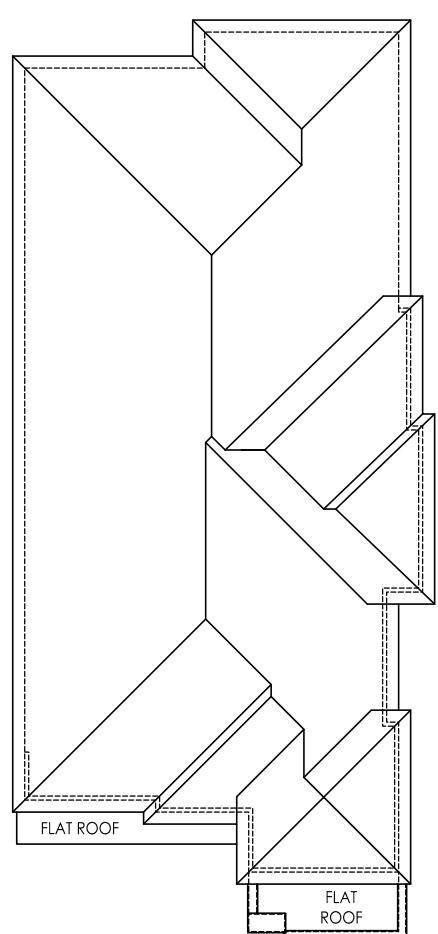
PLANS PREPARED AND VARIANCES IDENTIFIED BY APPLICANT

RECEIVED

By providel at 6:29 pm, Oct 31, 2023

RECEIVED
By attwalap at 11:36 am, Oct 27, 2023

A169/23



ROOF PLAN ELEV 'B' UPGRADED

GROSS GLAZING AREA-ELEV B-UPG

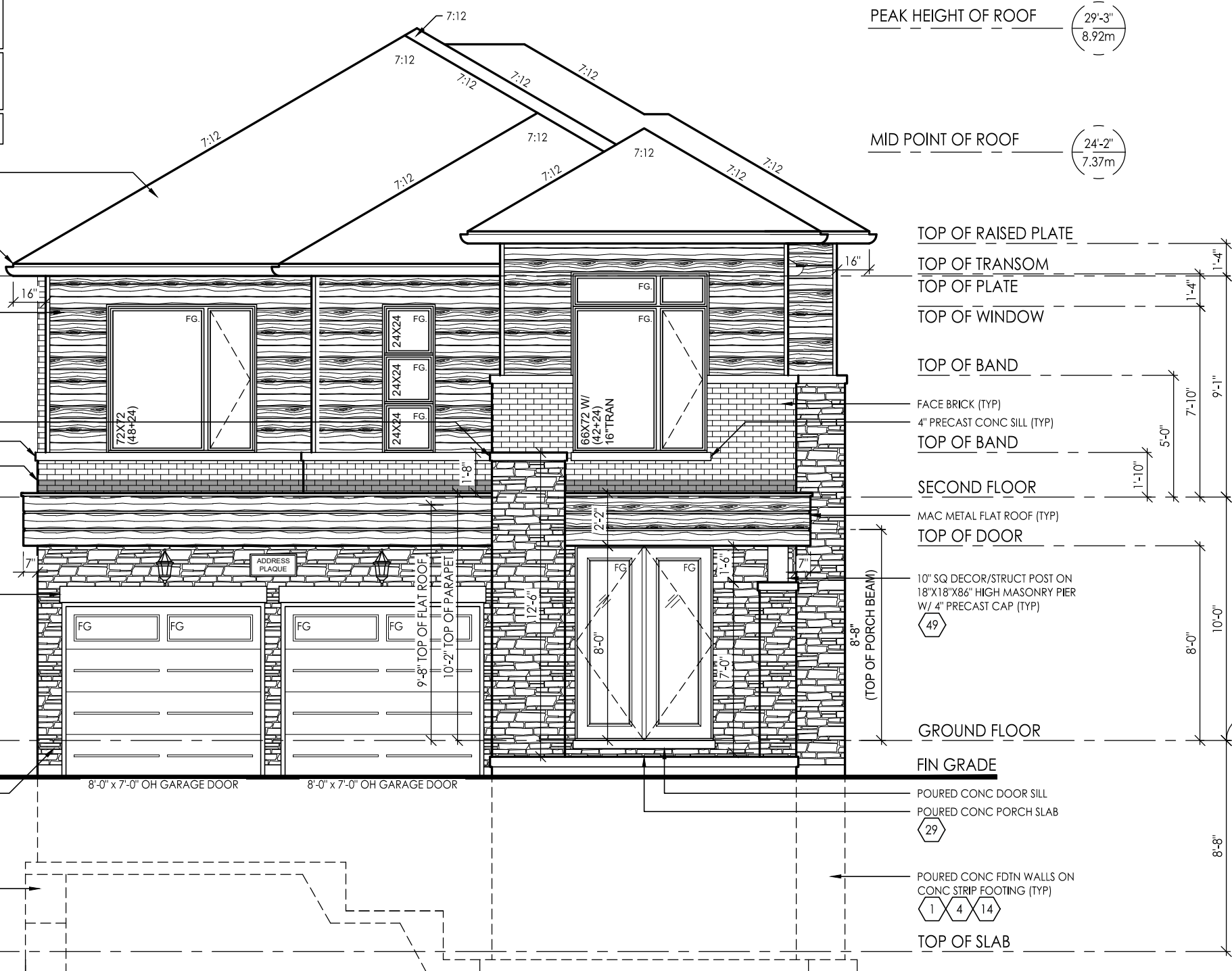
TOTAL PERIPHERAL WALL AREA	4297.78 SF	399.28 m ²
FRONT GLAZING AREA	133.67 SF	12.42 m ²
LEFT SIDE GLAZING AREA	48.78 SF	4.53 m ²
RIGHT SIDE GLAZING AREA	313.00 SF	29.08 m ²
REAR GLAZING AREA	209.33 SF	19.45 m ²
TOTAL GLAZING AREA	704.78 SF	65.48 m ²
TOTAL GLAZING PERCENTAGE	16.40 %	

GROSS GLAZING AREA-ELEV B-UPG-OPT

TOTAL PERIPHERAL WALL AREA	4297.78 SF	399.28 m ²
FRONT GLAZING AREA	133.67 SF	12.42 m ²
LEFT SIDE GLAZING AREA	48.78 SF	4.53 m ²
RIGHT SIDE GLAZING AREA	313.00 SF	29.08 m ²
REAR GLAZING AREA	180.33 SF	16.75 m ²
TOTAL GLAZING AREA	675.78 SF	62.78 m ²
TOTAL GLAZING PERCENTAGE	15.72 %	

NOTE: ALL CONVENTIONAL ROOF FRAMING TO CONFORM TO PART 9 OF THE O.B.C. ROOF RAFTERS THAT MEET OR CROSS OVER TRUSSES ARE TO BE 2"x4" SPF @ 24" OC WITH A 2"x4" SPF VERTICAL POST TO THE TRUSS UNDER. AT EACH CROSS POINT, POSTS LONGER THAN 6' TO BE LATERALLY BRACED SO THAT THE DISTANCE BETWEEN END POINTS & BETWEEN ROWS OF BRACING DOES NOT EXCEED 6'.
NOTE: REFER TO TRUSS DRAWINGS FOR APPROVED TRUSS LAYOUT.
NOTE: UNLESS OTHERWISE NOTED, ROOF OVERHANGS ARE 12" STANDARD.
NOTE: REFER TO STREETSCAPES FOR POSSIBLE MINOR CHANGES DUE TO GRADING CONDITIONS.

ASPHALT SHINGLES W/ FLASHING AT VALLEYS (TYP)
PRE-FINISHED ALUMINUM RWL AND GUTTER ON PRE-FINISHED FASCIA BOARD AND VENTED SOFFIT (TYP)
WOOD GRAIN FINISH MAC METAL SIDING W/ FLASHING BEHIND (TYP)
4" PRECAST CONC CAP (TYP)
4" PRECAST CONC BAND (TYP)
PREFIN METAL FLASHING W/ CAULKING TO MATCH (TYP)
U/S OF GARAGE/PORCH SOFFIT & TOP OF GARAGE PLATE
8" PRECAST HEADER (TYP)
FIN GRADE
STONE VENEER (TYP)
U/S OF FOOTING
STEPPED FOOTING (TYP)



UPGRADED FRONT ELEVATION 'B'

EVERY WALKING SURFACE SHALL BE PROTECTED BY A WALL OR PROPER GUARD WHERE / IF THE DIFFERENCE IN ELEVATION BETWEEN THE WALKING SURFACE AND ADJACENT SURFACE / GRADE EXCEEDS 600mm (23 5/8 in.), TYPICAL

R.F. Merrill
2218045 Ontario Limited
Design Control Review
I, Richard F. Merrill, certify that the Plans/Drawings comply with the approved architectural control guidelines. This stamp is ONLY for the purposes of design control and carries no other professional obligation.
Reviewed by: [Signature]
Date: August 28, 2022
Reviewed for: Final Review

City of Vaughan
ARCHITECTURAL REVIEWED BY
Jeffrey Resendes
March 06, 2023
VAUGHAN
CITY OF VAUGHAN
BUILDING PERMIT DRAWINGS
ALL CONSTRUCTION SHALL COMPLY WITH THE APPLICABLE REQUIREMENTS OF ONTARIO REGULATION C.PART-3 SUBSECTION-3.2.4 (AS AMENDED), THE 2012 BUILDING CODE, MADE UNDER THE BUILDING CODE ACT

LICENCED PROFESSIONAL ENGINEER
MICHAEL PISCO
PROVINCE OF ONTARIO
PICCO ENGINEERING
Tel: (905) 760-9688 Fax: (905) 760-9689
2022-08-22

City of Vaughan
ZONING REVIEWED BY
Sarah Scavuzzo
March 16 2023
ALL BUILDING PERMIT DRAWINGS, SPECIFICATIONS AND CONSTRUCTION SHALL COMPLY WITH CITY OF VAUGHAN ZONING BY-LAW 001-2021, AS AMENDED
ALL BUILDING PERMIT DRAWINGS, SPECIFICATIONS AND CONSTRUCTION SHALL COMPLY WITH CITY OF VAUGHAN BY-LAW 1-88, AS AMENDED
City of Vaughan Zoning Review for a **SINGLE DWELLING UNIT ONLY***
*A separate building permit is required for a Secondary Suite subject to the provisions of Subsection 4.1.8 of By-law 1-88, as amended

#	revisions	date	dwn	chk
1	ISSUED FOR CLIENT REVIEW	6-Aug-21	KK	JM
3	ISSUED FOR ENG. REVIEW	5-Jul-22	KS	JM
4	REVISED PER ENGINEER COMMENTS & ISSUED FOR PERMIT	10-Aug-22	KS	JM

client	Milani Group
project	Grand Trunk Vaughan
model	40-03
project #	20063
scale	3/16" = 1'-0"
page	



UPGRADED RIGHT SIDE ELEVATION 'B'

NOTE: UNLESS OTHERWISE NOTED, ROOF OVERHANGS ARE 12" STANDARD
NOTE: REFER TO FRONT ELEVATION FOR TYPICAL MATERIAL NOTATION

ALLOWABLE UNPROTECTED OPENINGS			
Total Wall Area	1485.92 SF	138.05 S.M.	
Limiting Distance	52.82 FT	16.1 M	92.0 %
Allowable Openings	184.01 SF	17.0 S.M.	127.0 %
Actual Openings	263.78 SF	24.51 S.M.	

Building Permit No.: **23-105480 CM**
Received: February 13, 2023



WWW.RNDESIGN.COM
Tel: 905-738-3177
WWW.THEPLUSGROUP.CA

I, JORGE MORENO DECLARE THAT I HAVE REVIEWED AND TAKEN DESIGN RESPONSIBILITY FOR THE DESIGN WORK ON BEHALF OF RN DESIGN LTD. UNDER ONTARIO C.PART-3 SUBSECTION-3.2.4 OF THE BUILDING CODE. I AM QUALIFIED AND THE FIRM IS REGISTERED IN THE APPROPRIATE CLASSES / CATEGORIES.

QUALIFIED DESIGNER BCIN: 47345
FIRM BCIN: 26995
DATE: 10-AUG-22
SIGNATURE: [Signature]

RECEIVED
By attwalap at 11:36 am, Oct 27, 2023



UPGRADED REAR ELEVATION 'B'

NOTE: UNLESS OTHERWISE NOTED, ROOF OVERHANGS ARE 12" STANDARD
NOTE: REFER TO FRONT ELEVATION FOR TYPICAL MATERIAL NOTATION

MAXIMUM AREA OF GLAZED OPENINGS IN EXTERIOR WALLS OF HOUSES SHALL CONFORM TO OBC DIV. B, 9.10.15.4. (1) & (2) SEPARATE DOCUMENT HAS BEEN PROVIDED CONFIRMING COMPLIANCE.



UPGRADED REAR ELEVATION 'B' - OPT 2ND FLR

NOTE: UNLESS OTHERWISE NOTED, ROOF OVERHANGS ARE 12" STANDARD
NOTE: REFER TO FRONT ELEVATION FOR TYPICAL MATERIAL NOTATION

City of Vaughan
ARCHITECTURAL REVIEWED BY
Jeffrey Resendes
March 06, 2023

VAUGHAN
CITY OF VAUGHAN
BUILDING PERMIT DRAWINGS

ALL CONSTRUCTION SHALL COMPLY WITH THE APPLICABLE REQUIREMENTS OF ONTARIO REGULATION 332/12, (AS AMENDED), THE 2012 BUILDING CODE, MADE UNDER THE BUILDING CODE ACT



WWW.RNDESIGN.COM
Tel: 905-738-3177
WWW.THEPLUSGROUP.CA

I, JORGE MORENO DECLARE THAT I HAVE REVIEWED AND TAKEN DESIGN RESPONSIBILITY FOR THE DESIGN WORK ON BEHALF OF **RN DESIGN LTD.** UNDER DIVISION C, PART-3 SUBSECTION-3.2.4 OF THE BUILDING CODE. I AM QUALIFIED AND THE FIRM IS REGISTERED IN THE APPROPRIATE CLASSES / CATEGORIES.

QUALIFIED DESIGNER BCIN: 47345
FIRM BCIN: 26995
DATE: 10-AUG-22

SIGNATURE: *[Signature]*



City of Vaughan
ZONING REVIEWED BY
Sarah Scuzzillo
March 16 2023

ALL BUILDING PERMIT DRAWINGS, SPECIFICATIONS AND CONSTRUCTION SHALL COMPLY WITH CITY OF VAUGHAN ZONING BY-LAW 001-2021, AS AMENDED

ALL BUILDING PERMIT DRAWINGS, SPECIFICATIONS AND CONSTRUCTION SHALL COMPLY WITH CITY OF VAUGHAN BY-LAW 1-88, AS AMENDED

City of Vaughan Zoning Review for a **SINGLE DWELLING UNIT ONLY***
*A separate building permit is required for a Secondary Suite subject to the provisions of Subsection 4.1.8 of By-law 1-88, as amended

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client: **Milani Group**

project: **Grand Trunk**
Vaughan

model: **40-03**

project #: **20063**

scale: **3/16" = 1'-0"**

page

R.F. Merrill
2218045 Ontario Limited
Design Control Review

I, Richard F. Merrill, certify that the Plans/ Drawings comply with the approved architectural control guidelines. This stamp is ONLY for the purposes of design control and carries no other professional obligation.

Reviewed by: *[Signature]*
Date: August 28, 2022
Reviewed for: Final Review

Building Permit No.: 23-105480 CM
Received: February 13, 2023

RECEIVED
By attwalap at 11:36 am, Oct 27, 2023

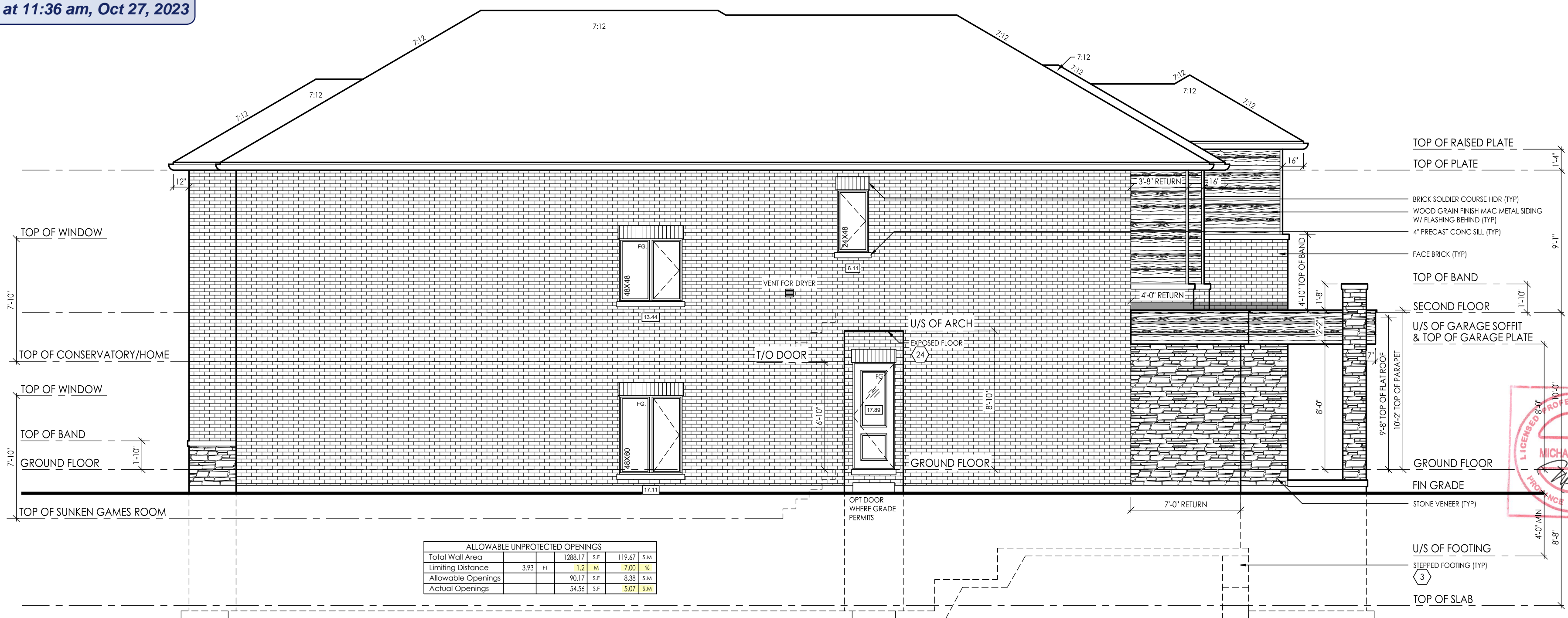


WWW.RNDESIGN.COM
Tel: 905-738-3177
WWW.THEPLUSGROUP.CA

I, JORGE MORENO DECLARE THAT I HAVE REVIEWED AND TAKEN RESPONSIBILITY FOR THE DESIGN WORK ON BEHALF OF RN DESIGN LTD. UNDER DIVISION C-PART-3 SUBSECTION-3.2.4 OF THE BUILDING CODE. I AM QUALIFIED AND THE FIRM IS REGISTERED IN THE APPROPRIATE CLASSES / CATEGORIES.

QUALIFIED DESIGNER BCIN: 47345
FIRM BCIN: 26995
DATE: 10-AUG-22

SIGNATURE: *J. Moreno*



ALLOWABLE UNPROTECTED OPENINGS					
Total Wall Area		1288.17	S.F.	119.67	S.M.
Limiting Distance	3.93	FT	1.2	M	7.00
Allowable Openings		90.17	S.F.	8.38	S.M.
Actual Openings		54.56	S.F.	5.07	S.M.

UPGRADED LEFT SIDE ELEVATION 'B'

NOTE: UNLESS OTHERWISE NOTED, ROOF OVERHANGS ARE 12" STANDARD

NOTE: REFER TO FRONT ELEVATION FOR TYPICAL MATERIAL NOTATION



PROPRIETARY WOOD PRODUCTS:
ALL DESIGN DETAILS, HANDLING AND INSTALLATION OF PROPRIETARY WOOD PRODUCTS SHALL BE IN STRICT COMPLIANCE WITH THE MANUFACTURERS' SPECIFICATIONS AND INSTRUCTIONS.
THE MANUFACTURER'S PRE-ENGINEERED FLOOR & ROOF SYSTEM LAYOUTS (INCLUDING LOADING, GIRDER TRUSS LOCATIONS, BEAMS, LINTELS, CONNECTORS, LATERAL BRACING SYSTEM, ROOF SLOPES, ETC.) MUST BE REVIEWED & CONFIRMED BY THE PROJECT DESIGNER AND PROJECT ENGINEER PRIOR TO INSTALLATION.

INSULATION VALUES THROUGHOUT SHALL COMPLY WITH OBC SB-12. REFER TO THE APPROVED "ENERGY EFFICIENCY DESIGN SUMMARY" FORM FOR THE MINIMUM REQUIRED INSULATION VALUES. WHERE CONTINUOUS INSULATION (CI) IS INDICATED, IT MUST BE PROVIDED, AND IT MUST BE CONTINUOUS.

FOUNDATIONS / FOOTINGS:
REQUIRE A GEOTECHNICAL ENGINEER TO CONFIRM THE SOIL BEARING CAPACITY AND CAPABILITY OF SUPPORTING THE DESIGNED STRUCTURE

IT IS THE RESPONSIBILITY OF THE DESIGNER & BUILDER TO ENSURE MAXIMUM HEIGHT OF FINISHED GROUND ABOVE BASEMENT FLOOR SHALL COMPLY WITH ARTICLE 9.15.4.2 - FOUNDATION WALL THICKNESS AND REQUIRED LATERAL SUPPORT AND TABLE 9.15.4.2.A.

THE MANUFACTURER'S PRE-ENGINEERED FLOOR / ROOF SYSTEM DRAWINGS ARE **NOT REVIEWED**. STRUCTURAL DESIGN SHALL COMPLY WITH DIVISION B - PART 4 OF THE 2012 OBC

City of Vaughan
ARCHITECTURAL REVIEWED BY
Jeffrey Resendes
March 06, 2023

VAUGHAN
CITY OF VAUGHAN
BUILDING PERMIT DRAWINGS
ALL CONSTRUCTION SHALL COMPLY WITH THE APPLICABLE REQUIREMENTS OF ONTARIO REGULATION 332/12, (AS AMENDED), THE 2012 BUILDING CODE, MADE UNDER THE BUILDING CODE ACT

STRUCTURAL NOT REVIEWED
STRUCTURAL DESIGN SHALL COMPLY WITH DIVISION B - PART 4 OF THE 2012 BUILDING CODE COMPENDIUM

City of Vaughan
ZONING REVIEWED BY
Sarah Scuzillo
March 16 2023

ALL BUILDING PERMIT DRAWINGS, SPECIFICATIONS AND CONSTRUCTION SHALL COMPLY WITH CITY OF VAUGHAN ZONING BY-LAW 001-2021, AS AMENDED

ALL BUILDING PERMIT DRAWINGS, SPECIFICATIONS AND CONSTRUCTION SHALL COMPLY WITH CITY OF VAUGHAN BY-LAW 1-88, AS AMENDED

City of Vaughan Zoning Review for a **SINGLE DWELLING UNIT ONLY***
*A separate building permit is required for a Secondary Suite subject to the provisions of Subsection 4.1.8 of By-law 1-88, as amended

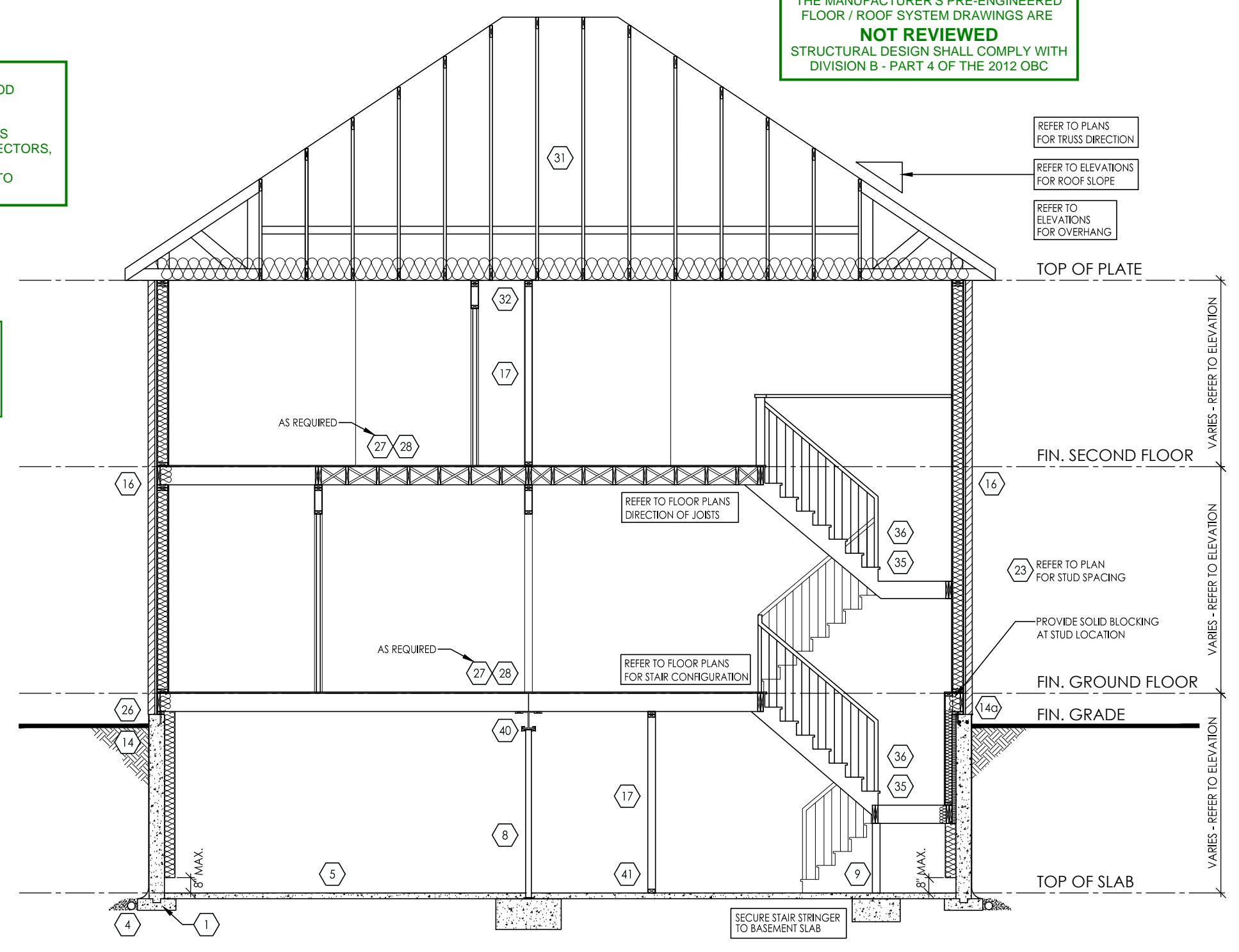
R.F. Merrill
2218045 Ontario Limited
Design Control Review

I, Richard F. Merrill, certify that the Plans/Drawings comply with the approved architectural control guidelines. This stamp is ONLY for the purposes of design control and carries no other professional obligation.

Reviewed by: *R.F. Merrill*
Date: August 28, 2022
Reviewed for: Final Review

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page	



TYPICAL CROSS SECTION - 2 STOREY (BRICK)
N.T.S.

Building Permit No.: 23-105480 CM
Received: February 13, 2023

SCHEDULE B: STAFF & AGENCY COMMENTS				
DEPT/AGENCY	Circulated	Comments Received	Conditions	Nature of Comments
TRCA *Schedule B	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	Recommend Approval/No Conditions
Ministry of Transportation (MTO) *Schedule B	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Region of York *Schedule B	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	General Comments
Alectra *Schedule B	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	General Comments
Bell Canada *Schedule B	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	No Comments Received to Date
YRDSB *Schedule B	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
YCDSB *Schedule B	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	General Comments
CN Rail *Schedule B	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
CP Rail *Schedule B	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
TransCanada Pipeline *Schedule B	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	No Comments Received to Date
Metrolinx *Schedule B	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Propane Operator *Schedule B	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Development Planning	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>		Recommend Approval/no conditions
Building Standards (Zoning)	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>		General Comments

Date: October 26th 2023
Attention: **Christine Vigneault**
RE: Request for Comments

File No.: **A169-23**

Related Files:

Applicant Glenn Lucas
Location 3 Archie Court



Discover the possibilities

COMMENTS:

- We have reviewed the proposed Variance Application and have no comments or objections to its approval.
- We have reviewed the proposed Variance Application and have no objections to its approval, subject to the following comments (attached below).
- We have reviewed the proposed Variance Application and have the following concerns (attached below).

Alectra Utilities (formerly PowerStream) has received and reviewed the proposed Variance Application. This review, however, does not imply any approval of the project or plan.

All proposed billboards, signs, and other structures associated with the project or plan must maintain minimum clearances to the existing overhead or underground electrical distribution system as specified by the applicable standards, codes and acts referenced.

In the event that construction commences, and the clearance between any component of the work/structure and the adjacent existing overhead and underground electrical distribution system violates the Occupational Health and Safety Act, the customer will be responsible for 100% of the costs associated with Alectra making the work area safe. All construction work will be required to stop until the safe limits of approach can be established.

In the event construction is completed, and the clearance between the constructed structure and the adjacent existing overhead and underground electrical distribution system violates the any of applicable standards, acts or codes referenced, the customer will be responsible for 100% of Alectra's cost for any relocation work.

References:

- Ontario Electrical Safety Code, latest edition (Clearance of Conductors from Buildings)
- Ontario Health and Safety Act, latest edition (Construction Protection)
- Ontario Building Code, latest edition (Clearance to Buildings)
- PowerStream (Construction Standard 03-1, 03-4), attached
- Canadian Standards Association, latest edition (Basic Clearances)

If more information is required, please contact either of the following:

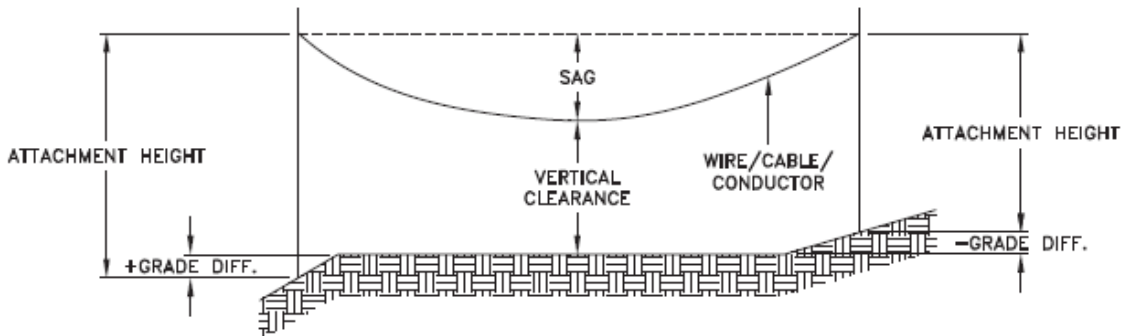
Mr. Stephen Cranley, C.E.T
Supervisor, Distribution Design, ICI & Layouts (North)
Phone: 1-877-963-6900 ext. 31297

E-mail: stephen.cranley@alectrautilities.com

Mitchell Penner
Supervisor, Distribution Design-Subdivisions
Phone: 416-302-6215

Email: Mitchell.Penner@alectrautilities.com

LOCATION OF WIRES, CABLES OR CONDUCTORS	SYSTEM VOLTAGE			
	SPAN GUYS AND COMMUNICATIONS WIRES	UP TO 600V AND NEUTRAL	4.16/2.4kV TO 27.6/16kV (SEE NOTE 1)	44kV
MINIMUM VERTICAL CLEARANCES (SEE NOTE 2)				
OVER OR ALONGSIDE ROADS, DRIVEWAYS OR LANDS ACCESSIBLE TO <u>VEHICLES</u>	442cm	442cm	480cm	520cm
OVER GROUND ACCESSIBLE TO <u>PEDESTRIANS AND BICYCLES ONLY</u>	250cm	310cm	340cm	370cm
ABOVE TOP OF RAIL AT <u>RAILWAY CROSSINGS</u>	730cm	730cm	760cm	810cm



MINIMUM ATTACHMENT HEIGHT = MAXIMUM SAG
 + MINIMUM VERTICAL CLEARANCE (FROM ABOVE TABLE)
 ± GRADE DIFFERENCE
 + 0.3m (VEHICLE OR RAILWAY LOCATION)
 + SNOW DEPTH (PEDESTRIAN LOCATION, SEE NOTE 3)

NOTES:

1. THE MULTIGROUNDED SYSTEM NEUTRAL HAS THE SAME CLEARANCE AS THE 600V SYSTEM.
2. THE VERTICAL CLEARANCES IN THE ABOVE TABLE ARE UNDER MAXIMUM SAG CONDITIONS.
3. REFER TO CSA STANDARD C22.3 No.1, ANNEX D FOR LOCAL SNOW DEPTH VALUES.
4. ALL CLEARANCES ARE IN ACCORDANCE TO CSA STANDARD C22.3.

CONVERSION TABLE

METRIC	IMPERIAL (APPROX)
810cm	27'-0"
760cm	25'-4"
730cm	24'-4"
520cm	17'-4"
480cm	16'-0"
442cm	15'-5"
370cm	12'-4"
340cm	11'-4"
310cm	10'-4"
250cm	8'-4"

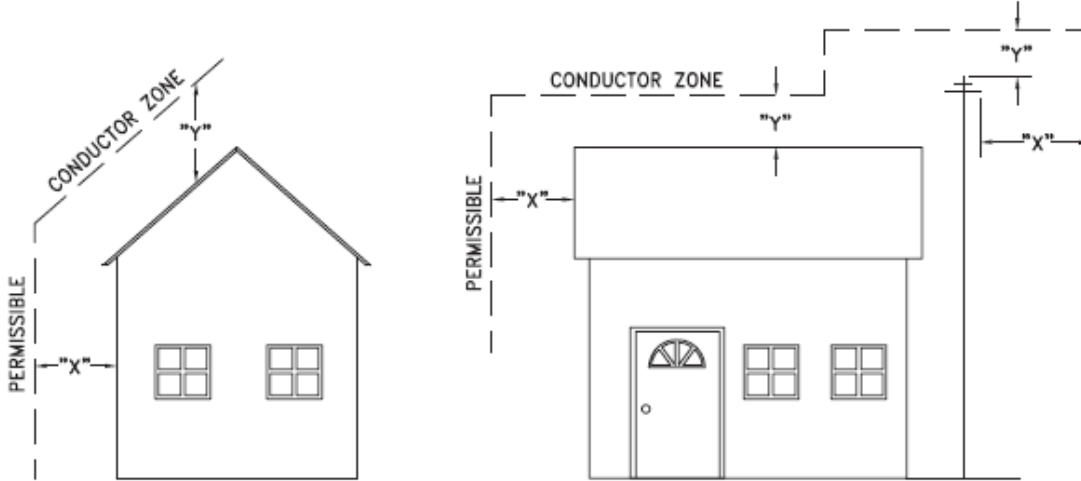
REFERENCES

SAGS AND TENSIONS | SECTION 02

MINIMUM VERTICAL CLEARANCES OF WIRES, CABLES AND CONDUCTORS ABOVE GROUND OR RAILS

ORIGINAL ISSUE DATE: 2010-DEC-24 REVISION NO: R1 REVISION DATE: 2012-JAN-09

Certificate of Approval	
This construction Standard meets the safety requirements of Section 4 of Regulation 22/04	
Joe Crozier, P.Eng.	2012-JAN-09
Name	Date
P.Eng. Approval By:	Joe Crozier



VOLTAGE	MINIMUM HORIZONTAL CLEARANCE UNDER MAXIMUM SWING CONDITIONS DIMENSION "X" (SEE NOTES 1, 3 & 4)	MINIMUM VERTICAL CLEARANCE UNDER MAXIMUM DESIGN SAG CONDITIONS DIMENSION "Y" (SEE NOTES 1, 2, 4 & 5)
0-600V AND NEUTRAL	100cm	250cm
4.16/2.4 TO 44kV	300cm	480cm

NOTES

1. UNDER NO CIRCUMSTANCES SHALL A CONDUCTOR BE PERMITTED TO PENETRATE THE ENVELOPE SHOWN BY THE DOTTED LINE.
2. THE VERTICAL CLEARANCES ARE UNDER CONDITIONS OF MAXIMUM DESIGN SAG.
3. THE HORIZONTAL CLEARANCES ARE UNDER CONDITIONS OF MAXIMUM SWING. WHERE THE CONDUCTOR SWING IS NOT KNOWN A HORIZONTAL CLEARANCE OF 480CM SHALL BE USED.
4. BUILDINGS THAT EXCEED 3 STOREYS OR 15M IN HEIGHT, THE MINIMUM HORIZONTAL CLEARANCE OF THE SECONDARY CONDUCTORS SHOULD BE INCREASED TO 300cm WHERE IT IS NECESSARY TO ALLOW FOR THE RAISING OF LADDERS BY LOCAL FIRE DEPARTMENTS.
5. IN SITUATIONS SUCH AS MULTI-LEVEL GARAGES, WHERE ROOFS ARE NORMALLY USED BY PERSONS AND VEHICLES, THE VERTICAL CLEARANCES OF POWERSTREAM STANDARD 03-1 SHALL APPLY.
6. DISTRIBUTION LINES CONSTRUCTED NEAR BUILDINGS SHALL BE BUILT TO AVOID OVERHANG WHEREVER POSSIBLE. WHERE LINES MUST BE CONSTRUCTED OVER OR ADJACENT TO BUILDINGS THE APPLICABLE HORIZONTAL AND VERTICAL CLEARANCES SHALL BE AT CONDITIONS OF MAXIMUM CONDUCTOR SWING AND MAXIMUM SAG. THE ABOVE CLEARANCES ARE DESIGNED TO PREVENT PERSONS ON OR IN BUILDINGS AS WELL AS EXTERNAL MACHINERY USED IN CONJUNCTION WITH A BUILDING TO COME IN CONTACT WITH CONDUCTORS. EFFORTS SHOULD BE MADE TO INCREASE THESE CLEARANCES WHERE POSSIBLE.
7. ALL CLEARANCES ARE IN ACCORDANCE TO CSA C22.3 NO.1-06 (TABLE-9).

METRIC	IMPERIAL (APPROX)
480cm	16'-0"
300cm	10'-0"
250cm	8'-4"
100cm	3'-4"

MINIMUM VERTICAL & HORIZONTAL CLEARANCES OF CONDUCTORS FROM BUILDINGS OR OTHER PERMANENT STRUCTURES (CONDUCTORS NOT ATTACHED TO BUILDINGS)

Certificate of Approval
This construction Standard meets the safety requirements of Section 4 of Regulation 22/04
Debbie Dadwani, P.Eng. 2010-MAY-05
Name Date
P. Eng. Approval By: *D. Dadwani*

ORIGINAL ISSUE DATE: 2010-MAY-05 REVISION NO: REVISION DATE:
PS:\System Planning and Standards\Standard Design\PowerStream Standards\PowerStream Standards working files\Section 3-1-02\WG 03-4 R0 May 5, 2010.dwg, 5/5/2010 10:22:02 AM, Adobe PDF

To: Committee of Adjustment
From: Sarah Scauzillo, Building Standards Department
Date: October 25, 2023
Applicant: Glenn Lucas
Location: 3 Ahchie Court
 PLAN 65M4782 Lot 30
File No.(s): A169/23

Zoning Classification:

The subject lands are zoned RD4 and subject to the provisions of Exception 9(1483) under Zoning By-law 1-88, as amended.

Zoning By-law 1-88		Variance requested
1	A minimum exterior side yard of 4.5 metres is required. [Schedule A]	To permit a minimum exterior side yard of 4.2 metres.

Staff Comments:

Zoning By-law 01-2021	
1	The application is transitioned in accordance with Section 1.6.2.

General Comments	
2	The applicant shall be advised that additional variances may be required upon review of detailed drawing for building permit/site plan approval.
3	The subject lands may be subject to Ontario Regulation 166/06 (TRCA - Toronto and Region Conservation Authority).
4	The subject lands may be subject to the Oak Ridges Moraine Conservation Act, RSO 2001.

Conditions of Approval:

If the committee finds merit in the application, the following conditions of approval are recommended.

* Comments are based on the review of documentation supplied with this application.

To: Christine Vigneault, Committee of Adjustment Secretary Treasurer
From: Nancy Tuckett, Director of Development Planning
Date: October 31, 2023
Name of Owner: Cam Milani - Dufferin Vista Limited
Location: 3 Ahchie Court
File No.(s): A169/23

Proposed Variance(s) (By-law 1-88):

1. To permit a minimum exterior side yard of 4.2 metres.

By-Law Requirement(s) (By-law 1-88):

1. A minimum exterior side yard of 4.5 metres is required.

Official Plan:

City of Vaughan Official Plan 2010 ('VOP 2010'): "Low-Rise Residential" by Schedule 13 – Land Use, "Unapproved" by Schedule 2 – Natural Heritage Network, and "Oak Ridges Moraine Settlement Area" by Schedule 4 – Oak Ridges Moraine Conservation Plan & Greenbelt Areas

Comments:

The Owner is requesting permission to construct a two-storey dwelling with the above noted variance.

The Development Planning Department has no objection to the above noted variance for the 0.3 m reduction to the exterior side yard setback. There is additional spatial separation between the exterior lot line and travelled portion of Grand Trunk Avenue. Also, the eastern façade is not uniform, but has modest stepping and uses different cladding materials to provide variation and visual interest. The east lot line is angled, so the relief sought would only be fully utilized by the dwelling's northeastern corner. Due to the combination of spatial separation, façade treatments, and the relative modesty of the distance being sought, it is minor in nature, and is not anticipated to be a perceptible alteration to the Grand Trunk Avenue streetscape. The 4.2 m exterior side yard setback maintains an appropriate area for access, drainage, and vegetated amenity space. The proposed dwelling complies with all other requirements of the Zoning By-law.

Accordingly, the Development Planning Department can support the requested variance and is of the opinion that the proposal is minor in nature, maintains the general intent and purpose of the Official Plan and Zoning By-law, and is desirable for the appropriate development of the land.

Recommendation:

The Development Planning Department recommends approval of the application.

Conditions of Approval:

If the Committee finds merit in the application, the following conditions of approval are recommended:

None

Comments Prepared by:

Michelle Perrone, Planner 1
David Harding, Senior Planner

Lenore Providence

From: Kristen Regier <Kristen.Regier@trca.ca>
Sent: October-31-23 3:22 PM
To: Committee of Adjustment
Cc: Christine Vigneault
Subject: [External] TRCA Comments - A169/23 & A170/23 - 3 & 4 Ahchie Court

Hello,

Please note that given the revised limits of the natural hazards and features established as part of the subdivision process (City File No. 19T-16V001), the subject properties at 3 and 4 Ahchie Court are no longer within TRCA's Regulated Area. TRCA's online Regulated Area screening tool has not yet been updated to reflect this change.

TRCA's Planning and Regulatory policy interests are not impacted. As such, TRCA has no comments on the applications.

Please let me know if you have any questions.

Best,

Kristen Regier, MA (she / her)
Planner I
Development Planning and Permits | Development and Engineering Services
Toronto and Region Conservation Authority (TRCA)

T: [437-880-2129](tel:437-880-2129)
E: kristen.regier@trca.ca
A: [101 Exchange Avenue, Vaughan, ON, L4K 5R6](https://www.trca.ca) | [trca.ca](https://www.trca.ca)



Pravina Attwala

Subject: FW: [External] Re: A169/23 (3 Ahchie Court) - REQUEST FOR COMMENTS, CITY OF VAUGHAN

From: Monika Sadler <monika.sadler@ycdsb.ca>

Sent: October-26-23 9:00 AM

To: Committee of Adjustment <CofA@vaughan.ca>

Subject: [External] Re: A169/23 (3 Ahchie Court) - REQUEST FOR COMMENTS, CITY OF VAUGHAN

Hello,

Thank you for the opportunity to review the above referenced Minor Variance application. YCDSB staff have reviewed the material provided and have no comments or objections to their approval.

Thank you,

Monika Sadler
Planner and Project Analyst, Planning Services
York Catholic District School Board
T. 905.713.1211 ext. 12377
monika.sadler@ycdsb.ca

SCHEDULE C: PUBLIC & APPLICANT CORRESPONDENCE

None