

ITEM: 6.15	COMMITTEE OF ADJUSTMENT REPORT SUMMARY MINOR VARIANCE APPLICATION FILE NUMBER A165/23 120 STEPHANIE BLVD, WOODBRIDGE
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**THIS REPORT CONTAINS COMMENTS FROM THE FOLLOWING
DEPARTMENTS & AGENCIES:**

*Please see **Schedule B** of this report for a copy of Development Planning and Agency correspondence.

Additional comments from departments and agencies may be received after the publication of the Staff Report. These comments will be processed as an addendum and posted on the City's Website.

DEPARTMENTS	Circulated	Comments Received	Conditions	Nature of Comments
Committee of Adjustment	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	General Comments
Building Standards (Zoning Review)	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	General Comments
Building Inspection (Septic)	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	No Comments Received to Date
Development Planning	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	Recommend Approval w/Conditions
Development Engineering	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	Recommend Approval w/Conditions
Parks, Forestry and Horticulture Operations	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	Recommend Approval w/Conditions
By-law & Compliance, Licensing & Permits	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	No Comments Received to Date
Development Finance	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	General Comments
Real Estate	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Fire Department	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	No Comments Received to Date
AGENCIES	Circulated	Comments Received	Conditions	Nature of Comments
TRCA	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	General Comments
Ministry of Transportation (MTO)	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	No Comments Received to Date
Region of York	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	General Comments
Alectra	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	General Comments
Bell Canada	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	No Comments Received to Date
YRDSB	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
YCDSB	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
CN Rail	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
CP Rail	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
TransCanada Pipeline	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	No Comments Received to Date
Metrolinx	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Propane Operator	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	

PUBLIC & APPLICANT CORRESPONDENCE

*Please see **Schedule C** of this report for a copy of the public & applicant correspondence listed below.

The deadline to submit public comments is **noon on the last business day prior to the scheduled hearing date.**

Comments and written public submissions received after the publication of this Staff Report will be processed as an addendum and posted on the City's Website.

All personal information collected because of this public meeting (including both written and oral submissions) is collected under the authority of the Municipal Act, the Municipal Freedom of Information and Protection of Privacy Act (MFIPPA), the Planning Act and all other relevant legislation, and will be used to assist in deciding on this matter. All personal information (as defined by MFIPPA), including (but not limited to) names, addresses, opinions and comments collected will become property of the City of Vaughan, will be made available for public disclosure (including being posted on the internet) and will be used to assist the Committee of Adjustment and staff to process this application.

Correspondence Type	Name	Address	Date Received (mm/dd/yyyy)	Summary
None				

PREVIOUS COA DECISIONS ON THE SUBJECT LAND

*Please see **Schedule D** for a copy of the Decisions listed below

File Number	Date of Decision MM/DD/YYYY	Decision Outcome

PREVIOUS COA DECISIONS ON THE SUBJECT LAND

*Please see **Schedule D** for a copy of the Decisions listed below

None		
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ADJOURNMENT HISTORY

* Previous hearing dates where this application was adjourned by the Committee and public notice issued.

None	
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**COMMITTEE OF ADJUSTMENT REPORT
MINOR VARIANCE APPLICATION
A165/23
120 STEPHANIE BLVD, WOODBRIDGE**

ITEM NUMBER: 6.15	CITY WARD #: 1
APPLICANT:	Floriana Perruzza D'Archi
AGENT:	Frasca Design & Planning
PROPERTY:	120 Stephanie Blvd, Woodbridge
ZONING DESIGNATION:	See below.
VAUGHAN OFFICIAL PLAN (2010) DESIGNATION:	Vaughan Official Plan 2010 ('VOP 2010'): "Low-Rise Residential"
RELATED DEVELOPMENT APPLICATIONS:	None
PURPOSE OF APPLICATION:	Relief from the Zoning By-law is being requested to permit a proposed cabana.

The following variances have been requested from the City's Zoning By-law:

The subject lands are zoned RE(EN), Estate Residential Zone and subject to the provisions of Exception 14.116 under By-law 001-2021, as amended.

#	Zoning By-law 001-2021	Variance requested
1	In any Residential Zone, the maximum height of an accessory building and residential accessory structure shall be 3.0 metres. [Section 4.1.4 1.]	To permit a maximum height of 3.78 metres for an Accessory Building.

The subject lands are zoned RR, Rural Residential Zone and subject to the provisions of Exception 9(236) under By-law 1-88, as amended.

	Zoning By-law 1-88	Variance requested
2	The maximum height of any accessory building or structure measured from the average finished ground level to the highest point of the said building or structure shall be 4.5 metres. [Section 4.1.1. b)]	To permit a maximum height of 4.7 metres to the highest point for an Accessory Building.

HEARING INFORMATION

DATE OF MEETING: Thursday, November 16, 2023
TIME: 6:00 p.m.
MEETING LOCATION: Vaughan City Hall, Woodbridge Room (2nd Floor), 2141 Major Mackenzie Drive
LIVE STREAM LINK: Vaughan.ca/LiveCouncil

PUBLIC PARTICIPATION

If you would like to speak to the Committee of Adjustment at the meeting, either remotely or in person, please complete the [Request to Speak Form](#) and submit to cofa@vaughan.ca

If you would like to submit written comments, please quote file number above and submit by mail or email to:

Email: cofa@vaughan.ca

Mail: City of Vaughan, Office of the City Clerk, Committee of Adjustment, 2141 Major Mackenzie Drive, Vaughan, ON, L6A 1T1

To speak electronically, pre-registration is required by completing the [Request to Speak Form](#) on-line and submitting it to cofa@vaughan.ca no later than NOON on the last business day before the meeting.

HEARING INFORMATION

THE DEADLINE TO REGISTER TO SPEAK ELECTRONICALLY OR SUBMIT WRITTEN COMMENTS ON THE ABOVE NOTED FILE(S) IS NOON ON THE LAST BUSINESS DAY BEFORE THE MEETING.

INTRODUCTION

Staff and Agencies act as advisory bodies to the Committee of Adjustment. The comments contained in this report are presented as recommendations to the Committee.

Section 45(1) of the Planning Act sets the criteria for authorizing minor variances to the City of Vaughan's Zoning By-law. Accordingly, review of the application may consider the following:

- That the general intent and purpose of the by-law will be maintained.
- That the general intent and purpose of the official plan will be maintained.
- That the requested variance(s) is/are acceptable for the appropriate development of the subject lands.
- That the requested variance(s) is/are minor in nature.

Public written and oral submissions relating to this application are taken into consideration by the Committee of Adjustment as part of its deliberations and final decision on this matter.

COMMITTEE OF ADJUSTMENT COMMENTS

Date Public Notice Mailed:	November 2 2023
Date Applicant Confirmed Posting of Sign:	October 23, 2023
Applicant Justification for Variances: <small>*As provided by Applicant in Application Form</small>	By-laws seems too restrictive
Adjournment Requests (from staff): <small>*Adjournment requests provided to applicant prior to issuance of public notice</small>	None
Was a Zoning Review Waiver (ZRW) Form submitted by Applicant: <small>*ZRW Form may be used by applicant in instances where a revised submission is made, and zoning staff do not have an opportunity to review and confirm variances prior to the issuance of public notice. *A revised submission may be required to address staff / agency comments received as part of the application review process. *Where a zoning review has not been completed on a revised submission, an opportunity is provided to the applicant to adjourn the proposal prior to the issuance of public notice.</small>	No
Adjournment Fees: In accordance with Procedural By-law 069-2019, an Adjournment Fee is applicable to reschedule an application after the issuance of public notice where a request for adjournment has been provided to the applicant prior to the issuance of public notice. An Adjournment Fee can only be waived in instances where adjournment of an application is requested by the Committee or staff after the issuance of public notice.	
Committee of Adjustment Comments:	None
Committee of Adjustment Recommended Conditions of Approval:	None

BUILDING STANDARDS (ZONING) COMMENTS

**See Schedule B for Building Standards (Zoning) Comments

Building Standards Recommended Conditions of Approval:	None
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DEVELOPMENT PLANNING COMMENTS

**See Schedule B for Development Planning Comments.

Development Planning Recommended Conditions of Approval:	That the Owner submits an Arborist Report and Tree Protection Plan to the satisfaction of Development Planning, Forestry, and Urban Design staff.
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DEVELOPMENT ENGINEERING COMMENTS

[Link to Grading Permit](#) [Link to Pool Permit](#) [Link to Curb Curt Permit](#) [Link Culvert Installation](#)

Due to the size of the proposed addition to existing residence and cabana on the subject property, which measures 19.79 m² and 66.33 m² respectively, the Owner/Applicant must acquire a Lot Grading Permit from the Development Inspection and Lot Grading Division of the City's Development

DEVELOPMENT ENGINEERING COMMENTS

[Link to Grading Permit](#)
 [Link to Pool Permit](#)
 [Link to Curb Curt Permit](#)
 [Link Culvert Installation](#)

Engineering Department. It's important note that any in-ground structure exceeding 10 m² necessitates a Grading Permit. Once the Grading Permit is obtained, please reach out to the Development Engineering Reviewer to clear the Condition imposed on this application.

The Development Engineering Department does not object to the Minor Variance application A165/23, subject to the following condition(s):

Development Engineering Recommended Conditions of Approval:	The Owner/Applicant shall submit an application and obtain an approved Grading Permit before initiating any work on the property. The Final Lot Grading and/or Servicing Plan will be required for the Grading Permit Application. Please visit the Permits page of the City of Vaughan's website: Permits City of Vaughan to apply for a Grading Permit. For any inquiries regarding the Grading Permit, please email DEPermits@vaughan.ca
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PARKS, FORESTRY & HORTICULTURE (PFH) COMMENTS

See recommended condition of approval:

PFH Recommended Conditions of Approval:	Applicant/owner shall provide an arborist report to the satisfaction of the forestry division.
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DEVELOPMENT FINANCE COMMENTS

No comment no concerns.

Development Finance Recommended Conditions of Approval:	None
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BY-LAW AND COMPLIANCE, LICENSING AND PERMIT SERVICES COMMENTS

No comments received to date.

BCLPS Recommended Conditions of Approval:	None
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BUILDING INSPECTION (SEPTIC) COMMENTS

No comments received to date.

Building Inspection Recommended Conditions of Approval:	None
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FIRE DEPARTMENT COMMENTS

No comments received to date.

Fire Department Recommended Conditions of Approval:	None
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SCHEDULES TO STAFF REPORT

*See Schedule for list of correspondence

Schedule A	Drawings & Plans Submitted with the Application
Schedule B	Staff & Agency Comments
Schedule C (if required)	Correspondence (Received from Public & Applicant)
Schedule D (if required)	Previous COA Decisions on the Subject Land

Should the Committee find it appropriate to approve this application in accordance with request and the sketch submitted with the application, as required by Ontario Regulation 200/96, the following conditions have been recommended:

SUMMARY OF RECOMMENDED CONDITIONS OF APPROVAL

All conditions of approval, unless otherwise stated, are considered to be incorporated into the approval "if required". If a condition is no longer required after an approval is final and binding, the condition may be waived by the respective department or agency requesting conditional approval. A condition cannot be waived without written consent from the respective department or agency.

#	DEPARTMENT / AGENCY	CONDITION(S) DESCRIPTION
1	Development Engineering Rex.bondad@vaughan.ca	The Owner/Applicant shall submit an application and obtain an approved Grading Permit before initiating any work on the property. The Final Lot Grading and/or Servicing Plan will be required for the Grading Permit Application. Please

SUMMARY OF RECOMMENDED CONDITIONS OF APPROVAL

All conditions of approval, unless otherwise stated, are considered to be incorporated into the approval “if required”. If a condition is no longer required after an approval is final and binding, the condition may be waived by the respective department or agency requesting conditional approval. A condition cannot be waived without written consent from the respective department or agency.

		visit the Permits page of the City of Vaughan’s website: Permits City of Vaughan to apply for a Grading Permit. For any inquiries regarding the Grading Permit, please email DEPermits@vaughan.ca
2	Parks, Forestry and Horticulture Operations zachary.quizzetti@vaughan.ca	Applicant/owner shall provide an arborist report to the satisfaction of the forestry division.
3	Development Planning nicholas.delprete@vaughan.ca	That the Owner submits an Arborist Report and Tree Protection Plan to the satisfaction of Development Planning, Forestry, and Urban Design staff.

IMPORTANT INFORMATION – PLEASE READ

CONDITIONS: It is the responsibility of the owner/applicant and/or authorized agent to obtain and provide a clearance letter from respective department and/or agency (**see condition chart above for contact**). This letter must be provided to the Secretary-Treasurer to be finalized. All conditions must be cleared prior to the issuance of a Building Permit.

APPROVALS: Making any changes to your proposal after a decision has been made may impact the validity of the Committee’s decision.

An approval obtained from the Committee of Adjustment, where applicable, is tied to the building envelope shown on the plans and drawings submitted with the application and subject to the variance approval.

A building envelope is defined by the setbacks of the buildings and/or structures shown on the plans and drawings submitted with the application, as required by Ontario Regulation 200/96. Future development outside of an approved building envelope, where a minor variance was obtained, must comply with the provisions of the City’s Zoning By-law.

Elevation drawings are provided to reflect the style of roof (i.e. flat, mansard, gable etc.) to which a building height variance has been applied. Where a height variance is approved, building height is applied to the style of roof (as defined in the City’s Zoning By-law) shown on the elevation plans submitted with the application.

Architectural design features that are not regulated by the City’s Zoning By-law are not to be considered part of an approval unless specified in the Committee’s decision.

DEVELOPMENT CHARGES: That the payment of the Regional Development Charge, if required, is payable to the City of Vaughan before issuance of a building permit in accordance with the Development Charges Act and the Regional Development Charges By-law in effect at the time of payment.

That the payment of the City Development Charge, if required, is payable to the City of Vaughan before issuance of a building permit in accordance with the Development Charges Act and the City’s Development Charges By-law in effect at the time of payment.

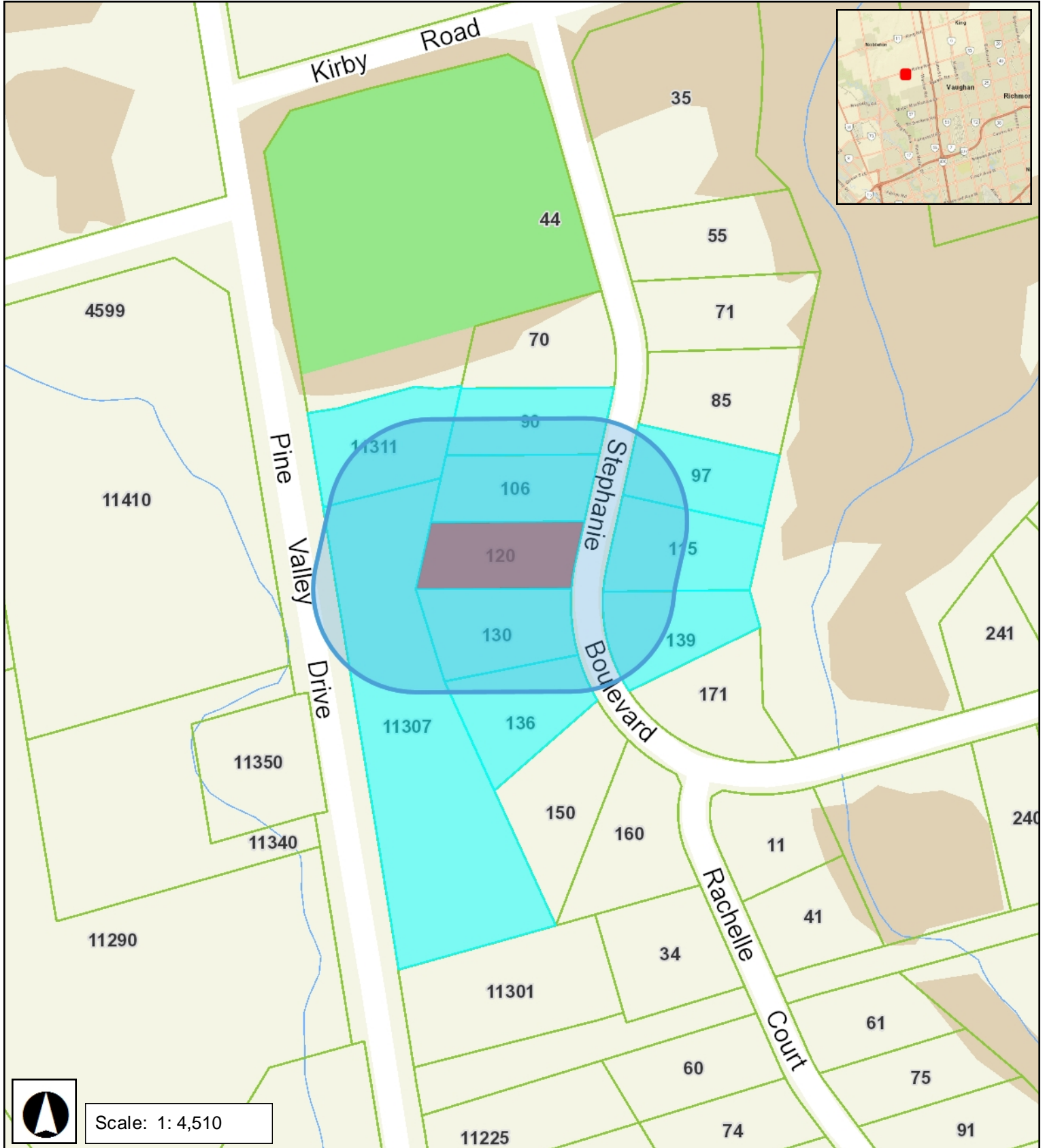
That the payment of the Education Development Charge if required, is payable to the City of Vaughan before issuance of a building permit in accordance with the Development Charges Act and the Boards of Education By-laws in effect at the time of payment

That the payment of Special Area Development charge, if required, is payable to the City of Vaughan before issuance of a building permit in accordance with the Development Charges Act and The City’s Development Charge By-law in effect at the time of Building permit issuance to the satisfaction of the Reserves/Capital Department.

NOTICE OF DECISION: If you wish to be notified of the decision in respect to this application or a related Ontario Land Tribunal (OLT) hearing you must complete a Request for Decision form and submit to the Secretary Treasurer (ask staff for details). In the absence of a written request to be notified of the Committee’s decision you will **not** receive notice.

SCHEDULE A: DRAWINGS & PLANS

120 Stephanie Boulevard, Woodbridge



LEGEND	
	EXISTING SETBACK/DIMENSIONS
	PROPOSED SETBACK/DIMENSIONS
	EXISTING BUILDING
	PROPOSED BUILDING
	SOD
	DRIVEWAY
	PROPOSED ASPHALT
	LIGHT FIXTURE
	OVERHEAD DOOR ENTRANCE
	DOOR ENTRANCE
	MAIN DOOR ENTRANCE
	DOWNSPOUTS
	CONSTRUCTION ACCESS
	EXISTING SLOPE DIRECTION
	EXISTING GRADE TO BE MAINTAINED
	PROPOSED GRADE

GRADES AFFECTED WILL BE LIMITED TO CONSTRUCTION ZONE. ALL GRADES AFFECTED BY THE CONSTRUCTION WILL BE RE-INSTATED TO EXISTING CONDITIONS

LIMITS OF EXCAVATIONS IS LIMITED TO CONSTRUCTION ZONE AREA (CABANA AND REAR ADDITION)

EX. GRADE PATTERN TO REMAIN & 0.6M AROUND ENTIRE PROPERTY TO REMAIN UNDISTURBED

SITE DATA			
2 STOREY SINGLE FAMILY DETACHED DWELLING			
CITY OF VAUGHAN ZONING BY LAW 1-88		CITY OF VAUGHAN ZONING BY LAW 001-2021	
ZONING	RURAL RESIDENTIAL RR EXCEPTION 9(236)	ESTATE RESIDENTIAL (ESTABLISHED NEIGHBOURHOOD) RE (EN) EXCEPTION 14.116	
LOT AREA	4,128.88 SM (44,442.92 SF)		
MIN. LOT FRONTAGE	45 M	45 M	
MIN. LOT AREA	4000 SM	4000 SM	
FRONT SETBACK (SOUTH)	15 M	15 M	
REAR SETBACK (NORTH)	15 M	15 M	
SIDE SETBACK (WEST)	4.5 M	4.5 M	
SIDE SETBACK (EAST)	4.5 M	4.5 M	
MAX. HEIGHT	9.5 M (TO ROOF PEAK)	9.5 M (TO ROOF MID POINT)	
LOT COVERAGE	10 %	N/A	7.25% EX. DWELLING 0.48% ADDITION 1.61% CABANA+PATIO TOTAL: 9.34%
MAX. GROSS FLOOR AREA	N/A	N/A	
ACCESSORY STRUCTURE			
LOT COVERAGE	10 % OR 67 SM (WHICHEVER IS LESS)	10 % OR 67 SM (WHICHEVER IS LESS)	66.33 SM (CABANA+PATIO)
MAX. HEIGHT	*4.5M	*3.0M	

* MEASURED FROM AVERAGE FINISH GROUND LEVEL TO THE HIGHEST POINT OF THE STRUCTURE. NEAREST PART OF THE ROOF NOT MORE THAN 3.0M ABOVE FINISH GRADE.
** MEASURED FROM MEAN HEIGHT BETWEEN EAVES AND RIDGE FOR SLOPED ROOF

SITE AREAS	
LOT AREA	4,128.88 SM (44,442.92 SF)
EXISTING HOUSE	215.54 SM (2296.81 SF)
GARAGE	83.99 SM (904.14 SF)
REAR ADDITION	19.79 SM (213 SF)
PROPOSED CABANA	48.77 SM (525 SF)
PROPOSED CABANA PATIO	17.56 SM (189 SF)

2 LOT GRADING NOTES

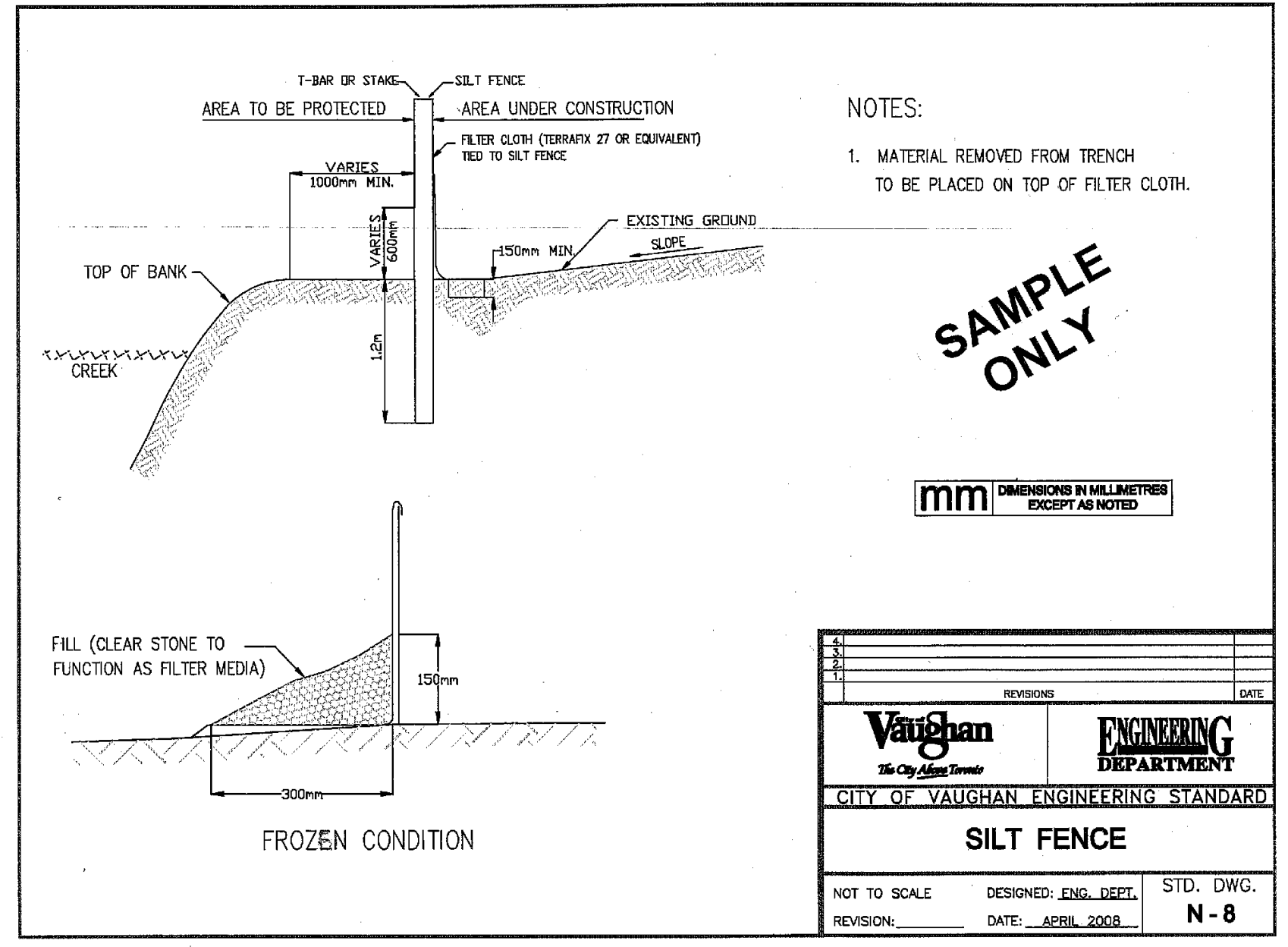
SCALE = N.T.S.

VAUGHAN
CITY OF VAUGHAN
DEVELOPMENT/TRANSPORTATION ENGINEERING DEPARTMENT
LOT GRADING NOTES

THE FOLLOWING NOTES APPLY TO THE CONSTRUCTION GOVERNED BY THE REFERENCE PERMIT AND SHALL FORM PART OF THE DRAWINGS ATTACHED HERETO:

- All site plans, drawings and construction shall comply with the City of Vaughan Lot Grading Criteria, City of Vaughan Engineering Standards, and applicable Provincial Standards, the Ontario Building Code, Subdivision Agreement and By-Law 1-88 unless otherwise approved.
- Approval of this site plan does not release the Builder/Applicant/Owner of their responsibilities to ensure the proposed drainage works are compatible with the overall drainage within the subdivision. Proposed lot drainage shall not adversely affect adjacent properties.
- Alterations to existing grades shall not be permitted within 600mm of lot lines unless specifically approved as part of this permit. The approved grading/drainage pattern for this lot/block shall be maintained and alterations not approved as part of this Permit shall be restored by the Builder/Applicant/Owner to the satisfaction of the City of Vaughan.
- Sedimentation/siltation control measures shall be installed prior to construction and offset a minimum of 600mm from lot lines. These measures shall be maintained in order to prevent siltation to adjacent lands. Refer to attached sample drawing. Builder shall verify existing and proposed grade elevations prior to construction. Footings to bear on undisturbed soil and to a minimum of 1.22m below finished grade.
- Provide elevation for top of foundation wall, underside of footing top of basement floor and finish floor.
- Show reverse veneer wall where applicable.
- Sanitary and Storm Invert Elevation shall be shown at main lateral connection and at property line. City Engineering Department/York Region approval is required for sanitary, storm and water box location and installation to the lot line prior to construction.
- Water, storm and sanitary services that are to be reused or decommissioned are to be identified on the drawing.
- Downspouts of Rain Water Leaders shall discharge onto splash pads and drain towards the street. Splash pads shall outlet over sealed land where possible to encourage infiltration of surface runoff.
- High Point on split lot drainage to be a minimum of 2.0m behind front downspout location to ensure drainage outlets to street.
- Top of foundation walls, exterior cladding, window and door sills shall be a minimum of 150mm above finished grade.
- The Designer/Consultant/Engineer/Architect is responsible to ensure that height, thickness, lateral bracing, etc. of all foundation walls conform to OBC. OBC subsection 9.15.4 shall apply.
- All front and rear yards shall be graded at a 2% - 5% gradient within 5m of the building.
- Drainage swales shall be graded with a 2% - 5% gradient. Desirable swale depth is 250mm. Minimum swale depth is 150mm. Maximum swale depth is variable and depends on location and safety considerations, but must not exceed 450mm.
- Centerline of swales shall be located 600mm from lot lines unless otherwise approved.
- Centerline of swales must not be located less than 600mm from any foundation wall.
- Artificial embankments and retaining walls shall not be permitted unless approved as part of this Permit. The maximum embankment slope shall be 3:1 (horizontal to vertical) with a maximum grade differential of 600mm.
- Proposed retaining walls are to be constructed in accordance with the City of Vaughan Lot Grading Criteria and By-Law 1-88. Retaining walls exceeding 1.0 metre in height shall be designed, inspected and certified by a Professional Engineer and shall be served by guards or otherwise treated to reduce any public hazard. All retaining walls shall be constructed of stone, precast blocks or concrete. A retaining wall which exceeds 1.0 metre in height must be set back from the nearest property line or distance equal to its height.
- Driveway grades shall be 1.5% - 8% and compatible with approved sidewalk grades. Boulevard grades shall be 2% - 5%.
- Driveways shall be a minimum of 1.0m from any tree, sand basin or above ground utility or other obstruction.
- Water service stops are to be located in the grass portion of the front yard, as per City of Vaughan Standard 1-1.
- Driveways, curb cuts and driveway culverts shall be located, approved and constructed in accordance with the requirements of the City Engineering Department, York Region and By-Law 1-88. A separate permit is required from the City's Engineering/Public Works Department for curb cuts and/or proposed culverts.
- Footings constructed next to catch basin lead pipe or other Municipal Service shall be installed below lead pipe excavation. Footings must be constructed on undisturbed soil or Soil Consultants verification required.
- If the proposed construction is in an area of fill a Professional Engineer is to inspect the excavation and certify the stability and bearing capacity of the soil prior to construction.
- Prior to Letter of Credit release the Owner shall submit an as-built survey illustrating both proposed and as constructed grade elevations. A Storm Water Management report authored by a Professional Engineer and/or Lot Grading Certification by a Professional Engineer or Ontario Land Surveyor shall be submitted to the City upon their request.
- Post construction flows, from a 5 year storm frequency, shall not exceed the flows for preconstruction conditions, for the same storm, unless it is demonstrated to the satisfaction of the City that uncontrolled flows will not adversely affect the existing drainage patterns. (These flows shall be computed using the rational method only.)
- The building shall be located or the building site graded so that water will not accumulate at or near the building and will not adversely affect adjacent properties." OBC 9.14.6.1.(1)
- TRCA approval required where grade changes will occur that affect regulated areas: existing natural or artificial watercourse, open channel, swale or ditch used to drain land.

Revised on December 12, 2016



3 SILT FENCE

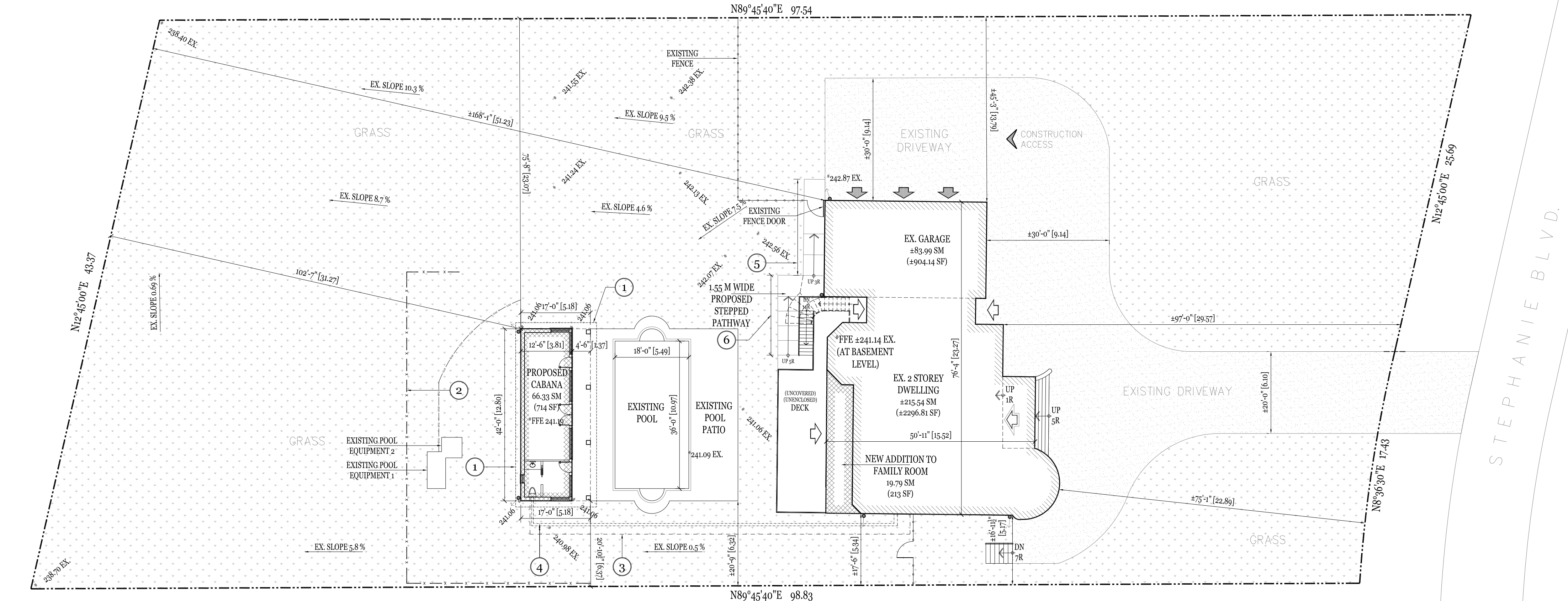
SCALE = N.T.S.

RECEIVED
By RECEIVED at 9:17 am, Oct 23, 2023

PLANS PREPARED BY APPLICANT

REFER TO SHEET A002 FOR LEGENDS, SCHEDULE & ADDITIONAL CONSTRUCTION NOTES

NOTES			
1	OUTLINE OF ROOF ABOVE		
2	EXTENT OF SILT FENCE BARRIER. REFER TO DETAIL 3/A100.		
3	4" DIA. SEWER LINE TO BE CONNECTED TO EXISTING BASEMENT STACK. ALL WATER LINES TO BE DRAINED DURING WINTER OR MADE WINTER READY		
4	HOT AND COLD WATER LINE TO BE CONNECTED TO EXISTING WATER LINES IN THE BASEMENT. ALL WATER LINES TO BE DRAINED DURING WINTER OR MADE WINTER READY		
5	EXISTING STEPS TO REMAIN		
6	PROVIDE NEW CONCRETE STEPS		



1 SITEPLAN / GRADING PLAN

SCALE: 1:200

THIS DRAWING, AS AN INSTRUMENT OF SERVICE, IS PROVIDED BY AND IS THE PROPERTY OF THE ARCHITECT. THE CONTRACTOR MUST VERIFY AND ACCEPT RESPONSIBILITY FOR ALL DIMENSIONS AND CONDITIONS ON SITE AND MUST NOTIFY THE ARCHITECT OF ANY VARIATIONS FROM THE SUPPLIED INFORMATION. THIS DRAWING IS NOT TO BE SCALED. THE ARCHITECT IS NOT RESPONSIBLE FOR THE ACCURACY OF SURVEY, STRUCTURAL, MECHANICAL, ELECTRICAL AND OTHER CONSULTANT INFORMATION SHOWN ON THIS DRAWING. REFER TO THE APPROPRIATE CONSULTANT'S DRAWINGS BEFORE PROCEEDING WITH THE WORK. CONSTRUCTION MUST CONFORM TO ALL APPLICABLE CODES AND REQUIREMENTS OF AUTHORITIES HAVING JURISDICTION. THE CONTRACTOR WORKING FROM DRAWINGS NOT SPECIFICALLY MARKED "FOR CONSTRUCTION" MUST ASSUME FULL RESPONSIBILITY AND BEAR COSTS FOR ANY CORRECTIONS OR DAMAGES RESULTING FROM HIS WORK.

No.	Date:	Issued/Revision:	By:
4	OCT 20, 2023	REVISED AS PER COA COMMENTS (08)	TM
3	OCT 17, 2023	REVISED AS PER COA COMMENTS (07)	TM
2	OCT 10, 2023	ISSUED FOR COA (06)	TM
1	JULY 22, 2023	ISSUED FOR BUILDING PERMIT (05)	GS

FRASCA Design & Planning
Residential - Retail - Commercial
2781 HIGHWAY #7, UNIT 201 VAUGHAN, ON. L4G 2Z4
416-272-2024
2000jorge@frasca.com
jorge@frasca.com

Project :
PROPOSED REAR ADDITION, RENOVATION & CABANA
120 STEPHANIE BLVD., VAUGHAN, ON. L4L 1A6

Drawing Name :
SITE PLAN

Proj no. :	22038	Date :	19 MAY, 2023
Drawn by :	GS	Scale :	AS NOTED
Checked by :	GF		

Drawing No :
A100

CONSTRUCTION NORTH

SCHEDULE B: STAFF & AGENCY COMMENTS

DEPT/AGENCY	Circulated	Comments Received	Conditions	Nature of Comments
TRCA *Schedule B	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	General Comments
Ministry of Transportation (MTO) *Schedule B	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	No Comments Received to Date
Region of York *Schedule B	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	General Comments
Alectra *Schedule B	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	General Comments
Bell Canada *Schedule B	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	No Comments Received to Date
YRDSB *Schedule B	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
YCDSB *Schedule B	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
CN Rail *Schedule B	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
CP Rail *Schedule B	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
TransCanada Pipeline *Schedule B	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	No Comments Received to Date
Metrolinx *Schedule B	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Propane Operator *Schedule B	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Development Planning	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	Recommend Approval/with conditions
Building Standards (Zoning)	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	General Comments

Date: October 23rd 2023

Attention: **Christine Vigneault**

RE: Request for Comments

File No.: **A165-23**

Related Files:

Applicant Frasca Design & Planning

Location 120 Stephanie Boulevard



Discover the possibilities

COMMENTS:

- We have reviewed the proposed Variance Application and have no comments or objections to its approval.
- We have reviewed the proposed Variance Application and have no objections to its approval, subject to the following comments (attached below).
- We have reviewed the proposed Variance Application and have the following concerns (attached below).

Alectra Utilities (formerly PowerStream) has received and reviewed the proposed Variance Application. This review, however, does not imply any approval of the project or plan.

All proposed billboards, signs, and other structures associated with the project or plan must maintain minimum clearances to the existing overhead or underground electrical distribution system as specified by the applicable standards, codes and acts referenced.

In the event that construction commences, and the clearance between any component of the work/structure and the adjacent existing overhead and underground electrical distribution system violates the Occupational Health and Safety Act, the customer will be responsible for 100% of the costs associated with Alectra making the work area safe. All construction work will be required to stop until the safe limits of approach can be established.

In the event construction is completed, and the clearance between the constructed structure and the adjacent existing overhead and underground electrical distribution system violates the any of applicable standards, acts or codes referenced, the customer will be responsible for 100% of Alectra's cost for any relocation work.

References:

- Ontario Electrical Safety Code, latest edition (Clearance of Conductors from Buildings)
- Ontario Health and Safety Act, latest edition (Construction Protection)
- Ontario Building Code, latest edition (Clearance to Buildings)
- PowerStream (Construction Standard 03-1, 03-4), attached
- Canadian Standards Association, latest edition (Basic Clearances)

If more information is required, please contact either of the following:

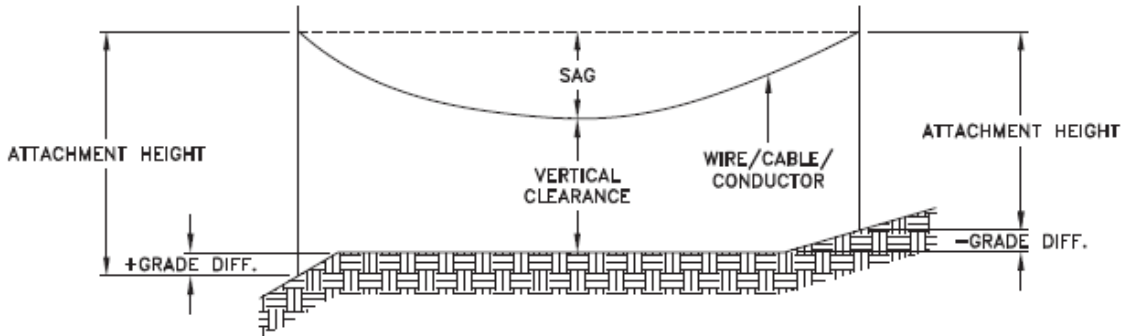
Mr. Stephen Cranley, C.E.T
Supervisor, Distribution Design, ICI & Layouts (North)
Phone: 1-877-963-6900 ext. 31297

E-mail: stephen.cranley@alectrautilities.com

Mitchell Penner
Supervisor, Distribution Design-Subdivisions
Phone: 416-302-6215

Email: Mitchell.Penner@alectrautilities.com

LOCATION OF WIRES, CABLES OR CONDUCTORS	SYSTEM VOLTAGE			
	SPAN GUYS AND COMMUNICATIONS WIRES	UP TO 600V AND NEUTRAL	4.16/2.4kV TO 27.6/16kV (SEE NOTE 1)	44kV
MINIMUM VERTICAL CLEARANCES (SEE NOTE 2)				
OVER OR ALONGSIDE ROADS, DRIVEWAYS OR LANDS ACCESSIBLE TO <u>VEHICLES</u>	442cm	442cm	480cm	520cm
OVER GROUND ACCESSIBLE TO <u>PEDESTRIANS AND BICYCLES ONLY</u>	250cm	310cm	340cm	370cm
ABOVE TOP OF RAIL AT <u>RAILWAY CROSSINGS</u>	730cm	730cm	760cm	810cm



MINIMUM ATTACHMENT HEIGHT = MAXIMUM SAG
 + MINIMUM VERTICAL CLEARANCE (FROM ABOVE TABLE)
 ± GRADE DIFFERENCE
 + 0.3m (VEHICLE OR RAILWAY LOCATION)
 + SNOW DEPTH (PEDESTRIAN LOCATION, SEE NOTE 3)

NOTES:

1. THE MULTIGROUNDED SYSTEM NEUTRAL HAS THE SAME CLEARANCE AS THE 600V SYSTEM.
2. THE VERTICAL CLEARANCES IN THE ABOVE TABLE ARE UNDER MAXIMUM SAG CONDITIONS.
3. REFER TO CSA STANDARD C22.3 No.1, ANNEX D FOR LOCAL SNOW DEPTH VALUES.
4. ALL CLEARANCES ARE IN ACCORDANCE TO CSA STANDARD C22.3.

CONVERSION TABLE

METRIC	IMPERIAL (APPROX)
810cm	27'-0"
760cm	25'-4"
730cm	24'-4"
520cm	17'-4"
480cm	16'-0"
442cm	15'-5"
370cm	12'-4"
340cm	11'-4"
310cm	10'-4"
250cm	8'-4"

REFERENCES

SAGS AND TENSIONS | SECTION 02

MINIMUM VERTICAL CLEARANCES OF WIRES, CABLES AND CONDUCTORS ABOVE GROUND OR RAILS

ORIGINAL ISSUE DATE: 2010-DEC-24 REVISION NO: R1 REVISION DATE: 2012-JAN-09

Certificate of Approval	
This construction Standard meets the safety requirements of Section 4 of Regulation 22/04	
Joe Crozier, P.Eng.	2012-JAN-09
Name	Date
P.Eng. Approval By:	Joe Crozier



VOLTAGE	MINIMUM HORIZONTAL CLEARANCE UNDER MAXIMUM SWING CONDITIONS DIMENSION "X" (SEE NOTES 1, 3 & 4)	MINIMUM VERTICAL CLEARANCE UNDER MAXIMUM DESIGN SAG CONDITIONS DIMENSION "Y" (SEE NOTES 1, 2, 4 & 5)
0-600V AND NEUTRAL	100cm	250cm
4.16/2.4 TO 44kV	300cm	480cm

NOTES

1. UNDER NO CIRCUMSTANCES SHALL A CONDUCTOR BE PERMITTED TO PENETRATE THE ENVELOPE SHOWN BY THE DOTTED LINE.
2. THE VERTICAL CLEARANCES ARE UNDER CONDITIONS OF MAXIMUM DESIGN SAG.
3. THE HORIZONTAL CLEARANCES ARE UNDER CONDITIONS OF MAXIMUM SWING. WHERE THE CONDUCTOR SWING IS NOT KNOWN A HORIZONTAL CLEARANCE OF 480CM SHALL BE USED.
4. BUILDINGS THAT EXCEED 3 STOREYS OR 15M IN HEIGHT, THE MINIMUM HORIZONTAL CLEARANCE OF THE SECONDARY CONDUCTORS SHOULD BE INCREASED TO 300cm WHERE IT IS NECESSARY TO ALLOW FOR THE RAISING OF LADDERS BY LOCAL FIRE DEPARTMENTS.
5. IN SITUATIONS SUCH AS MULTI-LEVEL GARAGES, WHERE ROOFS ARE NORMALLY USED BY PERSONS AND VEHICLES, THE VERTICAL CLEARANCES OF POWERSTREAM STANDARD 03-1 SHALL APPLY.
6. DISTRIBUTION LINES CONSTRUCTED NEAR BUILDINGS SHALL BE BUILT TO AVOID OVERHANG WHEREVER POSSIBLE. WHERE LINES MUST BE CONSTRUCTED OVER OR ADJACENT TO BUILDINGS THE APPLICABLE HORIZONTAL AND VERTICAL CLEARANCES SHALL BE AT CONDITIONS OF MAXIMUM CONDUCTOR SWING AND MAXIMUM SAG. THE ABOVE CLEARANCES ARE DESIGNED TO PREVENT PERSONS ON OR IN BUILDINGS AS WELL AS EXTERNAL MACHINERY USED IN CONJUNCTION WITH A BUILDING TO COME IN CONTACT WITH CONDUCTORS. EFFORTS SHOULD BE MADE TO INCREASE THESE CLEARANCES WHERE POSSIBLE.
7. ALL CLEARANCES ARE IN ACCORDANCE TO CSA C22.3 NO.1-06 (TABLE-9).

METRIC	IMPERIAL (APPROX)
480cm	16'-0"
300cm	10'-0"
250cm	8'-4"
100cm	3'-4"

MINIMUM VERTICAL & HORIZONTAL CLEARANCES OF CONDUCTORS FROM BUILDINGS OR OTHER PERMANENT STRUCTURES (CONDUCTORS NOT ATTACHED TO BUILDINGS)

Certificate of Approval
This construction Standard meets the safety requirements of Section 4 of Regulation 22/04
Debbie Dadwani, P.Eng. 2010-MAY-05
Name Date
P. Eng. Approval By: *D. Dadwani*

ORIGINAL ISSUE DATE: 2010-MAY-05 REVISION NO: REVISION DATE:
PS:\System Planning and Standards\Standard Design\PowerStream Standards\PowerStream Standards working files\Section 3,3-4\DWG 03-4 R0 May 5, 2010.dwg, 5/5/2010 10:27:02 AM, Adobe PDF

To: Committee of Adjustment
From: Christian Tinney, Building Standards Department
Date: November 6, 2023
Applicant: Frasca Design & Planning
Location: 120 Stephanie Boulevard
 PLAN M2031 Lot 4
File No.(s): A165/23

Zoning Classification:

The subject lands are zoned RE(EN), Estate Residential Zone and subject to the provisions of Exception 14.116 under By-law 001-2021, as amended.

#	Zoning By-law 001-2021	Variance requested
1	In any Residential Zone, the maximum height of an accessory building and residential accessory structure shall be 3.0 metres. [Section 4.1.4 1.]	To permit a maximum height of 3.78 metres for an Accessory Building.

The subject lands are zoned RR, Rural Residential Zone and subject to the provisions of Exception 9(236) under By-law 1-88, as amended.

#	Zoning By-law 1-88	Variance requested
2	The maximum height of any accessory building or structure measured from the average finished ground level to the highest point of the said building or structure shall be 4.5 metres. [Section 4.1.1. b)]	To permit a maximum height of 4.7 metres to the highest point for an Accessory Building.

Staff Comments:

Stop Work Order(s) and Order(s) to Comply:

There are no outstanding Orders on file.

Building Permit(s) Issued:

Building Permit No. 23-127385 for Single Detached Dwelling - Addition, Issue Date: (Not Yet Issued)

Other Comments:

General Comments	
1	The applicant shall be advised that additional variances may be required upon review of detailed drawing for building permit/site plan approval.

Conditions of Approval:

If the committee finds merit in the application, the following conditions of approval are recommended.

* Comments are based on the review of documentation supplied with this application.

To: Christine Vigneault, Committee of Adjustment Secretary Treasurer
From: Nancy Tuckett, Director of Development Planning
Date: November 6, 2023
Name of Owner: Floriana Perruzza D'Archi
Location: 120 Stephanie Boulevard
File No.(s): A165/23

Proposed Variances (By-law 001-2021):

1. To permit a maximum height of 3.78 metres for an Accessory Building.

By-Law Requirements (By-law 001-2021):

1. In any Residential Zone, the maximum height of an accessory building and residential accessory structure shall be 3.0 metres.

Proposed Variances (By-law 1-88):

2. To permit a maximum height of 4.7 metres to the highest point for an Accessory Building.

By-Law Requirements (By-law 1-88):

2. The maximum height of any accessory building or structure measured from the average finished ground level to the highest point of the said building or structure shall be 4.5 metres.

Official Plan:

Vaughan Official Plan 2010 ('VOP 2010'): "Low-Rise Residential"

Comments:

The Owner is requesting relief to permit the construction of an accessory structure (cabana) at 120 Stephanie Boulevard with the above noted variances.

The Development Planning Department has no objection to Variances 1 and 2 to permit a maximum height of 3.78 metres (By-law 001-2021) and 4.7 metres (By-law 1-88) for an accessory structure (cabana). The proposed cabana complies with all setback requirements in both By-laws, therefore providing sufficient space for access, maintenance, and plantings for screening. The cabana is proposed to be in-line with the dwelling's southern wall, providing about 6.3 metres of space between it and the side lot line to establish screening vegetation to mitigate any potential privacy or massing impacts on the neighbouring property to the south. There is a high degree of spatial separation (23.07 metres) between the cabana and the north lot line, and the rear lot line property abuts an open space zone to the west. Adverse impacts are not anticipated to the north and west should the reliefs be granted. The scale of the proposed cabana is also appropriate in relation to the scale of the dwelling, which appears as 3-storey building when viewed from the rear.

Accordingly, the Development Planning Department can support the requested variances and is of the opinion that the proposal is minor in nature, maintains the general intent and purpose of the Official Plan and Zoning By-laws, and is desirable for the appropriate development of the land.

Recommendation:

The Development Planning Department recommends approval of the application with the following condition of approval:

Condition of Approval:

If the Committee finds merit in the application, the following condition of approval is recommended:

1. That the Owner submits an Arborist Report and Tree Protection Plan to the satisfaction of Development Planning, Forestry, and Urban Design staff.

Comments Prepared by:

Nicholas Del Prete, Planner I
David Harding, Senior Planner

Pravina Attwala

Subject: FW: [External] RE: A165/23 (120 Stephanie Blvd) - REQUEST FOR COMMENTS, CITY OF VAUGHAN

From: Kristen Regier <Kristen.Regier@trca.ca>

Sent: October-18-23 8:56 AM

To: Committee of Adjustment <CofA@vaughan.ca>

Cc: Christine Vigneault <Christine.Vigneault@vaughan.ca>

Subject: [External] RE: A165/23 (120 Stephanie Blvd) - REQUEST FOR COMMENTS, CITY OF VAUGHAN

Hello,

The subject property at 120 Stephanie Blvd, Vaughan is not located within TRCA's Regulated Area. TRCA's Planning and Regulatory policy interests are not impacted.

As such, TRCA has no comments on the application.

Best,

Kristen Regier, MA (she / her)

Planner I

Development Planning and Permits | Development and Engineering Services

Toronto and Region Conservation Authority (TRCA)

T: [437-880-2129](tel:437-880-2129)

E: kristen.regier@trca.ca

A: [101 Exchange Avenue, Vaughan, ON, L4K 5R6](https://www.trca.ca) | [trca.ca](https://www.trca.ca)



Pravina Attwala

Subject: FW: [External] RE: A165/23 (120 Stephanie Blvd) - REQUEST FOR COMMENTS, CITY OF VAUGHAN

From: Development Services <developmentservices@york.ca>
Sent: October-25-23 5:32 PM
To: Christine Vigneault <Christine.Vigneault@vaughan.ca>
Cc: Committee of Adjustment <CofA@vaughan.ca>
Subject: [External] RE: A165/23 (120 Stephanie Blvd) - REQUEST FOR COMMENTS, CITY OF VAUGHAN

Hi Christine,

The Regional Municipality of York has completed its review of the minor variance application – A165/23 (120 Stephanie Blvd) and has no comment.

Please provide us with a copy of the notice of decision for our records.

Many thanks,

Our working hours may be different. Please do not feel obligated to reply outside of your scheduled working hours. Let's work together to help foster healthy work-life boundaries.

Niranjan Rajevan, M.Pl. | Associate Planner, Development Services, Planning and Economic Development, Corporate Services

The Regional Municipality of York | 17250 Yonge Street | Newmarket, ON L3Y 6Z1
1-877-464-9675 ext. 71521 | niranjan.rajevan@york.ca | www.york.ca
Our Values: Integrity, Commitment, Accountability, Respect, Excellence



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SCHEDULE C: PUBLIC & APPLICANT CORRESPONDENCE

None