

ITEM: 6.4	COMMITTEE OF ADJUSTMENT REPORT SUMMARY MINOR VARIANCE APPLICATION FILE NUMBER A139/23 97 ROSSHAVEN CRESCENT, WOODBRIDGE
------------------	--

**THIS REPORT CONTAINS COMMENTS FROM THE FOLLOWING
DEPARTMENTS & AGENCIES:**

*Please see **Schedule B** of this report for a copy of Development Planning and Agency correspondence.

Additional comments from departments and agencies may be received after the publication of the Staff Report. These comments will be processed as an addendum and posted on the City's Website.

DEPARTMENTS	Circulated	Comments Received	Conditions	Nature of Comments
Committee of Adjustment	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	General Comments
Building Standards (Zoning Review)	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	General Comments
Building Inspection (Septic)	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	No Comments Received to Date
Development Planning	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	Recommend Approval/No Conditions
Development Engineering	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	Recommend Approval/No Conditions
Parks, Forestry and Horticulture Operations	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	General Comments
By-law & Compliance, Licensing & Permits	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	No Comments Received to Date
Development Finance	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	General Comments
Real Estate	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Fire Department	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	No Comments Received to Date
AGENCIES	Circulated	Comments Received	Conditions	Nature of Comments
TRCA	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	General Comments
Ministry of Transportation (MTO)	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Region of York	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	General Comments
Alectra	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	General Comments
Bell Canada	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	No Comments Received to Date
YRDSB	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
YCDSB	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
CN Rail	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
CP Rail	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
TransCanada Pipeline	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	No Comments Received to Date
Metrolinx	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Propane Operator	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	

PUBLIC & APPLICANT CORRESPONDENCE

*Please see **Schedule C** of this report for a copy of the public & applicant correspondence listed below.

The deadline to submit public comments is **noon on the last business day prior to the scheduled hearing date.**

Comments and written public submissions received after the publication of this Staff Report will be processed as an addendum and posted on the City's Website.

All personal information collected because of this public meeting (including both written and oral submissions) is collected under the authority of the Municipal Act, the Municipal Freedom of Information and Protection of Privacy Act (MFIPPA), the Planning Act and all other relevant legislation, and will be used to assist in deciding on this matter. All personal information (as defined by MFIPPA), including (but not limited to) names, addresses, opinions and comments collected will become property of the City of Vaughan, will be made available for public disclosure (including being posted on the internet) and will be used to assist the Committee of Adjustment and staff to process this application.

Correspondence Type	Name	Address	Date Received (mm/dd/yyyy)	Summary
None				

PREVIOUS COA DECISIONS ON THE SUBJECT LAND

*Please see **Schedule D** for a copy of the Decisions listed below

File Number	Date of Decision MM/DD/YYYY	Decision Outcome
None		

ADJOURNMENT HISTORY

* Previous hearing dates where this application was adjourned by the Committee and public notice issued.

None	
------	--



**COMMITTEE OF ADJUSTMENT REPORT
MINOR VARIANCE APPLICATION
A139/23
97 ROSSHAVEN CR, WOODBRIDGE**

ITEM NUMBER: 6.4	CITY WARD #: 3
APPLICANT:	Nithyakala Sutheskumar
AGENT:	RJ Cad Solutions Inc.
PROPERTY:	97 Rosshaven Crescent, Woodbridge
ZONING DESIGNATION:	See below.
VAUGHAN OFFICIAL PLAN (2010) DESIGNATION:	Vaughan Official Plan 2010 ('VOP 2010'): "Low Density Residential", Volume 2, Area Specific Policy 12.13 - Block 40/47.
RELATED DEVELOPMENT APPLICATIONS:	None
PURPOSE OF APPLICATION:	Relief from the Zoning By-law is being requested to permit a proposed side door entrance located in the westerly side yard and reduced front yard landscaping requirements.

The following variances are being requested from the City's Zoning By-law to accommodate the above proposal:

The subject lands are zoned RD3 – Residential Detached Zone Three and subject to the provisions of Exception 9(1455) under Zoning By-law 1-88, as amended.

	Zoning By-law 1-88	Variance requested
1	A minimum interior side yard setback of 1.8m is required to the door. [Schedule A3]	To permit a minimum side yard setback of 1.23m to the door.
2	The lot frontage for lots 12.0 m and greater shall be comprised of a minimum of 50% Landscaped front yard. [Section 4.1.4]	To permit a minimum of 38.6% (29.0m ²) landscaped front yard.
3	A minimum 60% of the minimum landscaped front yard shall be soft landscaping. [Section 4.1.4]	To permit a minimum of 56.8% (21.4m ²) of the minimum landscaped front yard to be soft landscaped.

HEARING INFORMATION

DATE OF MEETING: Thursday, November 16, 2023
TIME: 6:00 p.m.
MEETING LOCATION: Vaughan City Hall, Woodbridge Room (2nd Floor), 2141 Major Mackenzie Drive
LIVE STREAM LINK: Vaughan.ca/LiveCouncil

PUBLIC PARTICIPATION

If you would like to speak to the Committee of Adjustment at the meeting, either remotely or in person, please complete the [Request to Speak Form](#) and submit to cofa@vaughan.ca

If you would like to submit written comments, please quote file number above and submit by mail or email to:

Email: cofa@vaughan.ca

Mail: City of Vaughan, Office of the City Clerk, Committee of Adjustment, 2141 Major Mackenzie Drive, Vaughan, ON, L6A 1T1

To speak electronically, pre-registration is required by completing the [Request to Speak Form](#) on-line and submitting it to cofa@vaughan.ca no later than NOON on the last business day before the meeting.

THE DEADLINE TO REGISTER TO SPEAK ELECTRONICALLY OR SUBMIT WRITTEN COMMENTS ON THE ABOVE NOTED FILE(S) IS NOON ON THE LAST BUSINESS DAY BEFORE THE MEETING.

INTRODUCTION

Staff and Agencies act as advisory bodies to the Committee of Adjustment. The comments contained in this report are presented as recommendations to the Committee.

Section 45(1) of the Planning Act sets the criteria for authorizing minor variances to the City of Vaughan's Zoning By-law. Accordingly, review of the application may consider the following:

That the general intent and purpose of the by-law will be maintained.

That the general intent and purpose of the official plan will be maintained.

That the requested variance(s) is/are acceptable for the appropriate development of the subject lands.

That the requested variance(s) is/are minor in nature.

Public written and oral submissions relating to this application are taken into consideration by the Committee of Adjustment as part of its deliberations and final decision on this matter.

COMMITTEE OF ADJUSTMENT COMMENTS

Date Public Notice Mailed:	November 2, 2023	
Date Applicant Confirmed Posting of Sign:	October 26, 2023	
Applicant Justification for Variances: <small>*As provided by Applicant in Application Form</small>	Side door entrance from 1.2m property line.	
Adjournment Requests (from staff): <small>*Adjournment requests provided to applicant prior to issuance of public notice</small>	<p>On October 25, Development Planning provided:</p> <p>Development Planning staff have continued to review the above-mentioned application and appreciate your willingness to work with us.</p> <p>The existing proposed soft landscaping totals for the front yard would be difficult to support (variance #2). I have provided a marked up site plan suggesting additional soft landscaping totals in the front yard (see two green boxes in attached pdf – note these measurements are approximate). Please consider the suggestions as we anticipate that the attached revisions would comply with the soft landscaping requirements of the zoning by-law.</p> <p>Please provide us revised drawings containing any modification to soft landscaping amounts in the front yard at your earliest convenience in order to maintain your position on the November 16 agenda as Zoning Staff will need to review the updated drawings</p> <p>On October 26 the applicant provided revised plans and a Zoning Review Waiver.</p> <p>On November 1, Building Standards provided revised comments confirming variances identified in waiver were correct. Public notice was issued based on the zoning review comments.</p>	
Was a Zoning Review Waiver (ZRW) Form submitted by Applicant:	Yes	
<small>*ZRW Form may be used by applicant in instances where a revised submission is made, and zoning staff do not have an opportunity to review and confirm variances prior to the issuance of public notice.</small>		
<small>*A revised submission may be required to address staff / agency comments received as part of the application review process.</small>		
<small>*Where a zoning review has not been completed on a revised submission, an opportunity is provided to the applicant to adjourn the proposal prior to the issuance of public notice.</small>		
Adjournment Fees:		
<small>In accordance with Procedural By-law 069-2019, an Adjournment Fee is applicable to reschedule an application after the issuance of public notice where a request for adjournment has been provided to the applicant prior to the issuance of public notice.</small>		
<small>An Adjournment Fee can only be waived in instances where adjournment of an application is requested by the Committee or staff after the issuance of public notice.</small>		
Committee of Adjustment Comments:	None	

COMMITTEE OF ADJUSTMENT COMMENTS

Committee of Adjustment Recommended Conditions of Approval: None

BUILDING STANDARDS (ZONING) COMMENTS

**See Schedule B for Building Standards (Zoning) Comments

Building Standards Recommended Conditions of Approval: None

DEVELOPMENT PLANNING COMMENTS

**See Schedule B for Development Planning Comments.

Development Planning Recommended Conditions of Approval: None

DEVELOPMENT ENGINEERING COMMENTS

[Link to Grading Permit](#) [Link to Pool Permit](#) [Link to Curb Curt Permit](#) [Link Culvert Installation](#)

The concerns regarding the retaining wall constructed near the property line have been resolved by the Owner/Applicant. They are advised to ensure the preservation of the current drainage feature in order to prevent any negative impacts on the local stormwater management system.

The Development Engineering (DE) Department does not object to Minor Variance Application A139/23.

Development Engineering Recommended Conditions of Approval: None

PARKS, FORESTRY & HORTICULTURE (PFH) COMMENTS

Forestry has no comment at this time.

PFH Recommended Conditions of Approval: None

DEVELOPMENT FINANCE COMMENTS

No comment no concerns

Development Finance Recommended Conditions of Approval: None

BY-LAW AND COMPLIANCE, LICENSING AND PERMIT SERVICES COMMENTS

No objections

BCLPS Recommended Conditions of Approval: None

BUILDING INSPECTION (SEPTIC) COMMENTS

No Comments Received to Date

Building Inspection Recommended Conditions of Approval: None

FIRE DEPARTMENT COMMENTS

No Comments Received to Date

Fire Department Recommended Conditions of Approval: None

SCHEDULES TO STAFF REPORT

*See Schedule for list of correspondence

Schedule A Drawings & Plans Submitted with the Application

Schedule B Staff & Agency Comments

Schedule C (if required) Correspondence (Received from Public & Applicant)

Schedule D (if required) Previous COA Decisions on the Subject Land

Should the Committee find it appropriate to approve this application in accordance with request and the sketch submitted with the application, as required by Ontario Regulation 200/96, the following conditions have been recommended:

SUMMARY OF RECOMMENDED CONDITIONS OF APPROVAL

All conditions of approval, unless otherwise stated, are considered to be incorporated into the approval “**if required**”. If a condition is no longer required after an approval is final and binding, the condition may be waived by the respective department or agency requesting conditional approval. A condition cannot be waived without written consent from the respective department or agency.

#	DEPARTMENT / AGENCY	CONDITION(S) DESCRIPTION
	None	

IMPORTANT INFORMATION – PLEASE READ

CONDITIONS: It is the responsibility of the owner/applicant and/or authorized agent to obtain and provide a clearance letter from respective department and/or agency (**see condition chart above for contact**). This letter must be provided to the Secretary-Treasurer to be finalized. All conditions must be cleared prior to the issuance of a Building Permit.

APPROVALS: Making any changes to your proposal after a decision has been made may impact the validity of the Committee’s decision.

An approval obtained from the Committee of Adjustment, where applicable, is tied to the building envelope shown on the plans and drawings submitted with the application and subject to the variance approval.

A building envelope is defined by the setbacks of the buildings and/or structures shown on the plans and drawings submitted with the application, as required by Ontario Regulation 200/96. Future development outside of an approved building envelope, where a minor variance was obtained, must comply with the provisions of the City’s Zoning By-law.

Elevation drawings are provided to reflect the style of roof (i.e. flat, mansard, gable etc.) to which a building height variance has been applied. Where a height variance is approved, building height is applied to the style of roof (as defined in the City’s Zoning By-law) shown on the elevation plans submitted with the application.

Architectural design features that are not regulated by the City’s Zoning By-law are not to be considered part of an approval unless specified in the Committee’s decision.

DEVELOPMENT CHARGES: That the payment of the Regional Development Charge, if required, is payable to the City of Vaughan before issuance of a building permit in accordance with the Development Charges Act and the Regional Development Charges By-law in effect at the time of payment.

That the payment of the City Development Charge, if required, is payable to the City of Vaughan before issuance of a building permit in accordance with the Development Charges Act and the City’s Development Charges By-law in effect at the time of payment.

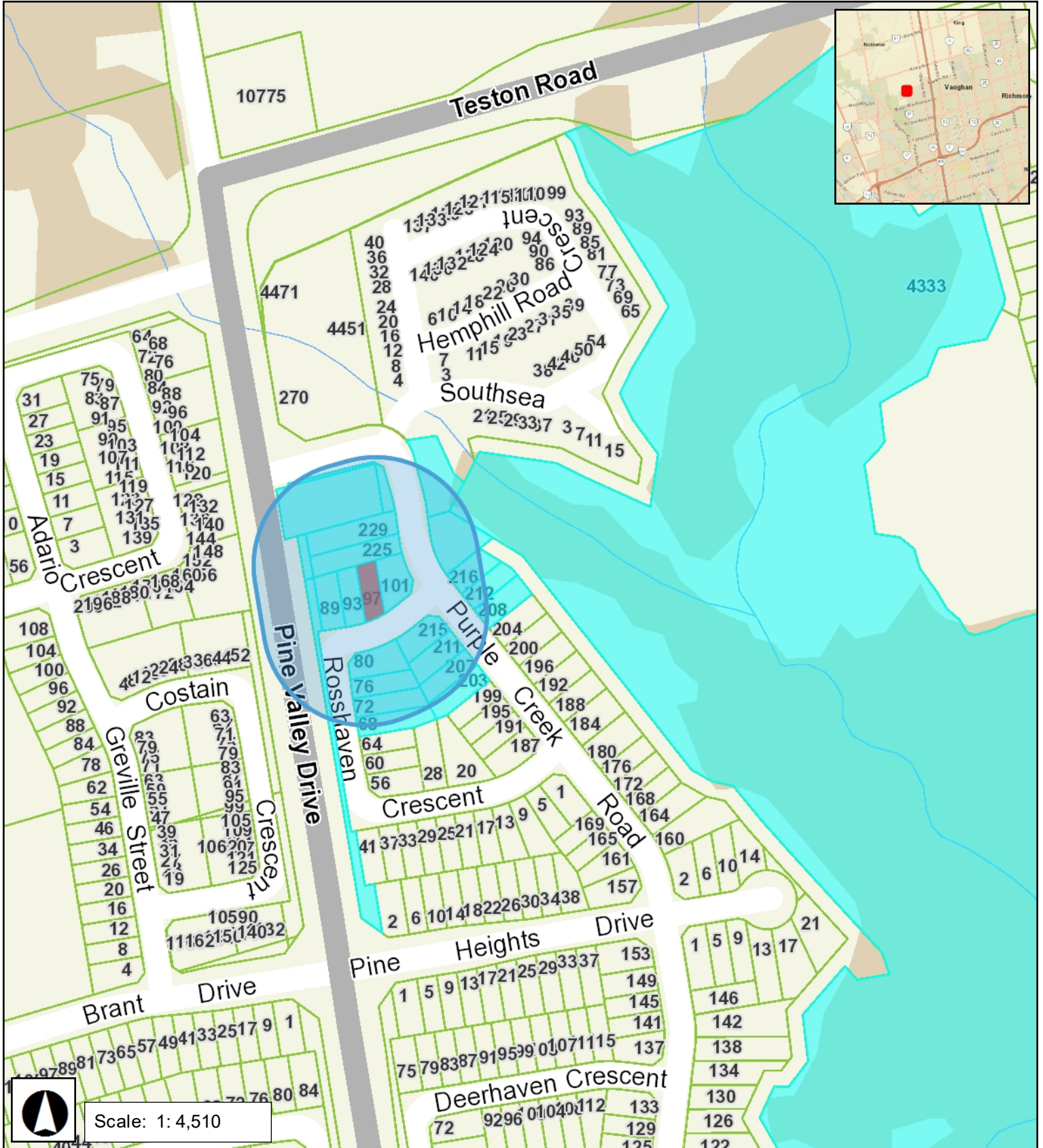
That the payment of the Education Development Charge if required, is payable to the City of Vaughan before issuance of a building permit in accordance with the Development Charges Act and the Boards of Education By-laws in effect at the time of payment

That the payment of Special Area Development charge, if required, is payable to the City of Vaughan before issuance of a building permit in accordance with the Development Charges Act and The City’s Development Charge By-law in effect at the time of Building permit issuance to the satisfaction of the Reserves/Capital Department.

NOTICE OF DECISION: If you wish to be notified of the decision in respect to this application or a related Ontario Land Tribunal (OLT) hearing you must complete a Request for Decision form and submit to the Secretary Treasurer (ask staff for details). In the absence of a written request to be notified of the Committee’s decision you will **not** receive notice.

SCHEDULE A: DRAWINGS & PLANS

97 Rosshaven Crescent, Woodbridge



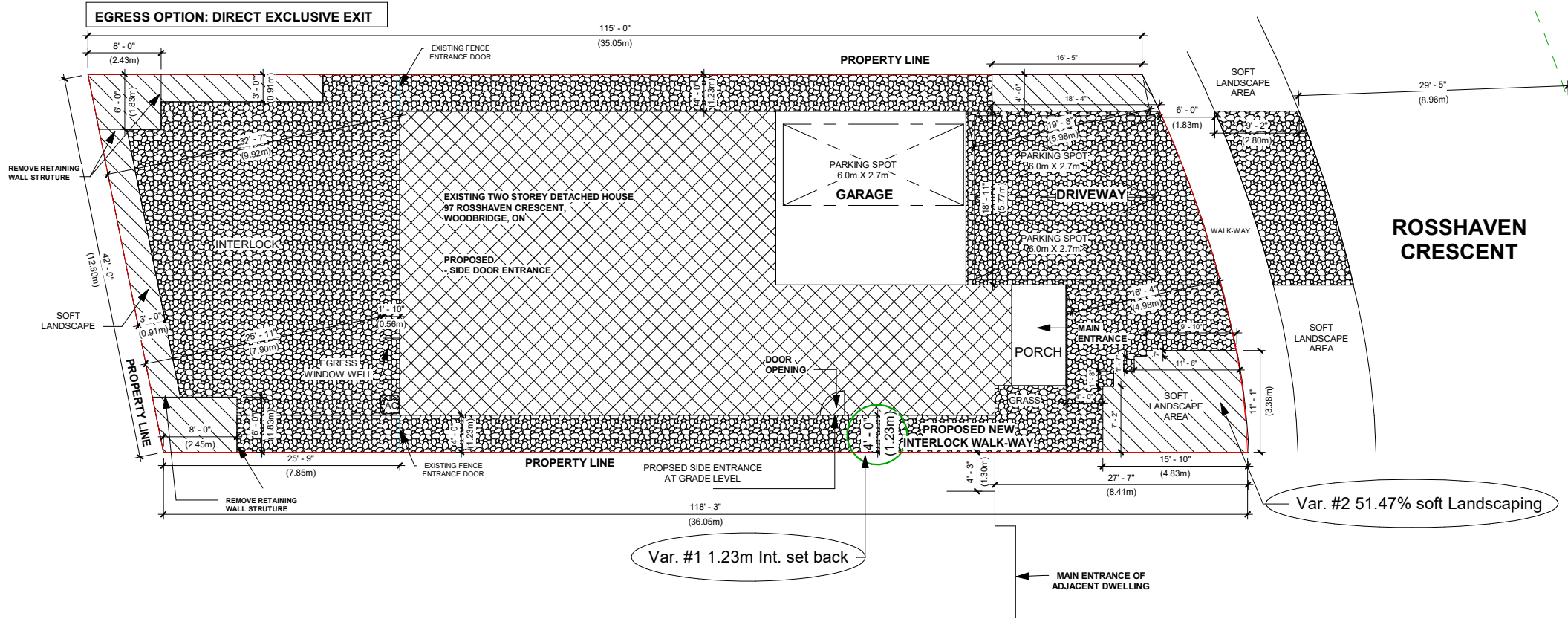
RECEIVED

By Christine Vigneault at 3:39 pm, Oct 31, 2023

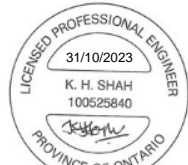


Plan not reviewed by Zoning (ZRW submitted)

-TOTAL FRONT YARD AREA - 76.37 SM
 - DRIVEWAY AREA - 34.76 SM
 - HARD LANDSCAPE AREA - 20.19 SM
 - SOFT LANDSCAPE AREA - 21.42 SM



No.	REVISION	DATE
1.	ISSUED FOR APPROVAL	2023-08-16



97 ROSSHAVEN CRES,
WOODBRIDGE, ON

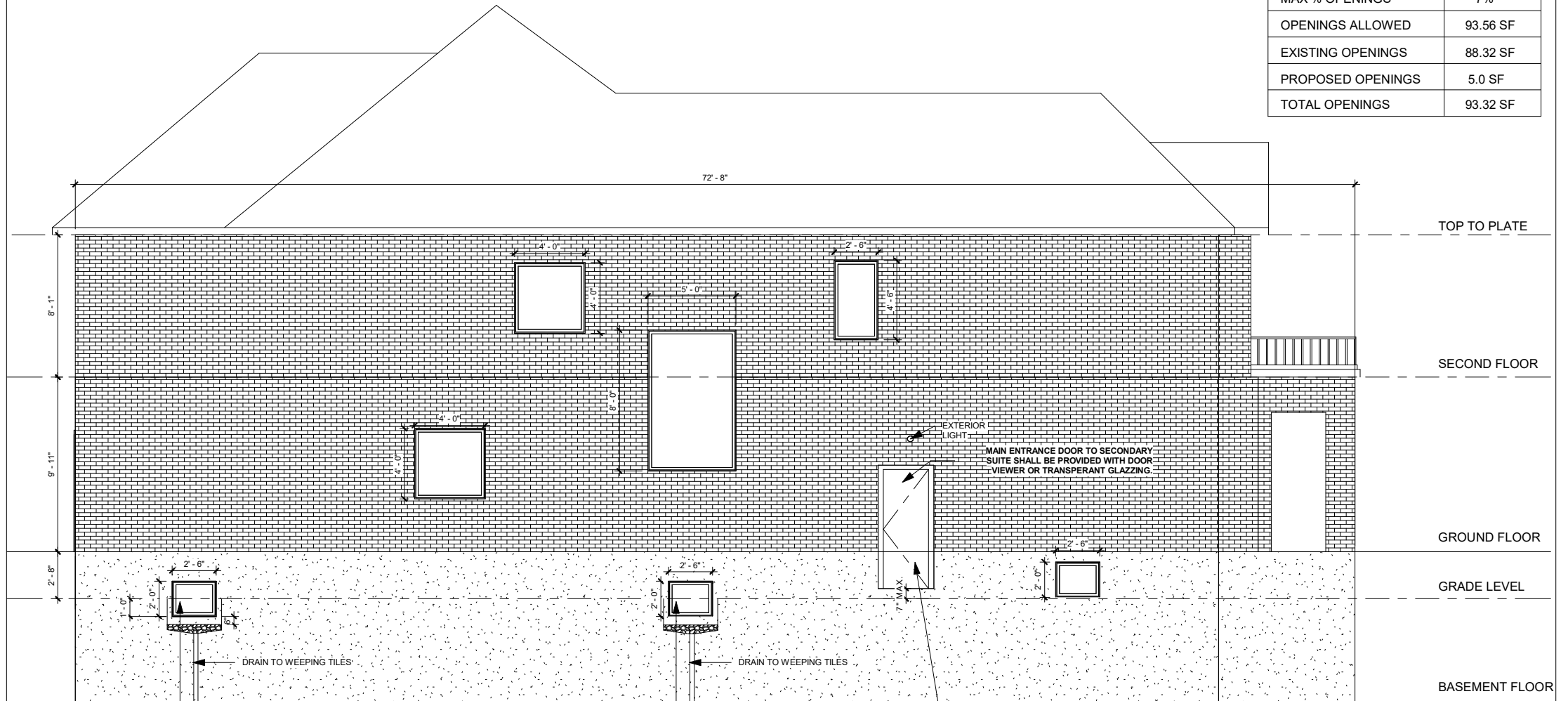
SITE PLAN

RJ CAD SOLUTIONS

Date	2023-08-16	Scale	1 : 130
Drawn By	DP	Checked By	KS
Project Number	0001		
SHEET NUMBER	A1		

SPATIAL CALCULATIONS

WALL AREA	1336.70 SF
LIMITING DISTANCE	1.2 m
MAX % OPENINGS	7%
OPENINGS ALLOWED	93.56 SF
EXISTING OPENINGS	88.32 SF
PROPOSED OPENINGS	5.0 SF
TOTAL OPENINGS	93.32 SF



No.	REVISION	DATE
1.	ISSUED FOR APPROVAL	2023-08-16



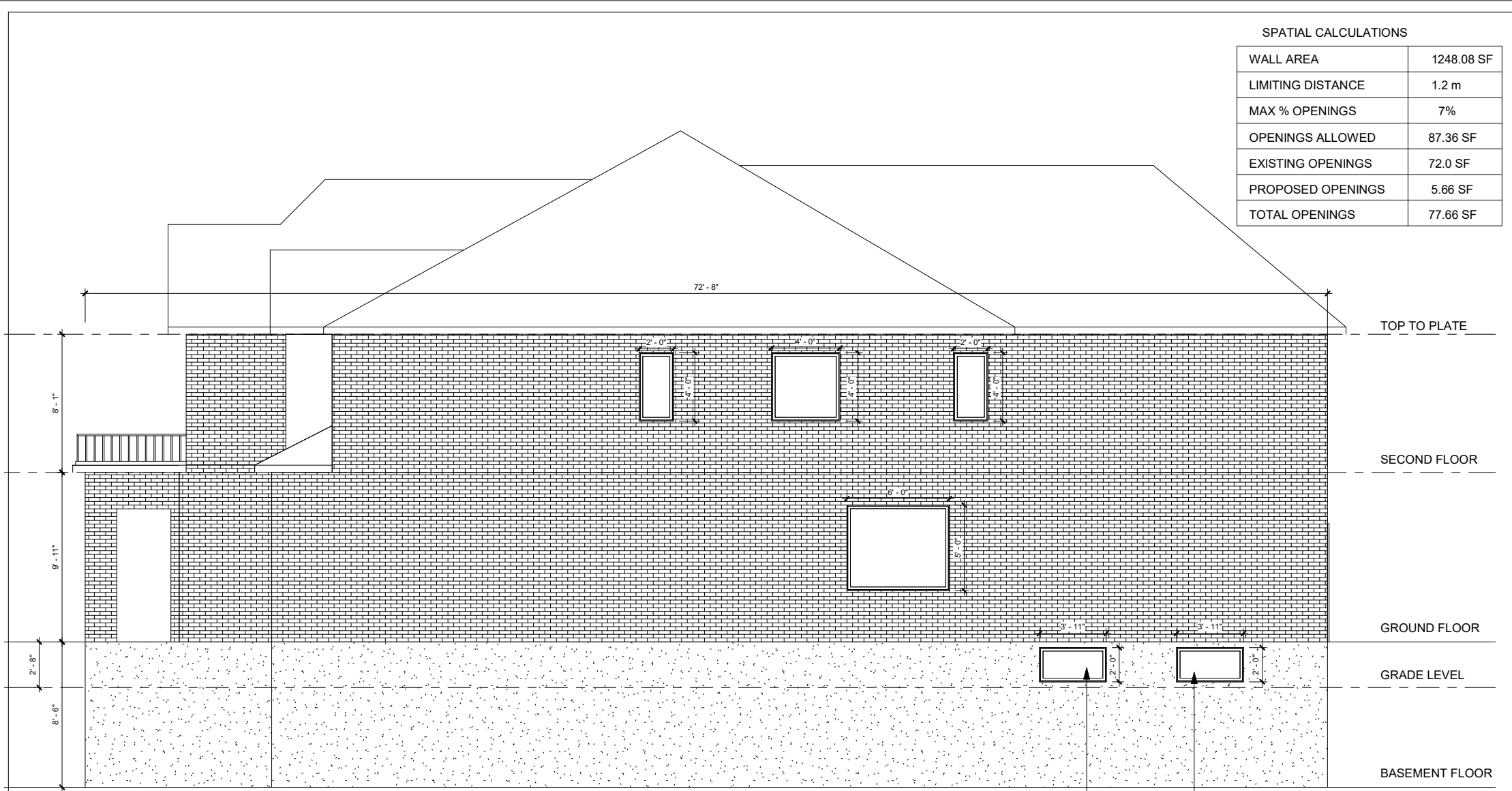
97 ROSSHEAVEN CRES,
WOODBRIDGE, ON

LEFT SIDE ELEVATION

RJ CAD SOLUTIONS

Date	2023-08-16	Scale	3/16" = 1'-0"
Drawn By	JK	Checked By	KS
Project Number	0001		
SHEET NUMBER	A5		

SPATIAL CALCULATIONS	
WALL AREA	1248.08 SF
LIMITING DISTANCE	1.2 m
MAX % OPENINGS	7%
OPENINGS ALLOWED	87.36 SF
EXISTING OPENINGS	72.0 SF
PROPOSED OPENINGS	5.66 SF
TOTAL OPENINGS	77.66 SF



ENLARGE EXISTING 30" X 24" WINDOW INTO 47" X 24" WINDOW

ENLARGE EXISTING 30" X 24" WINDOW INTO 47" X 24" EGRESS WINDOW

No.	REVISION	DATE
1.	ISSUED FOR APPROVAL	2023-08-16



97 ROSSHEAVEN CRES,
WOODBRIDGE, ON

RIGHT SIDE ELEVATION

RJ CAD SOLUTIONS

Date	2023-08-16	Scale	3/16" = 1'-0"
Drawn By	JK	Checked By	KS
Project Number	0001		
SHEET NUMBER	A6		

LEGENDS

- (D1) DOOR - 30"x78" § THREE WAY SWITCH
- (D2) DOOR - 32"x78" SA INTER-CONNECTED AND WIRED WITH STROBE LIGHT SMOKE ALARMS AT EACH FLOOR AND EACH UNIT INCLUDING BASEMENT
- (D3) DOOR - 24"x78" CMA CARBON MONO OXIDE ALARM ALL SMOKE ALARMS SHALL BE INTERCONNECTED
- (D4) DOOR - 18"x78" EXHAUST FAN TO EXTERIOR, 6" DIAMETER EXHAUST DISCHARGE DIRECTLY OUTSIDE
- (W1) EXISTING EXTERIOR WALL CONSTRUCTION
 $\frac{1}{2}$ " OR $\frac{3}{4}$ " DRYWALL FINISH
 8" CONC. FOUNDATION WALL
 MOISTURE BARRIER, DAMPPROOFING PAPER
 2"x4" SPF#2 STUDS @16" O.C. WALL W/6MIL
 POLY R20ci BATT INSULATION
 6MIL POLY VAPOR BARRIER
- (W2) INTERIOR WALL CONSTRUCTION
 NEW DRYWALL - $\frac{1}{2}$ " GYPSUM BOARD,
 2"x4" WOOD STUDS @16" OC
 $\frac{1}{2}$ " DRYWALL FINISH
- (W3) INTERIOR WALL CONSTRUCTION
 45 MIN. VERTICAL FIRE RATED, 54 STC, SB3
 - W5a, 2"x4" STUDS @ 16" OC, 3
 $\frac{1}{2}$ " ROXULL SAFE 'N' SOUND INSULATION WITH
 RESILIENT METAL CHANNELS ONE SIDE
 @24" O.C., 1 X $\frac{5}{8}$ " TYPE X GYPSUM BOARD
 ON RESILIENT CHANNEL SIDE, 2 X $\frac{5}{8}$ "
 TYPE X GYPSUM BOARD ON OTHER SIDE
- (W4) INTERIOR WALL CONSTRUCTION
 45 MIN. VERTICAL FIRE RATED, $\frac{1}{2}$ " OR $\frac{3}{8}$ "
 TYPE X DRYWALL FINISH BOTH SIDES WITH
 INSULATION, 2"x6" STUDS @ 16" OC, 3
 $\frac{1}{2}$ " ROXULL SAFE 'N' SOUND INSULATION
 (ONLY WITH $\frac{1}{2}$ " DRYWALL) OR $\frac{3}{8}$ " TYPE 'X'
 DRYWALL FINISH
- (DS1) DUCT TYPE SMOKE DETECTOR, THAT
 MUST TURN OFF THE FUEL SUPPLY
 AND ELECTRICAL POWER TO FURNACE
 UPON ACTIVATION
- (C1) FLOOR ASSEMBLY - F9d, SUBFLOOR OF $\frac{5}{8}$ " PLYWOOD, OSB OR
 WAFERBOARD ON WOOD JOISTS OR WOOD I-JOIST SPACED NOT
 MORE THAN 24" O.C., $\frac{3}{8}$ " ROXULL SAFE 'N' SOUND INSULATION
 MIN. 50 STC., RESILIENT METAL CHANNELS SPACED AT 24" O.C.
 MIN. 50 STC., 2 X $\frac{5}{8}$ " TYPE-X GYPSUM BOARD, 45 MIN.
 HORIZONTAL FIRE SEPARATION IS ACCEPTABLE WHERE:
 A) SMOKE ALARMS ARE INSTALLED IN EVERY DWELLING UNIT ,
 SLEEPING ROOMS AND IN COMMON AREA IN COMFORMANCE
 WITH SUBSECTION 9.10.19., AND
 B) SMOKE ALARMS ARE INTERCONNECTED.
- ☉ LIGHT FIXTURE
- L1 $\frac{3}{4}$ "x $\frac{3}{4}$ "x $\frac{1}{8}$ " BRICK ANGLE
- WB 3"x2"x8" WOOD LINTEL
- ⊕ SPRINKLERS
- ⓧ EMERGENCY LIGHT
- RAG RETURN AIR GRILL AT FLOOR LEVEL
- CL CLOSET
- EP ELECTRICAL PANEL
- ▬ SUPPLY AIR REGISTER AT CEILING COMPLIANCE WITH OBC DIV B 9.33.3.1(1)
- (D#) 20 MIN. FIRE RATED DOOR COMBINED WITH SELF CLOSING DEVICE FOR 30 OR 45 MIN FRR OF FIRE SEPERATION.

INTERCONNECTED AND WIRED WITH STROBE LIGHT SMOKE ALARMS AT EACH FLOOR AND EACH UNIT INCLUDING LEGAL BASEMENT - AS PER OBC 9.10.19

GENERAL NOTES

- ① ALL CONSTRUCTION SHALL CONFORM TO THE 2012 ONTARIO BUILDING CODE(OBC) AND OTHER APPLICABLE CODES AND AUTHORITIES HAVING JURISDICTION.
- ② CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND SITE CONDITIONS AND REPORT ANY DISCREPANCIES TO THE DESIGNER BEFORE COMMENCING THE WORK.
- ③ ALL MATERIALS SHALL BE FURNISHED AND ALL WORK SHALL BE PERFORMED IN STRICT ACCORDANCE WITH GRADES OR STANDARDS OF MATERIALS, STANDARDS OF WORKMANSHIP AND MANUFACTURES SPECIFICATIONS OR WRITTEN INSTRUCTIONS.
- ④ UNLESS OTHERWISE SPECIFIED, PROVIDE AND MAINTAIN ALL NECESSARY PROTECTION, INCLUDING HOARDINGS, BARRICADES, WARNING LIGHTS AND SIGNS, BEFORE AND DURING DEMOLITION OR CONSTRUCTION.
- ⑤ PROTECT ALL MECHANICAL AND ELECTRICAL EQUIPMENT, PIPING AND EXISTING FINISHES THAT ARE TO REMAIN.
- ⑥ MAKE GOOD ANY DAMAGES TO THE STRUCTURES RESULTING FROM WORK UNDER THIS SECTION AT NO COST TO THE OWNER.
- ⑦ MAINTAIN PROPER ACCESS TO THE PREMISES AT ALL TIMES.
- ⑧ REMOVE FROM THE SITE AND LEGALLY DISPOSE ALL DEBRIS AND SURPLUS MATERIAL RESULTING FROM THE WORK.
- ⑨ ALL DIMENSIONS TO BE VERIFIED ON SITE PRIOR TO CONSTRUCTION.
- ⑩ UNAUTHORIZED USE OF THESE DRAWINGS ARE FORBIDDEN.
- ⑪ WRITTEN INFORMATION SHALL SUPERSEDE DRAWN INFORMATION.
- ⑫ DO NOT SCALE THE DRAWING.
- ⑬ UNDERCUT DOOR MIN 1" SHORT TO ANY ROOM WITHOUT RETURN GRILLE.
- ⑭ AN ADEQUATE SUPPLY OF COMBUSTION AIR MUST BE AVAILABLE FOR THE FURNACE AND HOT WATER TANK.
- ⑮ A LIGHT CONTROLLED BY SWITCH IS REQUIRED IN EVERY KITCHEN , BEDROOM, LIVING ROOM, BATHROOM, UTILITY ROOM, LAUNDRY, HALL WAY , GARAGE. A SWITCH RECEPTACLE MAY BE PROVIDED INSTEAD OF LIGHT IN BEDROOMS AND LIVING ROOMS.
- ⑯ SMOKE ALARMS SHALL BE INSTALLED AS PER ALL THE APPLICABLE REQUIREMENTS OF OBC-2012, CLAUSE 9.10.19
- ⑰ AS PER THE REQUIREMENTS OF OBC 9.33.4 A CARBON MONOXIDE ALARM SHALL BE INSTALLED ADJACENT TO EVERY SLEEPING AREA FOR DWELLING WITH FUEL BURNING APPLIANCE.
- ⑱ ALL FRAMING LUMBER WHICH ARE SUPPORTED ON CONCRETE IN DIRECT CONTACT WITH SOIL SHALL BE SEPARATED FROM THE CONCRETE WITH 0.05 MM POLYETHYLENE OR TYPE "S" ROLL ROOFING.
- ⑲ THE FIRE SPRINKLER SYSTEM SHALL BE A FLOW THROUGH SYSTEM WITH A MINIMUM 3/4" COPPER PIPE CONNECTED TO AT LEAST A 3/4" COPPER WATER PIPE OR DIRECTLY AFTER THE WATER METER AND SHALL HAVE A SUPERVISED SHUT OFF SUPPLY VALVE.
- ⑳ AN ADEQUATE SUPPLY OF COMBUSTION AIR MUST BE AVAILABLE FOR THE FURNACE AND HOT WATER TANK.
- ㉑ BATTERY POWERED EMERGENCY LIGHTING UNITS CONFORMING TO CSA C22.2 NO.141 "EMERGENCY LIGHTING EQUIPMENT" SHALL BE PROVIDED IN ANY COMMON MEANS OF EGRESS
- ㉒ 2"x 6" STUDS 16" O.C (2"x6") SILL PLATE ON DAMPPROOFING MATERIAL (1/2") DIAMETER ANCHOR BOLTS 8" LONG EMBEDDED MINIMUM (4") INTO CONCRETE 7"-10" O.C. (4") HIGH CONCRETE CURB ON (14"x6") CONCRETE FOOTING ADD HORIZONTAL BLOCKING AT MID-HEIGHT IF WALL IS UNFINISHED.
- ㉓ PROVIDE SMOKE DETECTOR IN THE SUPPLY OR RETURN AIR DUCT SYSTEM TO TURN OFF THE FUEL SUPPLY AND ELECTRICAL POWER TO THE HEATING SYSTEM UPON ACTIVATION OF SMOKE DETECTOR.
- ㉔ PROVIDE SPRINKLERS IN AREAS WITH UNFINISHED CEILING. NEW SPRINKLER SYSTEM TO BE PROVIDED. GAS PROOF ALL CEILING VOIDS.

1.	ISSUED FOR APPROVAL	2023-08-16
No.	REVISION	DATE



97 ROSSHEAVEN CRES,
WOODBRIDGE, ON

CONSTRUCTION NOTES

RJ CAD SOLUTIONS

Date 2023-08-16	Scale
Drawn By DP	Checked By KS
Project Number 0001	
SHEET NUMBER A7	

SCHEDULE B: STAFF & AGENCY COMMENTS

DEPT/AGENCY	Circulated	Comments Received	Conditions	Nature of Comments
TRCA *Schedule B	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	General Comments
Ministry of Transportation (MTO) *Schedule B	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Region of York *Schedule B	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	General Comments
Alectra *Schedule B	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	General Comments
Bell Canada *Schedule B	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	No Comments Received to Date
YRDSB *Schedule B	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
YCDSB *Schedule B	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
CN Rail *Schedule B	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
CP Rail *Schedule B	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
TransCanada Pipeline *Schedule B	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	No Comments Received to Date
Metrolinx *Schedule B	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Propane Operator *Schedule B	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Development Planning	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	Recommend Approval/no conditions
Building Standards (Zoning)	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	General Comments

Date: October 3rd 2023

Attention: **Christine Vigneault**

RE: Request for Comments

File No.: **A139-23**

Related Files:

Applicant RJ Cad Solutions Inc.

Location 97 Rosshaven Crescent



Discover the possibilities

COMMENTS:

- We have reviewed the proposed Variance Application and have no comments or objections to its approval.
- We have reviewed the proposed Variance Application and have no objections to its approval, subject to the following comments (attached below).
- We have reviewed the proposed Variance Application and have the following concerns (attached below).

Alectra Utilities (formerly PowerStream) has received and reviewed the proposed Variance Application. This review, however, does not imply any approval of the project or plan.

All proposed billboards, signs, and other structures associated with the project or plan must maintain minimum clearances to the existing overhead or underground electrical distribution system as specified by the applicable standards, codes and acts referenced.

In the event that construction commences, and the clearance between any component of the work/structure and the adjacent existing overhead and underground electrical distribution system violates the Occupational Health and Safety Act, the customer will be responsible for 100% of the costs associated with Alectra making the work area safe. All construction work will be required to stop until the safe limits of approach can be established.

In the event construction is completed, and the clearance between the constructed structure and the adjacent existing overhead and underground electrical distribution system violates the any of applicable standards, acts or codes referenced, the customer will be responsible for 100% of Alectra's cost for any relocation work.

References:

- Ontario Electrical Safety Code, latest edition (Clearance of Conductors from Buildings)
- Ontario Health and Safety Act, latest edition (Construction Protection)
- Ontario Building Code, latest edition (Clearance to Buildings)
- PowerStream (Construction Standard 03-1, 03-4), attached
- Canadian Standards Association, latest edition (Basic Clearances)

If more information is required, please contact either of the following:

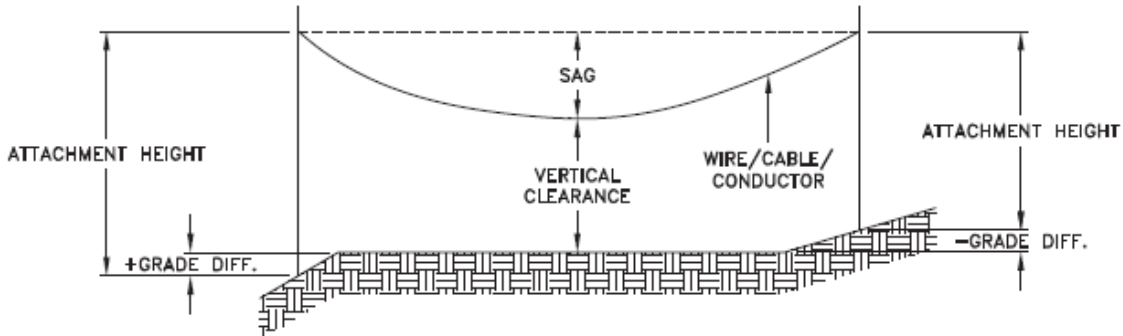
Mr. Stephen Cranley, C.E.T
Supervisor, Distribution Design, ICI & Layouts (North)
Phone: 1-877-963-6900 ext. 31297

E-mail: stephen.cranley@alectrautilities.com

Mitchell Penner
Supervisor, Distribution Design-Subdivisions
Phone: 416-302-6215

Email: Mitchell.Penner@alectrautilities.com

LOCATION OF WIRES, CABLES OR CONDUCTORS	SYSTEM VOLTAGE			
	SPAN GUYS AND COMMUNICATIONS WIRES	UP TO 600V AND NEUTRAL	4.16/2.4kV TO 27.6/16kV (SEE NOTE 1)	44kV
MINIMUM VERTICAL CLEARANCES (SEE NOTE 2)				
OVER OR ALONGSIDE ROADS, DRIVEWAYS OR LANDS ACCESSIBLE TO <u>VEHICLES</u>	442cm	442cm	480cm	520cm
OVER GROUND ACCESSIBLE TO <u>PEDESTRIANS AND BICYCLES ONLY</u>	250cm	310cm	340cm	370cm
ABOVE TOP OF RAIL AT <u>RAILWAY CROSSINGS</u>	730cm	730cm	760cm	810cm



MINIMUM ATTACHMENT HEIGHT = MAXIMUM SAG
 + MINIMUM VERTICAL CLEARANCE (FROM ABOVE TABLE)
 ± GRADE DIFFERENCE
 + 0.3m (VEHICLE OR RAILWAY LOCATION)
 + SNOW DEPTH (PEDESTRIAN LOCATION, SEE NOTE 3)

NOTES:

1. THE MULTIGROUNDED SYSTEM NEUTRAL HAS THE SAME CLEARANCE AS THE 600V SYSTEM.
2. THE VERTICAL CLEARANCES IN THE ABOVE TABLE ARE UNDER MAXIMUM SAG CONDITIONS.
3. REFER TO CSA STANDARD C22.3 No.1, ANNEX D FOR LOCAL SNOW DEPTH VALUES.
4. ALL CLEARANCES ARE IN ACCORDANCE TO CSA STANDARD C22.3.

CONVERSION TABLE

METRIC	IMPERIAL (APPROX)
810cm	27'-0"
760cm	25'-4"
730cm	24'-4"
520cm	17'-4"
480cm	16'-0"
442cm	15'-5"
370cm	12'-4"
340cm	11'-4"
310cm	10'-4"
250cm	8'-4"

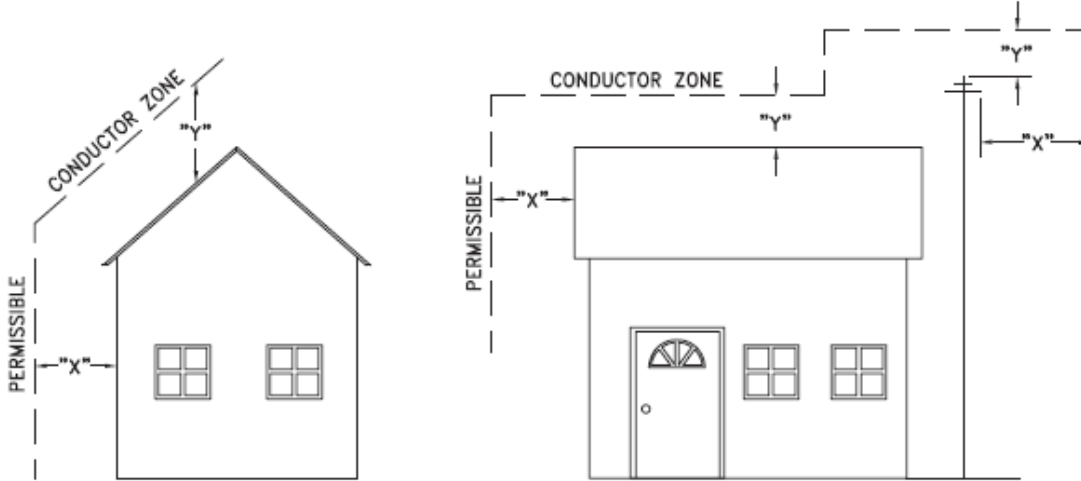
REFERENCES

SAGS AND TENSIONS | SECTION 02

MINIMUM VERTICAL CLEARANCES OF WIRES, CABLES AND CONDUCTORS ABOVE GROUND OR RAILS

ORIGINAL ISSUE DATE: 2010-DEC-24 REVISION NO: R1 REVISION DATE: 2012-JAN-09

Certificate of Approval	
This construction Standard meets the safety requirements of Section 4 of Regulation 22/04	
Joe Crozier, P.Eng.	2012-JAN-09
Name	Date
P.Eng. Approval By:	Joe Crozier



VOLTAGE	MINIMUM HORIZONTAL CLEARANCE UNDER MAXIMUM SWING CONDITIONS DIMENSION "X" (SEE NOTES 1, 3 & 4)	MINIMUM VERTICAL CLEARANCE UNDER MAXIMUM DESIGN SAG CONDITIONS DIMENSION "Y" (SEE NOTES 1, 2, 4 & 5)
0-600V AND NEUTRAL	100cm	250cm
4.16/2.4 TO 44kV	300cm	480cm

NOTES

1. UNDER NO CIRCUMSTANCES SHALL A CONDUCTOR BE PERMITTED TO PENETRATE THE ENVELOPE SHOWN BY THE DOTTED LINE.
2. THE VERTICAL CLEARANCES ARE UNDER CONDITIONS OF MAXIMUM DESIGN SAG.
3. THE HORIZONTAL CLEARANCES ARE UNDER CONDITIONS OF MAXIMUM SWING. WHERE THE CONDUCTOR SWING IS NOT KNOWN A HORIZONTAL CLEARANCE OF 480CM SHALL BE USED.
4. BUILDINGS THAT EXCEED 3 STOREYS OR 15M IN HEIGHT, THE MINIMUM HORIZONTAL CLEARANCE OF THE SECONDARY CONDUCTORS SHOULD BE INCREASED TO 300cm WHERE IT IS NECESSARY TO ALLOW FOR THE RAISING OF LADDERS BY LOCAL FIRE DEPARTMENTS.
5. IN SITUATIONS SUCH AS MULTI-LEVEL GARAGES, WHERE ROOFS ARE NORMALLY USED BY PERSONS AND VEHICLES, THE VERTICAL CLEARANCES OF POWERSTREAM STANDARD 03-1 SHALL APPLY.
6. DISTRIBUTION LINES CONSTRUCTED NEAR BUILDINGS SHALL BE BUILT TO AVOID OVERHANG WHEREVER POSSIBLE. WHERE LINES MUST BE CONSTRUCTED OVER OR ADJACENT TO BUILDINGS THE APPLICABLE HORIZONTAL AND VERTICAL CLEARANCES SHALL BE AT CONDITIONS OF MAXIMUM CONDUCTOR SWING AND MAXIMUM SAG. THE ABOVE CLEARANCES ARE DESIGNED TO PREVENT PERSONS ON OR IN BUILDINGS AS WELL AS EXTERNAL MACHINERY USED IN CONJUNCTION WITH A BUILDING TO COME IN CONTACT WITH CONDUCTORS. EFFORTS SHOULD BE MADE TO INCREASE THESE CLEARANCES WHERE POSSIBLE.
7. ALL CLEARANCES ARE IN ACCORDANCE TO CSA C22.3 NO.1-06 (TABLE-9).

METRIC	IMPERIAL (APPROX)
480cm	16'-0"
300cm	10'-0"
250cm	8'-4"
100cm	3'-4"

MINIMUM VERTICAL & HORIZONTAL CLEARANCES OF CONDUCTORS FROM BUILDINGS OR OTHER PERMANENT STRUCTURES (CONDUCTORS NOT ATTACHED TO BUILDINGS)

Certificate of Approval
This construction Standard meets the safety requirements of Section 4 of Regulation 22/04
Debbie Dadwani, P.Eng. 2010-MAY-05
Name Date
P. Eng. Approval By: *D. Dadwani*

ORIGINAL ISSUE DATE: 2010-MAY-05 REVISION NO: REVISION DATE:
PS:\System Planning and Standards\Standard Design\PowerStream Standards\PowerStream Standards working files\Section 3,3-4\DWG 03-4 R0 May 5, 2010.dwg, 5/5/2010 10:22:02 AM, Adobe PDF

To: Committee of Adjustment
From: Sarah Scauzillo, Building Standards Department
Date: November 1, 2023
Applicant: RJ Cad Solutions Inc.
Location: 97 Rosshaven Crescent
 PLAN 65M4647 Lot 114
File No.(s): A139/23

Zoning Classification:

The subject lands are zoned RD3 – Residential Detached Zone Three and subject to the provisions of Exception 9(1455) under Zoning By-law 1-88, as amended.

	Zoning By-law 1-88	Variance requested
1	A minimum interior side yard setback of 1.8m is required to the door. [Schedule A3]	To permit a minimum side yard setback of 1.23m to the door.
2	The lot frontage for lots 12.0 m and greater shall be comprised of a minimum of 50% Landscaped front yard. [Section 4.1.4]	To permit a minimum of 38.6% (29.0m ²) landscaped front yard.
3	A minimum 60% of the minimum landscaped front yard shall be soft landscaping. [Section 4.1.4]	To permit a minimum of 56.8%% (21.4m ²) of the minimum landscaped front yard to be soft landscaped.

Staff Comments:

General Comments	
1	The applicant shall be advised that additional variances may be required upon review of detailed drawing for building permit/site plan approval.
2	This application is deemed to be transitioned under section 1.6.2.8.c of bylaw 001-2021 as amended.

Conditions of Approval:

If the committee finds merit in the application, the following conditions of approval are recommended.

* Comments are based on the review of documentation supplied with this application.

To: Christine Vigneault, Committee of Adjustment Secretary Treasurer
From: Nancy Tuckett, Director of Development Planning
Date: November 6, 2023
Name of Owner: Nithyakala Sutheskumar
Location: 97 Rosshaven Crescent
File No.(s): A139/23

Proposed Variances (By-law 1-88):

1. To permit a minimum side yard setback of 1.23m to the door.
2. To permit a minimum of 38.6% (29.0m²) landscaped front yard.
3. To permit a minimum of 56.8%% (21.4m²) of the minimum landscaped front yard to be soft landscaped.

By-Law Requirements (By-law 1-88):

1. A minimum interior side yard setback of 1.8m is required to the door.
2. The lot frontage for lots 12.0 m and greater shall be comprised of a minimum of 50% Landscaped front yard.
3. A minimum 60% of the minimum landscaped front yard shall be soft landscaping.

Official Plan:

Vaughan Official Plan 2010 ('VOP 2010'): "Low Density Residential", Volume 2, Area Specific Policy 12.13 - Block 40/47.

Comments:

The Owner is requesting relief to permit a revised driveway and a side entrance at 97 Rosshaven Crescent with the above noted variances to facilitate the creation of a Secondary Suite.

The Development Planning Department has no objection to Variance 1 for the interior side door access to the dwelling as it is an inward opening door that will not impede access through the side yard or encroach onto the neighbouring property when opened. The proposed entrance to the Secondary Suite is on the west wall of the dwelling. The west wall is perpendicular to the front lot line, so the Secondary Suite door would not face the street. The entrance to the Secondary Suite will not have a significant impact to the existing streetscape. When viewed from the street, the front porch and door leading to the main dwelling unit will continue to be the visually prominent entrance.

The Development Planning Department has to objection to Variances 2 and 3 to permit a reduction in the minimum landscaped and soft landscaped front yard. At the request of the Development Planning Department, the Owner has revised their proposal to address concerns with proposed front yard soft landscaping totals. The current proposal maintains soft landscaping on both sides of the front yard, providing for functions such as snow storage, stormwater infiltration, and mitigation of urban heat island effects. No major adverse impacts on the existing streetscape are anticipated. The Development Engineering Department has also reviewed the proposal and is satisfied that drainage in the front yard will be maintained.

Accordingly, the Development Planning Department can support the requested variances and is of the opinion that the proposal is minor in nature, maintains the general intent and purpose of the Official Plan and Zoning By-law, and is desirable for the appropriate development of the land.

Recommendation:

The Development Planning Department recommends approval of the application.

Conditions of Approval:

If the Committee finds merit in the application, the following conditions of approval are recommended:

None.

Comments Prepared by:

Nicholas Del Prete, Planner I
David Harding, Senior Planner

Prabhdeep Kaur

From: Kristen Regier <Kristen.Regier@trca.ca>
Sent: Monday, October 2, 2023 11:00 AM
To: Committee of Adjustment
Cc: Christine Vigneault; Pravina Attwala
Subject: [External] RE: A139/23 (97 ROSSHAVEN CRESCENT) - REQUEST FOR COMMENTS

Hello,

The subject property at 97 Rosshaven Cres, Vaughan is not located within TRCA's Regulated Area. TRCA's Planning and Regulatory policy interests are not impacted.

As such, TRCA has no comments on the application.

Best,

Kristen Regier, MA (she / her)

Planner I

Development Planning and Permits | Development and Engineering Services

Toronto and Region Conservation Authority (TRCA)

T: [437-880-2129](tel:437-880-2129)

E: kristen.regier@trca.ca

A: [101 Exchange Avenue, Vaughan, ON, L4K 5R6](https://www.trca.ca) | [trca.ca](https://www.trca.ca)



Pravina Attwala

Subject: FW: [External] RE: A139/23 (97 ROSSHAVEN CRESCENT) - REQUEST FOR COMMENTS

From: Development Services <developmentsservices@york.ca>
Sent: November-03-23 6:23 PM
To: Pravina Attwala <Pravina.Attwala@vaughan.ca>
Cc: Committee of Adjustment <CofA@vaughan.ca>
Subject: [External] RE: A139/23 (97 ROSSHAVEN CRESCENT) - REQUEST FOR COMMENTS

Hi Pravina,

The Regional Municipality of York has completed its review of the minor variance application – A139/23 (97 Rosshaven Crescent) and has no comment.

Please provide us with a copy of the notice of decision for our records.

Many thanks,

Our working hours may be different. Please do not feel obligated to reply outside of your scheduled working hours. Let's work together to help foster healthy work-life boundaries.

Niranjan Rajevan, M.Pl. | Associate Planner, Development Services, Planning and Economic Development, Corporate Services

The Regional Municipality of York | 17250 Yonge Street | Newmarket, ON L3Y 6Z1
1-877-464-9675 ext. 71521 | niranjan.rajevan@york.ca | www.york.ca
Our Values: Integrity, Commitment, Accountability, Respect, Excellence



Our Mission: **Working together to serve our thriving communities – today and tomorrow**

Please consider the environment before printing this email.

SCHEDULE C: PUBLIC & APPLICANT CORRESPONDENCE

None

SCHEDULE D: PREVIOUS COA DECISIONS ON THE SUBJECT LAND

None