

ITEM: 6.12	COMMITTEE OF ADJUSTMENT REPORT SUMMARY MINOR VARIANCE APPLICATION FILE NUMBER A158/23 122 PURPLE CREEK ROAD WOODBRIDGE
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**THIS REPORT CONTAINS COMMENTS FROM THE FOLLOWING
DEPARTMENTS & AGENCIES:**

*Please see **Schedule B** of this report for a copy of Development Planning and Agency correspondence.

Additional comments from departments and agencies may be received after the publication of the Staff Report. These comments will be processed as an addendum and posted on the City's Website.

DEPARTMENTS	Circulated	Comments Received	Conditions	Nature of Comments
Committee of Adjustment	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	General Comments
Building Standards (Zoning Review)	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	General Comments
Building Inspection (Septic)	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	No Comments Received to Date
Development Planning	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	Recommend Approval/No Conditions
Development Engineering	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	Recommend Approval w/Conditions
Parks, Forestry and Horticulture Operations	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	General Comments
By-law & Compliance, Licensing & Permits	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	General Comments
Development Finance	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	General Comments
Real Estate	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Fire Department	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	No Comments Received to Date
AGENCIES	Circulated	Comments Received	Conditions	Nature of Comments
TRCA	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	Recommend Approval w/Conditions
Ministry of Transportation (MTO)	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Region of York	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	General Comments
Alectra	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	General Comments
Bell Canada	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	No Comments Received to Date
YRDSB	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
YCDSB	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
CN Rail	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
CP Rail	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
TransCanada Pipeline	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	No Comments Received to Date
Metrolinx	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Propane Operator	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	

PUBLIC & APPLICANT CORRESPONDENCE

*Please see **Schedule C** of this report for a copy of the public & applicant correspondence listed below.

The deadline to submit public comments is **noon on the last business day prior to the scheduled hearing date.**

Comments and written public submissions received after the publication of this Staff Report will be processed as an addendum and posted on the City's Website.

All personal information collected because of this public meeting (including both written and oral submissions) is collected under the authority of the Municipal Act, the Municipal Freedom of Information and Protection of Privacy Act (MFIPPA), the Planning Act and all other relevant legislation, and will be used to assist in deciding on this matter. All personal information (as defined by MFIPPA), including (but not limited to) names, addresses, opinions and comments collected will become property of the City of Vaughan, will be made available for public disclosure (including being posted on the internet) and will be used to assist the Committee of Adjustment and staff to process this application.

Correspondence Type	Name	Address	Date Received (mm/dd/yyyy)	Summary
None				

PREVIOUS COA DECISIONS ON THE SUBJECT LAND

*Please see **Schedule D** for a copy of the Decisions listed below

File Number	Date of Decision MM/DD/YYYY	Decision Outcome
None		

ADJOURNMENT HISTORY

* Previous hearing dates where this application was adjourned by the Committee and public notice issued.

None	
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**COMMITTEE OF ADJUSTMENT REPORT
MINOR VARIANCE APPLICATION
A158/23
122 PURPLE CREEK ROAD WOODBRIDGE**

ITEM NUMBER: 6.12	CITY WARD #: 3
APPLICANT:	Ekaterina Markevich
AGENT:	Charenton Studio
PROPERTY:	122 Purple Creek Road, Woodbridge
ZONING DESIGNATION:	See below.
VAUGHAN OFFICIAL PLAN (2010) DESIGNATION:	Vaughan Official Plan 2010 ('VOP 2010'): "Low-Density Residential" by Volume 2, Section 12.13 - Block 40/47
RELATED DEVELOPMENT APPLICATIONS:	None
PURPOSE OF APPLICATION:	Relief from the Zoning By-law is being requested to permit a proposed cabana.

The following variances have been requested from the City's Zoning By-law:

The subject lands are zoned RD2 and subject to the provisions of Exception 9(1455) under Zoning By-law 1-88, as amended.

Zoning By-law 1-88		Variance requested
1	A minimum rear yard setback of 7.5 metres to the proposed Accessory Structure (Cabana) is required. [Section 4.1]	To permit a minimum rear yard setback of 5.56 metres to the proposed Accessory Structure (Cabana).
2	A minimum interior side yard setback of 1.2 metres to the proposed Accessory Structure (Cabana) is required. [Section 4.1]	To permit a minimum interior side yard setback of 0.9 metres to the proposed Accessory Structure (Cabana).

HEARING INFORMATION

DATE OF MEETING: Thursday, November 16, 2023
TIME: 6:00 p.m.
MEETING LOCATION: Vaughan City Hall, Woodbridge Room (2nd Floor), 2141 Major Mackenzie Drive
LIVE STREAM LINK: Vaughan.ca/LiveCouncil

PUBLIC PARTICIPATION

If you would like to speak to the Committee of Adjustment at the meeting, either remotely or in person, please complete the [Request to Speak Form](#) and submit to cofa@vaughan.ca

If you would like to submit written comments, please quote file number above and submit by mail or email to:

Email: cofa@vaughan.ca

Mail: City of Vaughan, Office of the City Clerk, Committee of Adjustment, 2141 Major Mackenzie Drive, Vaughan, ON, L6A 1T1

To speak electronically, pre-registration is required by completing the [Request to Speak Form](#) on-line and submitting it to cofa@vaughan.ca no later than NOON on the last business day before the meeting.

THE DEADLINE TO REGISTER TO SPEAK ELECTRONICALLY OR SUBMIT WRITTEN COMMENTS ON THE ABOVE NOTED FILE(S) IS NOON ON THE LAST BUSINESS DAY BEFORE THE MEETING.

INTRODUCTION

Staff and Agencies act as advisory bodies to the Committee of Adjustment. The comments contained in this report are presented as recommendations to the Committee.

Section 45(1) of the Planning Act sets the criteria for authorizing minor variances to the City of Vaughan's Zoning By-law. Accordingly, review of the application may consider the following:

- That the general intent and purpose of the by-law will be maintained.
- That the general intent and purpose of the official plan will be maintained.
- That the requested variance(s) is/are acceptable for the appropriate development of the subject lands.
- That the requested variance(s) is/are minor in nature.

Public written and oral submissions relating to this application are taken into consideration by the Committee of Adjustment as part of its deliberations and final decision on this matter.

COMMITTEE OF ADJUSTMENT COMMENTS

Date Public Notice Mailed:	November 2, 2023
Date Applicant Confirmed Posting of Sign:	October 30, 2023
Applicant Justification for Variances: <small>*As provided by Applicant in Application Form</small>	The structure was designed as per Zoning By-law 001-2021 where 0.6m is minimum, before it was changed to 1-88. Need this setback to allow for proper circulation around the pool.
Adjournment Requests (from staff): <small>*Adjournment requests provided to applicant prior to issuance of public notice</small>	None
Was a Zoning Review Waiver (ZRW) Form submitted by Applicant: <small>*ZRW Form may be used by applicant in instances where a revised submission is made, and zoning staff do not have an opportunity to review and confirm variances prior to the issuance of public notice. *A revised submission may be required to address staff / agency comments received as part of the application review process. *Where a zoning review has not been completed on a revised submission, an opportunity is provided to the applicant to adjourn the proposal prior to the issuance of public notice.</small>	No
Adjournment Fees: In accordance with Procedural By-law 069-2019, an Adjournment Fee is applicable to reschedule an application after the issuance of public notice where a request for adjournment has been provided to the applicant prior to the issuance of public notice. An Adjournment Fee can only be waived in instances where adjournment of an application is requested by the Committee or staff after the issuance of public notice.	
Committee of Adjustment Comments:	None
Committee of Adjustment Recommended Conditions of Approval:	None

BUILDING STANDARDS (ZONING) COMMENTS

**See Schedule B for Building Standards (Zoning) Comments

Building Standards Recommended Conditions of Approval:	None
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DEVELOPMENT PLANNING COMMENTS

**See Schedule B for Development Planning Comments.

Development Planning Recommended Conditions of Approval:	None
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DEVELOPMENT ENGINEERING COMMENTS

[Link to Grading Permit](#) [Link to Pool Permit](#) [Link to Curb Curt Permit](#) [Link Culvert Installation](#)

Due to the size of the proposed cabana on the subject property, which measures a total of 35.6 m², the Owner/Applicant must acquire a Lot Grading Permit from the Development Inspection and Lot Grading Division of the City's Development Engineering Department. It's important note that any in-ground structure exceeding 10 m² necessitates a Grading Permit. Once the Grading Permit is

DEVELOPMENT ENGINEERING COMMENTS

[Link to Grading Permit](#) [Link to Pool Permit](#) [Link to Curb Curt Permit](#) [Link Culvert Installation](#)

obtained, please reach out to the Development Engineering Reviewer to clear the Condition imposed on this application.

The Development Engineering Department does not object to the Minor Variance application A158/23, subject to the following condition(s):

Development Engineering Recommended Conditions of Approval:	The Owner/Applicant shall submit an application and obtain an approved Grading Permit before initiating any work on the property. The Final Lot Grading and/or Servicing Plan will be required for the Grading Permit Application. Please visit the Permits page of the City of Vaughan's website: Permits City of Vaughan to apply for a Grading Permit. For any inquiries regarding the Grading Permit, please email DEPermits@vaughan.ca
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PARKS, FORESTRY & HORTICULTURE (PFH) COMMENTS

Forestry: Forestry has no comment at this time

PFH Recommended Conditions of Approval:	None
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DEVELOPMENT FINANCE COMMENTS

No comment no concerns

Development Finance Recommended Conditions of Approval:	None
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BY-LAW AND COMPLIANCE, LICENSING AND PERMIT SERVICES COMMENTS

No objection or comments

BCLPS Recommended Conditions of Approval:	None
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BUILDING INSPECTION (SEPTIC) COMMENTS

No comments received to date

Building Inspection Recommended Conditions of Approval:	None
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FIRE DEPARTMENT COMMENTS

No comments received to date

Fire Department Recommended Conditions of Approval:	None
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SCHEDULES TO STAFF REPORT

*See Schedule for list of correspondence

Schedule A	Drawings & Plans Submitted with the Application
Schedule B	Staff & Agency Comments
Schedule C (if required)	Correspondence (Received from Public & Applicant)
Schedule D (if required)	Previous COA Decisions on the Subject Land

Should the Committee find it appropriate to approve this application in accordance with request and the sketch submitted with the application, as required by Ontario Regulation 200/96, the following conditions have been recommended:

SUMMARY OF RECOMMENDED CONDITIONS OF APPROVAL

All conditions of approval, unless otherwise stated, are considered to be incorporated into the approval "if required". If a condition is no longer required after an approval is final and binding, the condition may be waived by the respective department or agency requesting conditional approval. A condition cannot be waived without written consent from the respective department or agency.

#	DEPARTMENT / AGENCY	CONDITION(S) DESCRIPTION
1	Development Engineering Rex.bondad@vaughan.ca	The Owner/Applicant shall submit an application and obtain an approved Grading Permit before initiating any work on the property. The Final Lot Grading and/or Servicing Plan will be required for the Grading

SUMMARY OF RECOMMENDED CONDITIONS OF APPROVAL

All conditions of approval, unless otherwise stated, are considered to be incorporated into the approval “**if required**”. If a condition is no longer required after an approval is final and binding, the condition may be waived by the respective department or agency requesting conditional approval. A condition cannot be waived without written consent from the respective department or agency.

		Permit Application. Please visit the Permits page of the City of Vaughan's website: Permits City of Vaughan to apply for a Grading Permit. For any inquiries regarding the Grading Permit, please email DEPermits@vaughan.ca
2	TRCA Kristen.Regier@trca.ca	That the applicant provides the required fee amount of \$660.00 payable to the Toronto and Region Conservation Authority.

IMPORTANT INFORMATION – PLEASE READ

CONDITIONS: It is the responsibility of the owner/applicant and/or authorized agent to obtain and provide a clearance letter from respective department and/or agency (**see condition chart above for contact**). This letter must be provided to the Secretary-Treasurer to be finalized. All conditions must be cleared prior to the issuance of a Building Permit.

APPROVALS: Making any changes to your proposal after a decision has been made may impact the validity of the Committee's decision.

An approval obtained from the Committee of Adjustment, where applicable, is tied to the building envelope shown on the plans and drawings submitted with the application and subject to the variance approval.

A building envelope is defined by the setbacks of the buildings and/or structures shown on the plans and drawings submitted with the application, as required by Ontario Regulation 200/96. Future development outside of an approved building envelope, where a minor variance was obtained, must comply with the provisions of the City's Zoning By-law.

Elevation drawings are provided to reflect the style of roof (i.e. flat, mansard, gable etc.) to which a building height variance has been applied. Where a height variance is approved, building height is applied to the style of roof (as defined in the City's Zoning By-law) shown on the elevation plans submitted with the application.

Architectural design features that are not regulated by the City's Zoning By-law are not to be considered part of an approval unless specified in the Committee's decision.

DEVELOPMENT CHARGES: That the payment of the Regional Development Charge, if required, is payable to the City of Vaughan before issuance of a building permit in accordance with the Development Charges Act and the Regional Development Charges By-law in effect at the time of payment.

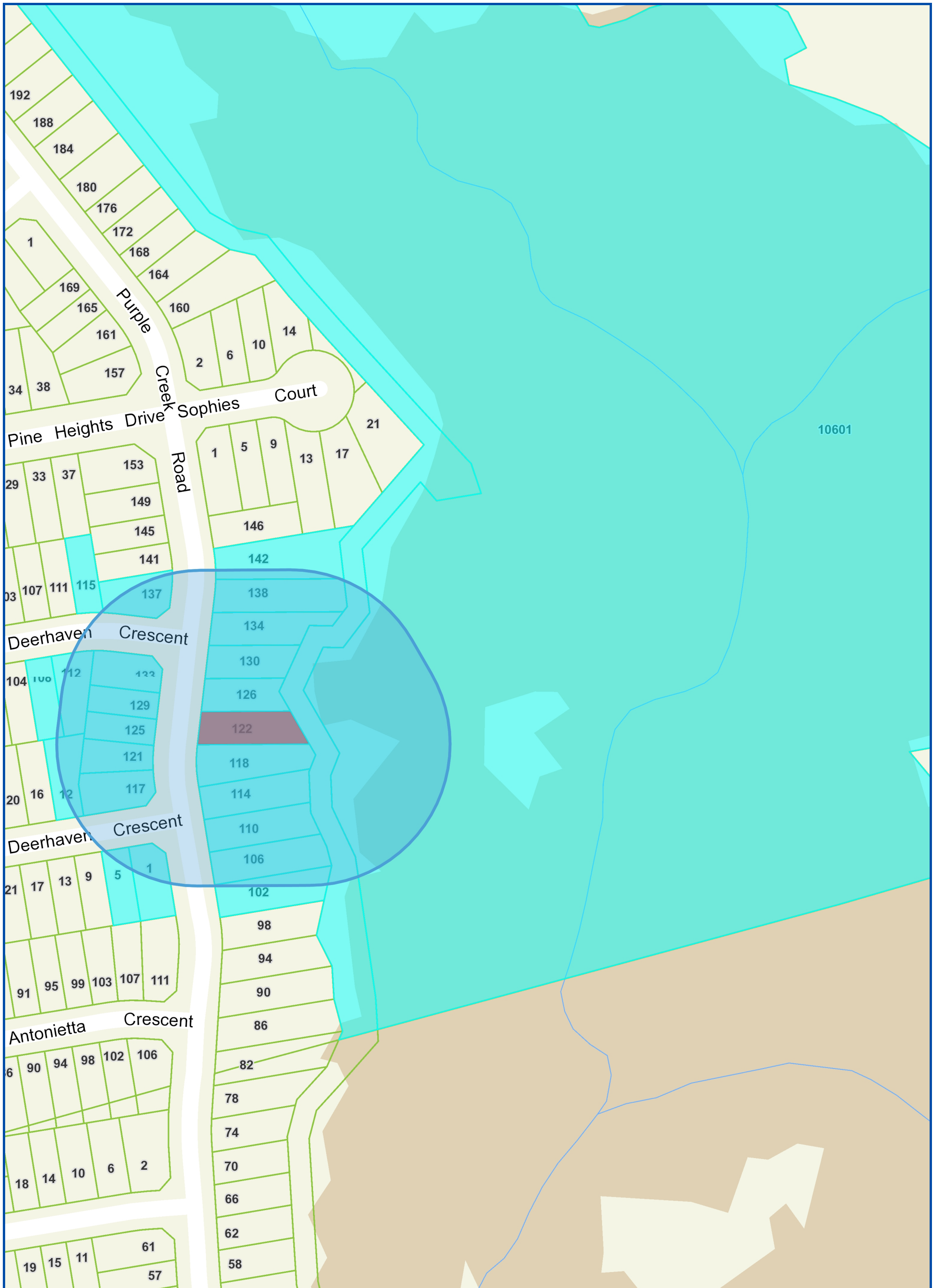
That the payment of the City Development Charge, if required, is payable to the City of Vaughan before issuance of a building permit in accordance with the Development Charges Act and the City's Development Charges By-law in effect at the time of payment.

That the payment of the Education Development Charge if required, is payable to the City of Vaughan before issuance of a building permit in accordance with the Development Charges Act and the Boards of Education By-laws in effect at the time of payment

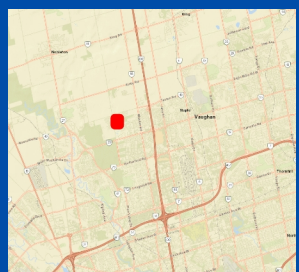
That the payment of Special Area Development charge, if required, is payable to the City of Vaughan before issuance of a building permit in accordance with the Development Charges Act and The City's Development Charge By-law in effect at the time of Building permit issuance to the satisfaction of the Reserves/Capital Department.

NOTICE OF DECISION: If you wish to be notified of the decision in respect to this application or a related Ontario Land Tribunal (OLT) hearing you must complete a Request for Decision form and submit to the Secretary Treasurer (ask staff for details). In the absence of a written request to be notified of the Committee's decision you will **not** receive notice.

SCHEDULE A: DRAWINGS & PLANS



Map Information:



Title:

LOCATION MAP A158/23

122 Purple Creek Road, Woodbridge

Disclaimer:

Every reasonable effort has been made to ensure that the information appearing on this map is accurate and current. We believe the information to be reliable, however the City of Vaughan assumes no responsibility or liability due to errors or omissions. Please report any discrepancies to Infrastructure Programming.



Scale: 1:2,257

0 0.04 km



Created By:

Infrastructure Delivery
Department

October 18, 2023 4:44 PM

Projection:
NAD 83
UTM Zone
17N

RECEIVED

By Christine Vigneault at 3:11 pm, Oct 27, 2023

PLANS PREPARED AND VARIANCES IDENTIFIED BY APPLICANT

A158/23

GENERAL NOTES

- 1. ALL FOOTING FORMWORK ELEVATIONS AND SETBACKS ARE TO BE CONFIRMED BY A REGISTERED PROFESSIONAL ENGINEER, OR A REGISTERED ONTARIO LAND SURVEYOR, PRIOR TO PLACING OF ANY CONCRETE.
2. ALL RAINWATER LEADERS TO BE DIRECTED TO SIDEWALK SWALES AND TO ROAD.
3. A 0.30m WIDE UNDISTURBED STRIP IS TO BE PROVIDED ALONG ALL BOUNDARIES WITH ADJACENT OWNERS.
4. ALL PERIMETER GRADES TO REMAIN AS EXISTING.

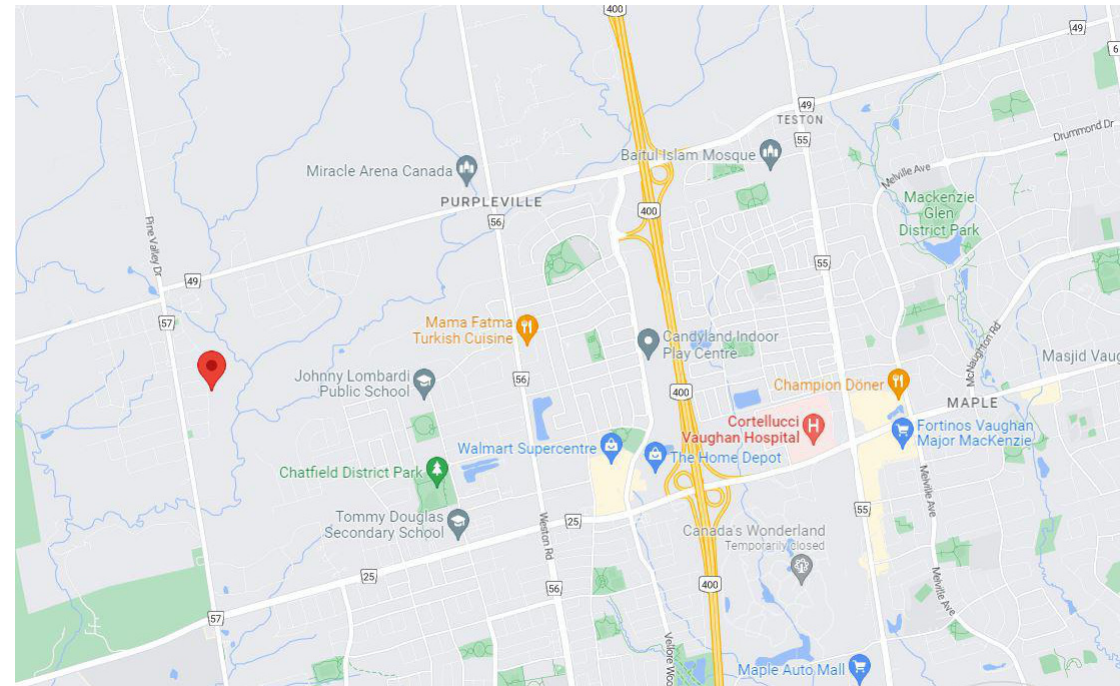
NOTE: ALL EXISTING TREES, STRUCTURE AND COMPONENTS NOT INDICATED TO BE DEMOLISHED ARE TO BE PROTECTED DURING CONSTRUCTION. BUILDER MUST VERIFY THE EXISTING STORM AND SANITARY INVERT ELEVATIONS. BUILDER TO CONFIRM TO CONSULTING ENGINEER THAT MINIMUM 2% SLOPE CAN BE ACHIEVED PRIOR TO PLACING CONCRETE FOOTINGS.

ZONING INFORMATION AS PER: THE CITY OF VAUGHAN BY-LAW BY-LAW NUMBER 001-2021. SITE INFORMATION TAKEN FROM: TREE PROTECTION ZONE: - - - - -

Table with 4 columns: ZONING, REQUIRED, EXISTING, PROPOSED. Rows include Lot Area, Lot Frontage, Lot Coverage, Front Yard Setback, Rear Yard Setback, North Side Yard Setback, South Side Yard Setback, Building Height, Max G.F.A.

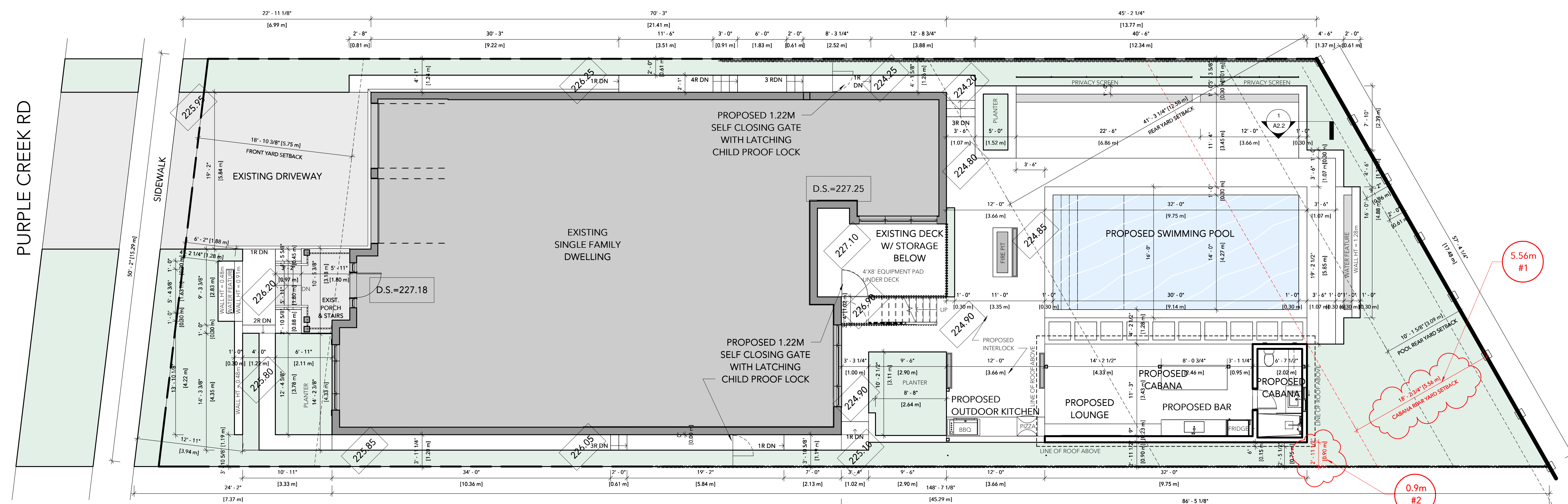
Table with 3 columns: MINIMUM, PROPOSED. Rows include Front Yard Soft Landscaping, Front Yard Soft Landscaping, Rear Yard Soft Landscaping, and various area calculations for landscaping.

3 LANDSCAPING STATISTICS 1" = 1'-0"



4 KEY PLAN 3/8" = 1'-0"

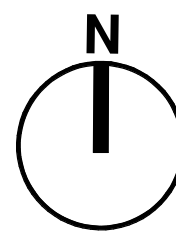
1 SITE NOTES AND STATISTICS 1" = 1'-0"



2 SITE PLAN - PROPOSED 1:75

ACCESSORY STRUCTURE COVERAGE (ROOF EDGES) = 459.0 sq. ft. (42.6 sq.m.)

Table with columns: ITEM, PROJECT DESCRIPTION, MAJOR OCCUPANCY(S), BUILDING AREA, GROSS FLOOR AREA, NUMBER OF STOREYS, NUMBER OF STREETS/FIRE FIGHTER ACCESS, BUILDING CLASSIFICATION, SPRINKLER SYSTEM PROPOSED, STANDPIPE REQUIRED, FIRE ALARM REQUIRED, WATER SERVICE/SUPPLY IS ADEQUATE, HIGH BUILDING, CONSTRUCTION REQUIREMENTS, ACTUAL CONSTRUCTION, MEZZANINE(S) AREA, OCCUPANT LOAD BASED ON, BARRIER-FREE DESIGN, HAZARDOUS SUBSTANCES, REQUIRED FIRE RESISTANCE RATING (FRR), SPATIAL SEPARATION - CONSTRUCTION OF EXTERIOR WALLS, OTHER - DESCRIBE.



The Designer is not responsible for the accuracy of survey, structural, mechanical, electrical, etc. engineering information shown on the drawing. Refer to the appropriate engineering drawings before proceeding with work. Contractor shall check all dimensions on the work and report any discrepancies to the Designer before proceeding. Construction must conform to all applicable Codes, Requirements and By-laws of Authorities having jurisdiction. This drawing is not to be scaled.

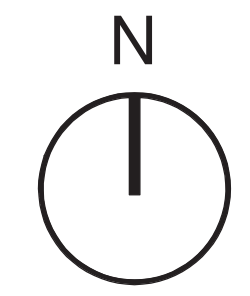
RESIDENTIAL ALTERATION 122 PURPLE CREEK RD Woodbridge, ON L4L 1A6



Table with columns: NO, REVISION 1, DATE 1, ISSUED FOR, DATE.

Table with columns: SCALE, DATE, DRAWN BY, CHECKED BY, TITLE. Includes site plan details and drawing names.

SHEET NO.: A0.1

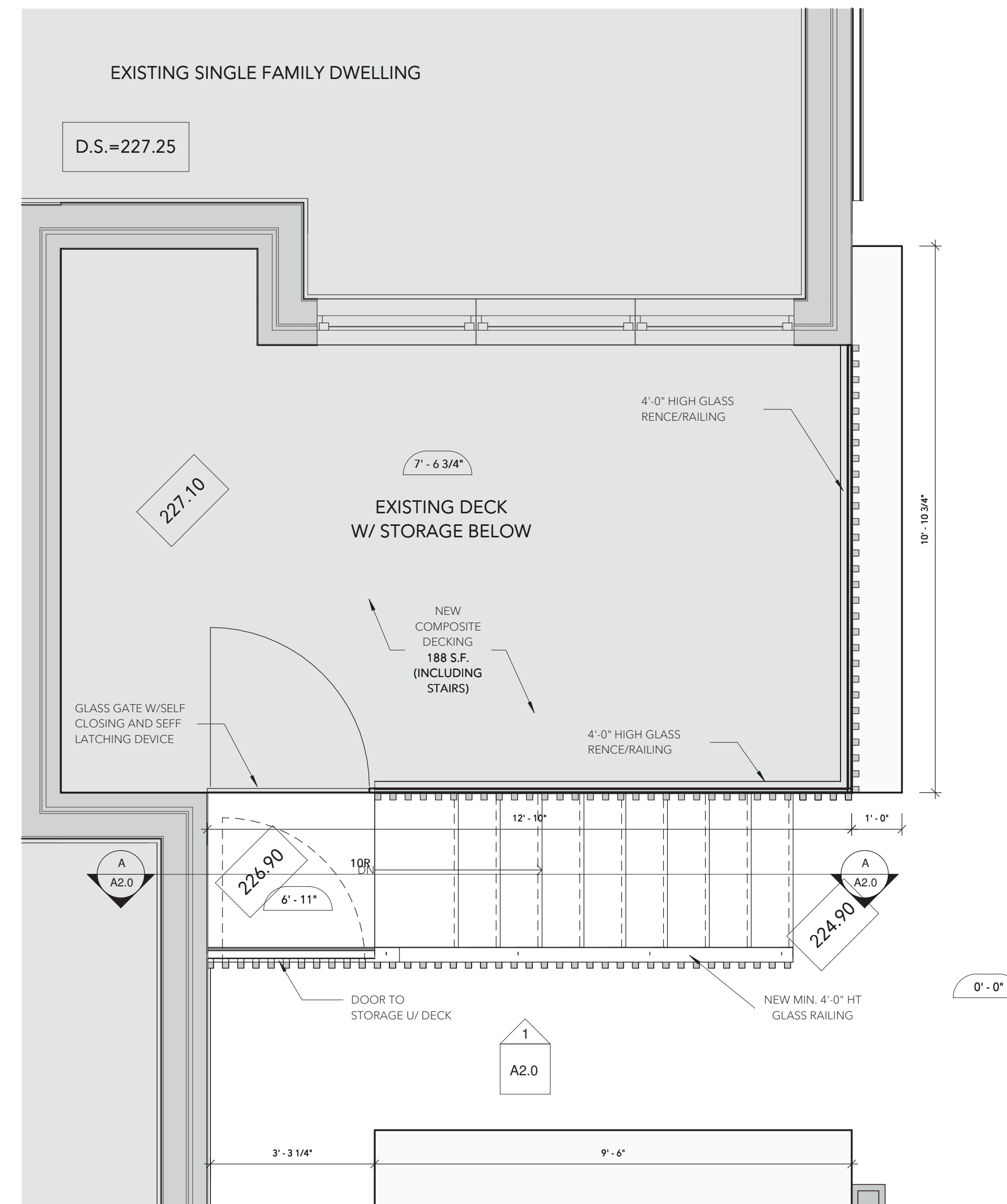


- EXISTING ELEMENT TO REMAIN
- EXISTING ELEMENT TO BE DEMOLISHED
- NEW ELEMENT
- ELEMENT ABOVE OR BELOW

The Designer is not responsible for the accuracy of survey, structural, mechanical, electrical, etc. engineering information shown on the drawing. Refer to the appropriate engineering drawings before proceeding with work.

Contractor shall check all dimensions on the work and report any discrepancies to the Designer before proceeding. Construction must conform to all applicable Codes, Requirements and By-laws of Authorities having jurisdiction.

This drawing is not to be scaled.



1 PROPOSED STAIRS TO THE EXISTING DECK - FLOOR PLAN
A1.0 1/2" = 1'-0"

RESIDENTIAL | ALTERATION
122 PURPLE CREEK RD
Woodbridge, ON
L4L 1A6



The undersigned has reviewed and taken responsibility for this design, and has the qualifications and meets the requirements set out in the Ontario Building Code to be a designer. QUALIFICATION INFORMATION

Required unless design is exempt under 22.5.1. of the Building Code.

DATE: 04/09/2023

NAME: CHARENTON DESIGN STUDIO

REGISTRATION INFORMATION

Required unless design is exempt under 22.4.1. of the Building Code.

FIRM NAME: CHARENTON DESIGN STUDIO

NO.	ISSUED FOR	DATE

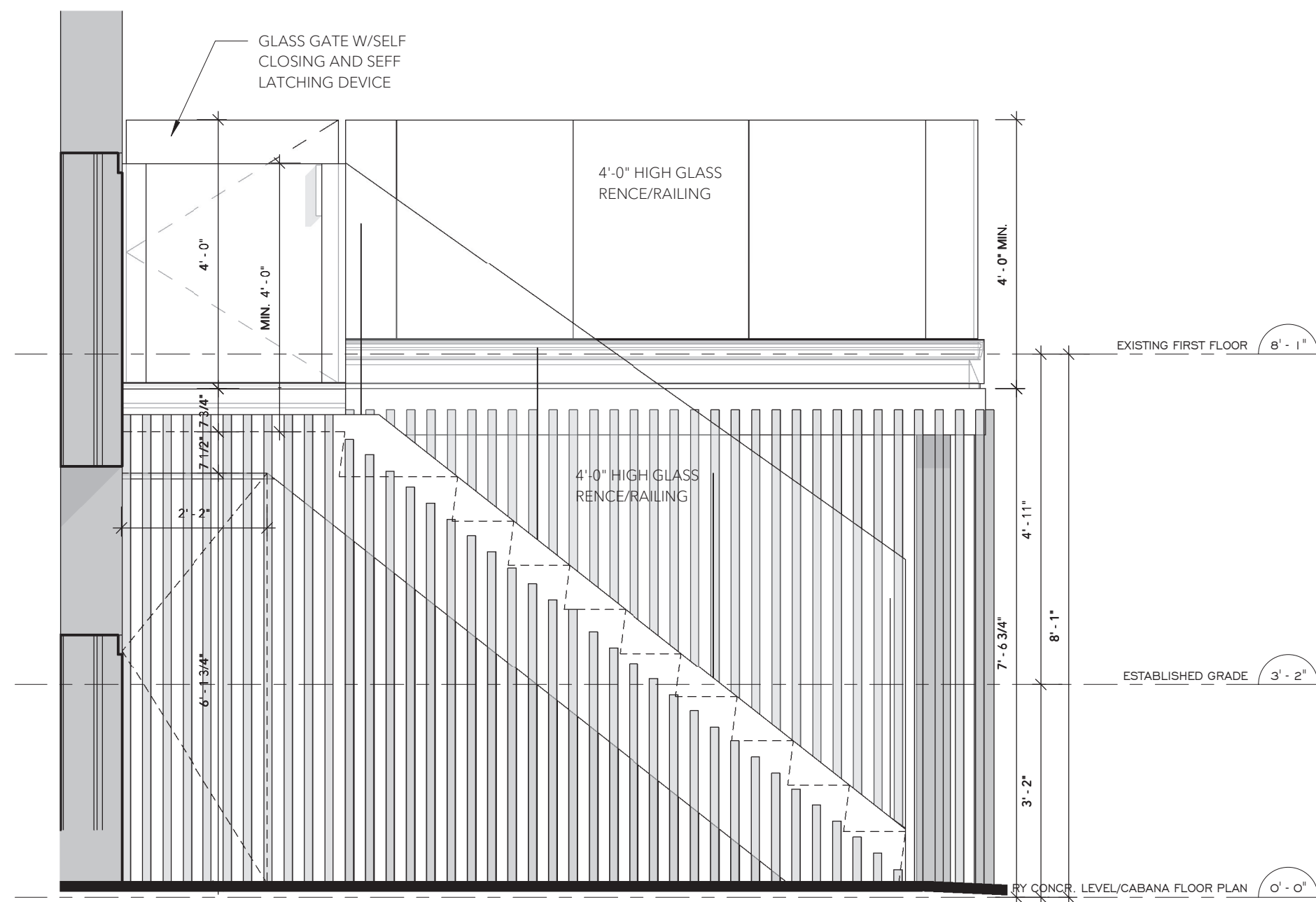
SCALE: As indicated

DATE: 04/09/2023

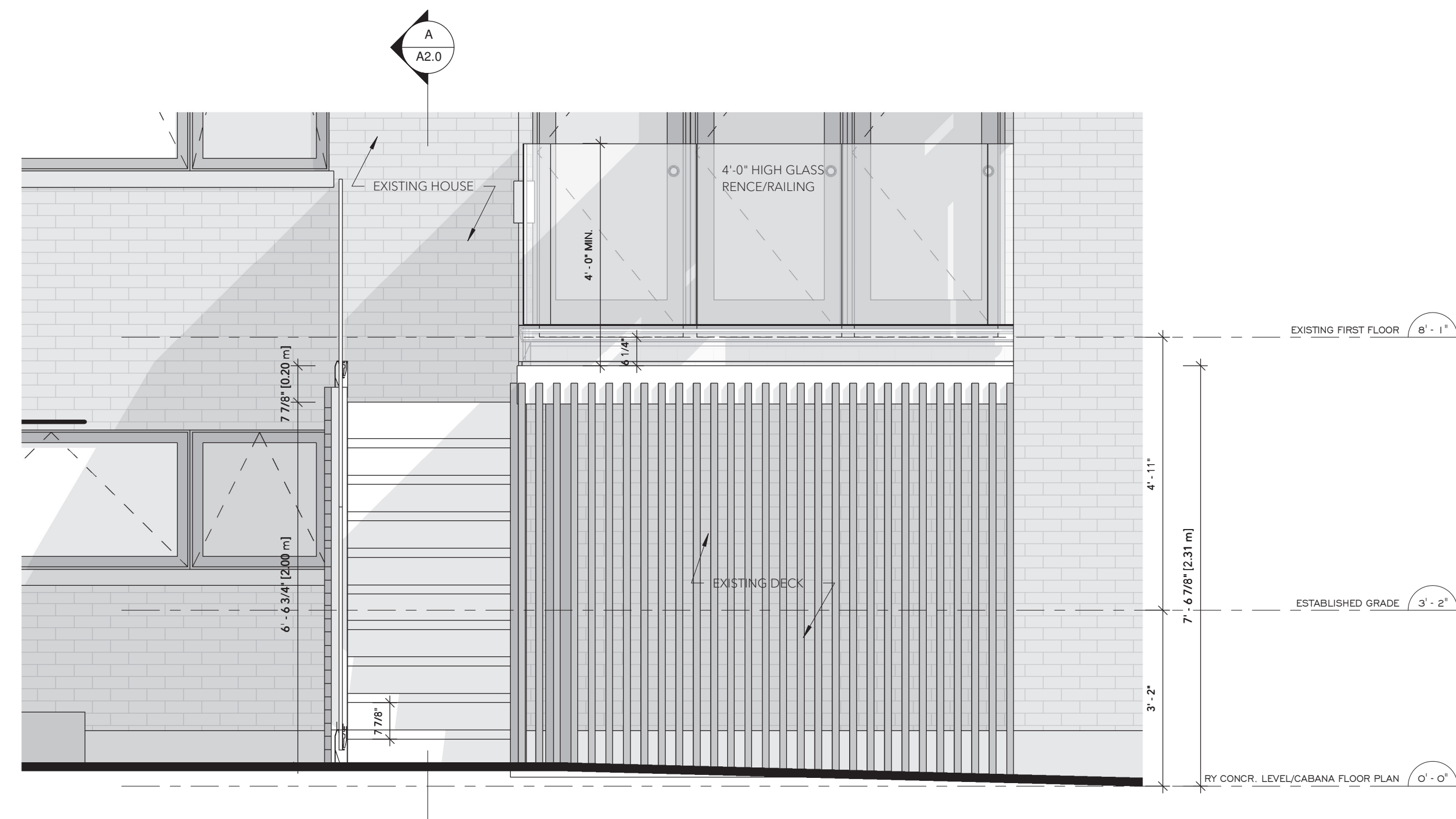
DRAWN BY: GK CHECKED BY: GK

TITLE: PROPOSED STAIRS TO THE EXISTING DECK FLOOR PLAN

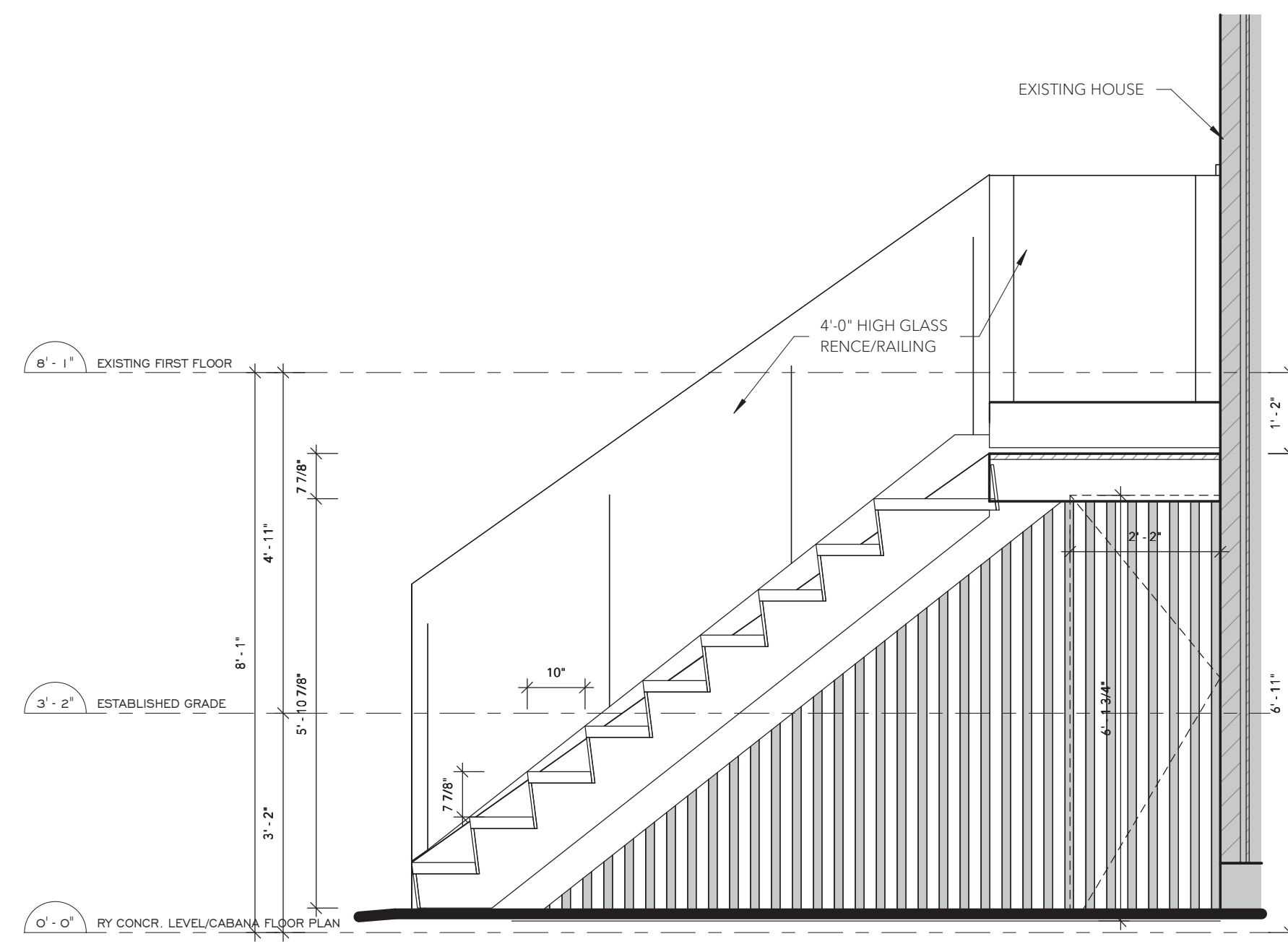
SHEET No.: A1.0



1 PROPOSED STAIRS TO THE EXISTING DECK - SIDE VIEW
A2.0 1/2" = 1'-0"



2 PROPOSED STAIRS TO THE EXISTING DECK - FRONT VIEW
A2.0 1/2" = 1'-0"



A SECTION A
A2.0 1/2" = 1'-0"

	EXISTING ELEMENT TO REMAIN
	EXISTING ELEMENT TO BE DEMOLISHED
	NEW ELEMENT
	ELEMENT ABOVE OR BELOW

The Designer is not responsible for the accuracy of survey, structural, mechanical, electrical, etc. engineering information shown on the drawing. Refer to the appropriate engineering drawings before proceeding with work.
Contractor shall check all dimensions on the work and report any discrepancies to the Designer before proceeding. Construction must conform to all applicable Codes, Requirements and By-laws of Authorities having jurisdiction.
This drawing is not to be scaled.

RESIDENTIAL ALTERATION
122 PURPLE CREEK RD
Woodbridge, ON
L4L 1A6



The undersigned has reviewed and taken responsibility for this design, and has the qualifications and meets the requirements set out in the Ontario Building Code to be a designer.
QUALIFICATION INFORMATION
Required unless design is exempt under 2.2.5.1. of the Building Code.
DATE: 09/09/2023
NAME: G.K. REGISTRATION INFORMATION: 10000
Required unless design is exempt under 2.2.4.1. of the Building Code.
FIRM NAME: SCN

NO.	ISSUED FOR	DATE

SCALE: As indicated

DATE: 04/09/2023

DRAWN BY: G.K. CHECKED BY: G.K.

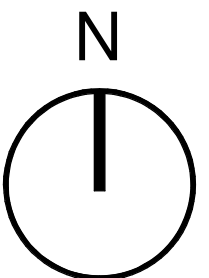
TITLE: PROPOSED STAIRS TO THE EXISTING DECK ELEVATIONS AND SECTION

SHEET No.: A2.0

RECEIVED
By RECEIVED at 10:50 am, Oct 30, 2023

A158/23

N

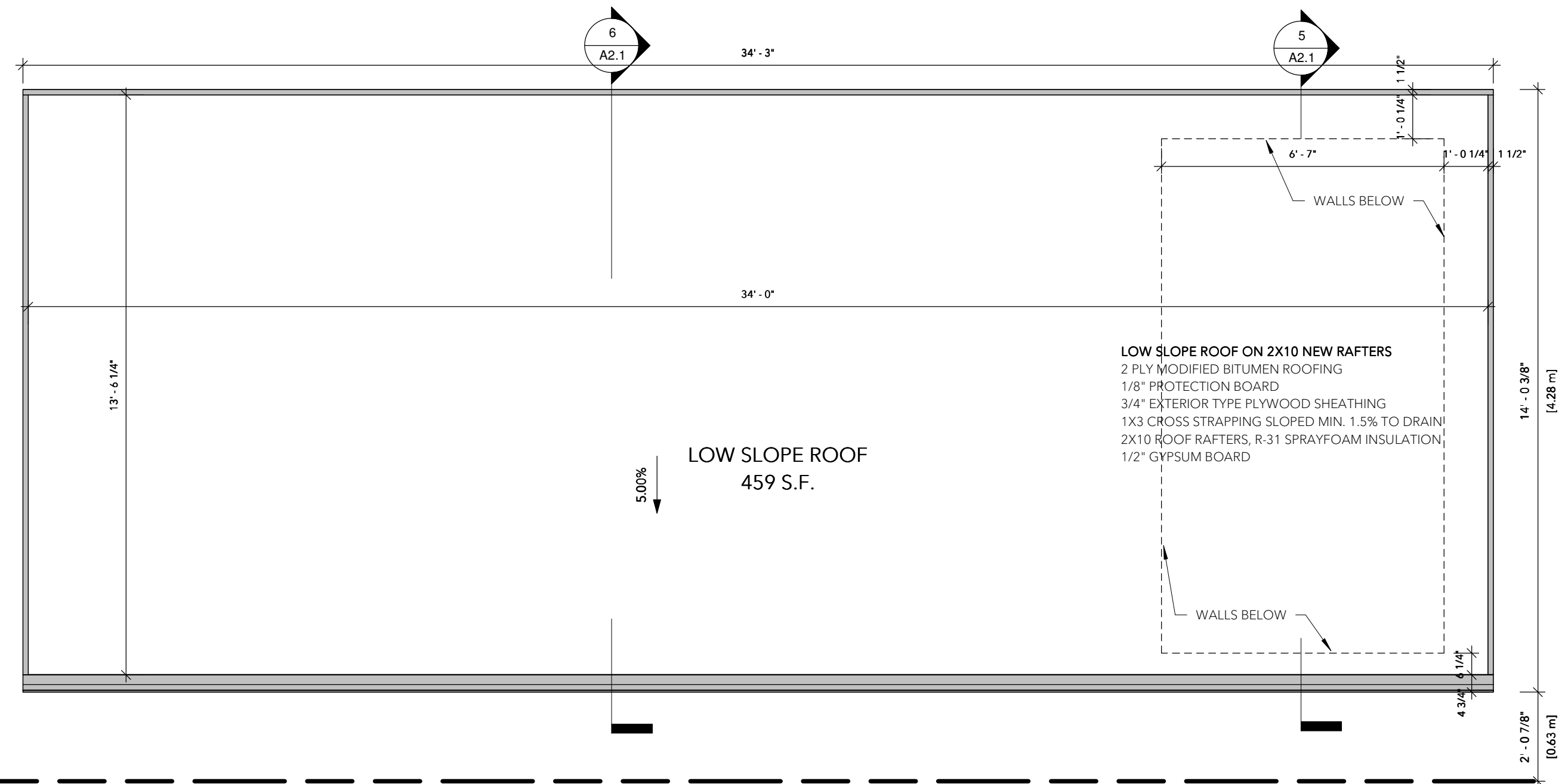


■ EXISTING ELEMENT TO REMAIN
 ■ EXISTING ELEMENT TO BE DEMOLISHED
 ■ NEW ELEMENT
 ■ ELEMENT ABOVE OR BELOW

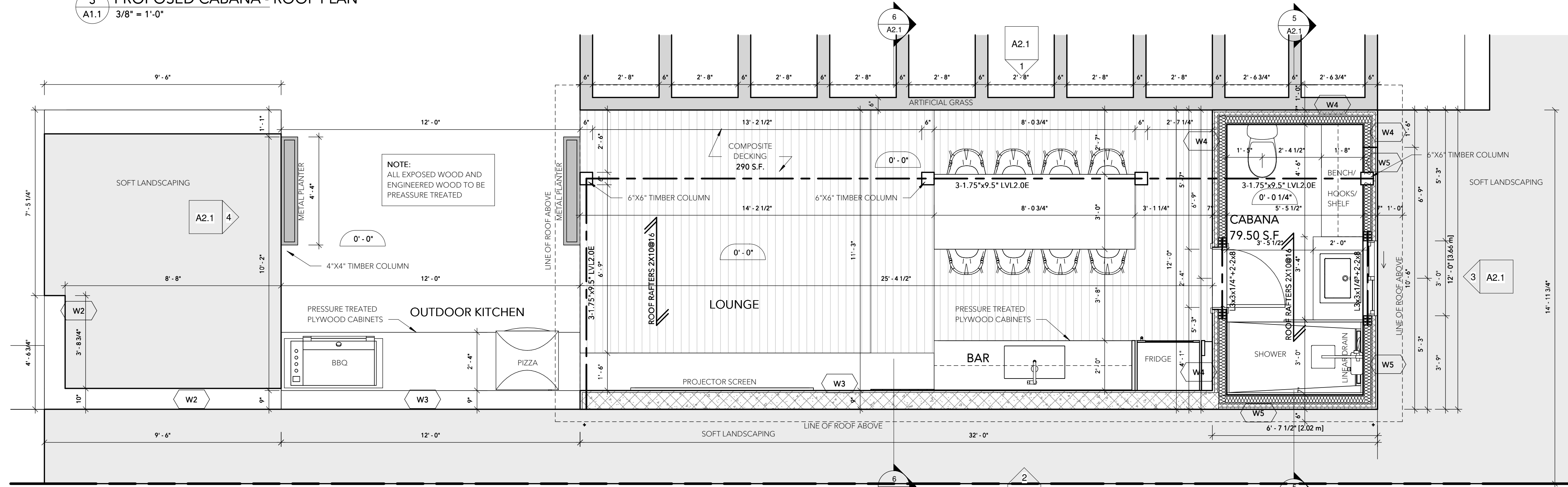
The Designer is not responsible for the accuracy of survey, structural, mechanical, electrical, etc. engineering information shown on the drawing. Refer to the appropriate engineering drawings before proceeding with work.

Contractor shall check all dimensions on the work and report any discrepancies to the Designer before proceeding. Construction must conform to all applicable Codes, Requirements and By-laws of Authorities having jurisdiction.

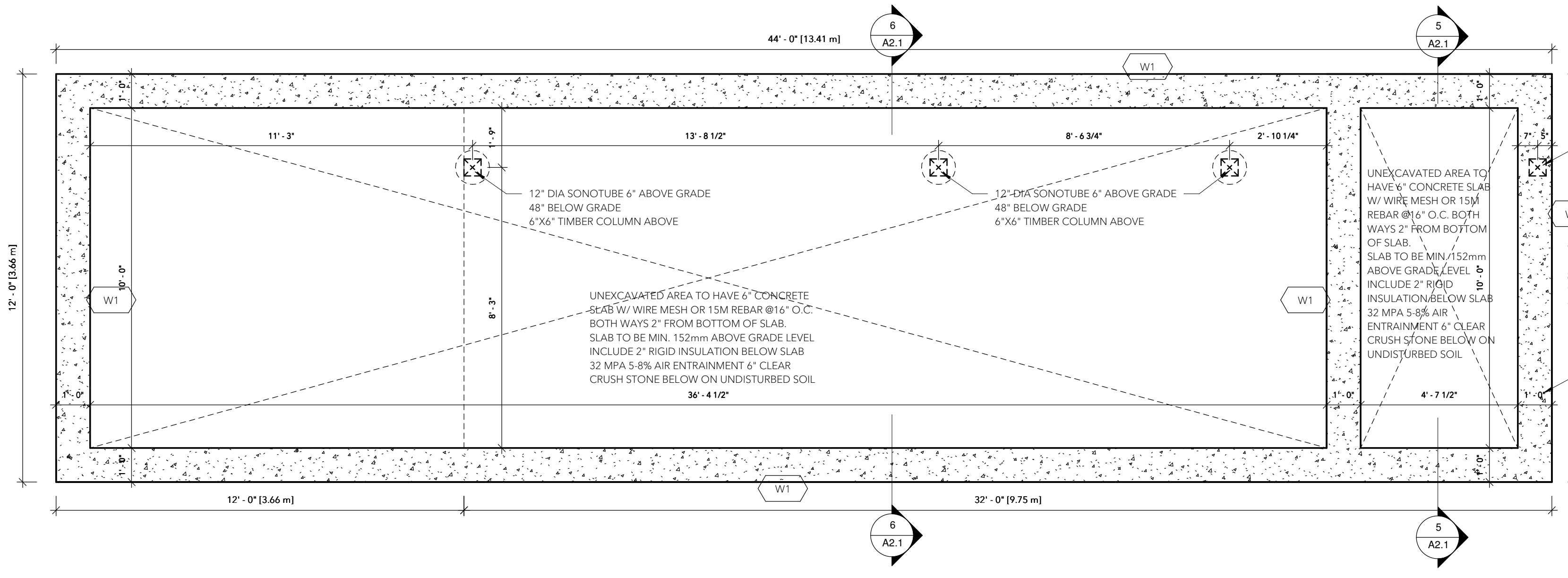
This drawing is not to be scaled.



3 PROPOSED CABANA - ROOF PLAN
A1.1 3/8" = 1'-0"

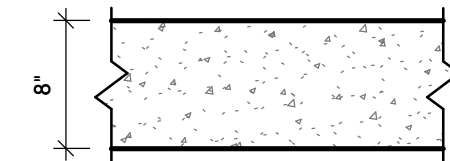
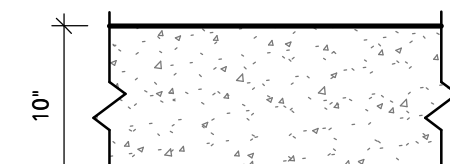
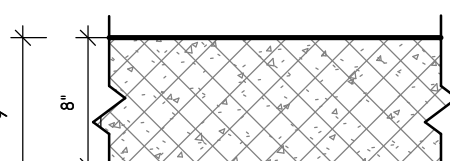
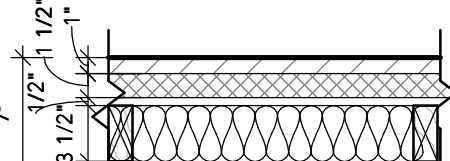




2 PROPOSED CABANA - FLOOR PLAN
A1.1 3/8" = 1'-0"

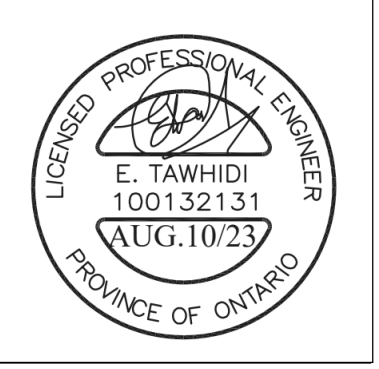


1 PROPOSED CABANA - FOUNDATION PLAN
A1.1 3/8" = 1'-0"

WALL SCHEDULE

	W1 FOUNDATION WALL 8" THK. 20 MPa POURED CONC. FDN. WALL MIX W/ 6% AIR ENTRAINMENT. NOTE: FILL & SEAL ALL TIE HOLES (TYP)
	W2 FOUNDATION WALL 10" THK. 20 MPa POURED CONC. FDN. WALL MIX W/ 6% AIR ENTRAINMENT. NOTE: FILL & SEAL ALL TIE HOLES (TYP)
	W3 FOUNDATION WALL 8" THK. 20 MPa POURED CONC. FDN. WALL MIX W/ 6% AIR ENTRAINMENT. NOTE: FILL & SEAL ALL TIE HOLES (TYP) 1" STONE VENEER
	W4 EXTERIOR STONE VENEER WALL (2X4 STUDS) EMBEDDED ON 2" 5" GROOVED STYROFOAM CONT. AIR BARRIER @ 16" O.C. HORIZ. @ 24" O.C. VERTICALLY CONT. AIR BARRIER 1/2" EXTERIOR TYPE SHEATHING 2X4 @ 16" O.C., R22 BATT INSULATION 6mil. POLY. CONT. VAPOUR BARRIER 1/2" GYPSUM WALLBOARD
	W5 EXTERIOR 2.5" EIFS WALL (2X4 STUDS) 3 COAT STUCCO FINISH ON PREP. COAT W/FIBER MESH EMBEDDED ON 2" 5" GROOVED STYROFOAM CONT. AIR BARRIER 1/2" EXTERIOR GRADE PLYWOOD SHEATHING 2X4 @ 16" O.C., R22 BATT INSULATION 6mil. POLY. CONT. VAPOUR BARRIER 1/2" GYPSUM WALLBOARD
	W6 EXTERIOR SIDING WALL (2X4 STUDS+R5 CI) METAL SIDING, 1X4 STRAP @ 16" O.C. 1 1/2" CONT. R5 XPS RIGID INSULATION CONT. AIR BARRIER 1/2" EXTERIOR GRADE PLYWOOD SHEATHING 2X4 @ 16" O.C., R22 BATT INSULATION 6mil. POLY. CONT. VAPOUR BARRIER 1/2" GYPSUM WALLBOARD

RESIDENTIAL ALTERATION
122 PURPLE CREEK RD
Woodbridge, ON
L4L 1A6



The undersigned has reviewed and taken responsibility for this design, and the final qualifications and codes requirements set out in the Ontario Building Code and the Building Code Act, R.S.O. 1990, Chapter C.63, as amended.

Required unless design is exempt under 2.2.5.1. of the Building Code.

REGISTRATION INFORMATION
Required unless design is exempt under 2.2.4.1. of the Building Code.

PROJ. NAME: SCN
NO. ISSUED FOR: DATE

SCALE: As indicated

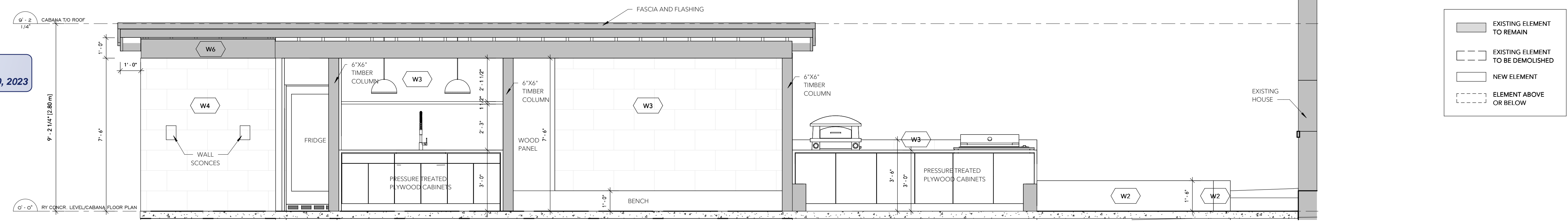
DATE: 04/09/2023

DRAWN BY: G.K. CHECKED BY: G.K.

TITLE: CABANA FLOOR PLAN AND ROOF PLAN

SHEET No.: **A1.1**

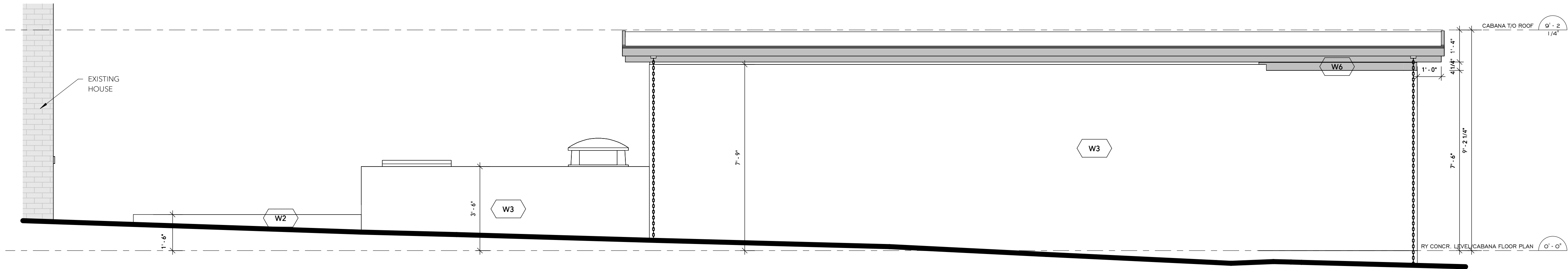
RECEIVED
By RECEIVED at 10:51 am, Oct 30, 2023



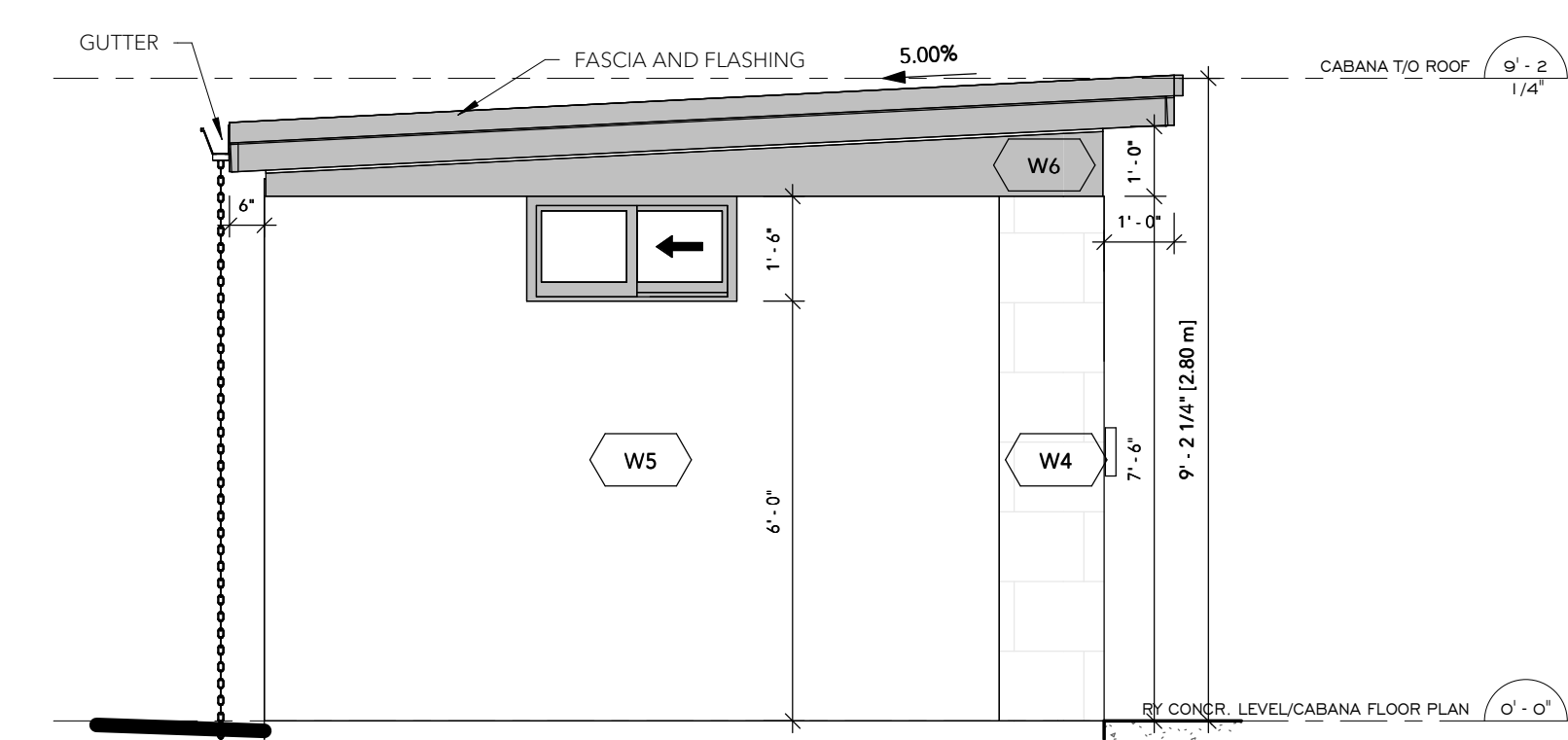
EXISTING ELEMENT TO REMAIN
EXISTING ELEMENT TO BE DEMOLISHED
NEW ELEMENT
ELEMENT ABOVE OR BELOW

The Designer is not responsible for the accuracy of survey, structural, mechanical, electrical, etc. engineering information shown on the drawing. Refer to the appropriate engineering drawings before proceeding with work.
Contractor shall check all dimensions on the work and report any discrepancies to the Designer before proceeding. Construction must conform to all applicable Codes, Requirements and By-laws of Authorities having jurisdiction.
This drawing is not to be scaled.

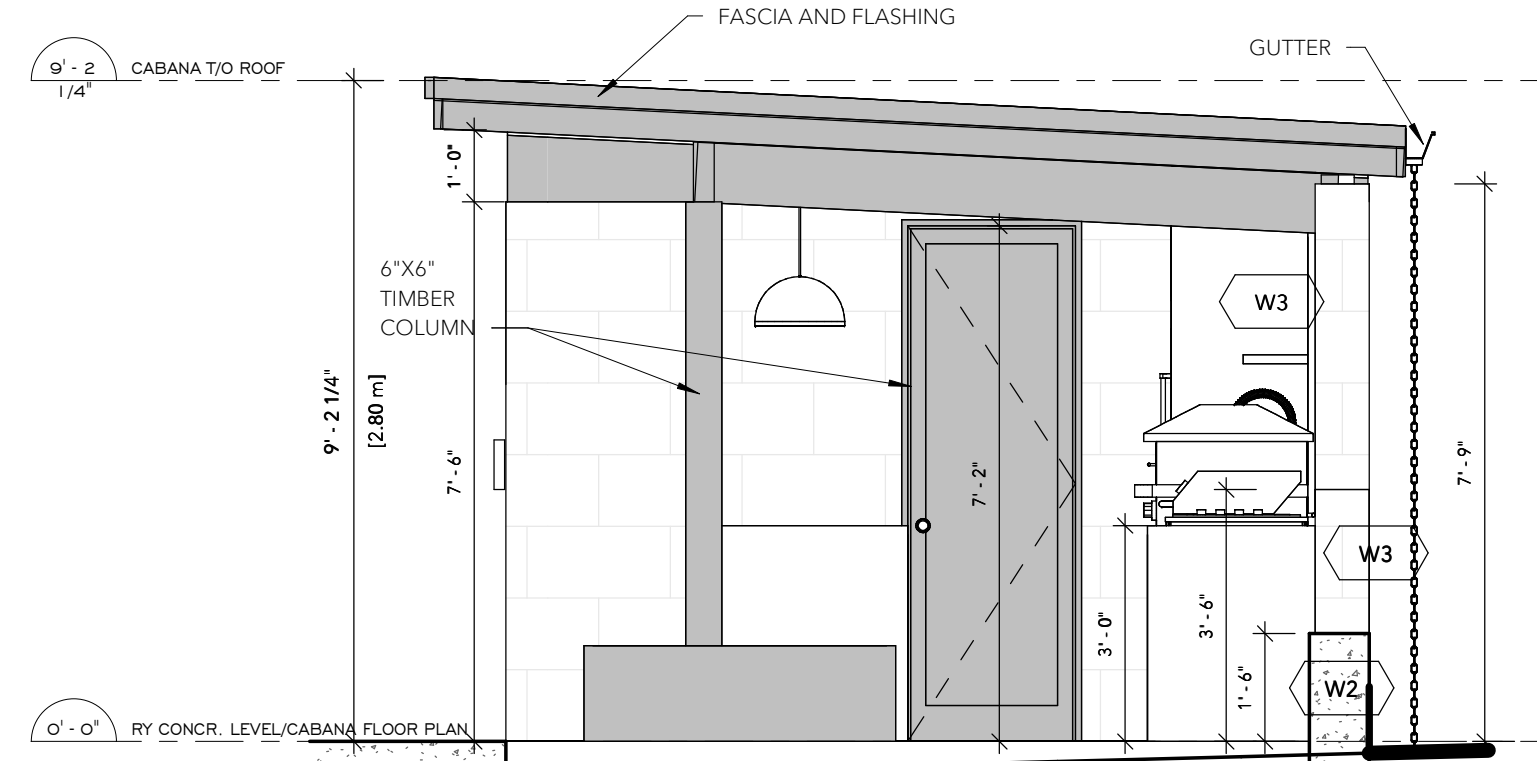
1 PROPOSED CABANA - NORTH ELEVATION
A2.1 3/8" = 1'-0"



2 PROPOSED CABANA - SOUTH ELEVATION
A2.1 3/8" = 1'-0"



3 PROPOSED CABANA - EAST ELEVATION
A2.1 3/8" = 1'-0"



4 PROPOSED CABANA - WEST ELEVATION
A2.1 3/8" = 1'-0"

WALL SCHEDULE

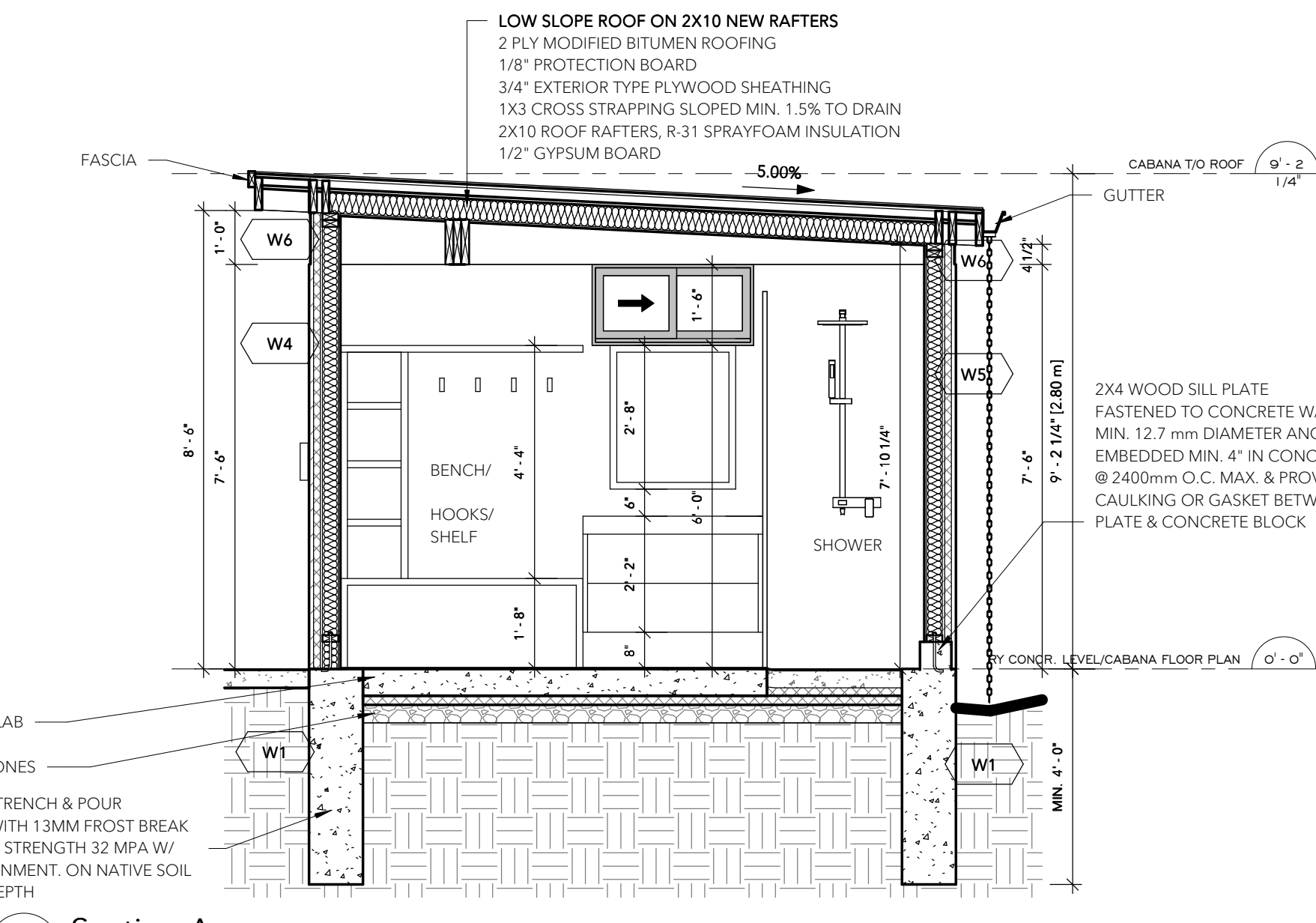
	W1 FOUNDATION WALL 8" THK. 20 MPa POURED CONC. FDN. WALL MIX W/ 6% AIR ENTRAINMENT NOTE: FILL & SEAL ALL TIE HOLES (TYP)
	W2 FOUNDATION WALL 10" THK. 20 MPa POURED CONC. FDN. WALL MIX W/ 6% AIR ENTRAINMENT NOTE: FILL & SEAL ALL TIE HOLES (TYP)
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	W6 EXTERIOR SIDING WALL (2X4 STUDS+R5 CI) METAL SIDING, 1X4 STRAP @ 16" O.C. 1 1/2" CONT. R5 XPS RIGID INSULATION CONT. AIR BARRIER 1/2" EXTERIOR GRADE PLYWOOD SHEATHING 2X4 @ 16" O.C., R22 BATT INSULATION 6mil. POLY. CONT. VAPOUR BARRIER 1/2" GYPSUM WALLBOARD

RESIDENTIAL ALTERATION
122 PURPLE CREEK RD
Woodbridge, ON
L4L 1A6

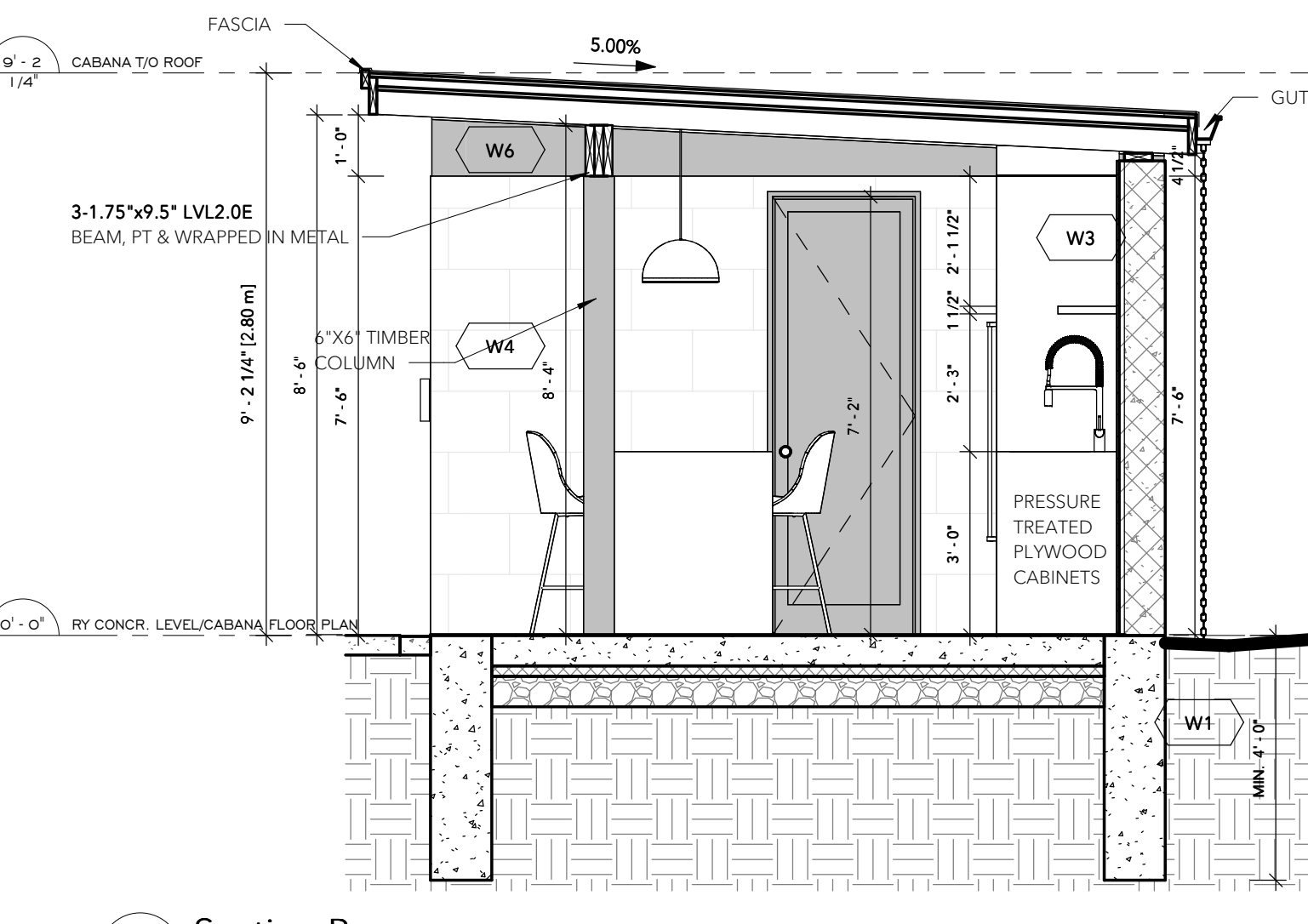


The undersigned has reviewed and taken responsibility for this design and the qualifications and scope of the requirements set out in the Ontario Building Code and the Building Code Act.
Required unless design is exempt under 2.2.5.1. of the Building Code.
REGISTRATION INFORMATION
Required unless design is exempt under 2.2.4.1. of the Building Code.
FIRM NAME: SCN
NO. ISSUED FOR: DATE

SCALE: As indicated
DATE: 04/09/2023
DRAWN BY: G.K. CHECKED BY: G.K.
TITLE: PROPOSED CABANA ELEVATIONS AND SECTION
SHEET NO.: A2.1



5 Section A
A2.1 3/8" = 1'-0"



6 Section B
A2.1 3/8" = 1'-0"

SCHEDULE B: STAFF & AGENCY COMMENTS				
DEPT/AGENCY	Circulated	Comments Received	Conditions	Nature of Comments
TRCA	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	Recommend Approval w/Conditions
Ministry of Transportation (MTO)	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Region of York	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	General Comments
Alectra	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	General Comments
Bell Canada	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	No Comments Received to Date
YRDSB	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
YCDSB	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
CN Rail	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
CP Rail	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
TransCanada Pipeline	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	No Comments Received to Date
Metrolinx	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Propane Operator	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Development Planning	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>		Recommend Approval no/Conditions
Building Standards (Zoning)	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>		General Comments

Date: October 24th 2023

Attention: **Christine Vigneault**

RE: Request for Comments

File No.: **A158-23**

Related Files:

Applicant Charenton Studio

Location 122 Purple Creek Road



Discover the possibilities

COMMENTS:

- We have reviewed the proposed Variance Application and have no comments or objections to its approval.
- We have reviewed the proposed Variance Application and have no objections to its approval, subject to the following comments (attached below).
- We have reviewed the proposed Variance Application and have the following concerns (attached below).

Alectra Utilities (formerly PowerStream) has received and reviewed the proposed Variance Application. This review, however, does not imply any approval of the project or plan.

All proposed billboards, signs, and other structures associated with the project or plan must maintain minimum clearances to the existing overhead or underground electrical distribution system as specified by the applicable standards, codes and acts referenced.

In the event that construction commences, and the clearance between any component of the work/structure and the adjacent existing overhead and underground electrical distribution system violates the Occupational Health and Safety Act, the customer will be responsible for 100% of the costs associated with Alectra making the work area safe. All construction work will be required to stop until the safe limits of approach can be established.

In the event construction is completed, and the clearance between the constructed structure and the adjacent existing overhead and underground electrical distribution system violates the any of applicable standards, acts or codes referenced, the customer will be responsible for 100% of Alectra's cost for any relocation work.

References:

- Ontario Electrical Safety Code, latest edition (Clearance of Conductors from Buildings)
- Ontario Health and Safety Act, latest edition (Construction Protection)
- Ontario Building Code, latest edition (Clearance to Buildings)
- PowerStream (Construction Standard 03-1, 03-4), attached
- Canadian Standards Association, latest edition (Basic Clearances)

If more information is required, please contact either of the following:

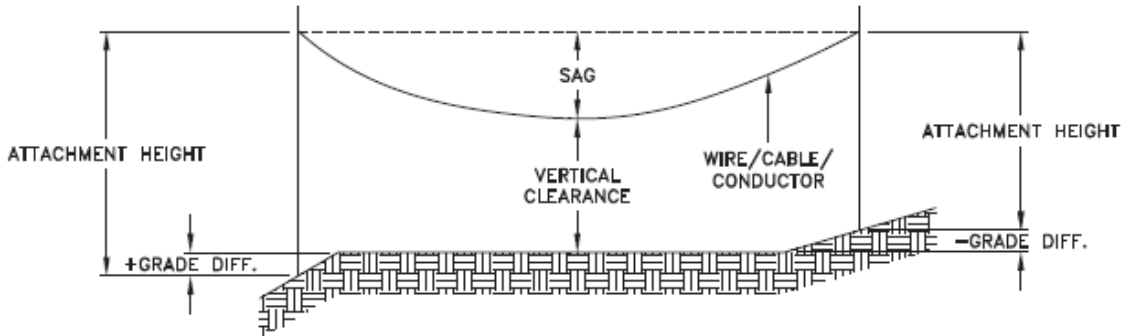
Mr. Stephen Cranley, C.E.T
Supervisor, Distribution Design, ICI & Layouts (North)
Phone: 1-877-963-6900 ext. 31297

E-mail: stephen.cranley@alectrautilities.com

Mitchell Penner
Supervisor, Distribution Design-Subdivisions
Phone: 416-302-6215

Email: Mitchell.Penner@alectrautilities.com

LOCATION OF WIRES, CABLES OR CONDUCTORS	SYSTEM VOLTAGE			
	SPAN GUYS AND COMMUNICATIONS WIRES	UP TO 600V AND NEUTRAL	4.16/2.4kV TO 27.6/16kV (SEE NOTE 1)	44kV
MINIMUM VERTICAL CLEARANCES (SEE NOTE 2)				
OVER OR ALONGSIDE ROADS, DRIVEWAYS OR LANDS ACCESSIBLE TO <u>VEHICLES</u>	442cm	442cm	480cm	520cm
OVER GROUND ACCESSIBLE TO <u>PEDESTRIANS AND BICYCLES ONLY</u>	250cm	310cm	340cm	370cm
ABOVE TOP OF RAIL AT <u>RAILWAY CROSSINGS</u>	730cm	730cm	760cm	810cm



MINIMUM ATTACHMENT HEIGHT = MAXIMUM SAG
 + MINIMUM VERTICAL CLEARANCE (FROM ABOVE TABLE)
 ± GRADE DIFFERENCE
 + 0.3m (VEHICLE OR RAILWAY LOCATION)
 + SNOW DEPTH (PEDESTRIAN LOCATION, SEE NOTE 3)

NOTES:

1. THE MULTIGROUNDED SYSTEM NEUTRAL HAS THE SAME CLEARANCE AS THE 600V SYSTEM.
2. THE VERTICAL CLEARANCES IN THE ABOVE TABLE ARE UNDER MAXIMUM SAG CONDITIONS.
3. REFER TO CSA STANDARD C22.3 No.1, ANNEX D FOR LOCAL SNOW DEPTH VALUES.
4. ALL CLEARANCES ARE IN ACCORDANCE TO CSA STANDARD C22.3.

CONVERSION TABLE

METRIC	IMPERIAL (APPROX)
810cm	27'-0"
760cm	25'-4"
730cm	24'-4"
520cm	17'-4"
480cm	16'-0"
442cm	15'-5"
370cm	12'-4"
340cm	11'-4"
310cm	10'-4"
250cm	8'-4"

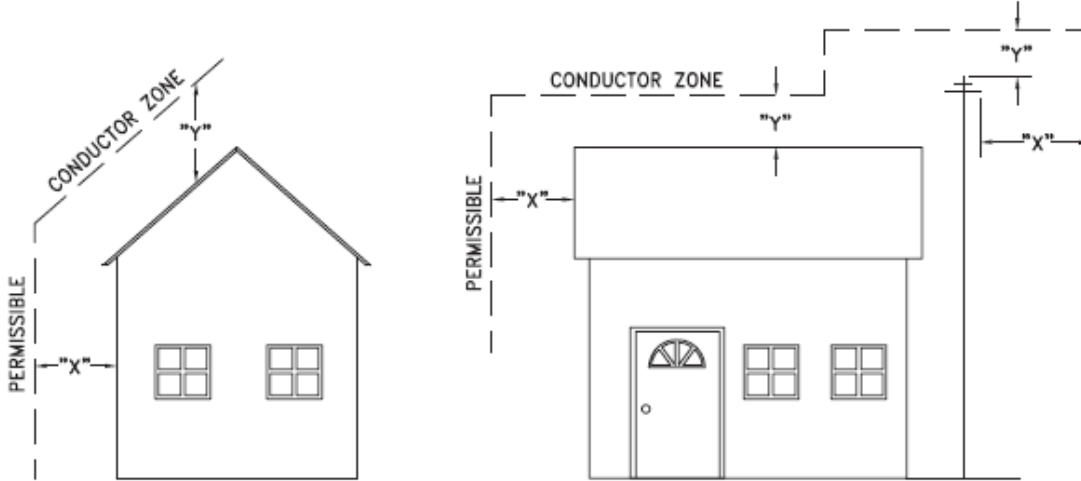
REFERENCES

SAGS AND TENSIONS | SECTION 02

MINIMUM VERTICAL CLEARANCES OF WIRES, CABLES AND CONDUCTORS ABOVE GROUND OR RAILS

ORIGINAL ISSUE DATE: 2010-DEC-24 REVISION NO: R1 REVISION DATE: 2012-JAN-09

Certificate of Approval	
This construction Standard meets the safety requirements of Section 4 of Regulation 22/04	
Joe Crozier, P.Eng.	2012-JAN-09
Name	Date
P.Eng. Approval By:	Joe Crozier



VOLTAGE	MINIMUM HORIZONTAL CLEARANCE UNDER MAXIMUM SWING CONDITIONS DIMENSION "X" (SEE NOTES 1, 3 & 4)	MINIMUM VERTICAL CLEARANCE UNDER MAXIMUM DESIGN SAG CONDITIONS DIMENSION "Y" (SEE NOTES 1, 2, 4 & 5)
0-600V AND NEUTRAL	100cm	250cm
4.16/2.4 TO 44kV	300cm	480cm

NOTES

1. UNDER NO CIRCUMSTANCES SHALL A CONDUCTOR BE PERMITTED TO PENETRATE THE ENVELOPE SHOWN BY THE DOTTED LINE.
2. THE VERTICAL CLEARANCES ARE UNDER CONDITIONS OF MAXIMUM DESIGN SAG.
3. THE HORIZONTAL CLEARANCES ARE UNDER CONDITIONS OF MAXIMUM SWING. WHERE THE CONDUCTOR SWING IS NOT KNOWN A HORIZONTAL CLEARANCE OF 480CM SHALL BE USED.
4. BUILDINGS THAT EXCEED 3 STOREYS OR 15M IN HEIGHT, THE MINIMUM HORIZONTAL CLEARANCE OF THE SECONDARY CONDUCTORS SHOULD BE INCREASED TO 300cm WHERE IT IS NECESSARY TO ALLOW FOR THE RAISING OF LADDERS BY LOCAL FIRE DEPARTMENTS.
5. IN SITUATIONS SUCH AS MULTI-LEVEL GARAGES, WHERE ROOFS ARE NORMALLY USED BY PERSONS AND VEHICLES, THE VERTICAL CLEARANCES OF POWERSTREAM STANDARD 03-1 SHALL APPLY.
6. DISTRIBUTION LINES CONSTRUCTED NEAR BUILDINGS SHALL BE BUILT TO AVOID OVERHANG WHEREVER POSSIBLE. WHERE LINES MUST BE CONSTRUCTED OVER OR ADJACENT TO BUILDINGS THE APPLICABLE HORIZONTAL AND VERTICAL CLEARANCES SHALL BE AT CONDITIONS OF MAXIMUM CONDUCTOR SWING AND MAXIMUM SAG. THE ABOVE CLEARANCES ARE DESIGNED TO PREVENT PERSONS ON OR IN BUILDINGS AS WELL AS EXTERNAL MACHINERY USED IN CONJUNCTION WITH A BUILDING TO COME IN CONTACT WITH CONDUCTORS. EFFORTS SHOULD BE MADE TO INCREASE THESE CLEARANCES WHERE POSSIBLE.
7. ALL CLEARANCES ARE IN ACCORDANCE TO CSA C22.3 NO.1-06 (TABLE-9).

METRIC	IMPERIAL (APPROX)
480cm	16'-0"
300cm	10'-0"
250cm	8'-4"
100cm	3'-4"

MINIMUM VERTICAL & HORIZONTAL CLEARANCES OF CONDUCTORS FROM BUILDINGS OR OTHER PERMANENT STRUCTURES (CONDUCTORS NOT ATTACHED TO BUILDINGS)

Certificate of Approval
This construction Standard meets the safety requirements of Section 4 of Regulation 22/04
Debbie Dadwani, P.Eng. 2010-MAY-05
Name Date
P. Eng. Approval By: *D. Dadwani*

ORIGINAL ISSUE DATE: 2010-MAY-05 REVISION NO: REVISION DATE:
PS:\System Planning and Standards\Standard Design\PowerStream Standards\PowerStream Standards working files\Section 3-1-02\WG 03-4 R0 May 5, 2010.dwg, 5/5/2010 10:22:02 AM, Adobe PDF

To: Committee of Adjustment
From: Sarah Scauzillo, Building Standards Department
Date: November 1, 2023
Applicant: Charenton Studio
Location: 122 Purple Creek Road
 PLAN 65M4647 Lot 81
File No.(s): A158/23

Zoning Classification:

The subject lands are zoned RD2 and subject to the provisions of Exception 9(1455) under Zoning By-law 1-88, as amended.

Zoning By-law 1-88		Variance requested
1	A minimum rear yard setback of 7.5 metres to the proposed Accessory Structure (Cabana) is required. [Section 4.1]	To permit a minimum rear yard setback of 5.56 metres to the proposed Accessory Structure (Cabana).
2	A minimum interior side yard setback of 1.2 metres to the proposed Accessory Structure (Cabana) is required. [Section 4.1]	To permit a minimum interior side yard setback of 0.9 metres to the proposed Accessory Structure (Cabana).

Staff Comments:

Stop Work Order(s) and Order(s) to Comply:

There are no outstanding Orders on file

Building Permit(s) Issued:

Building Permit No. 23-129904 for Shed/Gazebo - New, Issue Date: (Not Yet Issued)

Other Comments:

General Comments	
1	The applicant shall be advised that additional variances may be required upon review of detailed drawing for building permit/site plan approval.
2	The subject lands may be subject to Ontario Regulation 166/06 (TRCA - Toronto and Region Conservation Authority).

Conditions of Approval:

If the committee finds merit in the application, the following conditions of approval are recommended.

* Comments are based on the review of documentation supplied with this application.

To: Christine Vigneault, Committee of Adjustment Secretary Treasurer
From: Nancy Tuckett, Director of Development Planning
Date: November 8, 2023
Name of Owner: Ekaterina Markevich
Location: 122 Purple Creek Road
File No.(s): A158/23

Proposed Variances (By-law 1-88):

1. To permit a minimum rear yard setback of 5.56 metres to the proposed Accessory Structure (Cabana).
2. To permit a minimum interior side yard setback of 0.9 metres to the proposed Accessory Structure (Cabana).

By-Law Requirements (By-law 1-88):

1. A minimum rear yard setback of 7.5 metres to the proposed Accessory Structure (Cabana) is required.
2. A minimum interior side yard setback of 1.2 metres to the proposed Accessory Structure (Cabana) is required.

Official Plan:

Vaughan Official Plan 2010 ('VOP 2010'): "Low-Density Residential" by Volume 2, Section 12.13 - Block 40/47.

Comments:

The Owner is requesting relief to permit the construction of an accessory structure (cabana) and an in-ground pool at 122 Purple Creek Road with the above noted variances.

The Development Planning Department has no objection to Variance 1. The cabana's 5.56 metre rear yard setback is anticipated to have minimal use and massing impacts on the lands to the east as the rear lot line abuts an open space containing forest and meadow. The meadow abuts the fence. The open space near the rear lot line contains no trail access and is not very accessible to the public. Further, no adverse impacts to the function of the open space are anticipated should the variances be granted.

The Development Planning Department has no objection to Variance 2 to permit an interior side yard setback of 0.9 metres. The proposed cabana complies height requirements of both By-laws and the modest height helps with concerns of massing. At the request of the Development Planning Department, the Owner has increased the proposed interior side yard setback to address massing concerns. The 0.9 metre minimum side yard setback proposed accommodates sufficient space for vegetative screening which will help mitigate any potential adverse massing impacts on the neighbouring property to the south (118 Purple Creek Road). The proposed 0.9 metre setback also provides sufficient space for access and maintenance.

The Owner has submitted an Arborist Letter and Planting Plan prepared by Davey Resource Group. The letter and plan propose planting sixteen (16) Skyrocket Juniper trees, 90 cm apart between the cabana and southern interior lot line to provide screening for 118 Purple Creek Road within the proposed 0.90 metre setback. Urban Design Staff have reviewed the Arborist Letter and Planting Plan and have no concerns with the tree species or the depth of the planting area.

Accordingly, the Development Planning Department can support the requested variances and is of the opinion that the proposal is minor in nature, maintains the general intent and purpose of the Official Plan and Zoning By-law, and is desirable for the appropriate development of the land.

Recommendation:

The Development Planning Department recommends approval of the application.

Conditions of Approval:

If the Committee finds merit in the application, the following conditions of approval are recommended:

None.

Comments Prepared by:

Nicholas Del Prete, Planner I
David Harding, Senior Planner

October 31, 2023

CFN 68446.38
X-Ref: 69568

SENT BY E-MAIL: Christine.Vigneault@vaughan.ca

Christine Vigneault
Secretary Treasurer
Committee of Adjustment
City of Vaughan
2141 Major Mackenzie Drive
Vaughan, Ontario L6A 1T1

Dear Christine:

**Re: Minor Variance Application A158/23
PLAN 65M4647, Lot 81
122 Purple Creek Road
City of Vaughan, Region of York
Applicant: Charenton Studio**

This letter acknowledges receipt of the above-noted application circulated by the City of Vaughan. The materials were received by Toronto and Region Conservation Authority (TRCA) on October 24, 2023. TRCA staff have reviewed the application and offer the following comments for the consideration of the Committee of Adjustment.

Purpose of the Application

It is our understanding that the purpose of the above noted application is to request the following variances under By-Law 1-88:

By-Law 1-88:

- To permit a minimum rear yard setback of 5.72 metres to the proposed Accessory Structure (Cabana), whereas a minimum rear yard setback of 7.5 metres to the proposed Accessory Structure (Cabana) is required.
- To permit a minimum interior side yard setback of 0.6 metres to the proposed Accessory Structure (Cabana), whereas a minimum interior side yard setback of 1.2 metres to the proposed Accessory Structure (Cabana) is required.

The noted variances are being requested to facilitate the construction of a cabana in the rear yard of an existing residential dwelling.

Ontario Regulation 166/06

The subject lands are located within TRCA's Regulated Area due to Provincially Significant Wetlands and a valley corridor associated with a tributary of the Humber River located to the east of the site. In accordance with Ontario Regulation 166/06 (Regulation of Development, Interference with Wetlands and Alterations to Shorelines and Watercourses), development, interference or alteration may be

permitted in the Regulated Area where it can be demonstrated to TRCA's satisfaction that the control of flooding, erosion, dynamic beaches, pollution, or the conservation of land will not be affected.

Application-Specific Comments

TRCA staff have reviewed and issued a permit, pursuant to Ontario Regulation 166/06 for the cabana structure and related backyard works (TRCA Permit No. C-230912, issued August 8, 2023). The plans submitted with this application are consistent with the plans that were approved as part of TRCA's permit.

Based on the above, TRCA staff have no concerns with the proposed variances.

Fees

By copy of this letter, the applicant is advised that the TRCA has implemented a fee schedule for our planning application review services. This application is subject to a \$660.00 (Minor Variance – Residential - Minor) review fee. The applicant is responsible for fee payment and should forward the application fee to this office as soon as possible.

Recommendations

Based on the comments noted above, TRCA has **no objection** to the approval of Minor Variance Application A158.23 subject to the following conditions:

1. That the applicant provides the required fee amount of \$660.00 payable to the Toronto and Region Conservation Authority.

We trust these comments are of assistance. Should you have any questions, please contact me at 437-880-2129 or at Kristen.regier@trca.ca

Sincerely,

Kristen Regier

Kristen Regier
Planner I
Development Planning and Permits

KR/sb

Pravina Attwala

Subject: FW: [External] RE: A158/23 (122 PURPLE CREEK ROAD) - REQUEST FOR COMMENTS

From: Development Services <developmentsservices@york.ca>
Sent: November-03-23 4:59 PM
To: Pravina Attwala <Pravina.Attwala@vaughan.ca>
Cc: Committee of Adjustment <CofA@vaughan.ca>
Subject: [External] RE: A158/23 (122 PURPLE CREEK ROAD) - REQUEST FOR COMMENTS

Hi Pravina,

The Regional Municipality of York has completed its review of the minor variance application – A158/23 (122 Purple Creek Road) and has no comment.

Please provide us with a copy of the notice of decision for our records.

Many thanks,

Our working hours may be different. Please do not feel obligated to reply outside of your scheduled working hours. Let's work together to help foster healthy work-life boundaries.

Niranjan Rajevan, M.Pl. | Associate Planner, Development Services, Planning and Economic Development, Corporate Services

The Regional Municipality of York | 17250 Yonge Street | Newmarket, ON L3Y 6Z1
1-877-464-9675 ext. 71521 | niranjan.rajevan@york.ca | www.york.ca
Our Values: Integrity, Commitment, Accountability, Respect, Excellence



Our Mission: **Working together to serve our thriving communities – today and tomorrow**

Please consider the environment before printing this email.

SCHEDULE C: PUBLIC & APPLICANT CORRESPONDENCE

None

SCHEDULE D: PREVIOUS COA DECISIONS ON THE SUBJECT LAND

None