

<b>ITEM: 6.9</b>	<b>COMMITTEE OF ADJUSTMENT REPORT SUMMARY MINOR VARIANCE APPLICATION FILE NUMBER A152/23 7685 MARTIN GROVE ROAD WOODBRIDGE</b>
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**THIS REPORT CONTAINS COMMENTS FROM THE FOLLOWING  
DEPARTMENTS & AGENCIES:**

\*Please see **Schedule B** of this report for a copy of Development Planning and Agency correspondence.

Additional comments from departments and agencies may be received after the publication of the Staff Report. These comments will be processed as an addendum and posted on the City's Website.

DEPARTMENTS	Circulated	Comments Received	Conditions	Nature of Comments
Committee of Adjustment	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	General Comments
Building Standards (Zoning Review)	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	General Comments
Building Inspection (Septic)	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	No Comments Received to Date
Development Planning	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Application Under Review
Development Engineering	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	Recommend Approval w/Conditions
Parks, Forestry and Horticulture Operations	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	General Comments
By-law & Compliance, Licensing & Permits	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	No Comments or Concerns
Development Finance	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	General Comments
Real Estate	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Fire Department	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	No Comments Received to Date
AGENCIES	Circulated	Comments Received	Conditions	Nature of Comments
TRCA	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	General Comments
Ministry of Transportation (MTO)	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Region of York	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	General Comments
Alectra	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	General Comments
Bell Canada	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	No Comments Received to Date
YRDSB	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
YCDSB	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
CN Rail	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
CP Rail	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
TransCanada Pipeline	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	No Comments Received to Date
Metrolinx	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Propane Operator	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	

**PUBLIC & APPLICANT CORRESPONDENCE**

\*Please see **Schedule C** of this report for a copy of the public & applicant correspondence listed below.

The deadline to submit public comments is **noon on the last business day prior to the scheduled hearing date.**

Comments and written public submissions received after the publication of this Staff Report will be processed as an addendum and posted on the City's Website.

All personal information collected because of this public meeting (including both written and oral submissions) is collected under the authority of the Municipal Act, the Municipal Freedom of Information and Protection of Privacy Act (MFIPPA), the Planning Act and all other relevant legislation, and will be used to assist in deciding on this matter. All personal information (as defined by MFIPPA), including (but not limited to) names, addresses, opinions and comments collected will become property of the City of Vaughan, will be made available for public disclosure (including being posted on the internet) and will be used to assist the Committee of Adjustment and staff to process this application.

Correspondence Type	Name	Address	Date Received (mm/dd/yyyy)	Summary
Applicant			09/25/2023	Application Cover Letter

**PREVIOUS COA DECISIONS ON THE SUBJECT LAND**

\*Please see **Schedule D** for a copy of the Decisions listed below

<b>File Number</b>	<b>Date of Decision</b> MM/DD/YYYY	<b>Decision Outcome</b>
None		

**ADJOURNMENT HISTORY**

\* Previous hearing dates where this application was adjourned by the Committee and public notice issued.

None	
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**COMMITTEE OF ADJUSTMENT REPORT  
MINOR VARIANCE APPLICATION  
A152/23  
7685 MARTIN GROVE ROAD WOODBRIDGE**

<b>ITEM NUMBER: 6.9</b>	<b>CITY WARD #: 2</b>
<b>APPLICANT:</b>	Zanpas Investments Inc.
<b>AGENT:</b>	Wes Surdyka Architect Inc.
<b>PROPERTY:</b>	7685 Martin Grove Road, Woodbridge
<b>ZONING DESIGNATION:</b>	See below.
<b>VAUGHAN OFFICIAL PLAN (2010) DESIGNATION:</b>	Vaughan Official Plan 2010 ('VOP 2010'): "Mid-Rise Mixed-Use"
<b>RELATED DEVELOPMENT APPLICATIONS:</b>	DA.22.073.
<b>PURPOSE OF APPLICATION:</b>	Relief from the Zoning By-law is being requested to permit a proposed addition to the existing car dealership and to permit an outdoor display area to be located within the required landscape strip. Relief is also required to facilitate related Site Plan Application DA.22.073.

The following variances have been requested from the City's Zoning By-law:

**The subject lands are zoned GMU – General Mixed-Use Zone and subject to the provisions of Exception 14.405 under Zoning By-law 001-2021, as amended.**

#	Zoning By-law 01-2021	Variance requested
1	A maximum height of 11.0 metres is required [Table 8-3].	To permit a maximum height of 12.65 metres for building A.
2	A landscape strip with a minimum width of 12.0 metres shall be provided along the lot line which abuts Martin Grove Road [Exception 14.405.2.1].	To permit the outdoor display of three vehicles to be located within the required landscape strip of 12.0 metres.
3	The outdoor storage or outdoor display of motor vehicles shall only be located in the southerly interior side yard [Exception 14.405.2.2].	To permit the outdoor display of three vehicles to be located within the westerly front yard.

**HEARING INFORMATION**

**DATE OF MEETING:** Thursday, November 16, 2023  
**TIME:** 6:00 p.m.  
**MEETING LOCATION:** Vaughan City Hall, Woodbridge Room (2<sup>nd</sup> Floor), 2141 Major Mackenzie Drive  
**LIVE STREAM LINK:** [Vaughan.ca/LiveCouncil](http://Vaughan.ca/LiveCouncil)

**PUBLIC PARTICIPATION**

If you would like to speak to the Committee of Adjustment at the meeting, either remotely or in person, please complete the [Request to Speak Form](#) and submit to [cofa@vaughan.ca](mailto:cofa@vaughan.ca)

If you would like to submit written comments, please quote file number above and submit by mail or email to:

**Email:** [cofa@vaughan.ca](mailto:cofa@vaughan.ca)

**Mail:** City of Vaughan, Office of the City Clerk, Committee of Adjustment, 2141 Major Mackenzie Drive, Vaughan, ON, L6A 1T1

To speak electronically, pre-registration is required by completing the [Request to Speak Form](#) on-line and submitting it to [cofa@vaughan.ca](mailto:cofa@vaughan.ca) no later than NOON on the last business day before the meeting.

**THE DEADLINE TO REGISTER TO SPEAK ELECTRONICALLY OR SUBMIT WRITTEN COMMENTS ON THE ABOVE NOTED FILE(S) IS NOON ON THE LAST BUSINESS DAY BEFORE THE MEETING.**

## INTRODUCTION

Staff and Agencies act as advisory bodies to the Committee of Adjustment. The comments contained in this report are presented as recommendations to the Committee.

Section 45(1) of the Planning Act sets the criteria for authorizing minor variances to the City of Vaughan's Zoning By-law. Accordingly, review of the application may consider the following:

That the general intent and purpose of the by-law will be maintained.

That the general intent and purpose of the official plan will be maintained.

That the requested variance(s) is/are acceptable for the appropriate development of the subject lands.

That the requested variance(s) is/are minor in nature.

Public written and oral submissions relating to this application are taken into consideration by the Committee of Adjustment as part of its deliberations and final decision on this matter.

## COMMITTEE OF ADJUSTMENT COMMENTS

<b>Date Public Notice Mailed:</b>	November 2, 2023	
<b>Date Applicant Confirmed Posting of Sign:</b>	October 30, 2023	
<b>Applicant Justification for Variances:</b> <small>*As provided by Applicant in Application Form</small>	Outdoor display is only permitted on southernly interior yard,	
<b>Adjournment Requests/Review Comments (from staff):</b> <small>*Adjournment requests provided to applicant prior to issuance of public notice</small>	<p>On November 1, 2023, Development Planning provided:</p> <p>Development Planning has no concerns with the Minor Variance application moving forward to the upcoming meeting date. However, Urban Design staff has offered the following note for your consideration:</p> <p>It should be noted that as previously mentioned, through the review of the related application DA.22.073, the parking along the edge of the Mazda building will be impacted by the proposal unless it is confirmed that the parking strip south of the driveway from Martin Grove is to be used by Mazda as well. Please see the image below as reference. This issue is raised here as it may impact the overall site layout and result in further variances.</p> <p>On November 1, 2023, the applicant provided:</p> <p>I would like to proceed with the application as scheduled.</p> <p>Please note that all dealerships along Marin Grove Road belong to the same person. Even though they are physically located on different lots, the circulation and parking are governed more on ease of movement and parking necessities on daily bases rather than legal agreements. Quite often, the need of required parking spaces is impossible to predict, and flexibility is required. Same reasoning applies to servicing cars, washing, and detailing etc. That flexibility works to the benefit of business operations within the auto mall, not against it. Please note that Martin Grove Volkswagen is having similar situation, and it is under SPA right now (north of Woodbridge Toyota, we are preparing building permit submission). Prima Mazda and Alta Nissan are in early stages of SPA submission (south of Woodbridge Toyota). Creation of easements to justify circulation and parking would be very complex, unnecessary, and impossible to enforce afterwards.</p>	
<b>Was a Zoning Review Waiver (ZRW) Form submitted by Applicant:</b>  <small>*ZRW Form may be used by applicant in instances where a revised submission is made, and zoning staff do not have an opportunity to review and confirm variances prior to the issuance of public notice.  *A revised submission may be required to address staff / agency comments received as part of the application review process.  *Where a zoning review has not been completed on a revised submission, an opportunity is provided to the applicant to adjourn the proposal prior to the issuance of public notice.</small>	No	

### COMMITTEE OF ADJUSTMENT COMMENTS

**Adjournment Fees:**

In accordance with Procedural By-law 069-2019, an Adjournment Fee is applicable to reschedule an application after the issuance of public notice where a request for adjournment has been provided to the applicant prior to the issuance of public notice.

An Adjournment Fee can only be waived in instances where adjournment of an application is requested by the Committee or staff **after** the issuance of public notice.

<b>Committee of Adjustment Comments:</b>	None
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<b>Committee of Adjustment Recommended Conditions of Approval:</b>	None
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### BUILDING STANDARDS (ZONING) COMMENTS

\*\*See Schedule B for Building Standards (Zoning) Comments

<b>Building Standards Recommended Conditions of Approval:</b>	None
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### DEVELOPMENT PLANNING COMMENTS

\*\*See Schedule B for Development Planning Comments. Application under review

<b>Development Planning Recommended Conditions of Approval:</b>	TBD
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### DEVELOPMENT ENGINEERING COMMENTS

[Link to Grading Permit](#) [Link to Pool Permit](#) [Link to Curb Curt Permit](#) [Link Culvert Installation](#)

Development Engineering Department has reviewed Minor Variance application A152/23 and has no concerns with the proposed addition to an existing car dealership to accommodate the outdoor display of three vehicles to be located within the required landscape strip of 12.0 metres.

The Development Engineering Department does not object to the Minor Variance application A152/23, subject to the following condition(s):

<b>Development Engineering Recommended Conditions of Approval:</b>	The Owner/Applicant shall obtain approval for the related Site Development Application (DA.22.073) from the Development Engineering (DE) Department.
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### PARKS, FORESTRY & HORTICULTURE (PFH) COMMENTS

Forestry: Forestry has no comment at this time.

<b>PFH Recommended Conditions of Approval:</b>	None
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### DEVELOPMENT FINANCE COMMENTS

No comment no concerns.

<b>Development Finance Recommended Conditions of Approval:</b>	None
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### BY-LAW AND COMPLIANCE, LICENSING AND PERMIT SERVICES COMMENTS

No comments or concerns

<b>BCLPS Recommended Conditions of Approval:</b>	None
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### BUILDING INSPECTION (SEPTIC) COMMENTS

No comments received to date

<b>Building Inspection Recommended Conditions of Approval:</b>	None
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### FIRE DEPARTMENT COMMENTS

No comments received to date

<b>Fire Department Recommended Conditions of Approval:</b>	None
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## SCHEDULES TO STAFF REPORT

\*See Schedule for list of correspondence

<b>Schedule A</b>	Drawings & Plans Submitted with the Application
<b>Schedule B</b>	Staff & Agency Comments
<b>Schedule C</b> (if required)	Correspondence (Received from Public & Applicant)
<b>Schedule D</b> (if required)	Previous COA Decisions on the Subject Land

Should the Committee find it appropriate to approve this application in accordance with request and the sketch submitted with the application, as required by Ontario Regulation 200/96, the following conditions have been recommended:

### SUMMARY OF RECOMMENDED CONDITIONS OF APPROVAL

All conditions of approval, unless otherwise stated, are considered to be incorporated into the approval “if required”. If a condition is no longer required after an approval is final and binding, the condition may be waived by the respective department or agency requesting conditional approval. A condition cannot be waived without written consent from the respective department or agency.

#	DEPARTMENT / AGENCY	CONDITION(S) DESCRIPTION
1	Development Engineering <a href="mailto:Rex.bondad@vaughan.ca">Rex.bondad@vaughan.ca</a>	The Owner/Applicant shall obtain approval for the related Site Development Application (DA.22.073) from the Development Engineering (DE) Department.
2	Development Planning <a href="mailto:Joshua.cipolletta@vaughan.ca">Joshua.cipolletta@vaughan.ca</a>	Application under review

### IMPORTANT INFORMATION – PLEASE READ

**CONDITIONS:** It is the responsibility of the owner/applicant and/or authorized agent to obtain and provide a clearance letter from respective department and/or agency (**see condition chart above for contact**). This letter must be provided to the Secretary-Treasurer to be finalized. All conditions must be cleared prior to the issuance of a Building Permit.

**APPROVALS:** Making any changes to your proposal after a decision has been made may impact the validity of the Committee’s decision.

An approval obtained from the Committee of Adjustment, where applicable, is tied to the building envelope shown on the plans and drawings submitted with the application and subject to the variance approval.

A building envelope is defined by the setbacks of the buildings and/or structures shown on the plans and drawings submitted with the application, as required by Ontario Regulation 200/96. Future development outside of an approved building envelope, where a minor variance was obtained, must comply with the provisions of the City’s Zoning By-law.

Elevation drawings are provided to reflect the style of roof (i.e. flat, mansard, gable etc.) to which a building height variance has been applied. Where a height variance is approved, building height is applied to the style of roof (as defined in the City’s Zoning By-law) shown on the elevation plans submitted with the application.

Architectural design features that are not regulated by the City’s Zoning By-law are not to be considered part of an approval unless specified in the Committee’s decision.

**DEVELOPMENT CHARGES:** That the payment of the Regional Development Charge, if required, is payable to the City of Vaughan before issuance of a building permit in accordance with the Development Charges Act and the Regional Development Charges By-law in effect at the time of payment.

That the payment of the City Development Charge, if required, is payable to the City of Vaughan before issuance of a building permit in accordance with the Development Charges Act and the City’s Development Charges By-law in effect at the time of payment.

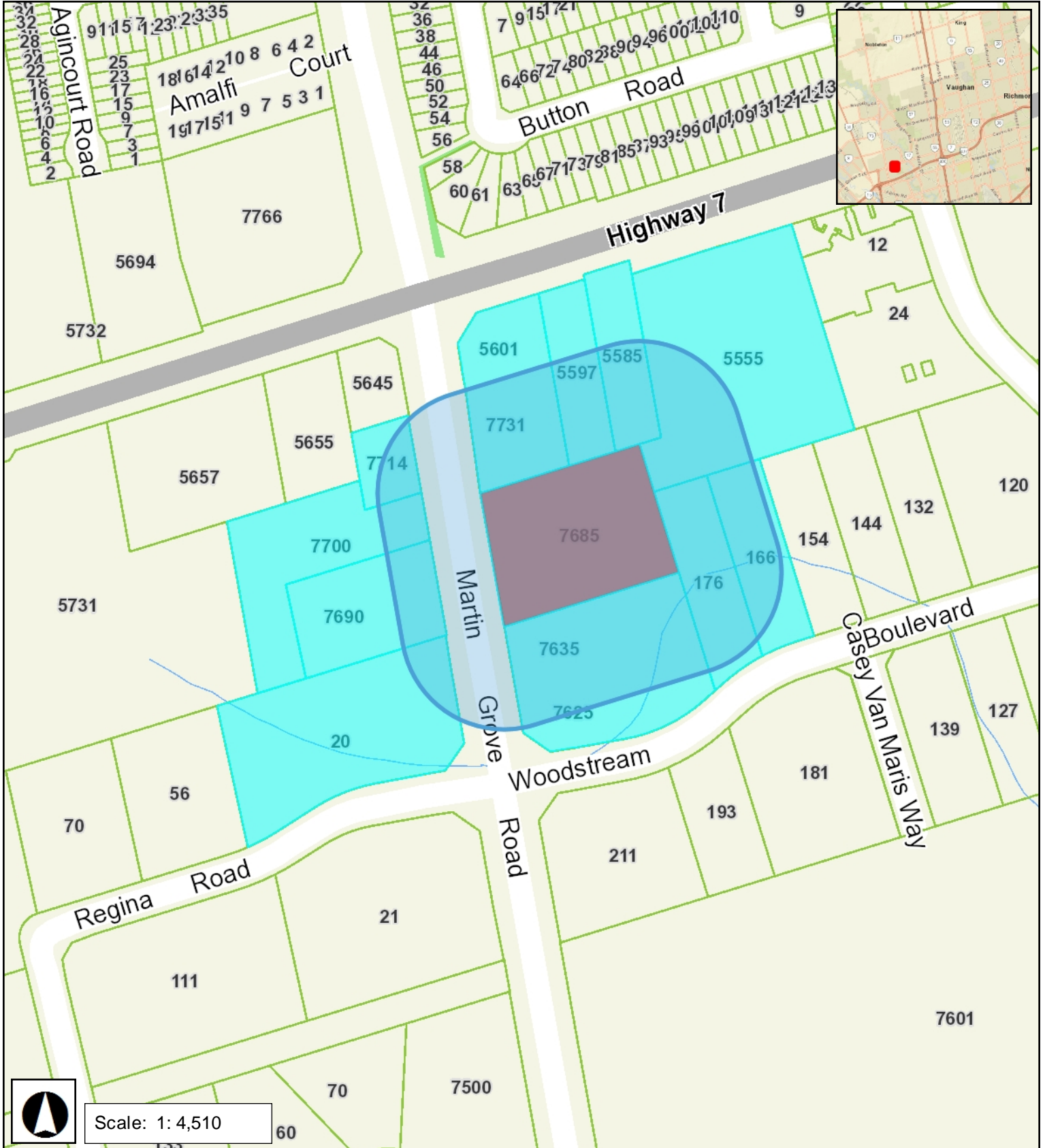
That the payment of the Education Development Charge if required, is payable to the City of Vaughan before issuance of a building permit in accordance with the Development Charges Act and the Boards of Education By-laws in effect at the time of payment

That the payment of Special Area Development charge, if required, is payable to the City of Vaughan before issuance of a building permit in accordance with the Development Charges Act and The City’s Development Charge By-law in effect at the time of Building permit issuance to the satisfaction of the Reserves/Capital Department.

**NOTICE OF DECISION:** If you wish to be notified of the decision in respect to this application or a related Ontario Land Tribunal (OLT) hearing you must complete a Request for Decision form and submit to the Secretary Treasurer (ask staff for details). In the absence of a written request to be notified of the Committee’s decision you will **not** receive notice.

**SCHEDULE A: DRAWINGS & PLANS**

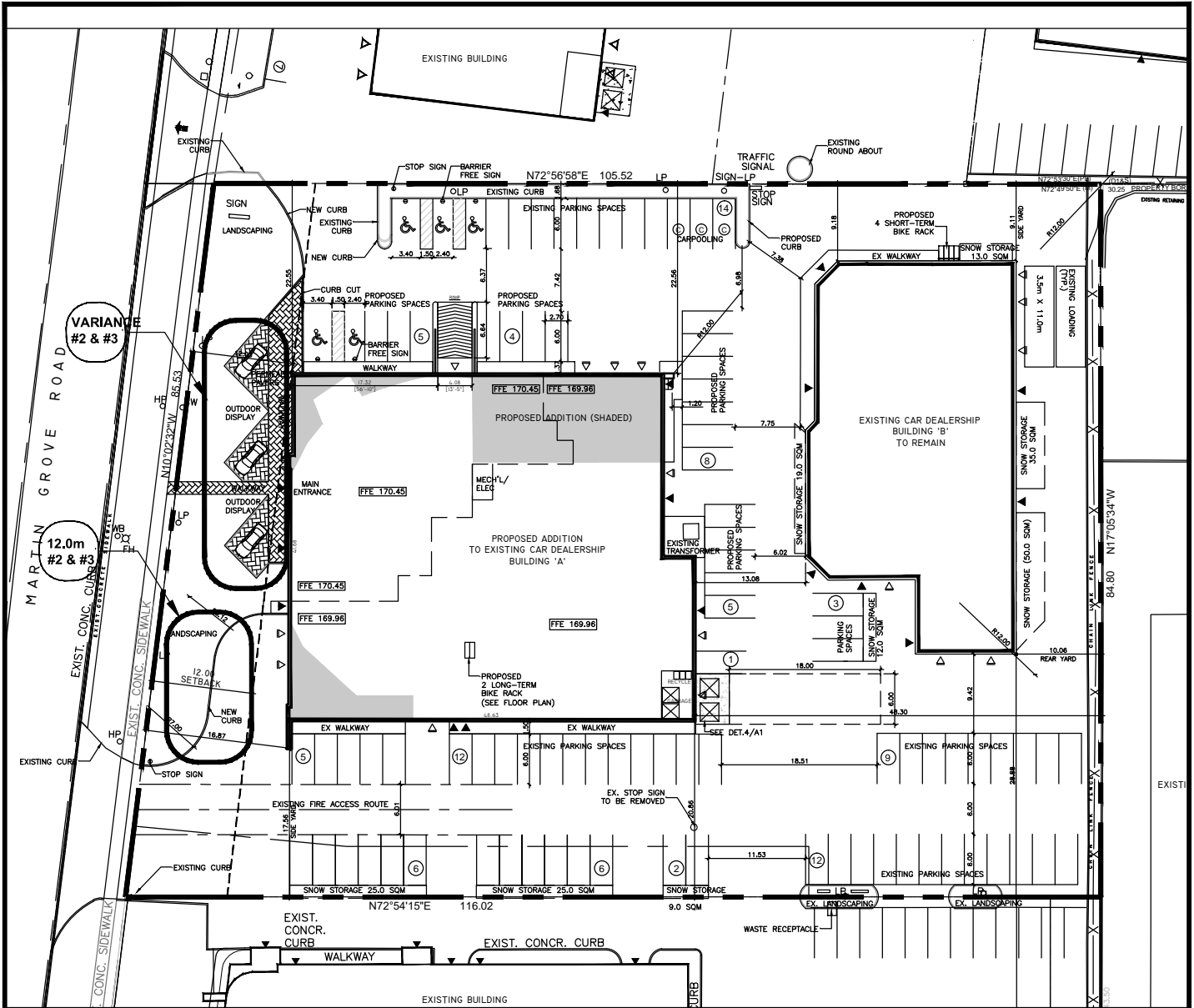
7685 Martin Grove Road, Woodbridge





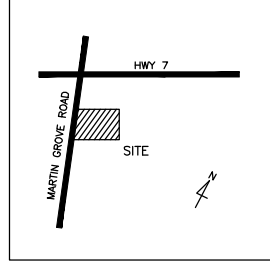
# PLANS PREPARED AND VARIANCES IDENTIFIED BY APPLICANT

# A152/23



**1**  
A1.0 **PROPOSED SITE PLAN**  
SCALE 1:750

SITE STATISTICS				PARKING		ALLOWED	PROVIDED
<b>ZONING:</b>	C2 GENERAL COMMERCIAL ZONE (BY LAW 1-88) GMU-405 GENERAL MIXED-USE ZONE (BY LAW 001-2021)			BY-LAW 1-2021 MOTOR VEHICLE SALES (@ 1.4/100 MIN. & @ 3/100 MAX.)		49 SPACES MIN. 104 SPACES MAX.	<b>92 SPACES</b>
<b>LOT AREA</b>	9,397.94 sm (2.32 ac)			(101-200 SPACES @ 1+ 3%)		BARRIER FREE 5 SPACES	5 SPACES
<b>LOT FRONTAGE</b>	84.88			<b>LOADING SPACES</b> 2,501 sm - 10,000 sm		2	2
<b>BUILDING COVERAGE :</b>				<b>BICYCLE PARKING SPACE</b>		ALLOWED	PROVIDED
<b>BUILDING "A"</b>				LONG-TERM (@ 0.05/100)		2	2
EXISTING 1,580 sm				SHORT-TERM (@ 0.1/100)		4	4
DEMO 21.58 sm				<b>SNOW STORAGE</b>		187.95sm	188.0sm
ADDITION 375.98 sm				2 % LOT AREA			
<b>TOTAL 1,934.40 sm ( 20,822 sf)</b>							
<b>BUILDING "B"</b>							
EXISTING 1,028.36 sm (11,069 sf)							
<b>TOTAL COVERAGE 2,962.76 sm (31,891 sf) 31.53 %</b>							
<b>BUILDING G.F.A. (BLDG A)</b>							
GROUND FLOOR 1,580 sm							
MEZZANINE (EXIST.) 95 sm							
SECOND FLOOR (EXIST.) 214 sm							
<b>BLDG A TOTAL G.F.A. 1,889 sm 21.58 sm 375.98 sm 2,243.40 sm (24,148 sf)</b>							
<b>BUILDING G.F.A. (BLDG B)</b>							
GROUND FLOOR (EXIST.) 1,028.36 sm							
SECOND FLOOR (EXIST.) 185 sm							
<b>BLDG B TOTAL G.F.A. 1,213.36 sm (13,060 sf)</b>							
<b>TOTAL G.F.A. ( BLDG A &amp; B) 3,102.36 sm ( 33,393.56 sf) 34.56 %</b>							
<b>SETBACKS:</b>				<b>ALLOWED (BY LAW 001-2021/1-88)</b>		<b>PROVIDED</b>	
FRONT 3.5 m /12.0 m				12.0 m (EX)		12.65m	
REAR 7.5 m /15.0 m				10.06 m (EX)		12.65m	
SIDE 3.0 m /6.0 m				9.11 m (EX)			
SIDE 3.0 m /6.0 m				17.56 m			
<b>LANDSCAPE</b>				ALLOWED 10 %		PROVIDED 1153.13 sm (12.27 %)	
<b>OUTDOOR DISPLAY AREA</b>				ALLOWED 35%		PROVIDED 84.76 sm (0.9 %)	
<b>BUILDING HEIGHT</b>				11.0 m		12.65m	

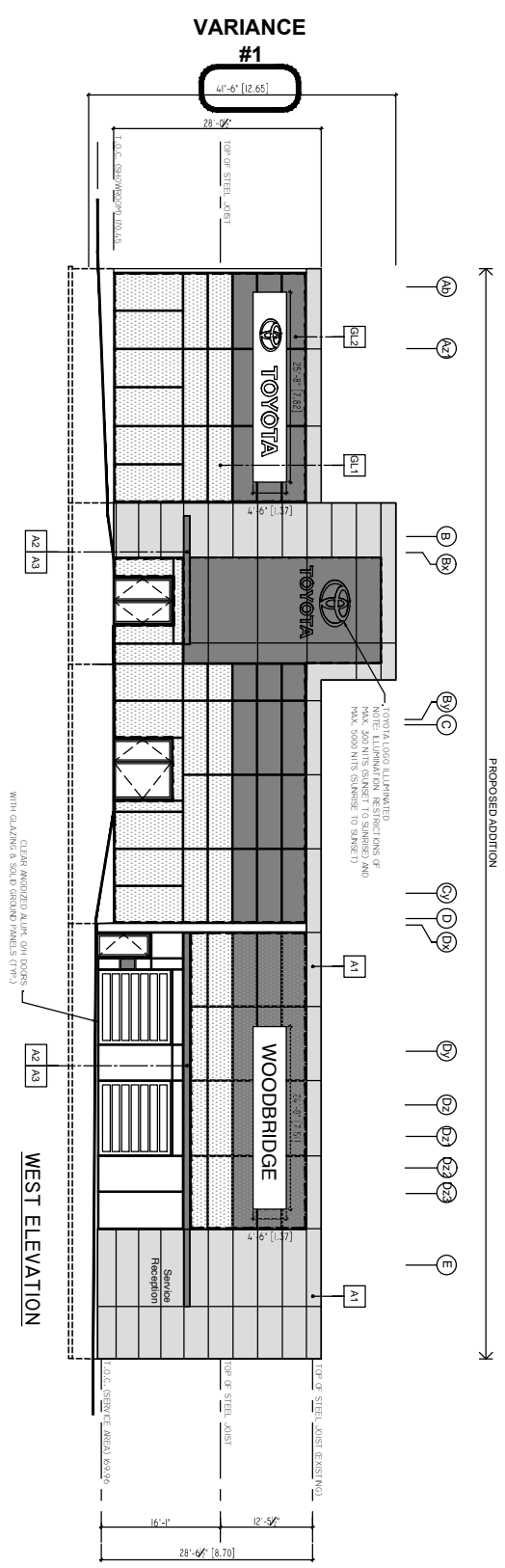
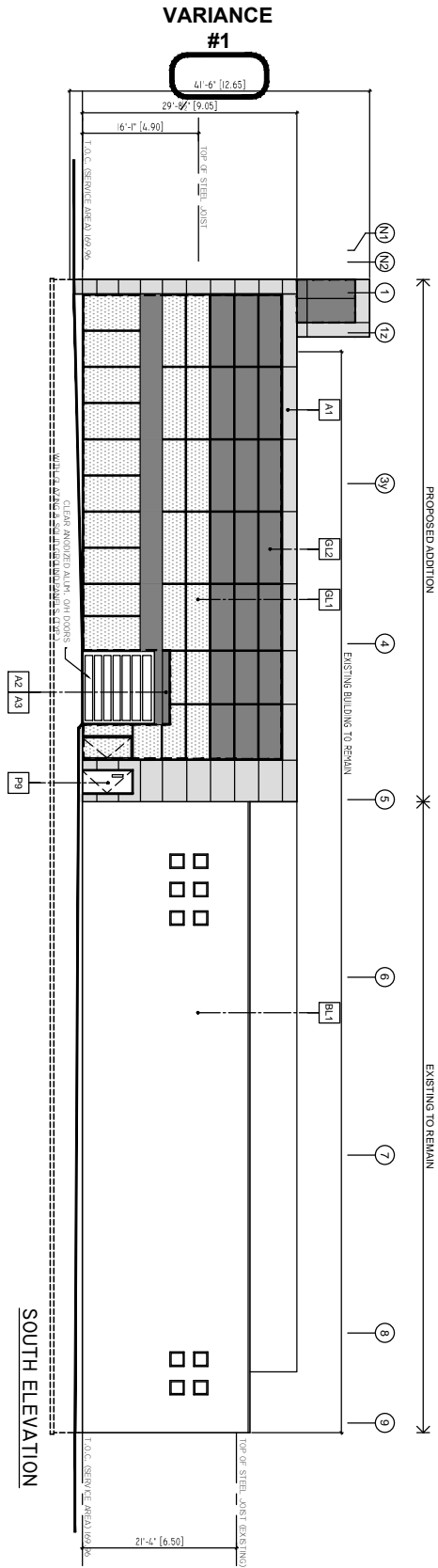


KEY PLAN  
N.T.S.

PROPOSED MINOR VARIANCE APPLICATION <b>7685 MARTIN GROVE RD.</b> VAUGHAN, ONTARIO	DRAWING NUMBER A1.0	SITE PLAN (MINOR VARIANCE APPLICATION) DA. 22.073	SCALE : 1: 750	NORTH ARROW 	<b>WES SURDYKA</b> architect inc 3645 KEELE STREET , 2nd FLOOR , STE 108 TORONTO ONTARIO M3J 1M6 TEL (416) 630-2254 FAX (416) 630-5741 E-mail: surdykaarchitect@bellnet.ca
	PROJECT NUMBER 22-10		OCT 02, 2023		

# PLANS PREPARED AND VARIANCES IDENTIFIED BY APPLICANT

**A152/23**



PROPOSED MINOR VARIANCE APPLICATION  
**7685 MARTIN GROVE RD.**  
 VAUGHAN, ONTARIO

DRAWING NUMBER  
 A2.0  
 PROJECT NUMBER  
 22-10

PROPOSED ELEVATIONS  
 (MINOR VARIANCE APPLICATION)  
 DA. 22.073

SCALE : 1: 300

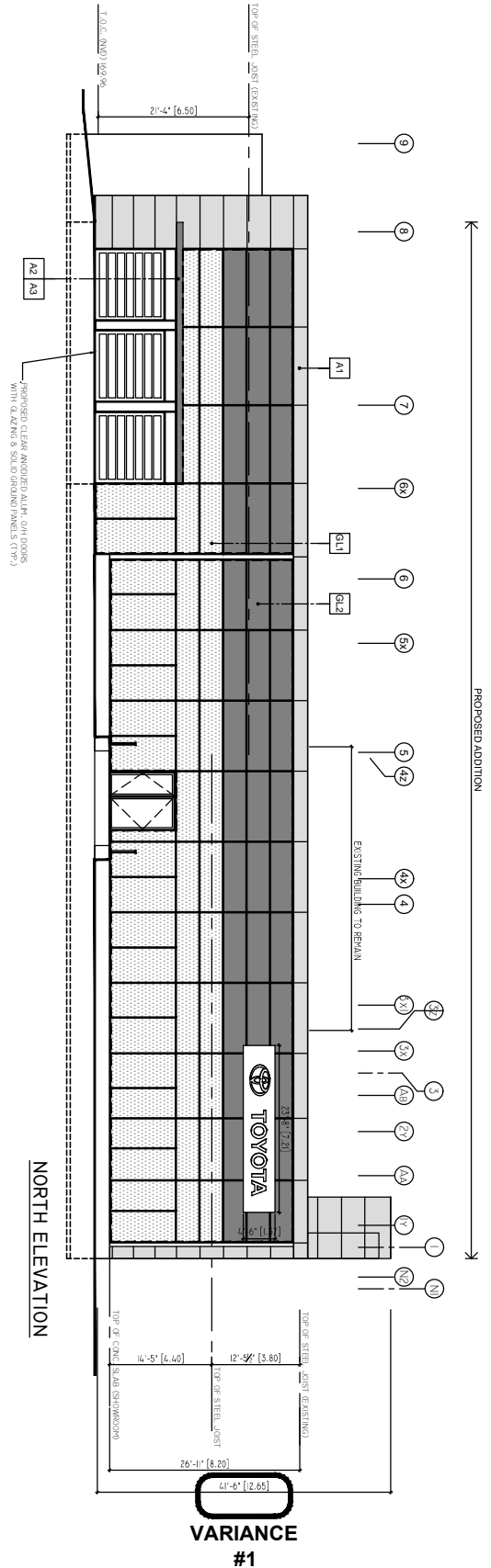
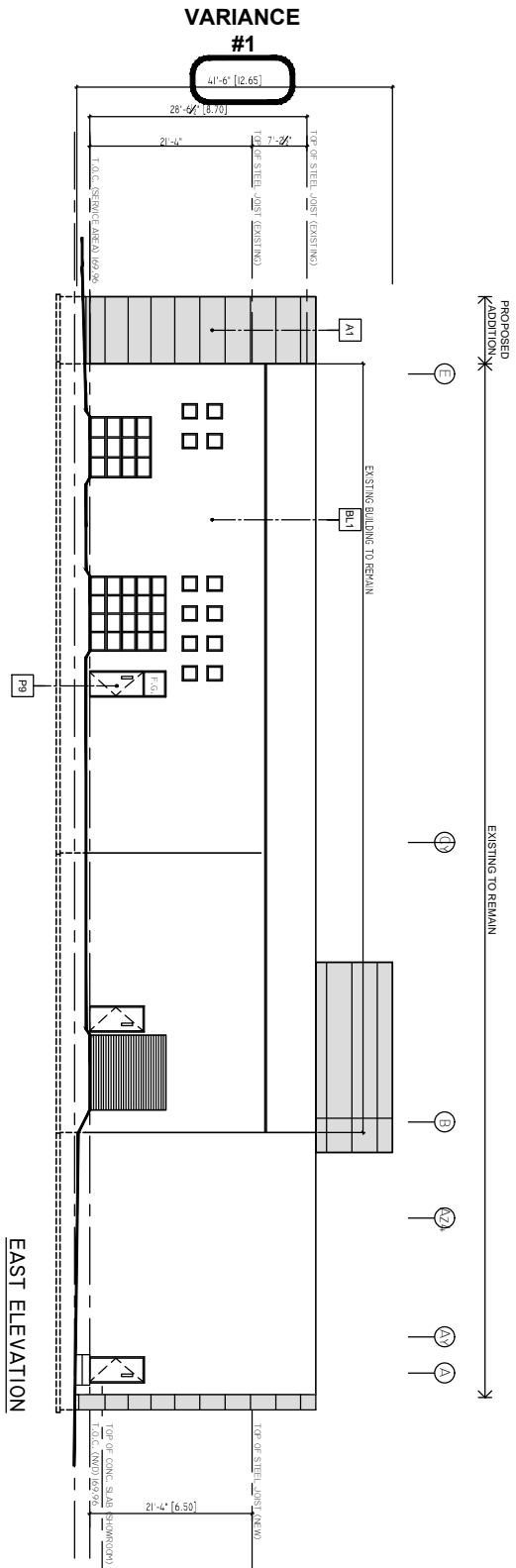
OCT. 02, 2023

**WES SURDYKA**  
*architect inc*

3645 KEELE STREET , 2nd FLOOR , STE 108  
 TORONTO ONTARIO M3J 1M6  
 TEL (416) 630-2254 FAX (416) 630-5741  
 E-mail: surdykaarchitect@bellnet.ca

# PLANS PREPARED AND VARIANCES IDENTIFIED BY APPLICANT

# A152/23



PROPOSED MINOR VARIANCE APPLICATION  
**7685 MARTIN GROVE RD.**  
 VAUGHAN, ONTARIO

DRAWING NUMBER  
 A2.1  
 PROJECT NUMBER  
 22-10

PROPOSED ELEVATIONS  
 (MINOR VARIANCE APPLICATION)  
 DA. 22.073

SCALE : 1: 300  
 OCT. 02, 2023

WES SURDYKA  
 architect inc

3645 KEELE STREET, 2nd FLOOR, STE 108  
 TORONTO ONTARIO M3J 1M6  
 TEL (416) 630-2254 FAX (416) 630-5741  
 E-mail: surdykaarchitect@bellnet.ca

## SCHEDULE B: STAFF & AGENCY COMMENTS

DEPT/AGENCY	Circulated	Comments Received	Conditions	Nature of Comments
TRCA	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	General Comments
Ministry of Transportation (MTO)	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Region of York	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	General Comments
Alectra	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	General Comments
Bell Canada	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	No Comments Received to Date
YRDSB	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
YCDSB	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
CN Rail	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
CP Rail	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
TransCanada Pipeline	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	No Comments Received to Date
Metrolinx	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Propane Operator	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Development Planning	<input checked="" type="checkbox"/>			Application under review.
Building Standards (Zoning)	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>		General Comments

**Date:** October 3<sup>rd</sup> 2023

**Attention:** **Christine Vigneault**

**RE:** Request for Comments

**File No.:** **A152-23**

**Related Files:**

**Applicant** Wes Surdyka Architect Inc.

**Location** 7685 Martin Grove Road



Discover the possibilities

### COMMENTS:

- We have reviewed the proposed Variance Application and have no comments or objections to its approval.
- We have reviewed the proposed Variance Application and have no objections to its approval, subject to the following comments (attached below).
- We have reviewed the proposed Variance Application and have the following concerns (attached below).

Alectra Utilities (formerly PowerStream) has received and reviewed the proposed Variance Application. This review, however, does not imply any approval of the project or plan.

All proposed billboards, signs, and other structures associated with the project or plan must maintain minimum clearances to the existing overhead or underground electrical distribution system as specified by the applicable standards, codes and acts referenced.

In the event that construction commences, and the clearance between any component of the work/structure and the adjacent existing overhead and underground electrical distribution system violates the Occupational Health and Safety Act, the customer will be responsible for 100% of the costs associated with Alectra making the work area safe. All construction work will be required to stop until the safe limits of approach can be established.

In the event construction is completed, and the clearance between the constructed structure and the adjacent existing overhead and underground electrical distribution system violates the any of applicable standards, acts or codes referenced, the customer will be responsible for 100% of Alectra's cost for any relocation work.

### References:

- Ontario Electrical Safety Code, latest edition (Clearance of Conductors from Buildings)
- Ontario Health and Safety Act, latest edition (Construction Protection)
- Ontario Building Code, latest edition (Clearance to Buildings)
- PowerStream (Construction Standard 03-1, 03-4), attached
- Canadian Standards Association, latest edition (Basic Clearances)

If more information is required, please contact either of the following:

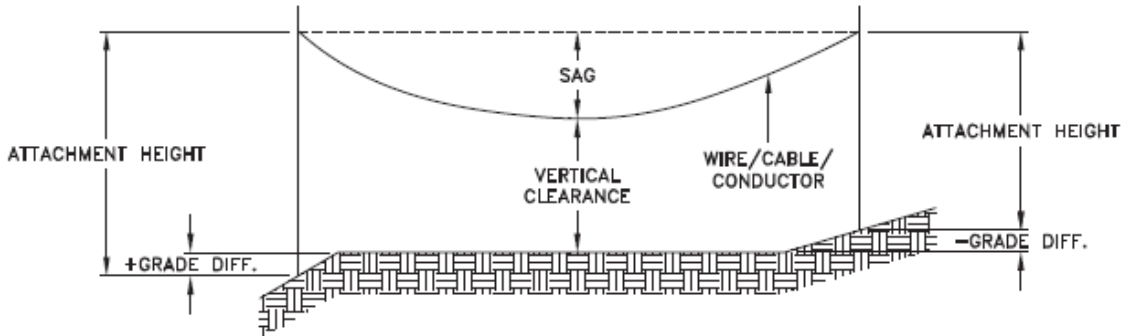
Mr. Stephen Cranley, C.E.T  
Supervisor, Distribution Design, ICI & Layouts (North)  
**Phone:** 1-877-963-6900 ext. 31297

**E-mail:** [stephen.cranley@alectrautilities.com](mailto:stephen.cranley@alectrautilities.com)

Mitchell Penner  
Supervisor, Distribution Design-Subdivisions  
**Phone:** 416-302-6215

**Email:** [Mitchell.Penner@alectrautilities.com](mailto:Mitchell.Penner@alectrautilities.com)

LOCATION OF WIRES, CABLES OR CONDUCTORS	SYSTEM VOLTAGE			
	SPAN GUYS AND COMMUNICATIONS WIRES	UP TO 600V AND NEUTRAL	4.16/2.4kV TO 27.6/16kV (SEE NOTE 1)	44kV
MINIMUM VERTICAL CLEARANCES (SEE NOTE 2)				
OVER OR ALONGSIDE ROADS, DRIVEWAYS OR LANDS ACCESSIBLE TO <u>VEHICLES</u>	442cm	442cm	480cm	520cm
OVER GROUND ACCESSIBLE TO <u>PEDESTRIANS AND BICYCLES ONLY</u>	250cm	310cm	340cm	370cm
ABOVE TOP OF RAIL AT <u>RAILWAY CROSSINGS</u>	730cm	730cm	760cm	810cm



MINIMUM ATTACHMENT HEIGHT = MAXIMUM SAG  
 + MINIMUM VERTICAL CLEARANCE (FROM ABOVE TABLE)  
 ± GRADE DIFFERENCE  
 + 0.3m (VEHICLE OR RAILWAY LOCATION)  
 + SNOW DEPTH (PEDESTRIAN LOCATION, SEE NOTE 3)

**NOTES:**

1. THE MULTIGROUNDED SYSTEM NEUTRAL HAS THE SAME CLEARANCE AS THE 600V SYSTEM.
2. THE VERTICAL CLEARANCES IN THE ABOVE TABLE ARE UNDER MAXIMUM SAG CONDITIONS.
3. REFER TO CSA STANDARD C22.3 No.1, ANNEX D FOR LOCAL SNOW DEPTH VALUES.
4. ALL CLEARANCES ARE IN ACCORDANCE TO CSA STANDARD C22.3.

**CONVERSION TABLE**

METRIC	IMPERIAL (APPROX)
810cm	27'-0"
760cm	25'-4"
730cm	24'-4"
520cm	17'-4"
480cm	16'-0"
442cm	15'-5"
370cm	12'-4"
340cm	11'-4"
310cm	10'-4"
250cm	8'-4"

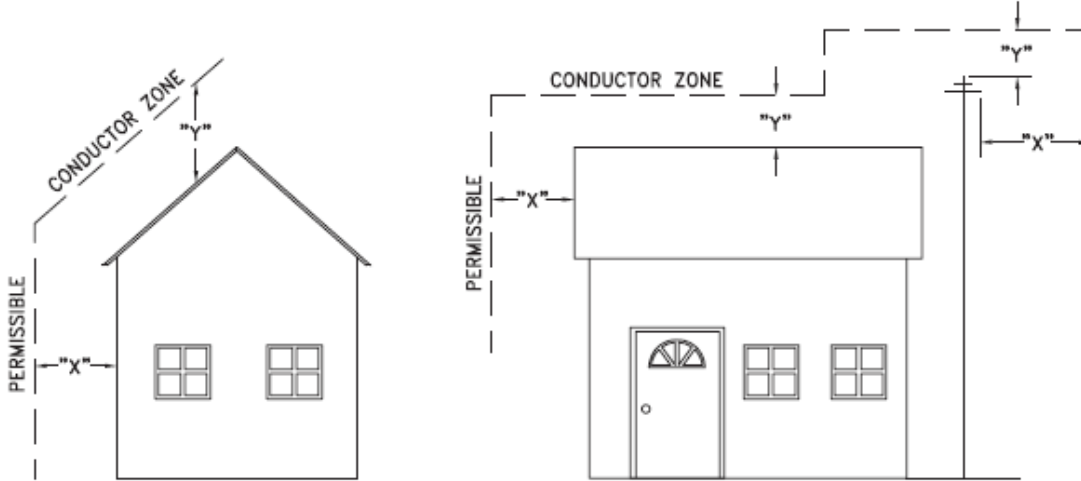
**REFERENCES**

SAGS AND TENSIONS | SECTION 02

**MINIMUM VERTICAL CLEARANCES OF WIRES, CABLES AND CONDUCTORS ABOVE GROUND OR RAILS**

ORIGINAL ISSUE DATE: 2010-DEC-24 REVISION NO: R1 REVISION DATE: 2012-JAN-09

Certificate of Approval	
This construction Standard meets the safety requirements of Section 4 of Regulation 22/04	
Joe Crozier, P.Eng.	2012-JAN-09
Name	Date
P.Eng. Approval By:	Joe Crozier



VOLTAGE	MINIMUM HORIZONTAL CLEARANCE UNDER MAXIMUM SWING CONDITIONS DIMENSION "X" (SEE NOTES 1, 3 & 4)	MINIMUM VERTICAL CLEARANCE UNDER MAXIMUM DESIGN SAG CONDITIONS DIMENSION "Y" (SEE NOTES 1, 2, 4 & 5)
0-600V AND NEUTRAL	100cm	250cm
4.16/2.4 TO 44kV	300cm	480cm

**NOTES**

1. UNDER NO CIRCUMSTANCES SHALL A CONDUCTOR BE PERMITTED TO PENETRATE THE ENVELOPE SHOWN BY THE DOTTED LINE.
2. THE VERTICAL CLEARANCES ARE UNDER CONDITIONS OF MAXIMUM DESIGN SAG.
3. THE HORIZONTAL CLEARANCES ARE UNDER CONDITIONS OF MAXIMUM SWING. WHERE THE CONDUCTOR SWING IS NOT KNOWN A HORIZONTAL CLEARANCE OF 480CM SHALL BE USED.
4. BUILDINGS THAT EXCEED 3 STOREYS OR 15M IN HEIGHT, THE MINIMUM HORIZONTAL CLEARANCE OF THE SECONDARY CONDUCTORS SHOULD BE INCREASED TO 300cm WHERE IT IS NECESSARY TO ALLOW FOR THE RAISING OF LADDERS BY LOCAL FIRE DEPARTMENTS.
5. IN SITUATIONS SUCH AS MULTI-LEVEL GARAGES, WHERE ROOFS ARE NORMALLY USED BY PERSONS AND VEHICLES, THE VERTICAL CLEARANCES OF POWERSTREAM STANDARD 03-1 SHALL APPLY.
6. DISTRIBUTION LINES CONSTRUCTED NEAR BUILDINGS SHALL BE BUILT TO AVOID OVERHANG WHEREVER POSSIBLE. WHERE LINES MUST BE CONSTRUCTED OVER OR ADJACENT TO BUILDINGS THE APPLICABLE HORIZONTAL AND VERTICAL CLEARANCES SHALL BE AT CONDITIONS OF MAXIMUM CONDUCTOR SWING AND MAXIMUM SAG. THE ABOVE CLEARANCES ARE DESIGNED TO PREVENT PERSONS ON OR IN BUILDINGS AS WELL AS EXTERNAL MACHINERY USED IN CONJUNCTION WITH A BUILDING TO COME IN CONTACT WITH CONDUCTORS. EFFORTS SHOULD BE MADE TO INCREASE THESE CLEARANCES WHERE POSSIBLE.
7. ALL CLEARANCES ARE IN ACCORDANCE TO CSA C22.3 NO.1-06 (TABLE-9).

METRIC	IMPERIAL (APPROX)
480cm	16'-0"
300cm	10'-0"
250cm	8'-4"
100cm	3'-4"

**MINIMUM VERTICAL & HORIZONTAL CLEARANCES OF CONDUCTORS FROM BUILDINGS OR OTHER PERMANENT STRUCTURES (CONDUCTORS NOT ATTACHED TO BUILDINGS)**

**Certificate of Approval**  
This construction Standard meets the safety requirements of Section 4 of Regulation 22/04  
Debbie Dadwani, P.Eng. 2010-MAY-05  
Name Date  
P. Eng. Approval By: *D. Dadwani*

ORIGINAL ISSUE DATE: 2010-MAY-05 REVISION NO: REVISION DATE:  
PS:\System Planning and Standards\Standard Design\PowerStream Standards\PowerStream Standards working files\Section 3-1-02\WG 03-4 R0 May 5, 2010.dwg, 5/5/2010 10:22:02 AM, Adobe PDF



**To:** Committee of Adjustment  
**From:** Lindsay Haviland, Building Standards Department  
**Date:** September 27, 2023  
**Applicant:** Wes Surdyka Architect Inc.  
**Location:** PLAN 65M2464 Lot 3 municipally known as 7685 Martin Grove Road  
**File No.(s):** A152/23

**Zoning Classification:**

The subject lands are zoned GMU – General Mixed-Use Zone and subject to the provisions of Exception 14.405 under Zoning By-law 001-2021, as amended.

#	Zoning By-law 01-2021	Variance requested
1	A maximum height of 11.0 metres is required [Table 8-3].	To permit a maximum height of 12.65 metres for building A.
2	A landscape strip with a minimum width of 12.0 metres shall be provided along the lot line which abuts Martin Grove Road [Exception 14.405.2.1].	To permit the outdoor display of three vehicles to be located within the required landscape strip of 12.0 metres.
3	The outdoor storage or outdoor display of motor vehicles shall only be located in the southerly interior side yard [Exception 14.405.2.2].	To permit the outdoor display of three vehicles to be located within the westerly front yard.

**Staff Comments:**

**Stop Work Order(s) and Order(s) to Comply:**

There are no outstanding Orders on file

**Building Permit(s) Issued:**

Building Permit No. 02-007149 for Single Use (Industrial) - Addition, Issue Date: May 14, 2003  
 Building Permit No. 02-007149 for Single Use (Industrial) - Alteration, Issue Date: Apr 03, 2007

**Other Comments:**

General Comments	
1	The applicant shall be advised that additional variances may be required upon review of detailed drawing for building permit/site plan approval.
2	The maximum height of the building was measured in accordance with the definition of Height from Section 3.0 of bylaw 001-2021.

**Conditions of Approval:**

If the committee finds merit in the application, the following conditions of approval are recommended.

\* Comments are based on the review of documentation supplied with this application.

## Prabhdeep Kaur

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**From:** Kristen Regier <Kristen.Regier@trca.ca>  
**Sent:** Friday, October 6, 2023 11:18 AM  
**To:** Committee of Adjustment  
**Cc:** Pravina Attwala; Christine Vigneault  
**Subject:** [External] RE: A152/23 (7685 MARTIN GROVE ROAD) - REQUEST FOR COMMENTS

Hello,

The subject property at 7685 Martin Grove Road, Vaughan is not located within TRCA's Regulated Area. TRCA's Planning and Regulatory policy interests are not impacted.

As such, TRCA has no comments on the application.

Best,

**Kristen Regier, MA (she / her)**

Planner I

Development Planning and Permits | Development and Engineering Services

Toronto and Region Conservation Authority (TRCA)

T: [437-880-2129](tel:437-880-2129)

E: [kristen.regier@trca.ca](mailto:kristen.regier@trca.ca)

A: [101 Exchange Avenue, Vaughan, ON, L4K 5R6](https://www.trca.ca) | [trca.ca](https://www.trca.ca)



**From:** [Development Services](#)  
**To:** [Pravina Attwala](#)  
**Cc:** [Committee of Adjustment](#)  
**Subject:** [External] RE: A152/23 (7685 MARTIN GROVE ROAD) - REQUEST FOR COMMENTS  
**Date:** Tuesday, November 7, 2023 2:02:50 PM  
**Attachments:** [image002.png](#)  
[image004.png](#)

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Hi Pravina,

The Regional Municipality of York has completed its review of the minor variance application – A152/23 (7685 Martin Grove Road) and has no comment.

Please provide us with a copy of the notice of decision for our records.

Many thanks,

*Our working hours may be different. Please do not feel obligated to reply outside of your scheduled working hours. Let's work together to help foster healthy work-life boundaries.*

**Niranjan Rajevan, M.Pl.** | Associate Planner, Development Services, Planning and Economic Development, Corporate Services

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The Regional Municipality of York | 17250 Yonge Street | Newmarket, ON L3Y 6Z1  
1-877-464-9675 ext. 71521 | [niranjan.rajevan@york.ca](mailto:niranjan.rajevan@york.ca) | [www.york.ca](http://www.york.ca)

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**SCHEDULE C: PUBLIC & APPLICANT CORRESPONDENCE**

None