

ITEM: 6.5	COMMITTEE OF ADJUSTMENT REPORT SUMMARY MINOR VARIANCE APPLICATION FILE NUMBER A143/23 11260 JANE ST, VAUGHAN
------------------	---

**THIS REPORT CONTAINS COMMENTS FROM THE FOLLOWING
DEPARTMENTS & AGENCIES:**

*Please see **Schedule B** of this report for a copy of Development Planning and Agency correspondence.

Additional comments from departments and agencies may be received after the publication of the Staff Report. These comments will be processed as an addendum and posted on the City's Website.

DEPARTMENTS	Circulated	Comments Received	Conditions	Nature of Comments
Committee of Adjustment	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	General Comments
Building Standards (Zoning Review)	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	General Comments
Building Inspection (Septic)	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	No Comments Received to Date
Development Planning	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	Recommend Adjournment
Development Engineering	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	Recommend Approval/No Conditions
Parks, Forestry and Horticulture Operations	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	General Comments
By-law & Compliance, Licensing & Permits	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	No Comments Received to Date
Development Finance	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	General Comments
Real Estate	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Fire Department	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	No Comments Received to Date
AGENCIES	Circulated	Comments Received	Conditions	Nature of Comments
TRCA	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	Recommend Adjournment
Ministry of Transportation (MTO)	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Region of York	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	General Comments
Alectra	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	General Comments
Bell Canada	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	No Comments Received to Date
YRDSB	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
YCDSB	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
CN Rail	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
CP Rail	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
TransCanada Pipeline	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	General Comments
Metrolinx	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Propane Operator	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	

PUBLIC & APPLICANT CORRESPONDENCE

*Please see **Schedule C** of this report for a copy of the public & applicant correspondence listed below.

The deadline to submit public comments is **noon on the last business day prior to the scheduled hearing date.**

Comments and written public submissions received after the publication of this Staff Report will be processed as an addendum and posted on the City's Website.

All personal information collected because of this public meeting (including both written and oral submissions) is collected under the authority of the Municipal Act, the Municipal Freedom of Information and Protection of Privacy Act (MFIPPA), the Planning Act and all other relevant legislation, and will be used to assist in deciding on this matter. All personal information (as defined by MFIPPA), including (but not limited to) names, addresses, opinions and comments collected will become property of the City of Vaughan, will be made available for public disclosure (including being posted on the internet) and will be used to assist the Committee of Adjustment and staff to process this application.

Correspondence Type	Name	Address	Date Received (mm/dd/yyyy)	Summary
Applicant			08/18/23	Application Cover Letter

PREVIOUS COA DECISIONS ON THE SUBJECT LAND

*Please see **Schedule D** for a copy of the Decisions listed below

File Number	Date of Decision MM/DD/YYYY	Decision Outcome
-------------	--------------------------------	------------------

PREVIOUS COA DECISIONS ON THE SUBJECT LAND

*Please see **Schedule D** for a copy of the Decisions listed below

B006/22	07/07/2022	Consent (Lot Addition); Approved COA
---------	------------	--------------------------------------

ADJOURNMENT HISTORY

* Previous hearing dates where this application was adjourned by the Committee and public notice issued.

None	
------	--



**COMMITTEE OF ADJUSTMENT REPORT
MINOR VARIANCE APPLICATION
A143/23
11260 JANE ST, VAUGHAN**

ITEM NUMBER: 6.5	CITY WARD #: 1
APPLICANT:	Jane Street Nominee Inc.
AGENT:	KLM Planning Partners Inc.
PROPERTY:	11260 Jane Street, Vaughan
ZONING DESIGNATION:	See below.
VAUGHAN OFFICIAL PLAN (2010) DESIGNATION:	City of Vaughan Official Plan 2010 ('VOP 2010'): "Prestige Employment" and "General Employment" in Section 11.4 Highway 400 North Employment Lands Secondary Plan
RELATED DEVELOPMENT APPLICATIONS:	DA.23.011 and DA.23.012
PURPOSE OF APPLICATION:	Relief from the Zoning By-law is being requested to permit reduced parking requirements devoted to employment use to facilitate the construction of two proposed buildings, to be used for industrial and warehouse uses. Relief is also required to facilitate related Site Plan Applications DA.23.011 and DA.23.012.

The following variances are being requested from the City's Zoning By-law to accommodate the above proposal:

The subject lands are zoned **FD – Future Development Zone** under **Zoning By-law 001-2021**, as amended.

#	Zoning By-law 01-2021	Variance requested
1	This application is subject to a Minister's Zoning Order under bylaw 1-88 as amended, and therefore bylaw 001-2021 does not apply to the subject lands.	

The subject lands are zoned **A – Agricultural Zone** and subject to the provisions of **O.Reg 156/22** under **Zoning By-law 1-88**, as amended.

#	Zoning By-law 1-88	Variance requested
1	A minimum of 1.5 parking spaces per 100 m ² of gross floor area devoted to the employment use plus 2.0 parking spaces per 100 m ² devoted to ancillary office use is required [Section 3.8 a)].	<p>To permit a minimum of 0.5 parking spaces per 100 m² of gross floor area devoted to a Warehouse use, 1.0 parking spaces per 100 m² for an Employment Use, plus 2.0 parking spaces per 100 m² devoted to ancillary office use.</p> <p>To permit a minimum of 0.5 parking spaces per 100 m² of gross floor area devoted to a Warehouse use, 1.0 parking spaces per 100 m² for an Employment Use, plus 3.0 parking spaces per 100 m² devoted to ancillary office use.</p> <p>*Variance updated as per Zoning Review comments dated November 8, 2023. Parking rate increased per 100m² devoted to ancillary office use.</p>

HEARING INFORMATION

DATE OF MEETING: Thursday, November 16, 2023
TIME: 6:00 p.m.
MEETING LOCATION: Vaughan City Hall, Woodbridge Room (2nd Floor), 2141 Major Mackenzie Drive
LIVE STREAM LINK: Vaughan.ca/LiveCouncil

PUBLIC PARTICIPATION

If you would like to speak to the Committee of Adjustment at the meeting, either remotely or in person, please complete the [Request to Speak Form](#) and submit to cofa@vaughan.ca

If you would like to submit written comments, please quote file number above and submit by mail or email to:

Email: cofa@vaughan.ca

Mail: City of Vaughan, Office of the City Clerk, Committee of Adjustment, 2141 Major Mackenzie Drive, Vaughan, ON, L6A 1T1

To speak electronically, pre-registration is required by completing the [Request to Speak Form](#) on-line and submitting it to cofa@vaughan.ca no later than NOON on the last business day before the meeting.

THE DEADLINE TO REGISTER TO SPEAK ELECTRONICALLY OR SUBMIT WRITTEN COMMENTS ON THE ABOVE NOTED FILE(S) IS NOON ON THE LAST BUSINESS DAY BEFORE THE MEETING.

INTRODUCTION

Staff and Agencies act as advisory bodies to the Committee of Adjustment. The comments contained in this report are presented as recommendations to the Committee.

Section 45(1) of the Planning Act sets the criteria for authorizing minor variances to the City of Vaughan’s Zoning By-law. Accordingly, review of the application may consider the following:

- That the general intent and purpose of the by-law will be maintained.
- That the general intent and purpose of the official plan will be maintained.
- That the requested variance(s) is/are acceptable for the appropriate development of the subject lands.
- That the requested variance(s) is/are minor in nature.

Public written and oral submissions relating to this application are taken into consideration by the Committee of Adjustment as part of its deliberations and final decision on this matter.

COMMITTEE OF ADJUSTMENT COMMENTS

Date Public Notice Mailed:	November 2, 2023
Date Applicant Confirmed Posting of Sign:	October 23, 2023
1 Applicant Justification for Variances: <small>*As provided by Applicant in Application Form</small>	Proposed reduction to parking rate requirement.
Adjournment Requests (from staff): <small>*Adjournment requests provided to applicant prior to issuance of public notice</small>	<p>October 30, 2023, Development Planning provided:</p> <p>I wanted to follow up on the below request for an updated cover letter including additional rationale for the parking reduction. As previously mentioned, Development Planning acknowledges that a TIS was provided, which will be reviewed by our Development Transportation Engineering staff, however, I kindly ask that you please provide additional rationale as it relates to why the proposed parking reduction is appropriate. Please note that Development Planning will require this rationale for our review. I kindly ask that you please provide this at your earliest convenience.</p> <p>On October 31, 2023, Committee of Adjustment staff provided:</p> <p>I see that cofa@vaughan.ca was not included in the circulation, therefore the updates were not processed by staff in our office.</p>

COMMITTEE OF ADJUSTMENT COMMENTS

We will require adjournment to permit time for zoning staff to review the revised submission materials for the next available meeting which is December 7.

Should you wish to proceed to the November 16 hearing, the applicant would need to assume responsibility in identifying the updated variances by completing the attached Zoning Review Waiver (all variances must be included). Should you wish to proceed this route, your original zoning comments (COMBLDG) have been attached to assist you with completing the waiver.

On November 1, the applicant provided a Zoning Review Waiver identifying required variances to proceed to the November 16 hearing.

On November 1, Building Standards submitted revised zoning comments based on the updated submission, confirming the required variances were consistent with the ZRW provided.

On November 2, Development Planning provided the following:

Given that the TRCA still has a number of concerns tied to the Site Development Application and that the variances may change as a result of making site plan adjustments to address these concerns, Development Planning is recommending adjournment of the above noted Minor Variance Application.

Please note that while the parking variance is a function of matching the latest by-law, the Committee of Adjustment's decision is tied to a site design. Given that the TRCA still has a number of concerns tied to the Site Development Application and that the variances may change as a result of making site plan adjustments to address these concerns, Development Planning is recommending adjournment of the above noted Minor Variance Application.

On November 8, 2023, the applicant submitted a revised proposal to to increase the ancillary office parking rate to 3.0 parking spaces/100m2.

On November 8, 2023, Building Standards reviewed the revised submission and updated the variance to increase the ancillary office parking rate to 3.0 parking spaces/100m2.

<p>Was a Zoning Review Waiver (ZRW) Form submitted by Applicant:</p> <p>*ZRW Form may be used by applicant in instances where a revised submission is made, and zoning staff do not have an opportunity to review and confirm variances prior to the issuance of public notice.</p> <p>*A revised submission may be required to address staff / agency comments received as part of the application review process.</p> <p>*Where a zoning review has not been completed on a revised submission, an opportunity is provided to the applicant to adjourn the proposal prior to the issuance of public notice.</p>	<p>Yes (Building Standards has reviewed the ZRW and confirmed required variances)</p>
--	--

Adjournment Fees:
 In accordance with Procedural By-law 069-2019, an Adjournment Fee is applicable to reschedule an application after the issuance of public notice where a request for adjournment has been provided to the applicant prior to the issuance of public notice.

An Adjournment Fee can only be waived in instances where adjournment of an application is requested by the Committee or staff **after** the issuance of public notice.

<p>Committee of Adjustment Comments:</p>	<p>Should the application require adjournment from the November 16, 2023, Committee of Adjustment hearing, an Adjournment Fee is required to reschedule the application.</p>
---	--

COMMITTEE OF ADJUSTMENT COMMENTS

Committee of Adjustment Recommended Conditions of Approval:	None
--	------

BUILDING STANDARDS (ZONING) COMMENTS

**See Schedule B for Building Standards (Zoning) Comments

Building Standards Recommended Conditions of Approval:	None
---	------

DEVELOPMENT PLANNING COMMENTS

**See Schedule B for Development Planning Comments.

Development Planning Recommended Conditions of Approval:	
---	--

DEVELOPMENT ENGINEERING COMMENTS

[Link to Grading Permit](#) [Link to Pool Permit](#) [Link to Curb Curt Permit](#) [Link Culvert Installation](#)

Development Engineering does not object to Minor Variance Application A143/23

Development Engineering Recommended Conditions of Approval:	None
--	------

PARKS, FORESTRY & HORTICULTURE (PFH) COMMENTS

Forestry has no comment at this time.

PFH Recommended Conditions of Approval:	None
--	------

DEVELOPMENT FINANCE COMMENTS

No comment no concerns.

Development Finance Recommended Conditions of Approval:	None
--	------

BY-LAW AND COMPLIANCE, LICENSING AND PERMIT SERVICES COMMENTS

No Comments Received to Date.

BCLPS Recommended Conditions of Approval:	None
--	------

BUILDING INSPECTION (SEPTIC) COMMENTS

No Comments Received to Date.

Building Inspection Recommended Conditions of Approval:	None
--	------

FIRE DEPARTMENT COMMENTS

No Comments Received to Date.

Fire Department Recommended Conditions of Approval:	None
--	------

SCHEDULES TO STAFF REPORT

*See Schedule for list of correspondence

Schedule A	Drawings & Plans Submitted with the Application
Schedule B	Staff & Agency Comments
Schedule C (if required)	Correspondence (Received from Public & Applicant)
Schedule D (if required)	Previous COA Decisions on the Subject Land

Should the Committee find it appropriate to approve this application in accordance with request and the sketch submitted with the application, as required by Ontario Regulation 200/96, the following conditions have been recommended:

SUMMARY OF RECOMMENDED CONDITIONS OF APPROVAL

All conditions of approval, unless otherwise stated, are considered to be incorporated into the approval “**if required**”. If a condition is no longer required after an approval is final and binding, the condition may be waived by the respective department or agency requesting conditional approval. A condition cannot be waived without written consent from the respective department or agency.

#	DEPARTMENT / AGENCY	CONDITION(S) DESCRIPTION
	None	

IMPORTANT INFORMATION – PLEASE READ

CONDITIONS: It is the responsibility of the owner/applicant and/or authorized agent to obtain and provide a clearance letter from respective department and/or agency (**see condition chart above for contact**). This letter must be provided to the Secretary-Treasurer to be finalized. All conditions must be cleared prior to the issuance of a Building Permit.

APPROVALS: Making any changes to your proposal after a decision has been made may impact the validity of the Committee’s decision.

An approval obtained from the Committee of Adjustment, where applicable, is tied to the building envelope shown on the plans and drawings submitted with the application and subject to the variance approval.

A building envelope is defined by the setbacks of the buildings and/or structures shown on the plans and drawings submitted with the application, as required by Ontario Regulation 200/96. Future development outside of an approved building envelope, where a minor variance was obtained, must comply with the provisions of the City’s Zoning By-law.

Elevation drawings are provided to reflect the style of roof (i.e. flat, mansard, gable etc.) to which a building height variance has been applied. Where a height variance is approved, building height is applied to the style of roof (as defined in the City’s Zoning By-law) shown on the elevation plans submitted with the application.

Architectural design features that are not regulated by the City’s Zoning By-law are not to be considered part of an approval unless specified in the Committee’s decision.

DEVELOPMENT CHARGES: That the payment of the Regional Development Charge, if required, is payable to the City of Vaughan before issuance of a building permit in accordance with the Development Charges Act and the Regional Development Charges By-law in effect at the time of payment.

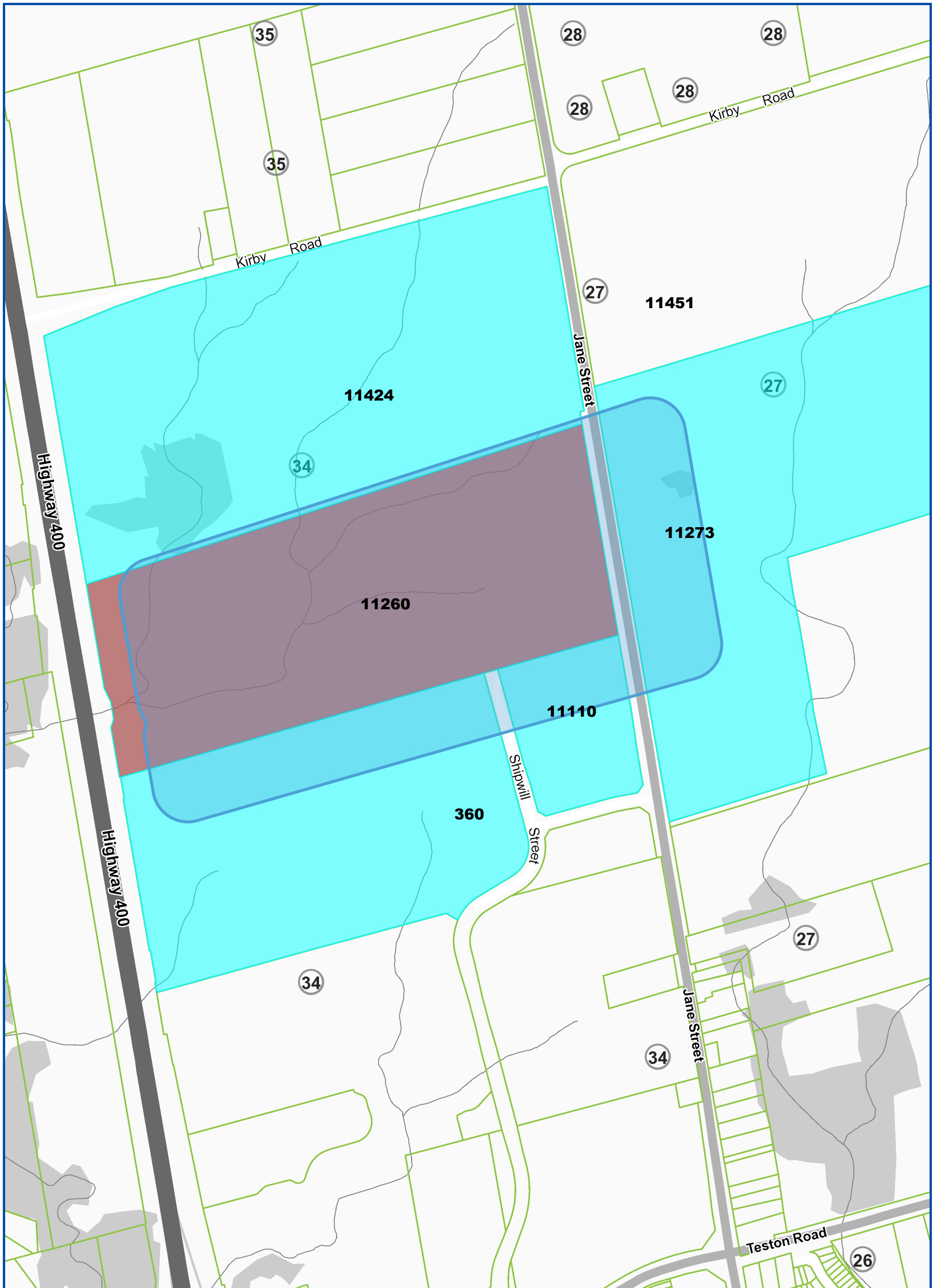
That the payment of the City Development Charge, if required, is payable to the City of Vaughan before issuance of a building permit in accordance with the Development Charges Act and the City’s Development Charges By-law in effect at the time of payment.

That the payment of the Education Development Charge if required, is payable to the City of Vaughan before issuance of a building permit in accordance with the Development Charges Act and the Boards of Education By-laws in effect at the time of payment

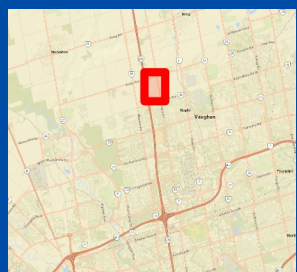
That the payment of Special Area Development charge, if required, is payable to the City of Vaughan before issuance of a building permit in accordance with the Development Charges Act and The City’s Development Charge By-law in effect at the time of Building permit issuance to the satisfaction of the Reserves/Capital Department.

NOTICE OF DECISION: If you wish to be notified of the decision in respect to this application or a related Ontario Land Tribunal (OLT) hearing you must complete a Request for Decision form and submit to the Secretary Treasurer (ask staff for details). In the absence of a written request to be notified of the Committee’s decision you will **not** receive notice.

SCHEDULE A: DRAWINGS & PLANS



Map Information:



Title: **11260 JANE STREET, MAPLE**

NOTIFICATION MAP - A143/23

Disclaimer:

Every reasonable effort has been made to ensure that the information appearing on this map is accurate and current. We believe the information to be reliable, however the City of Vaughan assumes no responsibility or liability due to errors or omissions. Please report any discrepancies to Infrastructure Programming.



Scale: **1:9,028**

0 0.14 km



Created By:
Infrastructure Delivery
Department
September 1, 2023 3:09 PM

Projection:
NAD 83
UTM Zone
17N

OVERALL SITE STATISTICS	IMPERIAL	METRIC
BLOCK 1		
PROJECT SITE AREA - BUILDING 1	22.49 Ac (979,986 ft ²)	9.10 Ha (91,043 m ²)
LOT COVERAGE -	52.03 %	52.03 %
LANDSCAPE AREA (MIN. 5%)	15.1 %	15.1 %
SNOW STORAGE AREA (MIN2%)	19827 ft ²	1842m ²
BLOCK 2		
PROJECT SITE AREA - BUILDING 2	46.87 Ac (2,041,962ft ²)	18.97 Ha (189,706 m ²)
LOT COVERAGE -	48.12 %	48.12 %
LANDSCAPE AREA (MIN. 5%)	12.7 %	12.7 %
SNOW STORAGE AREA (MIN2%)	41646 ft ²	3869 m ²
OVERALL BUILDING STATISTICS		
BUILDING 1		
SPECULATIVE WAREHOUSE GFA (47%)	239680	22,267
SPECULATIVE MANUFACTURING (50%)	254976	23,688
SPECULATIVE ANCILLARY OFFICE GFA (3%)	15295	1,421
TOTAL GFA	509,951	47,376
MAX. BUILDING HEIGHT	x	x
BUILDING 2		
SPECULATIVE WAREHOUSE GFA (47%)	464657	43,168
SPECULATIVE MANUFACTURING (50%)	494311	45,923
SPECULATIVE ANCILLARY OFFICE GFA (3%)	29655	2,755
SPECULATIVE TOTAL GFA	988,623	91,846
MAX. BUILDING HEIGHT	x	x

OVERALL PARKING STATISTICS	Bldg Area (m ²)	Stalls required	Stalls provided
Parking Rate: Based on the City of Vaughan by-law Warehousing and Distribution facility, Zoning By-law No. 001-2021.			
0.50 stall / 100m ²			
Manufacturing or processing Facility, Zoning By-law No. 001-2021.			
1.00 stall / 100m ²			
Ancillary Office-Warehouse/Industrial (Both) Zoning By-law No. 001-2021.			
3.00 stalls / 100m ² (Ancillary Office Use)			
NOTE BUILDINGS ARE A SPECULATIVE DESIGN BUT ASSUME THE BELOW			
BUILDING 1			
SPECULATIVE WAREHOUSE GFA (47%)	22,267	114	114
SPECULATIVE MANUFACTURING (50%)	23,688	232	232
SPECULATIVE ANCILLARY OFFICE GFA (3%)	1,421	43	43
TOTAL GFA	47,376	389	389
BUILDING 2			
SPECULATIVE WAREHOUSE GFA(47%)	43,168	219	219
SPECULATIVE MANUFACTURING(50%)	45,923	447	447
SPECULATIVE ANCILLARY OFFICE GFA(3%)	2,755	82	82
TOTAL GFA	91,846	748	784
ACCESSIBLE PARKING SPACES REQ'T'S			
Per number of parking required for 201-1000 spaces Rate of 2 spaces + 2% of total required parking.			
BUILDING 1		10	10
BUILDING 2		18	18

ZONING & OTHER GENERAL INFORMATION		
CURRENT USE -	VACANT LAND	
PROPOSED USE -	BLOCK 1 - EMPLOYMENT ZONE 1 (EM1) BLOCK 2 - EMPLOYMENT ZONE 2 (EM2)	
BUILDING SETBACKS (CITY OF VAUGHAN)		
EM1 - FRONT YARD ABUTTING ARTERIAL STREET (JANE ST.)		32.44m
- INTERIOR SIDE YARD (ALONG TRANS CANADA PIPELINE)		23.13m
- INTERIOR SIDE YARD (SOUTH)		24.72m
- REAR YARD (ALONG SHIPWILL STREET)		65.63m
EM2 - FRONT YARD (ALONG SHIPWILL STREET)		45.32m
- INTERIOR SIDE YARD (SOUTH LOT LINE)		53.72m
- INTERIOR SIDE YARD (ALONG TRANS CANADA PIPELINE)		46.64m
- REAR YARD (WEST PROPERTY LINE)		46.24m
LANDSCAPE BUFFER REQUIREMENTS		
EM1 - FRONT LANDSCAPE ABUTTING ARTERIAL ROAD (ALONG JANE ST.)		9.0m
- REAR LANDSCAPE ABUTTING STREET (ALONG SHIPWILL STREET)		3.0m
- SETBACK ALONG TRANS CANADA PIPELINE		7.5m
EM2 - FRONT LANDSCAPE (ALONG SHIPWILL STREET)		2.5m
- SETBACK ALONG TRANS CANADA PIPELINE		7.5m

SITE PLAN LEGEND

⬠ FH	FIRE HYDRANT	⬠ (SC)SIAMESE CONNECTION
⬠ MH	SANITARY MANHOLE	⬠ PROPOSED HYDRO TRANSFORMER
⬠ SMH	STORM MANHOLE	⬠ HYDRO POLE
⬠ BFP	BACK FLOW PREVENTER & CHAMBER	⬠ LIGHT STANDARDS
⬠ CB	CATCH BASIN	⬠ LIGHT FIXTURE (REF. TO ELECT.)
⬠ CBM	CATCH BASIN MANHOLE	⬠ CURB CUT & RIVERSTONE ROCK SPILLWAY
⬠ DCB	DOUBLE CATCH BASIN	⬠ BARRIER FREE CURB RAMP
⬠ HC	BARRIER FREE PARKING SIGN	⬠ ROAD CROSSING STRIPPING
⬠ PAB	PAINTED ACCESSIBILITY BARRIER FREE SYMBOL	⬠ PROPERTY LINE
⬠ MBE	MAIN BUILDING ENTRANCE BARRIER FREE ENTRANCE	⬠ CONCRETE PAVING
⬠ AED	ACCESS/EXIT DOOR	⬠ HEAVY DUTY ASPHALT
⬠ PE	PRINCIPAL ENTRANCE	⬠ LIGHT DUTY ASPHALT
⬠ SSA	SNOW STORAGE AREA	⬠ FIRE ROUTE
		⬠ MARKED PEDESTRIAN CROSSING, AS PER CITY'S GUIDELINES

BICYCLE PARKING

Per City's Comprehensive Zoning By-Law, 26 long-term and 49 short-term bicycle parking spaces are required

	LONG TERM (COVERED)	SHORT TERM
BUILDING 1	8	16
BUILDING 2	18	34

TOTAL LONG TERM PARKING PROVIDED FOR BUILDING 1&2 = 26
TOTAL SHORT TERM PARKING PROVIDED FOR BUILDING 1&2 = 50

CAR POOL

	SPACES PROVIDED
BUILDING 1	5
BUILDING 2	10

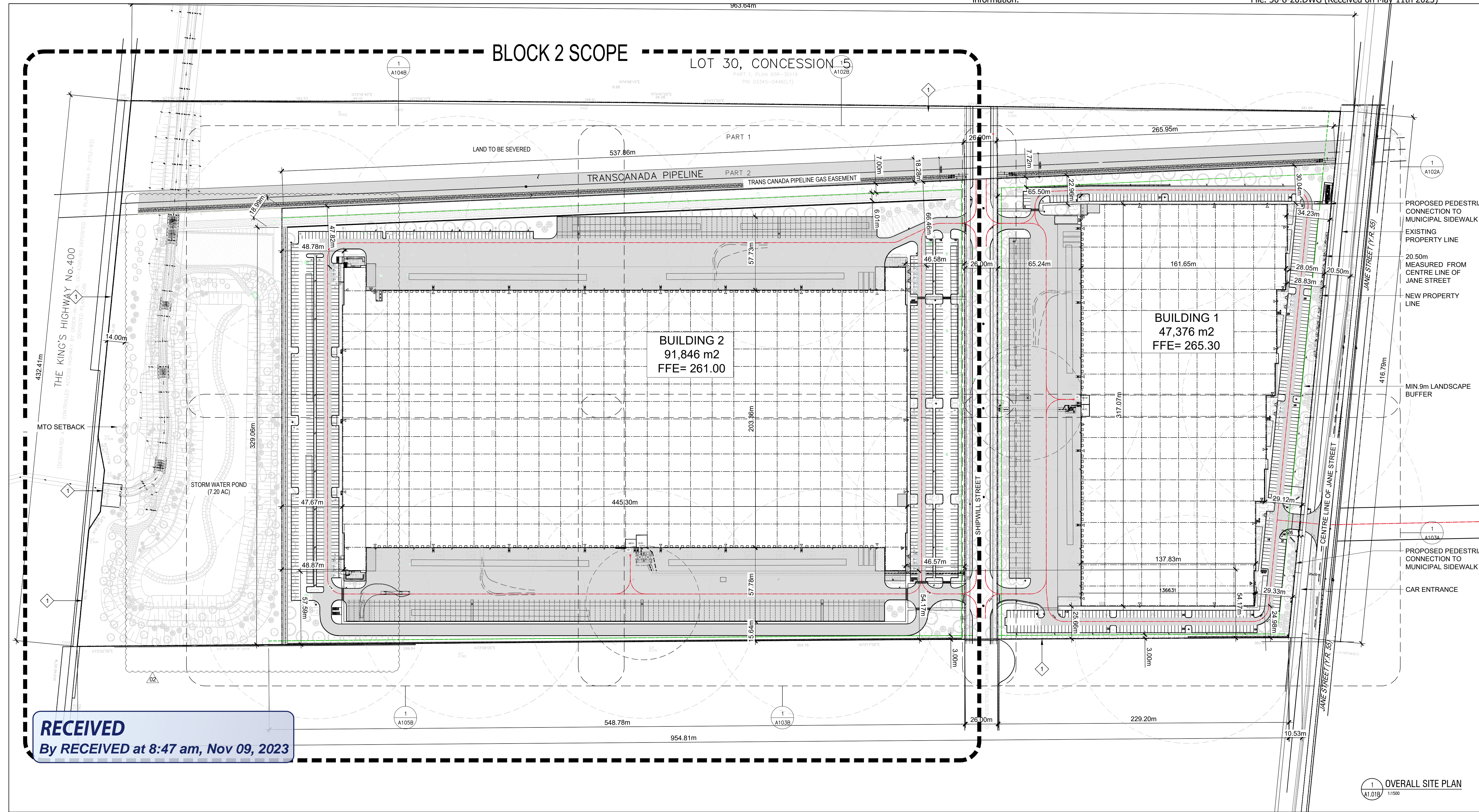
REV	DATE	DESCRIPTION
01	FEB 13, 2023	ISSUED FOR SITE PLAN APPROVAL
02	OCT 20, 2023	ISSUED FOR SPA RESUBMISSION
03	NOV.08, 2023	REVISED PER SPA COMMENTS

A143/23

NOTE: LENGTH OF RETAINING WALLS (REFER TO CIVIL FOR DETAILS)

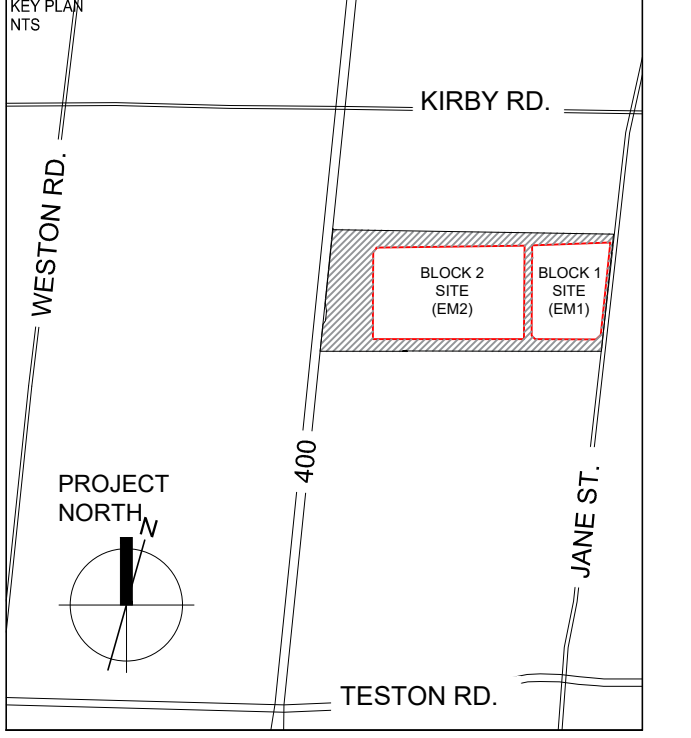
NOTE
"Refer to the Site Grading Plan prepared by GHDLtd., Drawing (C420, AND C422), Revision (2) for the purposes of obtaining site grading information."

NOTE
"Refer to the Survey prepared by David B. Searles Surveying Ltd. for the purposes of obtaining all easement information." Drawing File_30-8-20.DWG (Received on May 11th 2023)



- REVISD THE BLOCK2 PLOT BOUNDARY @ WEST SIDE
- UPDATED THE REVISED POND LOCATION
- REVISED THE BUILDING FOOTPRINT AND UPDATED THE AREA
- REVISED THE PARKING AS PER THE REVISION TO THE BUILDING FOOT PRINT
- RELOCATED THE LOCATION OF THE ENTRANCE TO NORTHWEST AND SOUTH WEST CORNER
- WASTE MANAGEMENT COMMENTS CAPTURED
- INDOOR REFUSE ROOM, (3 BINS FOR GARBAGE, RECYCLING & CARDBOARD)
- ADDED BARRIER FREE RAMP ACCESS TO THE NORTH WEST AND SOUTH WEST ENTRANCE
- ADDED ACCESS STAIRS TO ACCESS THE NORTH WEST AND WEST ENTRANCE
- ADDED EXIT STAIRS ON THE WEST AS PER REVISED GRADING

CITY FILE NUMBER - DA.23.012 (Block 2)
Frank Suppa- Director of Development Engineering
Vaughan -Development Engineering



Glenn Piotrowski Architect

GLENN PIOTROWSKI ARCHITECT LTD.
167 NAVY STREET
CARVILLE, ON
L6J 2Z6
905.338.8855

Cartera

PROJECT
PROPOSED DEVELOPMENT
11260 JANE STREET,
Ontario, Canada

OVERALL SITE PLAN - BLOCK 2

CITY FILE NUMBER - DA.23.012

DRAWN BY PY / MK

DATE JAN 7, 2022

SCALE 1:1500

PROJECT NO. 2020-25

SHEET NO. A1.01B

OVERALL SITE PLAN
A1.01B 1:1500

OVERALL SITE STATISTICS	IMPERIAL	METRIC
BLOCK 1		
PROJECT SITE AREA - BUILDING 1	22.49 Ac (979,986 ft ²)	9.10 Ha (91,043 m ²)
LOT COVERAGE -	52.03 %	52.03 %
LANDSCAPE AREA (MIN. 5%)	15.1 %	15.1 %
SNOW STORAGE AREA (MIN2%)	19827 ft ²	1842m ²
BLOCK 2		
PROJECT SITE AREA - BUILDING 2	46.87 Ac (2,041,962ft ²)	18.97 Ha (189,706 m ²)
LOT COVERAGE -	48.12 %	48.12 %
LANDSCAPE AREA (MIN. 5%)	12.7 %	12.7 %
SNOW STORAGE AREA (MIN2%)	41646 ft ²	3869 m ²
OVERALL BUILDING STATISTICS		
BUILDING 1		
SPECULATIVE WAREHOUSE GFA (47%)	239680	22,267
SPECULATIVE MANUFACTURING (50%)	254976	23,688
SPECULATIVE ANCILLARY OFFICE GFA (3%)	15295	1,421
TOTAL GFA	509,951	47,376
MAX. BUILDING HEIGHT	x	x
BUILDING 2		
SPECULATIVE WAREHOUSE GFA (47%)	464657	43,168
SPECULATIVE MANUFACTURING (50%)	494311	45,923
SPECULATIVE ANCILLARY OFFICE GFA (3%)	29655	2,755
SPECULATIVE TOTAL GFA	988,623	91,846
MAX. BUILDING HEIGHT	x	x

OVERALL PARKING STATISTICS	Bldg Area (m ²)	Stalls required	Stalls provided
Parking Rate: Based on the City of Vaughan by-law Warehousing and Distribution facility, Zoning By-law No. 001-2021. 0.50 stall / 100m ² Manufacturing or processing Facility, Zoning By-law No. 001-2021. 1.00 stall / 100m ² Ancillary Office-Warehouse/Industrial (Both) Zoning By-law No. 001-2021. 3.00 stalls / 100m ² (Ancillary Office Use)			
BUILDING 1			
SPECULATIVE WAREHOUSE GFA (47%)	22,267	114	114
SPECULATIVE MANUFACTURING (50%)	23,688	232	232
SPECULATIVE ANCILLARY OFFICE GFA (3%)	1,421	43	43
TOTAL GFA	47,376	389	389
BUILDING 2			
SPECULATIVE WAREHOUSE GFA(47%)	43,168	219	219
SPECULATIVE MANUFACTURING(50%)	45,923	447	447
SPECULATIVE ANCILLARY OFFICE GFA(3%)	2,755	82	82
TOTAL GFA	91,846	748	748
ACCESSIBLE PARKING SPACES REQ'TS			
Per number of parking required for 201-1000 spaces.Rate of 2 spaces + 2% of total required parking.			
BUILDING 1		10	10
BUILDING 2		18	18

ZONING & OTHER GENERAL INFORMATION	PROPOSED USE	PROPOSED HYDRO TRANSFORMER
CURRENT USE - VACANT LAND	BLOCK 1 - EMPLOYMENT ZONE 1 (EM1) BLOCK 2 - EMPLOYMENT ZONE 2 (EM2)	PROPOSED HYDRO TRANSFORMER
BUILDING SETBACKS (CITY OF VAUGHAN)		HYDRO POLE
EM1 - FRONT YARD ABUTTING ARTERIAL STREET (JANE ST.)	32.44m	LIGHT STANDARDS
EM1 - INTERIOR SIDE YARD (ALONG TRANS CANADA PIPELINE)	23.13m	LIGHT FIXTURE (REF. TO ELECT.)
EM1 - INTERIOR SIDE YARD (SOUTH)	24.72m	CURB CUT & RIVERSTONE ROCK SPILLWAY
EM1 - REAR YARD (ALONG SHIPWILL STREET)	65.63m	PROPERTY LINE
EM2 - FRONT YARD (ALONG SHIPWILL STREET)	45.32m	CONCRETE PAVING
EM2 - INTERIOR SIDE YARD (SOUTH LOT LINE)	53.72m	HEAVY DUTY ASPHALT
EM2 - INTERIOR SIDE YARD (ALONG TRANS CANADA PIPELINE)	46.64m	LIGHT DUTY ASPHALT
EM2 - REAR YARD (WEST PROPERTY LINE)	46.24m	FIRE ROUTE
LANDSCAPE BUFFER REQUIREMENTS		MARKED PEDESTRIAN CROSSING, AS PER CITY'S GUIDELINES
EM1 - FRONT LANDSCAPE ABUTTING ARTERIAL ROAD (ALONG JANE ST.)	9.0m	
EM1 - REAR LANDSCAPE ABUTTING STREET (ALONG SHIPWILL STREET)	3.0m	
EM1 - SETBACK ALONG TRANS CANADA PIPELINE	7.5m	
EM2 - FRONT LANDSCAPE (ALONG SHIPWILL STREET)	2.5m	
EM2 - SETBACK ALONG TRANS CANADA PIPELINE	7.5m	

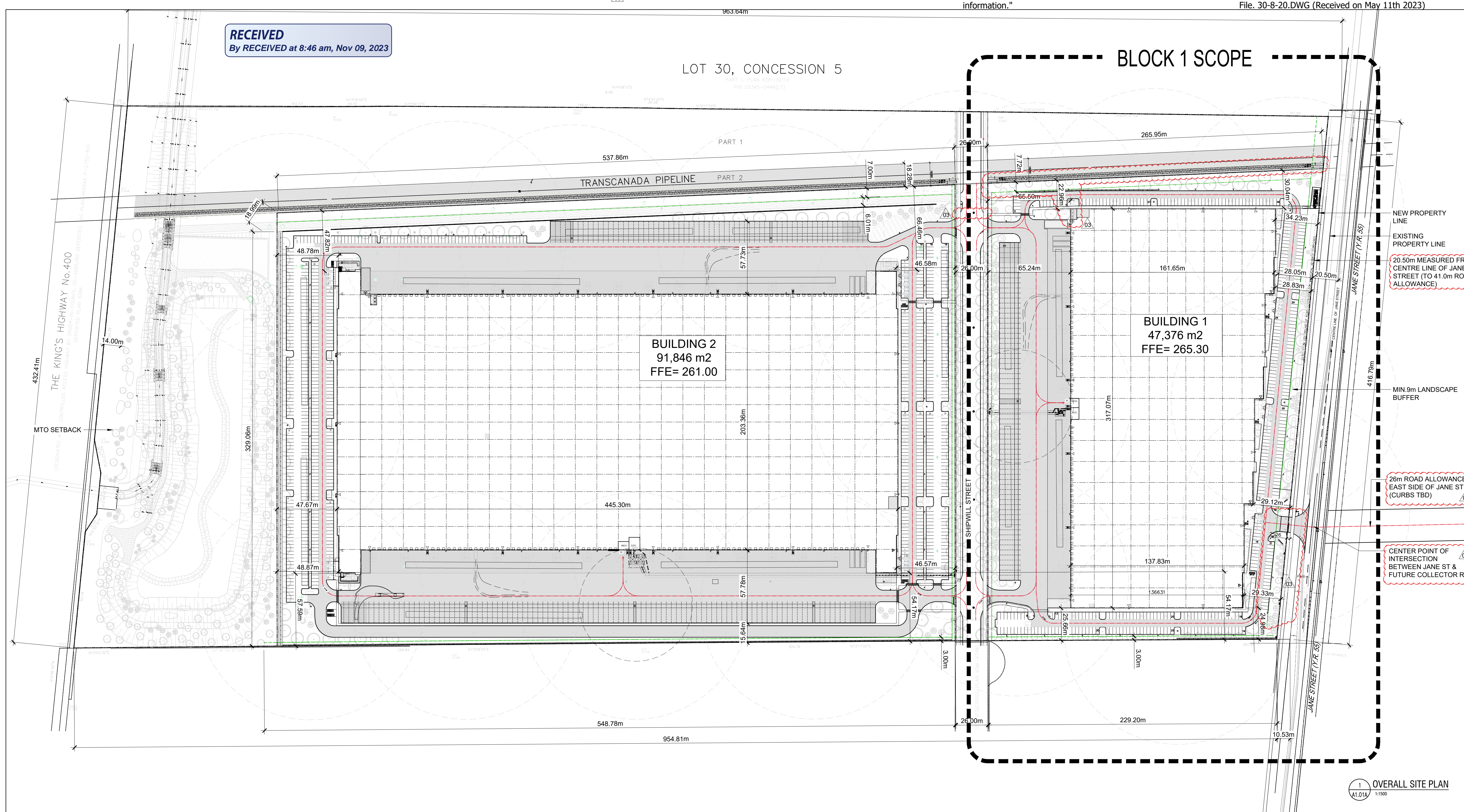
SITE PLAN LEGEND	
<ul style="list-style-type: none"> FH FIRE HYDRANT SMH SANITARY MANHOLE SMH STORM MANHOLE BFPC BACK FLOW PREVENTER & CHAMBER CB CATCH BASIN CBM CATCH BASIN MANHOLE DCB DOUBLE CATCH BASIN HC BARRIER FREE PARKING SIGN PAF PAINTED ACCESSIBILITY BARRIER FREE SYMBOL MBE MAIN BUILDING ENTRANCE BARRIER FREE ENTRANCE AD ACCESSIBLE DOOR PE PRINCIPAL ENTRANCE SSA SNOW STORAGE AREA 	<ul style="list-style-type: none"> SCSI SCISSOR CONNECTION PH PROPOSED HYDRO TRANSFORMER HP HYDRO POLE LS LIGHT STANDARDS LF LIGHT FIXTURE (REF. TO ELECT.) CRS CURB CUT & RIVERSTONE ROCK SPILLWAY BFCR BARRIER FREE CURB RAMP RCS ROAD CROSSING STRIPPING PL PROPERTY LINE CP CONCRETE PAVING HDA HEAVY DUTY ASPHALT LDA LIGHT DUTY ASPHALT FR FIRE ROUTE MPC MARKED PEDESTRIAN CROSSING, AS PER CITY'S GUIDELINES

BICYCLE PARKING	REQUIRED	LONG TERM (COVERED)	SHORT TERM
BUILDING 1	1	8	16
BUILDING 2	2	18	34
		26	50
PROVIDED		LONG TERM (COVERED)	SHORT TERM
BUILDING 1	1	8	17
BUILDING 2	2	18	34
		26	51

NOTE: Refer to the Survey prepared by David B. Searles Surveying Ltd. for the purposes of obtaining all easement information." Drawing File: 30-8-20.DWG (Received on May 11th 2023)

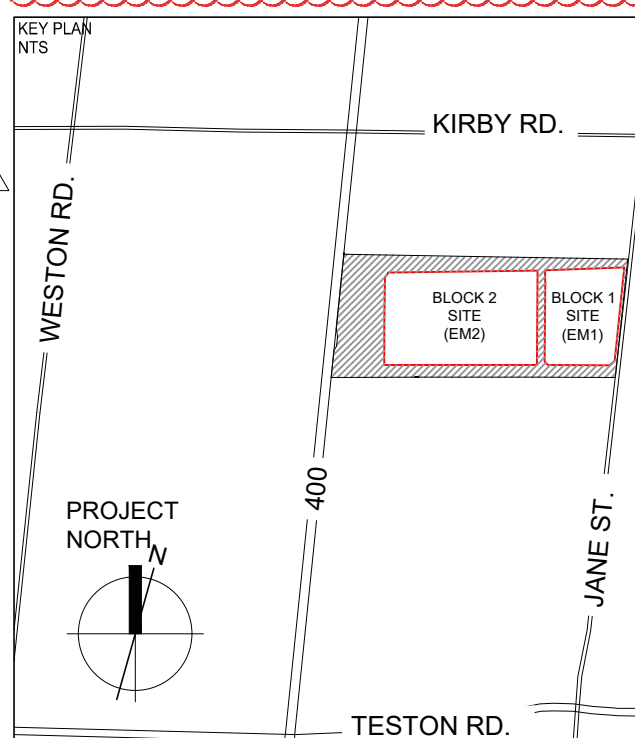
REV	DATE	DESCRIPTION
01	FEB 13, 2023	ISSUED FOR SITE PLAN APPROVAL
02	JULY 20, 2023	ISSUED FOR SPA RESUBMISSION
03	OCT. 02, 2023	ISSUED FOR SPA RESUBMISSION
04	NOV.08, 2023	REVISED PER SPA COMMENTS

A143/23



- BLDG. 1 REFUSE ROOM RELOCATED TO NW CORNER
- PAINTED CROSSWALKS ACROSS SHIPWILL REMOVED
- INDICATED FUTURE ROAD ALLOWANCE ON EAST SIDE OF JANE ST
- SHIFTED PRIVATE ENTRANCE TO BLOCK 1 TO ALIGN WITH COLLECTOR RD & JANE STREET INTERSECTION
- SHIFTED SIDEWALK & LANDSCAPE FEATURE WALL/FENCE
- REVISED PARKING & SIDEWALKS EAST OF BLDG. 1 ACCORDINGLY
- WASTE MANAGEMENT COMMENTS CAPTURED
- INDOOR REFUSE ROOM, (3 BINS FOR GARBAGE, RECYCLING & CARDBOARD)
- SINGLE 3.6x3.6m (12'x12') OVERHEAD DOOR
- 186m COLLECTION VEHICLE STAGING AREA INDICATED
- 0m APPROACH RADIUS INDICATED
- WASTE COLLECTION ROUTE TO FOLLOW FIRE ROUTE ON HD ASPHALT
- EXTERIOR BINS AT NW CORNER OF BLDG.1 REMOVED
- UNENCLOSED INDOOR COLLECTION AREAS AT NORTH & SOUTH END REMAIN
- 6.0m WIDE ON-SITE PARKLAND DEDICATION INDICATED WITH 3.0m MULTI-USE PATH ACROSS NORTH SIDE OF SITE (ON GAS EASEMENT)
- PAINTED CROSSWALK ACROSS SHIPWILL REMOVED
- REVISED THE PROPERTY LINE ALONG JANE STREET, 20.5m FROM CENTER OF JANE STREET
- REVISED THE FOOTPRINT OF BUILDING 1
- REVISED THE PARKING SIZE AS PER CITY OF VAUGHAN STANDARDS
- INDICATED LOADING SIZES FOR THE TWO BUILDINGS
- INDICATED OUTDOOR GARBAGE/REFUSE ENCLOSURE
- THE PROPOSED SITE
- INDICATED OUTDOOR GARBAGE/REFUSE ENCLOSURE
- INDICATED INDOOR GARBAGE/REFUSE AREAS INSIDE BUILDING 1
- UPDATED TURNING RADIUS FOR VARIOUS CURBS
- RELOCATED THE LANDSCAPE ISLANDS @ EAST OF BUILDING 1
- FRONTING JANE STREET
- RENAMED STREET 1 TO SHIPWILL STREET
- INDICATED SHORT TERM AND LONG BIKE PARKING SPACES
- INDICATED CARPOOL SPACES
- INDICATED BIKES SHOWER AND LOCKER AREA LOCATION
- REMOVED CROSSWALKS AND TACTILE PLATES @ SHIPWILL STREET
- UPDATED THE STAIRS

CITY FILE NUMBER - DA 23.011 (Block 1)
Frank Suppa- Director of Development Engineering
Vaughan -Development Engineering



Glenn Piotrowski Architect
GLENN PIOTROWSKI ARCHITECT LTD.
167 NAVY STREET
OAKVILLE, ON.
L6A 2Z8
905.338.8855

Cartera

PROPOSED DEVELOPMENT
11260 JANE STREET,
Ontario, Canada

SHEET TITLE
OVERALL SITE PLAN - BLOCK 1

CITY FILE NUMBER - DA.23.011
DRAWN BY PY / MK
DATE JAN 7, 2022
SCALE 1:1500
PROJECT NO. 2020-25
SHEET NO. 1

A1.01A

SCHEDULE B: STAFF & AGENCY COMMENTS				
DEPT/AGENCY	Circulated	Comments Received	Conditions	Nature of Comments
TRCA	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	Recommend Adjournment
Ministry of Transportation (MTO)	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Region of York	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	General Comments
Alectra	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	General Comments
Bell Canada	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	No Comments Received to Date
YRDSB	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
YCDSB	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
CN Rail	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
CP Rail	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
TransCanada Pipeline	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	General Comments
Metrolinx	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Propane Operator	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Development Planning	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	Recommend Adjournment
Building Standards (Zoning)	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	General Comments

Date: September 7th 2023

Attention: **Christine Vigneault**

RE: Request for Comments

File No.: **A143-23**

Related Files:

Applicant KLM Planning Partners Inc.

Location 11260 Jane Street



Discover the possibilities

COMMENTS:

- We have reviewed the proposed Variance Application and have no comments or objections to its approval.
- We have reviewed the proposed Variance Application and have no objections to its approval, subject to the following comments (attached below).
- We have reviewed the proposed Variance Application and have the following concerns (attached below).

Alectra Utilities (formerly PowerStream) has received and reviewed the proposed Variance Application. This review, however, does not imply any approval of the project or plan.

All proposed billboards, signs, and other structures associated with the project or plan must maintain minimum clearances to the existing overhead or underground electrical distribution system as specified by the applicable standards, codes and acts referenced.

In the event that construction commences, and the clearance between any component of the work/structure and the adjacent existing overhead and underground electrical distribution system violates the Occupational Health and Safety Act, the customer will be responsible for 100% of the costs associated with Alectra making the work area safe. All construction work will be required to stop until the safe limits of approach can be established.

In the event construction is completed, and the clearance between the constructed structure and the adjacent existing overhead and underground electrical distribution system violates the any of applicable standards, acts or codes referenced, the customer will be responsible for 100% of Alectra's cost for any relocation work.

References:

- Ontario Electrical Safety Code, latest edition (Clearance of Conductors from Buildings)
- Ontario Health and Safety Act, latest edition (Construction Protection)
- Ontario Building Code, latest edition (Clearance to Buildings)
- PowerStream (Construction Standard 03-1, 03-4), attached
- Canadian Standards Association, latest edition (Basic Clearances)

If more information is required, please contact either of the following:

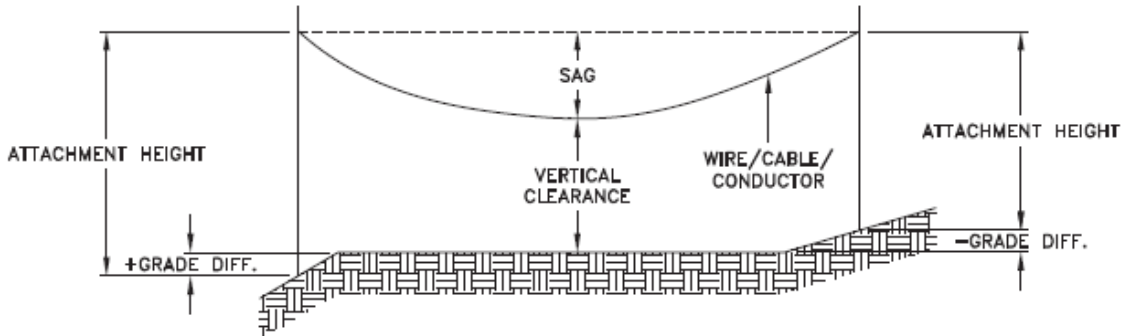
Mr. Stephen Cranley, C.E.T
Supervisor, Distribution Design, ICI & Layouts (North)
Phone: 1-877-963-6900 ext. 31297

E-mail: stephen.cranley@alectrautilities.com

Mitchell Penner
Supervisor, Distribution Design-Subdivisions
Phone: 416-302-6215

Email: Mitchell.Penner@alectrautilities.com

LOCATION OF WIRES, CABLES OR CONDUCTORS	SYSTEM VOLTAGE			
	SPAN GUYS AND COMMUNICATIONS WIRES	UP TO 600V AND NEUTRAL	4.16/2.4kV TO 27.6/16kV (SEE NOTE 1)	44kV
MINIMUM VERTICAL CLEARANCES (SEE NOTE 2)				
OVER OR ALONGSIDE ROADS, DRIVEWAYS OR LANDS ACCESSIBLE TO <u>VEHICLES</u>	442cm	442cm	480cm	520cm
OVER GROUND ACCESSIBLE TO <u>PEDESTRIANS AND BICYCLES ONLY</u>	250cm	310cm	340cm	370cm
ABOVE TOP OF RAIL AT <u>RAILWAY CROSSINGS</u>	730cm	730cm	760cm	810cm



MINIMUM ATTACHMENT HEIGHT = MAXIMUM SAG
 + MINIMUM VERTICAL CLEARANCE (FROM ABOVE TABLE)
 ± GRADE DIFFERENCE
 + 0.3m (VEHICLE OR RAILWAY LOCATION)
 + SNOW DEPTH (PEDESTRIAN LOCATION, SEE NOTE 3)

NOTES:

1. THE MULTIGROUNDED SYSTEM NEUTRAL HAS THE SAME CLEARANCE AS THE 600V SYSTEM.
2. THE VERTICAL CLEARANCES IN THE ABOVE TABLE ARE UNDER MAXIMUM SAG CONDITIONS.
3. REFER TO CSA STANDARD C22.3 No.1, ANNEX D FOR LOCAL SNOW DEPTH VALUES.
4. ALL CLEARANCES ARE IN ACCORDANCE TO CSA STANDARD C22.3.

CONVERSION TABLE

METRIC	IMPERIAL (APPROX)
810cm	27'-0"
760cm	25'-4"
730cm	24'-4"
520cm	17'-4"
480cm	16'-0"
442cm	15'-5"
370cm	12'-4"
340cm	11'-4"
310cm	10'-4"
250cm	8'-4"

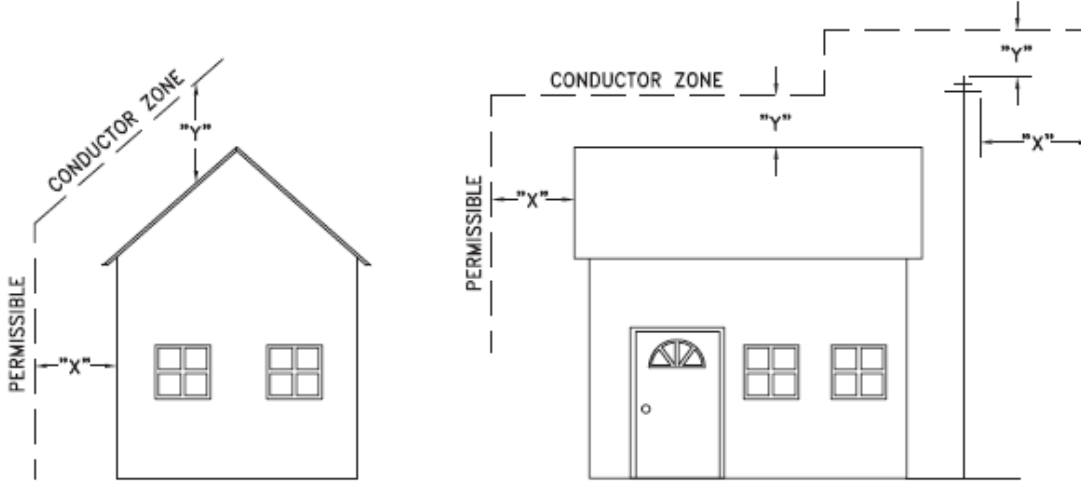
REFERENCES

SAGS AND TENSIONS | SECTION 02

MINIMUM VERTICAL CLEARANCES OF WIRES, CABLES AND CONDUCTORS ABOVE GROUND OR RAILS

ORIGINAL ISSUE DATE: 2010-DEC-24 REVISION NO: R1 REVISION DATE: 2012-JAN-09

Certificate of Approval	
This construction Standard meets the safety requirements of Section 4 of Regulation 22/04	
Joe Crozier, P.Eng.	2012-JAN-09
Name	Date
P.Eng. Approval By:	Joe Crozier



VOLTAGE	MINIMUM HORIZONTAL CLEARANCE UNDER MAXIMUM SWING CONDITIONS DIMENSION "X" (SEE NOTES 1, 3 & 4)	MINIMUM VERTICAL CLEARANCE UNDER MAXIMUM DESIGN SAG CONDITIONS DIMENSION "Y" (SEE NOTES 1, 2, 4 & 5)
0-600V AND NEUTRAL	100cm	250cm
4.16/2.4 TO 44kV	300cm	480cm

NOTES

1. UNDER NO CIRCUMSTANCES SHALL A CONDUCTOR BE PERMITTED TO PENETRATE THE ENVELOPE SHOWN BY THE DOTTED LINE.
2. THE VERTICAL CLEARANCES ARE UNDER CONDITIONS OF MAXIMUM DESIGN SAG.
3. THE HORIZONTAL CLEARANCES ARE UNDER CONDITIONS OF MAXIMUM SWING. WHERE THE CONDUCTOR SWING IS NOT KNOWN A HORIZONTAL CLEARANCE OF 480CM SHALL BE USED.
4. BUILDINGS THAT EXCEED 3 STOREYS OR 15M IN HEIGHT, THE MINIMUM HORIZONTAL CLEARANCE OF THE SECONDARY CONDUCTORS SHOULD BE INCREASED TO 300cm WHERE IT IS NECESSARY TO ALLOW FOR THE RAISING OF LADDERS BY LOCAL FIRE DEPARTMENTS.
5. IN SITUATIONS SUCH AS MULTI-LEVEL GARAGES, WHERE ROOFS ARE NORMALLY USED BY PERSONS AND VEHICLES, THE VERTICAL CLEARANCES OF POWERSTREAM STANDARD 03-1 SHALL APPLY.
6. DISTRIBUTION LINES CONSTRUCTED NEAR BUILDINGS SHALL BE BUILT TO AVOID OVERHANG WHEREVER POSSIBLE. WHERE LINES MUST BE CONSTRUCTED OVER OR ADJACENT TO BUILDINGS THE APPLICABLE HORIZONTAL AND VERTICAL CLEARANCES SHALL BE AT CONDITIONS OF MAXIMUM CONDUCTOR SWING AND MAXIMUM SAG. THE ABOVE CLEARANCES ARE DESIGNED TO PREVENT PERSONS ON OR IN BUILDINGS AS WELL AS EXTERNAL MACHINERY USED IN CONJUNCTION WITH A BUILDING TO COME IN CONTACT WITH CONDUCTORS. EFFORTS SHOULD BE MADE TO INCREASE THESE CLEARANCES WHERE POSSIBLE.
7. ALL CLEARANCES ARE IN ACCORDANCE TO CSA C22.3 NO.1-06 (TABLE-9).

METRIC	IMPERIAL (APPROX)
480cm	16'-0"
300cm	10'-0"
250cm	8'-4"
100cm	3'-4"

MINIMUM VERTICAL & HORIZONTAL CLEARANCES OF CONDUCTORS FROM BUILDINGS OR OTHER PERMANENT STRUCTURES (CONDUCTORS NOT ATTACHED TO BUILDINGS)

Certificate of Approval
This construction Standard meets the safety requirements of Section 4 of Regulation 22/04
Debbie Dadwani, P.Eng. 2010-MAY-05
Name Date
P. Eng. Approval By: *D. Dadwani*

ORIGINAL ISSUE DATE: 2010-MAY-05 REVISION NO: REVISION DATE:
PS:\System Planning and Standards\Standard Design\PowerStream Standards\PowerStream Standards working files\Section 3-1-02\WG 03-4 R0 May 5, 2010.dwg, 5/5/2010 10:22:02 AM, Adobe PDF

To: Committee of Adjustment
From: Lindsay Haviland, Building Standards Department
Date: November 8, 2023
Applicant: KLM Planning Partners Inc.
Location: 11260 Jane Street
 CONC 5 Part of Lot 29
File No.(s): A143/23

Zoning Classification:

The subject lands are zoned FD – Future Development Zone under Zoning By-law 001-2021, as amended.

#	Zoning By-law 01-2021	Variance requested
1	This application is subject to a Minister’s Zoning Order under bylaw 1-88 as amended, and therefore bylaw 001-2021 does not apply to the subject lands.	

The subject lands are zoned A – Agricultural Zone and subject to the provisions of O.Reg 156/22 under Zoning By-law 1-88, as amended.

#	Zoning By-law 1-88	Variance requested
1	A minimum of 1.5 parking spaces per 100 m ² of gross floor area devoted to the employment use plus 2.0 parking spaces per 100 m ² devoted to ancillary office use is required [Section 3.8 a)].	To permit a minimum of 0.5 parking spaces per 100 m ² of gross floor area devoted to a Warehouse use, 1.0 parking spaces per 100 m ² for an Employment Use, plus 3.0 parking spaces per 100 m ² devoted to ancillary office use.

Staff Comments:

Stop Work Order(s) and Order(s) to Comply:

There are no outstanding Orders on file

Building Permit(s) Issued:

A Building Permit has not been issued. The Ontario Building Code requires a building permit for structures that exceed 10m²

Other Comments:

General Comments	
1	The applicant shall be advised that additional variances may be required upon review of detailed drawing for building permit/site plan approval.
2	The subject lands may be subject to Ontario Regulation 166/06 (TRCA - Toronto and Region Conservation Authority).

Conditions of Approval:

If the committee finds merit in the application, the following conditions of approval are recommended.

* Comments are based on the review of documentation supplied with this application.

To: Christine Vigneault, Committee of Adjustment Secretary Treasurer
From: Nancy Tuckett, Director of Development Planning
Date: November 6, 2023
Name of Owner: Jim Wong - Jane St Nominee Inc.
Location: 11260 Jane Street
File No.(s): A143/23

Proposed Variance(s) (By-law 1-88):

1. To permit a minimum of 0.75 parking spaces per 100 m² of gross floor area devoted to an employment use plus 2.0 parking spaces per 100 m² devoted to ancillary office use.

By-Law Requirement(s) (By-law 1-88):

1. A minimum of 1.5 parking spaces per 100 m² of gross floor area devoted to the employment use plus 2.0 parking spaces per 100 m² devoted to ancillary office use is required.

Official Plan:

City of Vaughan Official Plan 2010 ('VOP 2010'): "Prestige Employment" and "General Employment" in Section 11.4 Highway 400 North Employment Lands Secondary Plan

Comments:

The Owner is requesting relief to permit reduced parking requirements to facilitate the construction of two employment buildings proposed for industrial and warehouse uses. Relief is requested to facilitate related Site Plan applications DA.23.011 and DA.23.012. The resubmissions for both files were received October 26th and circulated October 31st for comment. The commenting deadline for the resubmission is November 15th.

The Toronto and Region Conservation Authority (TRCA) provided comments on the Minor Variance application, requesting that the application be deferred until the broader threshold issues related to natural hazard concerns are resolved through the Site Plan Application process and/or an Ontario Regulation 166/06 permit process. The TRCA's concerns were raised in September through the DA review process.

The TRCA identified significant concerns with the Site Plan applications, including the need for further technical studies of the natural hazards and regulated natural features. As there are outstanding issues that may necessitate a revision to the proposed site plan with respect to parking/building footprints, which in turn may impact the variances being sought and/or the plan tied to Committee's approval, Development Planning staff's analysis is incomplete until there is a higher level of certainty that parking/building footprints will not be impacted by TRCA's outstanding concerns. All relevant comments on the current DA submissions must be received and reviewed to better assess what the outstanding concerns are. Once the comments are received and reviewed, Development Planning will be in a better position to determine whether there is sufficient certainty with respect to parking/building placement to proceed with the variance application.

As such, the Development Planning Department deems this application premature until the outstanding materials have been submitted and reviewed by the appropriate Departments/Agencies and the relevant comments on the current site plan submissions are received.

Recommendation:

The Development Planning Department recommends adjournment of the application.

Conditions of Approval:

If the Committee finds merit in the application, the following conditions of approval are recommended:

None

Comments Prepared by:

Michelle Perrone, Planner 1
David Harding, Senior Planner



PLANNING
URBAN DESIGN
& LANDSCAPE
ARCHITECTURE

Authorized commenting Agency for



September 5, 2023

Lenore Providence
Development Services Administrative Coordinator

City of Vaughan
2141 Major Mackenzie Drive
Vaughan, ON L6A 1T1

Via email: cofa@vaughan.ca

Dear Lenore Providence:

RE: Minor Variance
11260 Jane Street, City of Vaughan
Jane St Nominee Inc. c/o KLM Planning Partners
Municipal File: A143/23
MHBC File: PAR 44148-B

MacNaughton Hermsen Britton Clarkson (MHBC) are the planning consultants for TransCanada PipeLines Limited (TCPL). This letter is in response to a notification and request for comments for the Minor Variance application outlined above. We understand that the purpose of the variance is vary the parking requirements of Zoning By-law 1-88 for the lands identified as 11260 Jane Street in the City of Vaughan (the "Subject Lands"). TCPL has three (3) high-pressure natural gas pipelines contained within a right-of-way ("easement") crossing the Subject Lands.

TCPL's pipelines and related facilities are subject to the jurisdiction of the Canada Energy Regulator (CER) – formerly the National Energy Board (NEB). As such, certain activities must comply with the Canadian Energy Regulator Act ("Act") and associated Regulations. The Act and the Regulations noted can be accessed from the CER's website at www.cer-rec.gc.ca.

TCPL has no concerns with the proposed variance, as the following minimum setbacks to TCPL's right-of-way will still apply:

- a. *A minimum setback of 7.0 m shall be required from any part of a principal building or structure from the edge of the TransCanada pipeline easement.*
- b. *A minimum setback of 3.0 m shall be required from any part of an accessory building or accessory structure from the edge of the TransCanada pipeline easement.*
- c. *A minimum setback of 7.0 m from the nearest portion of a TransCanada pipeline easement shall also apply to any minimum required parking area or loading area, including any minimum required parking space, loading space, stacking space, bicycle parking space, and any associated aisle or driveway.*
- d. *A minimum setback of 7.0 m shall apply to any minimum required amenity area.*

- e. *A permitted encroachment of a structure or feature in accordance with Section 4.13 of this By-law shall be not be permitted.*

TCPL requests the following regulatory requirements are forwarded to the applicant:

1. Written consent from TCPL must be obtained before any of the following:
 - a. Constructing or installing a facility across, on, along or under a TCPL pipeline right-of-way (easement). A facility may include, but is not limited to: driveways, roads, access ramps, trails, pathways, utilities, berms, fences/fence posts;
 - b. Conducting ground disturbance (excavation or digging) on TCPL's right-of-way or within 30 metres of the centreline of TCPL's pipeline (the "Prescribed Area");
 - c. Driving a vehicle, mobile equipment or machinery across a TCPL right-of-way outside the travelled portion of a highway or public road;
 - d. Using any explosives within 300 metres of TCPL's right-of-way; and
 - e. Use of TCPL's Prescribed Area for storage purposes.

How to apply for written consent:

- Determine the location of your work relative to TCPL's facilities.
 - When planning, and before any of the work or activities, listed above, can begin, a request for written consent must be submitted to TCPL through our online application form
 - We no longer accept applications through email
 - Location of the work is required, along with the proximity to TCPL's right-of-way
 - This information can be obtained through survey plans, or through a locate request
 - Make a locate request either online (ClickBeforeYouDig.com) or by calling your local One-Call Centre.
 - The One-Call Centre will notify owners of buried utilities in your area, who will send representatives to mark these facilities with flags, paint or other marks, helping you avoid damaging them. Often written consent for minor activities can be obtained directly from a regional TCPL representative through a locate request.
 - Apply for written consent using TCPL's [online application form](#) or call 1-877-872-5177.
 - Application assessment and consent. Once your information has been assessed and potential impacts have been evaluated, TCPL may:
 - Grant consent without any conditions
 - Grant consent that requires certain conditions to be met to assure safety, or
 - Not grant consent
2. No buildings or structures shall be installed anywhere on TCPL's right-of-way. Permanent buildings and structures are to be located a minimum of 7 metres from the edge of the right-of-way. Temporary or accessory buildings are to be located a minimum of 3 metres from the edge of the right-of-way.
 3. A minimum setback of 7 metres from the nearest portion of a TCPL right-of-way shall also apply to any parking area or loading area, including any parking spaces, loading spaces, stacking spaces, bicycle parking spaces, and any associated drive aisle or driveway.
 4. During any construction activities in proximity of the right-of-way, the owner must install and maintain temporary fencing along the limits of TCPL's right-of-way to prevent unauthorized access onto the pipeline right-of-way with heavy equipment. The fence must meet TCPL's specifications concerning type, height and location and must be maintained by the owner for the duration of construction.
 5. Storage of materials and/or equipment on TCPL's right-of-way is not permitted.

6. Any landscaping of TCPL's right-of-way is to be approved in writing by TCPL and done in accordance with TCPL's Landscaping Guidelines:
 - a. TCPL's Right-of-way is to be seeded with Canada #1 seed.
 - b. Grantee shall ensure a 5 metre continuous access way is maintained over, through and within the right-of-way to facilitate access for future pipeline operation and maintenance activities.
 - c. No portion of trees or shrubs at the time of maturity shall be permitted to encroach within 5 metres of the edge of the TCPL pipeline within the right-of-way.
 - d. No trees or shrubs at the time of maturity that will reach a height greater than 4 metres shall be planted within the right-of-way.
 - e. Tree roots must not interfere with the pipeline.
 - f. A minimum of 5 metres between all groups of trees/shrubs will be established. A group is defined as 3-5 trees/shrubs.
 - g. Irrigation systems are not permitted within TCPL's right-of-way.
7. If TCPL's pipelines suffer contact damage or other damage as a result of an Owner's operations, stop work immediately and notify TCPL at once.
8. The Owner shall ensure through all contracts entered into, that all contractors and subcontractors are aware of and observe the foregoing terms and conditions.

Enclosed is a copy of TC Energy's Work Safely Handbook for additional information on constructing near TCPL's pipelines. Additional information can be found on TC Energy's [website](#).

Thank you for the opportunity to provide comments. Kindly forward a copy of Notice of Decision to TCEnergy@mhbcplan.com. If you have any questions, please do not hesitate to contact our office.

Sincerely,

MHBC



Kaitlin Webber, MA
Planner | MHBC Planning

on behalf of TransCanada PipeLines Limited

September 28, 2023

CFN 8446.33

X-Ref: CFN 68431.05, 68431.06, 66403.02, 66418.03

SENT BY E-MAIL: Christine.Vigneault@vaughan.ca

Christine Vigneault
Secretary Treasurer
Committee of Adjustment
City of Vaughan
2141 Major Mackenzie Drive
Vaughan, Ontario L6A 1T1

Dear Christine:

**Re: Minor Variance Application A143.23
11260 Jane Street
Part Lot 29, Concession 5
City of Vaughan, Region of York
Applicant: Jane Street Nominee Inc.
Agent: KLM Planning Partners Inc.**

This letter acknowledges receipt of the above-noted application circulated by the City of Vaughan. The materials were received by Toronto and Region Conservation Authority (TRCA) on September 1, 2023. TRCA staff have reviewed the application and offer the following comments for the consideration of the Committee of Adjustment.

Purpose of the Application

It is our understanding that the purpose of the above noted application is to request the following variances under By-Law 1-88:

- To permit a minimum of 0.75 parking spaces per 100 sq. m. of gross floor area devoted to an employment use plus 2.0 parking spaces per 100 sq. m. devoted to ancillary office use, whereas a minimum of 1.5 parking spaces per 100 sq. m. of gross floor area devoted to employment use plus 2.0 parking spaces per 100 sq. m. devoted to ancillary office use is required.

The noted variances are being requested to facilitate the construction of two buildings; one used for warehouse uses and one used for industrial uses.

Ontario Regulation 166/06

The subject lands contain tributaries of the Purpleville Creek subwatershed which are part of the Humber River Watershed. The subject lands also contain several regulated natural heritage features including valley/stream corridors, provincial significant wetland, unevaluated wetlands, and headwater drainage features (HDFs). A significant portion of the property is also located within the Regional Storm flood plain. As such, a significant portion of the subject lands are located within TRCA's Regulated Area and are subject to Ontario Regulation 166/06.

Background

The subject property is located within the Block 34 East planning area. TRCA staff have been involved in the review of the East Purpleville Creek Subwatershed Study and Block 34 East Block Plan/Master Environmental Servicing Plan (MESP) process. The subject property has historically been a non-participating property within the Block Plan/MESP process. As such, the limits of the natural features and natural hazards on the site have not been assessed and delineated.

A Ministry's Zoning Order (Ontario Regulation 156/22) was issued for the subject property on March 4, 2022, to allow for employment uses including storage and distribution facilities. TRCA provided a formal comment letter on June 14, 2022. The letter provided comments on the applicant's proposed Master Environmental Servicing Plan (MESP) Technical Study Terms of Reference (TOR). The purpose of this review was to establish and scope the requirements of the site-specific investigations and technical reports, that the applicants committed to complete in support of future planning applications (i.e., Site Plan Applications).

Application-Specific Comments

Staff are currently involved with the review of Site Plan Applications (City File DA.23.011 and DA.23.012) associated with the subject property. The purpose of the applications is to implement the proposed development of two warehouse distribution centres. TRCA staff provided comments related to the noted applications to the City of Vaughan on September 12, 2023. The comments provided in TRCA's letter highlighted significant concerns with the applications, including the need for further technical studies of the natural hazards and regulated natural features. Based on the outstanding issues, it was identified that staff were not able to support approval of the Site Plan Applications.

As there are broader threshold issues that remain unresolved as part of the Site Plan Application process, it is TRCA staff's opinion that it is premature to support the requested variance that relates to the proposed warehouse distribution centre development.

Fees

By copy of this letter, the applicant is advised that the TRCA has implemented a fee schedule for our planning application review services. This application is subject to a \$1,250.00 (Minor Variance – Industrial/Commercial/Subdivision/Institutional - Minor) review fee. The applicant is responsible for fee payment and should forward the application fee to this office as soon as possible.

Recommendations

Based on the comments noted above, TRCA staff recommend **deferral** of Minor Variance Application A143.23 until the broader threshold issues are resolved through the Site Plan Application process and/or an Ontario Regulation 166/06 permit process.

We trust these comments are of assistance. Should you have any questions, please contact me at 437-880-2129 or at Kristen.regier@trca.ca

Sincerely,

Kristen Regier

Kristen Regier
Planner I
Development Planning and Permits

KR/sb

From: [Kristen Regier](#)
To: [Christine Vigneault](#)
Cc: [Committee of Adjustment](#); [Michelle Perrone](#); [Jonal Hall](#)
Subject: [External] RE: A143/23 - 11260 Jane Street - Revised Submission
Date: Wednesday, November 1, 2023 2:35:04 PM
Attachments: [image002.png](#)
[image003.png](#)
[A143.23 - 11260 Jane Street.pdf](#)

Hello Christine,

Further to TRCA's previous letter dated September 28, 2023 (attached), this email acknowledges receipt of the revised Minor Variance Application circulated by the City of Vaughan, and received by TRCA on October 31, 2023. TRCA staff have reviewed the revised application and continue to recommend deferral of Minor Variance Application A143/23 until the broader threshold issues are resolved through the Site Plan Application process and/or an Ontario Regulation 166/06 permit process.

Please let me know if you have any questions.

Best,

Kristen Regier, MA (she / her)

Planner I

Development Planning and Permits | Development and Engineering Services
Toronto and Region Conservation Authority (TRCA)

T: [437-880-2129](tel:437-880-2129)

E: kristen.regier@trca.ca

A: [101 Exchange Avenue, Vaughan, ON, L4K 5R6](#) | trca.ca



Lenore Providence

Subject: FW: [External] RE: A143/23 - 11260 Jane Street - REQUEST FOR COMMENTS

From: Development Services <developmentsservices@york.ca>

Sent: September-28-23 1:54 PM

To: Lenore Providence <Lenore.Providence@vaughan.ca>

Cc: Committee of Adjustment <CofA@vaughan.ca>

Subject: [External] RE: A143/23 - 11260 Jane Street - REQUEST FOR COMMENTS

Hi Lenore,

The Regional Municipality of York has completed its review of the minor variance application – A143/23 (11260 Jane St.) and has no comment.

Please note regional comments will continue to be submitted through the associated Site Plans (SP.23.V.0047 – DA.21.063 & SP.23.V.0047 – DA.23.012).

Please provide us with a copy of the notice of decision for our records.

Many thanks,

Our working hours may be different. Please do not feel obligated to reply outside of your scheduled working hours. Let's work together to help foster healthy work-life boundaries.

Niranjan Rajevan, M.Pl. | Associate Planner, Development Services, Planning and Economic Development, Corporate Services

The Regional Municipality of York | 17250 Yonge Street | Newmarket, ON L3Y 6Z1
1-877-464-9675 ext. 71521 | niranjan.rajevan@york.ca | www.york.ca

Our Values: Integrity, Commitment, Accountability, Respect, Excellence



Our Mission: **Working together to serve our thriving communities – today and tomorrow**

Please consider the environment before printing this email.

SCHEDULE C: PUBLIC & APPLICANT CORRESPONDENCE

Correspondence Type	Name	Address	Date Received (mm/dd/yyyy)	Summary
Applicant			08/18/23	Application Cover Letter



64 Jardin Drive, Unit 1B
Concord, Ontario
L4K 3P3
T.905.669.4055
F.905.669.0097
klmplanning.com

File: P-3246

August 18th, 2023

The City of Vaughan
2141 Major Mackenzie Drive
Vaughan, Ontario
L6A 1T1

Attention: Ms. Christine Vigneault
Manager, Development Services & Secretary Treasurer to the Committee of Adjustment

Re: 11260 Jane Street (In Association with DA.23.011 & DA.23.012)
Proposed Minor Variance Application
11260 Jane Street
City Vaughan, ON, Region of York

Dear Ms. Vigneault,

On behalf of our client, Jane St Nominee Inc, owner of the above noted lands, we are pleased to submit this application for a Minor Variance Application.

Description of Subject Lands

The subject lands have an area of approximately 36.1 hectares (89.2 acres). The subject lands are located in Block 34 East with Jane Street to the East, Transcanada Pipeline to the North, Highway 400 to the West, as well as a Walmart distribution centre and Shipwell St. to the South. The site is currently vacant land and zoned for employment uses. There are two proposed buildings through active site plan applications, File No. DA.23.011 and DA.23.012. Building 1 will be used for industrial uses while Building 2 will be used for warehouse uses.

Purpose and Background

The subject lands are located within an area of employment lands as outlined in the Highway 400 North Employment Area Secondary Plan in the City of Vaughan. The site is subject to the City of Vaughan's Zoning By-Law 1-88 with parking requirements outlined in Section 3.8(a), due to a Minister's Zoning Order (MZO). The subject site is required to provide 1,732 parking spaces under Zoning By-Law 1-88. The proposed number of parking spaces for the subject site is 1,175 parking spaces, 557 spaces fewer than the City's requirement. The proposed minor variance is seeking a parking rate reduction that will reduce the number of parking spaces required and is consistent with the approved site-specific Zoning By-Law to the south (Zoning By-Law 051-2020). Under the rate as required by Zoning By-Law 051-2020, the subject site would be required to provide 1,126 parking spaces. The proposed parking reduction is supported by the Traffic Impact Study (TIS)

prepared by GHD and is enclosed.

The proposed variance seeks to vary the parking requirements of Zoning By-Law 1-88 under Section 3.8(a) as follows:

Industrial Uses Other Than Warehousing (Building with greater than 3,700 sq.m GFA) - "1.5 parking spaces per 100 sq.m. G.F.A devoted to the industrial use plus 2.0 parking spaces per 100 sq.m GFA devoted to ancillary office use, plus the requirements for any other use, or 3.5 parking spaces per unit, whichever is greater."

Warehousing (Single Use) - "1.0 Parking per 100 sq.m GFA."

The proposed variance would alter the above requirements to remain consistent with the requirements of the approved site-specific Zoning By-Law 051-2020 as follows:

"The minimum parking requirement for an Employment Use shall be 0.75 spaces/100^{m2} of Gross Floor Area devoted to the employment use plus 2.0 parking spaces/100^{m2} Gross Floor Area devoted to ancillary office use."

Planning Rationale

The following section will summarize the requested variance in respect to the four minor variance tests set out by Section 45(1) of the Planning Act.

1. Is the requested variance consistent with the general intent and purpose of the Official Plan?

Section 4.3 of the Official Plan outlines 'Managing Movement' in Vaughan and reinforces the City's desire to consider the role of vehicles and traffic. Section 4.3.2 acknowledges that reducing parking requirements and shared parking facilities will help to reduce parking lot sizes, improving the overall quality of the urban environment. A reduction in the parking rate reflects the desires of the Official Plan in mitigating an excessive amount of vehicular traffic. In addition, the requested minor variance will facilitate the development of employment lands. Therefore, the proposed minor variance is consistent with the general intent and purpose of the Official Plan.

2. Is the requested variance consistent with the general intent and purpose of the Zoning By-law?

Parking requirements are outlined in the City of Vaughan Zoning By-Law 1-88 under Section 3.8(a). The proposed minor variance to the Zoning By-Law will reflect the 'Managing Movement' policies in the Official Plan by reducing parking while providing vehicle parking spaces that reflect the needs of the site. The parking requirements in the City of Vaughan's new Zoning By-Law 001-2021 Section 6.3.5 have also been considered and are reflected in the table below. The requirements of Zoning By-Law 001-2021 differ from Zoning By-Law 1-88 resulting in fewer parking spaces for devoted warehouse and ancillary office space. The table below demonstrates the parking requirements under Zoning By-Law 1-88, By-Law 001-2021, the approved site-specific By-Law 051-2020 for the site to the south of the subject lands which reflects the proposed reduced rate and the proposed number of parking spaces.

	Building 1	Building 2	Total
Parking rates required based on Zoning By-Law 1-88	- 1.5 spaces per 100 sqm (Industrial use) - 2.0 spaces per 100 sqm of GFA (ancillary office uses)	- 1.0 spaces per 100 sqm (Warehouse) - 3.5 spaces per 100 sqm (office uses)	
Parking spaces required based on Zoning By-Law 1-88	- 675 spaces - 47 spaces	- 910 spaces - 100 spaces	1,732 vehicle parking spaces
Parking rates required based on Zoning By-Law 001-2021	- 1.5 spaces per 100 sqm (Industrial use) - 2.0 spaces per 100 sqm (Ancillary office uses)	- 0.5 space per 100 sqm - 3.0 spaces per 100 sqm (office uses)	
Parking spaces required based on Zoning By-Law 001-2021	- 675 spaces - 47 spaces	- 455 spaces - 86 spaces	1,263 vehicle parking spaces
Requested parking rate based on site specific Zoning By-Law 051-2020, for the site to the south	Employment use - 0.75 space per 100 sqm of GFA Ancillary office use - 2 spaces per 100 sqm of GFA	Employment use - 0.75 space per 100 sqm of GFA Ancillary office use - 2 spaces per 100 sqm of GFA	
Required spaces based on site specific By-Law 051-2020	- Employment GFA = 338 spaces - Ancillary office = 47 spaces	- Employment GFA = 683 spaces - Office = 58 spaces	1,126 vehicle parking spaces
Proposed site plan parking	- Employment GFA = 338 spaces - Ancillary office = 47 spaces	- Employment GFA = 732 - Ancillary office = 58 spaces	1,175 vehicle parking spaces

As shown in the above table, while the proposed parking rates fall short of the requirements of Zoning By-Law 1-88, they are more in keeping with the lowered requirements of the newer Zoning By-Laws and is supported by the TIS prepared by GHD. Therefore, the requested variance seeking to reduce the parking rate conforms to the trends of projects in the area.

Considering the above, it is our opinion that the proposed minor variance is in keeping with the intent and purpose of the Zoning By-law.

3. Is the requested variance desirable for the appropriate development of the lands?

The requested minor variance is desirable for the development of the lands as the site will help to facilitate the provision of employment uses through development. The proposed minor variance is consistent with the Goal 3: A diverse Economy outlined in the City of Vaughan's Official Plan. Goal 3 indicates the importance of fostering a diverse economy through employment lands for uses such as warehousing and industrial uses. The subject lands will help to maintain these goals through development, and the creation of job opportunities. The proposed reduction will help to regulate parking and reflect the current needs of the area, as supported by the TIS. The proposed minor variance is consistent with the approved site-specific By-Law 051-2020 for the site to the south. As outlined above, the proposed development not only follow the requirements of By-Law 051-2020 but exceeds it by 49 parking spaces.

4. Is the variance requested minor in nature?

The proposed minor variance application seeks permission for a parking rate reduction in order to better regulate parking at the site. The parking rate reduction will not negatively impact the proposed uses on the subject lands as the proposed parking rates will be adequate for the site uses. Furthermore, the proposed parking rate reduction will help to reflect the current needs of the site supported by the TIS.

Given the above analysis, we are of the opinion that the requested minor variance is consistent with the general intent and purpose of the Official Plan and Zoning By-Law, is desirable for the appropriate development of the lands and is minor in nature. We are of the opinion that the proposed minor variance application to accommodate the proposed parking rate reduction is appropriate and meets the four (4) tests under Section 45(1) of the Planning Act.

In support of this application please find the following materials:

1. This Cover Letter/Planning Rationale;
2. Signed Owner Authorization Form;
3. Commissioned Sworn Declaration Form;
4. Authorizing Statements Form;
5. Tree Declaration Form;
6. Variance Chart;
7. Size of Structures Chart;
8. Setback Chart;
9. Site Plan prepared by Glenn Piotrowshi Architect, dated July 20, 2023;
10. Minor Variance Sketch prepared by KLM Planning Partners Inc., dated August 2023; and
11. Traffic Impact Study prepared by GHD, dated February 7th, 2023

Please note that the owner will make an online payment of \$6,100 representing the fee of a Minor Variance Application for a major development.

We trust that the above noted materials are satisfactory. Should you have any questions, please do not hesitate to contact the undersigned.

Yours truly,
KLM PLANNING PARTNERS INC.



Billy Tung BES, MCIP, RPP
Partner



Madelaine Gutelius
Junior Planner

SCHEDULE D: PREVIOUS COA DECISIONS ON THE SUBJECT LAND		
File Number	Date of Decision MM/DD/YYYY	Decision Outcome
B006/22	07/07/2022	Consent (Lot Addition); Approved COA

NOTICE OF DECISION
Consent Application B006/22
 Section 53 of the Planning Act, R.S.O, 1990, c.P.13

DATE OF HEARING:	Thursday, July 7, 2022
APPLICANT:	Jane St. Nominee Inc.
AGENT:	KLM Planning Partners Inc.
PROPERTY:	11260 Jane Street, Maple
ZONING DESIGNATION:	See Below
VAUGHAN OFFICIAL PLAN (2010) DESIGNATION:	Vaughan Official Plan 2010 ("VOP 2010"): "Prestige Areas", "Potential Valley & Stream Corridor", and "General Employment Areas".
RELATED DEVELOPMENT APPLICATIONS:	None
PURPOSE OF APPLICATION:	Consent is being requested to sever a parcel of land for employment purposes, approximately 47,793.70 square metres, as a lot addition, to be merged on title with the abutting lands to the north (municipally known as 11424 Jane Street). The retained lands have frontage along Jane Street and are approximately 361,314.3 square metres.

Having regard to the written and oral submissions related to this application as required by Section 53(18), the requirements of Section 51(24) as required by Section 53(12) and matters of Provincial interest (Provincial Policy Statement) as required by Section 3(1) of the Planning Act, R.S.O. 1990, c. P. 13, as amended, it is the decision of the Committee that provisional consent of the application:

THAT Application No. B006/22 on behalf of Jane St. Nominee Inc. be **APPROVED**, in accordance with the sketches attached and subject to the following conditions:

SUMMARY OF RECOMMENDED CONDITIONS OF APPROVAL		
#	DEPARTMENT / AGENCY	CONDITION(S) DESCRIPTION
1	Committee of Adjustment christine.vigneault@vaughan.ca	1. That the applicant's solicitor confirm the legal description of both the severed and retained land. 2. That the applicant provides two (2) full size copies of the deposited plan of reference of the entire land which conforms substantially with the application as submitted. 3. That the applicant provide an electronic copy of the deposited reference plan to cofa@vaughan.ca 4. Payment of the Certificate Fee as provided on the City of Vaughan's Committee of Adjustment Fee Schedule. 5. That the severed parcel be merged on title with the abutting land to the north municipally known as 11424 Jane Street and that the applicant's solicitor provides an undertaking in writing that this condition will be fulfilled (please obtain standard undertaking form from Committee of Adjustment staff). Please note that Subsection 50 (3) or (5) of the Planning Act, R.S.O, 1990, as amended, applies to any subsequent conveyance of or transaction involving the parcel of land that is subject of this consent.
2	Development Engineering farzana.khan@vaughan.ca	The Owner/applicant shall prepare and register a reference plan at their expense showing all existing and

SUMMARY OF RECOMMENDED CONDITIONS OF APPROVAL

All conditions of approval, unless otherwise stated, are considered to be incorporated into the approval “if required”. If a condition is no longer required after an approval is final and binding, the condition may be waived by the respective department or agency requesting conditional approval. A condition cannot be waived without written consent from the respective department or agency.

		proposed easements to the satisfaction of Development Engineering Department (DE) for the Subject Lands applicable to the Consent Application. The Owner/applicant shall submit a draft reference plan to DE for review prior to deposit with the Land Registry. The Owner/applicant shall submit the deposited reference plan to DE in order to clear this condition.
5	Development Finance nelson.pereira@vaughan.ca	The owner shall pay all property taxes as levied. Payment is to be made by certified cheque, to the satisfaction of the City of Vaughan Financial Planning and Development Finance Department (contact Nelson Pereira to have this condition cleared).
6	The Regional Municipality of York niranjan.rajevan@york.ca Niranjan Rajevan at ext. 71521	<ol style="list-style-type: none"> 1. The Region is protecting up to 41 metre right-of-way for this section of Jane Street. As such, the Region requires that all municipal setbacks shall be referenced from a point 20.5 metre(s) from the centreline of construction of Jane Street. 2. The Owner shall convey the following lands, along the entire frontage of the site adjacent to Jane Street, to The Regional Municipality of York, free of all costs and encumbrances: <ul style="list-style-type: none"> • Sufficient property to provide a road widening to establish 18 metres from the centre line of construction of Jane Street 3. The Owner shall provide a solicitor’s certificate of title in a form satisfactory to the Regional Solicitor, at no cost to the Region, with respect to the conveyance of these lands to the Region. 4. The Region requires the Owner submit a Phase One Environmental Site Assessment (“ESA”) in general accordance with the requirements of the <i>Environmental Protection Act</i> and O. Reg. 153/04 Records of Site Condition, as amended (“O. Reg. 153/04”). The Phase One ESA must be for the Owner’s property that is the subject of the application and include the lands to be conveyed to the Region (the “Conveyance Lands”). The Phase One ESA cannot be more than two (2) years old at: (a) the date of submission to the Region; and (b) the date title to the Conveyance Lands is transferred to the Region. If the originally submitted Phase One ESA is or would be more than two (2) years old at the actual date title of the Conveyance Lands is transferred to the Region, the Phase One ESA will need to be either updated or a new Phase One ESA submitted by the Owner. Any update or new Phase One ESA must be prepared to the satisfaction of the Region and in general accordance with the requirements of O. Reg. 153/04. The Region, at its discretion, may require further study, investigation, assessment, delineation, and preparation of reports to determine whether any action is required regardless of the findings or conclusions of the submitted Phase One ESA. The further study, investigation, assessment, delineation and subsequent reports or documentation must be prepared to the satisfaction of the Region and in general accordance with the requirements of O. Reg. 153/04. Reliance on the Phase One ESA and any subsequent reports or documentation must be provided to the Region in the Region’s standard format and/or contain terms and conditions satisfactory to the Region. The Region requires a certified written statement from the Owner that, as of the date title to the Conveyance Lands is transferred to the Region: (i) there are no contaminants of concern, within the meaning of O. Reg. 153/04, which are present at, in, on, or under the property, or emanating or migrating from the property to the

SUMMARY OF RECOMMENDED CONDITIONS OF APPROVAL

All conditions of approval, unless otherwise stated, are considered to be incorporated into the approval “if required”. If a condition is no longer required after an approval is final and binding, the condition may be waived by the respective department or agency requesting conditional approval. A condition cannot be waived without written consent from the respective department or agency.

		<p>Conveyance Lands at levels that exceed the MOECC full depth site condition standards applicable to the property; (ii) no pollutant, waste of any nature, hazardous substance, toxic substance, dangerous goods, or other substance or material defined or regulated under applicable environmental laws is present at, in, on or under the Conveyance Lands; and (iii) there are no underground or aboveground tanks, related piping, equipment and appurtenances located at, in, on or under the Conveyance Lands.</p> <p>5. The Owner shall be responsible for all costs associated with the preparation and delivery of the following: a draft and deposited 65Rplan, Phase One ESA, any subsequent environmental work, reports or other documentation, reliance, and the Owner’s certified written statement.</p> <p>6. This application is subject to York Region’s development applications processing fees as identified in By-law No. 2020-04. The review fee for Consent to Sever is \$1,100. The Review and approval of the Environmental Site Assessment Report fee is \$1,800. All payments shall be in the form of a cheque and made payable to “The Regional Municipality of York” and forwarded to Community Planning + Development Services. Development application fees are subject to annual adjustments and increases. Any unpaid fees, regardless of the year the application is submitted, will be subject to current fee requirements.</p> <p>7. Prior to final approval, the Planning and Economic Development Branch shall certify that Conditions 1-6 have been met to its satisfaction.</p>
--	--	---

For the following reasons:

1. The proposal conforms to Section 51(24) as required by Section 53(12) of the Planning Act.
2. The proposal conforms to the City of Vaughan Official Plan.
3. The proposal conforms to the Provincial Policy Statements as required by Section 3(1) of the Planning Act.

PUBLIC WRITTEN & ORAL SUBMISSIONS

Public correspondence considered by the Committee of Adjustment in the making of this decision.

WRITTEN SUBMISSIONS:

Name	Address	Date Received (mm/dd/yyyy)	Summary
None			

ORAL SUBMISSIONS:

Name	Address	Submission (Hearing) Date (mm/dd/yyyy)	Summary
None			


In accordance with Procedural By-law 069-2019, public written submissions on an Application shall only be received by the Secretary Treasurer until **noon** on the last business day prior to the day of the scheduled Meeting.

WRITTEN SUBMISSIONS RECEIVED PAST DEADLINE:

Name	Address	Date Received (mm/dd/yyyy)	Summary
None			

ALL MEMBERS PRESENT WHO CONCUR IN THIS DECISION:

<i>H. Zheng</i>	<i>A. Perrella</i>	<i>R. Buckler</i>
H. Zheng Member	A. Perrella Chair	R. Buckler Member
<i>S. Kerwin</i>		<i>A. Antinucci</i>
S. Kerwin Vice Chair		A. Antinucci Member

DATE OF HEARING:	Thursday, July 7, 2022
DATE OF NOTICE:	July 14, 2022
LAST DAY FOR *APPEAL: *Please note that appeals must be received by this office no later than 4:30 p.m. on the last day of appeal.	August 3, 2022 4:30 p.m.
LAST DAY FOR FULFILLING CONDITIONS:	July 14, 2024 4:30 p.m.
CERTIFICATION: I hereby certify that this is a true copy of the decision of the City of Vaughan Hill Committee of Adjustment and this decision was concurred in by a majority of the members who heard the application.  <hr/> Christine Vigneault Manager Development Services & Secretary-Treasurer Committee of Adjustment	

Appealing to The Ontario Land Tribunal
The *Planning Act*, R.S.O. 1990, as amended, Section 53

The applicant, the Minister or any other person or public body who has an interest in the matter may within **20 days after** the giving of notice appeal to the Ontario Land Tribunal (OLT) against the decision of the Committee by filing with the Secretary-Treasurer of the Committee a notice of appeal setting out the objection to the decision and the reasons in support of the objection accompanied by payment to the Secretary-Treasurer of the fee prescribed by the Tribunal under the *Ontario Land Tribunal Act*.

Note: A notice of appeal may not be filed by an unincorporated association or group. However, a notice of appeal may be filed in the name of an individual who is a member of the association or group on its behalf.

When **no appeal is lodged** within twenty days after the giving of notice the decision becomes final and binding and notice to that effect will be issued by the Secretary-Treasurer.

PLEASE NOTE: Please notify the Secretary Treasurer by email at cofa@vaughan.ca that you will be filing an appeal and mail or courier appeals and prescribed fees to:

Office of the City Clerk - Committee of Adjustment
2141 Major Mackenzie Drive
Vaughan Ontario, L6A 1T1

If you have questions regarding the appeal process, please email cofa@vaughan.ca

Appeal Fees & Forms

ONTARIO LAND TRIBUNAL (OLT): The OLT appeal fee is \$400 plus \$25 for each additional consent/variance appeal filed by the same appellant against connected applications. The OLT Appeal Fee must be paid by certified cheque or money order payable to the "Minister of Finance". OLT appeals must be filed with the Secretary Treasurer, City of Vaughan.

City of Vaughan OLT Processing Fee: \$892.00 per application (2022 rate)

*Please note that all fees are subject to change.

IMPORTANT INFORMATION

Conditions of Approval: It is the applicant's responsibility to ensure that all conditions of approval have been fulfilled in accordance with the Committee's decision and the last day for fulfilling conditions (by 4:30 p.m.). Contact information has been provided for each respective department and agency to assist you with completing these conditions. Some conditions may require two to three months to process therefore it is important that the applicant initiate consultation at least 3 months prior to the lapsing date.

Lapsing of the Consent: If conditions have been imposed and the applicant has not, within a period of two years after notice was given under subsection (17) or (24) of the Planning Act, whichever is later, fulfilled the conditions, the application for consent shall be deemed to be refused but, if there is an appeal under subsection (14), (19) or (27), the application for consent shall not be deemed to be refused for failure to fulfil the conditions until the expiry of two years from the date of the order of the Tribunal issued in respect of the appeal or from the date of a notice issued by the Tribunal under subsection (29) or (33).

No extension to the last day for fulfilling conditions is permissible and no further notice will be provided regarding the lapsing of your consent application.

Notice of Changes to the Provisional Consent: The Committee of Adjustment may change the conditions of a provisional consent at any time before the consent is given. You will be entitled to receive notice of any changes to the conditions of the provisional consent if you have made a written request to be notified of changes to the conditions of the provisional consent.

Final Approval: Final approval of the application will be issued in the form of a Certificate (pursuant to Section 53(42) of the Planning Act) once **all** conditions of the provisional consent have been satisfied.

DEVELOPMENT CHARGES

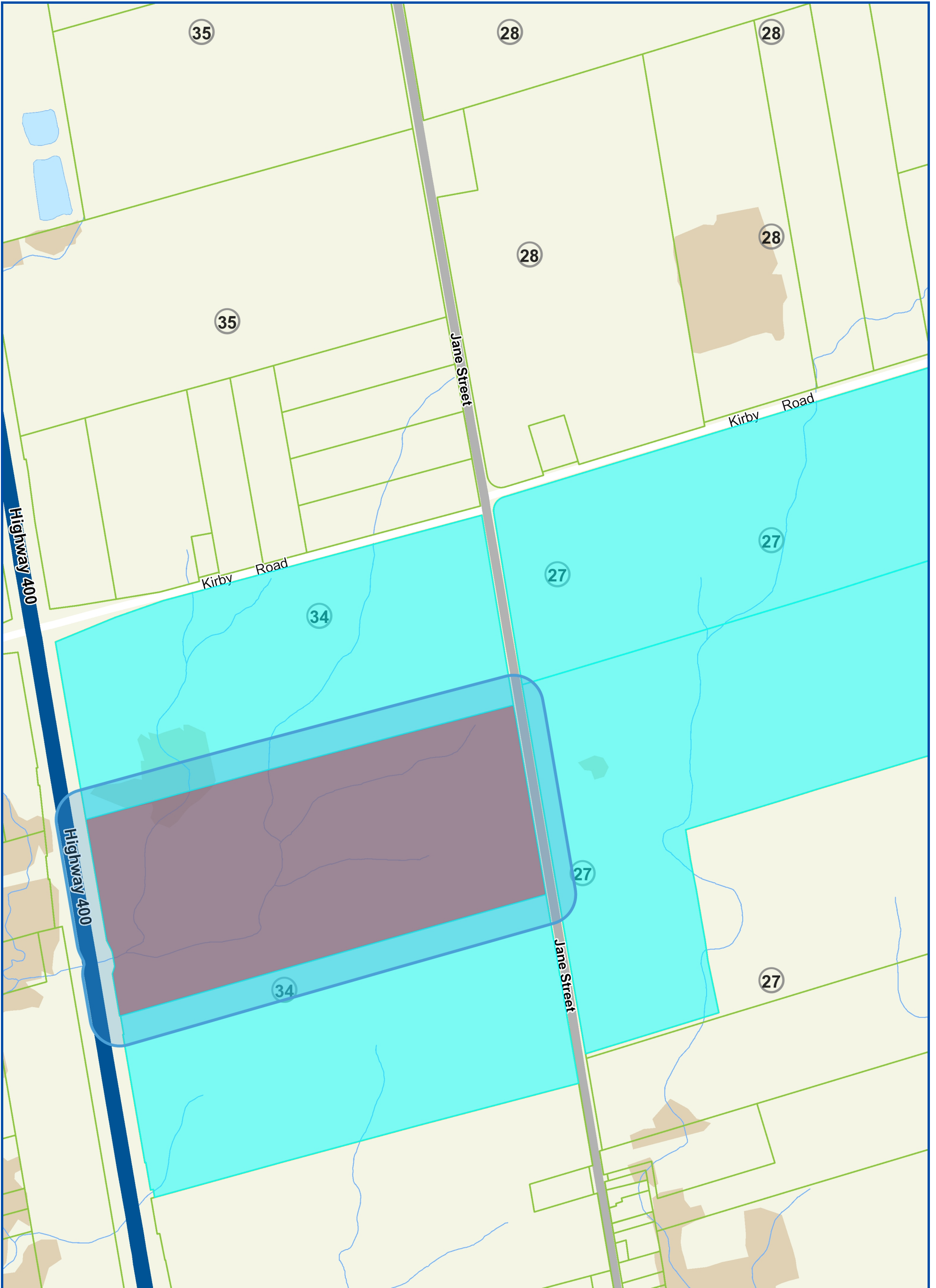
That the payment of the Regional Development Charge, if required, is payable to the City of Vaughan before issuance of a building permit in accordance with the Development Charges Act and the Regional Development Charges By-law in effect at the time of payment.

That the payment of the City Development Charge, if required, is payable to the City of Vaughan before issuance of a building permit in accordance with the Development Charges Act and the City's Development Charges By-law in effect at the time of payment.

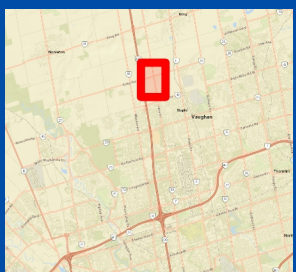
That the payment of the Education Development Charge if required, is payable to the City of Vaughan before issuance of a building permit in accordance with the Development Charges Act and the Boards of Education By-laws in effect at the time of payment

That the payment of Special Area Development charge, if required, is payable to the City of Vaughan before issuance of a building permit in accordance with the Development Charges Act and The City's Development Charge By-law in effect at the time of Building permit issuance to the satisfaction of the Reserves/Capital Department.

For further information please contact cofa@vaughan.ca



Map Information:



Title: **11260 JANE STREET, MAPLE**

NOTIFICATION MAP - B006/22

Disclaimer: Every reasonable effort has been made to ensure that the information appearing on this map is accurate and current. We believe the information to be reliable, however the City of Vaughan assumes no responsibility or liability due to errors or omissions. Please report any discrepancies to Infrastructure Programming.



Scale: 1: 10,654
 0 0.17 km



Created By:
 Infrastructure Delivery
 Department
 April 25, 2022 7:27 AM

Projection:
 NAD 83
 UTM Zone
 17N



EXISTING LOT AREA
+/-397,310 m²
 VACANT LANDS/
 EXISTING AGRICULTURAL

LOT AREA POST LOT ADDITION
+/-444,103.7 m²

LOT 30, CONCESSION 5
 PART I, PLAN 65R-30119
 PIN 03345-0446(LT)
 VACANT LANDS/
 EXISTING AGRICULTURAL

LANDS TO BE SEVERED
 AND APPENDED TO THE
 LANDS TO THE NORTH
 VACANT LANDS/
 EXISTING AGRICULTURAL
 PART 1 **+/-46,793.7m²**

LANDS TO BE RETAINED
 VACANT LANDS/
 EXISTING AGRICULTURAL
+/-361,314.3m²
 LOT 29
 CONCESSION 5
 PART 3
 PIN 03345-0428(LT)

LOT 28, CONCESSION 5
 PART I, PLAN 65R-28878
 PIN 03345-0463(LT)
 APPROVED INDUSTRIAL/EMPLOYMENT USES
 CURRENTLY UNDER CONSTRUCTION

Existing Frontage = 417.84m (Post Lot Addition Frontage = 440.33m)

PLAN 65R-

Date _____ Received and accepted Date _____

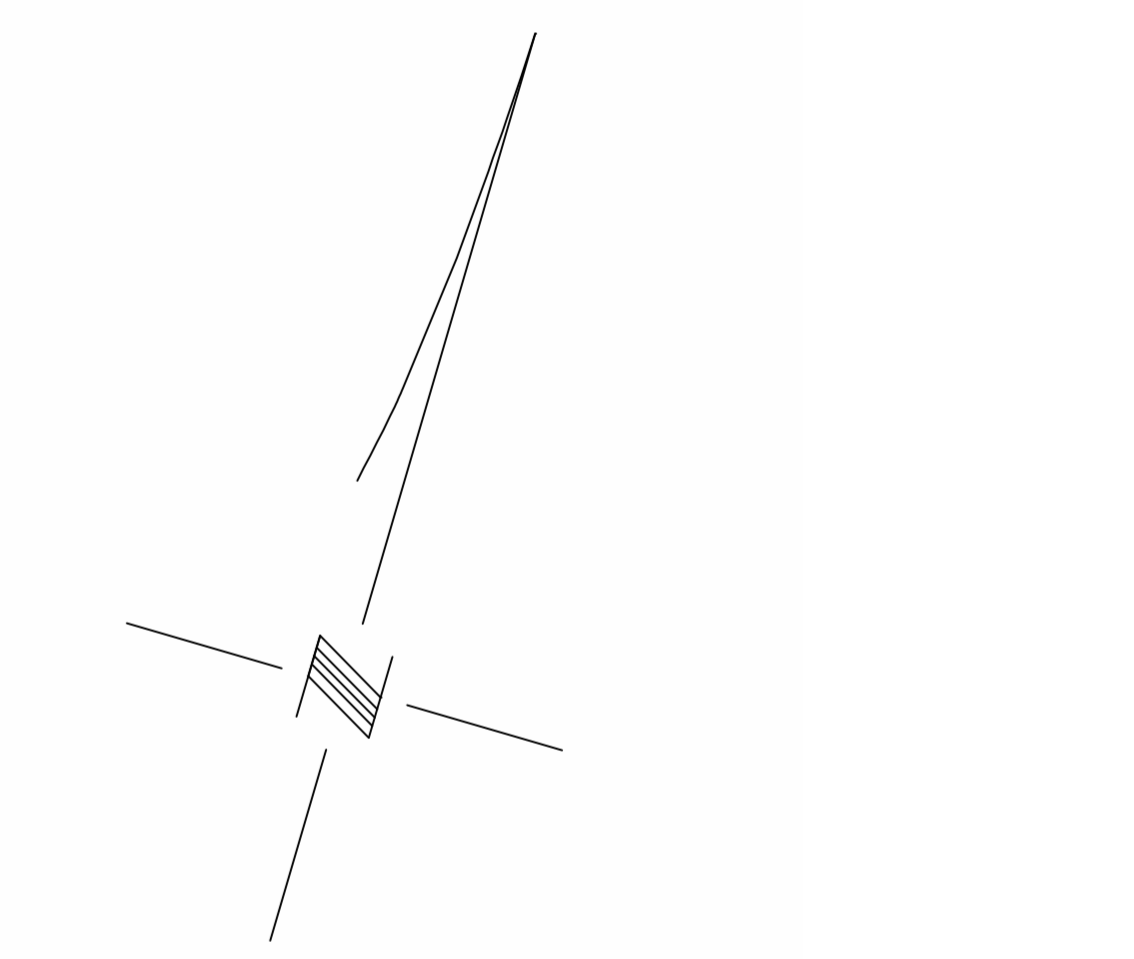
BY: BENEY CHEUNG ONTARIO LAND SURVEYOR REPRESENTATIVE FOR THE LAND RECEIVING FOR THE LAND TITLE DIVISION OF THE REGISTRY (No. 65)

PART	LOT	CONCESSION	PIN
1	PART 1 OF	5	ALL OF 03345-0428(LT)
2			
3			

PART 2 SUBJECT TO EASEMENT AS IN V446289

PLAN OF SURVEY OF
 PART OF LOT 29
 CONCESSION 5
 (GEOGRAPHIC TOWNSHIP OF VAUGHAN, COUNTY OF YORK)
 CITY OF VAUGHAN
 REGIONAL MUNICIPALITY OF YORK
 SCALE 1: 1000

ONTARIO LAND SURVEYORS
 METRIC
 DISTANCES AND COORDINATES SHOWN ON THIS PLAN ARE IN METRES AND CAN BE CONVERTED TO FEET BY DIVIDING BY 0.3048



- LEGEND
- B DENOTES BOUNDARY FOUND
 - DB DENOTES IRON BAR
 - DBB DENOTES STAINLESS IRON BAR
 - DBS DENOTES SHIRT STANDING IRON BAR
 - DBT DENOTES GROUND LAMINAR
 - DBW DENOTES WIRELESS
 - M DENOTES MEASURED
 - P DENOTES PLAN 65R-31734
 - P1 DENOTES PLAN 65R-30119
 - P2 DENOTES PLAN 65R-28878
 - P3 DENOTES UNAPPLICABLE PLAN OF SURVEY (REFERENCE PLAN)
 - P4 DENOTES PLAN 65R-30119
 - P5 DENOTES PLAN OF SURVEY BY DAVID B. SEARLES SURVEYING LTD., O.L.S. DATED OCTOBER 11, 2006 (FILE NO. 31-0-00)
 - P6 DENOTES PLAN 65R-30119
 - P7 DENOTES CHARLES F. FISHER, O.L.S.
 - P8 DENOTES SCHMETER & SONSON LIMITED, O.L.S.
 - P9 DENOTES ROBERT B. JEL, O.L.S.
 - P10 DENOTES DAVID B. SEARLES SURVEYING LTD., O.L.S.
 - P11 DENOTES DAVID B. SEARLES SURVEYING LTD., O.L.S.
 - P12 DENOTES LUCAS & JACOBSON LIMITED, O.L.S.
 - P13 DENOTES LUCAS & JACOBSON LIMITED, O.L.S.
 - P14 DENOTES LUCAS & JACOBSON LIMITED, O.L.S.
 - P15 DENOTES CHAN LINK FENCE
 - P16 DENOTES POST AND WIRE FENCE

BEARING NOTE
 BEARINGS ARE GRS BEARINGS DERIVED FROM GPS OBSERVATIONS USING THE SMARTNET NETWORK AND ARE REFERRED TO THE CENTRAL MERIDIAN OF UTM ZONE 17 (EPOCH MEAS. WGS84 ORIGINAL).

DISTANCE NOTE
 DISTANCES SHOWN HEREON ARE GROUND DISTANCES AND CAN BE CONVERTED TO 2011 DISTANCES BY MULTIPLYING BY A COMBINED SCALE FACTOR OF 0.999738.

NOTE
 PROPERTY LINES ARE NOT FENCED UNLESS OTHERWISE NOTED ON THE FACE OF THE PLAN.

SURVEYOR'S CERTIFICATE
 I CERTIFY THAT:
 1. THIS SURVEY AND PLAN ARE CORRECT AND IN ACCORDANCE WITH THE SURVEY ACT, THE SURVEYORS ACT, AND THE LAND TITLES ACT AND THE REGULATIONS MADE UNDER THEM.
 2. THE SURVEY WAS COMPLETED ON THE _____ DAY OF _____

PRELIMINARY

DATE _____ BY: BENEY CHEUNG ONTARIO LAND SURVEYOR

Calculation File: 30-20CALC.DWG Drawing File: 30-2-20.DWG File No.: 30-2-20

4555 Sheppard Avenue East, Suite 206, Markham, Ontario L4Z 1Y5
 Tel: (905) 272-8840 Fax: (905) 968-4410
 Email: info@kplm.com

CONSENT SKETCH

11260 Jane Street



Dec. 21, 2020