

Context and Location Map

LOCATION:
Part Lot 6, Concession 4

APPLICANT:
Royal 7 Developments

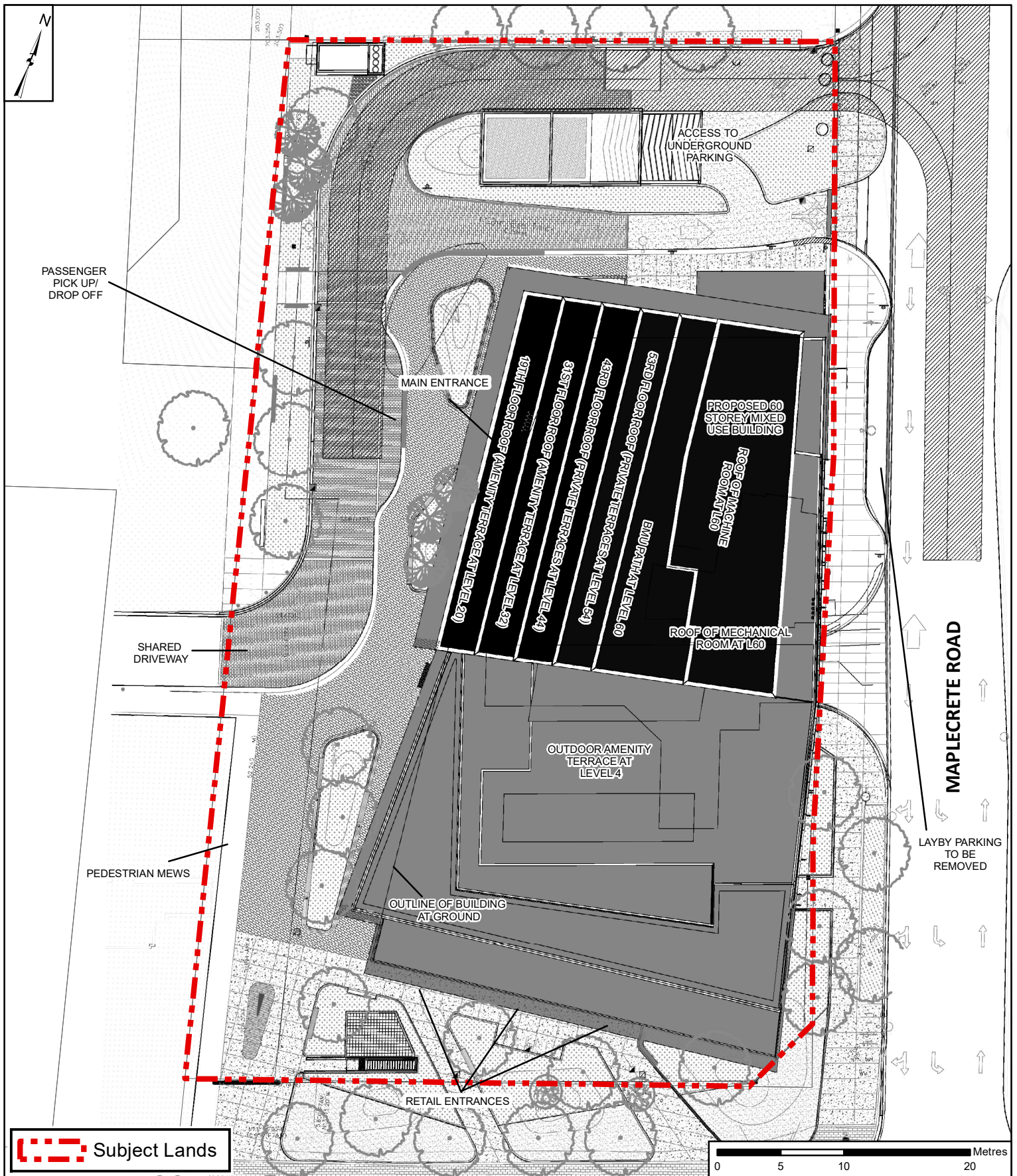


Attachment

FILE:
DA.18.050

DATE:
June 4, 2019

1



Site Plan

LOCATION:
Part Lot 6, Concession 4

APPLICANT:
Royal 7 Developments

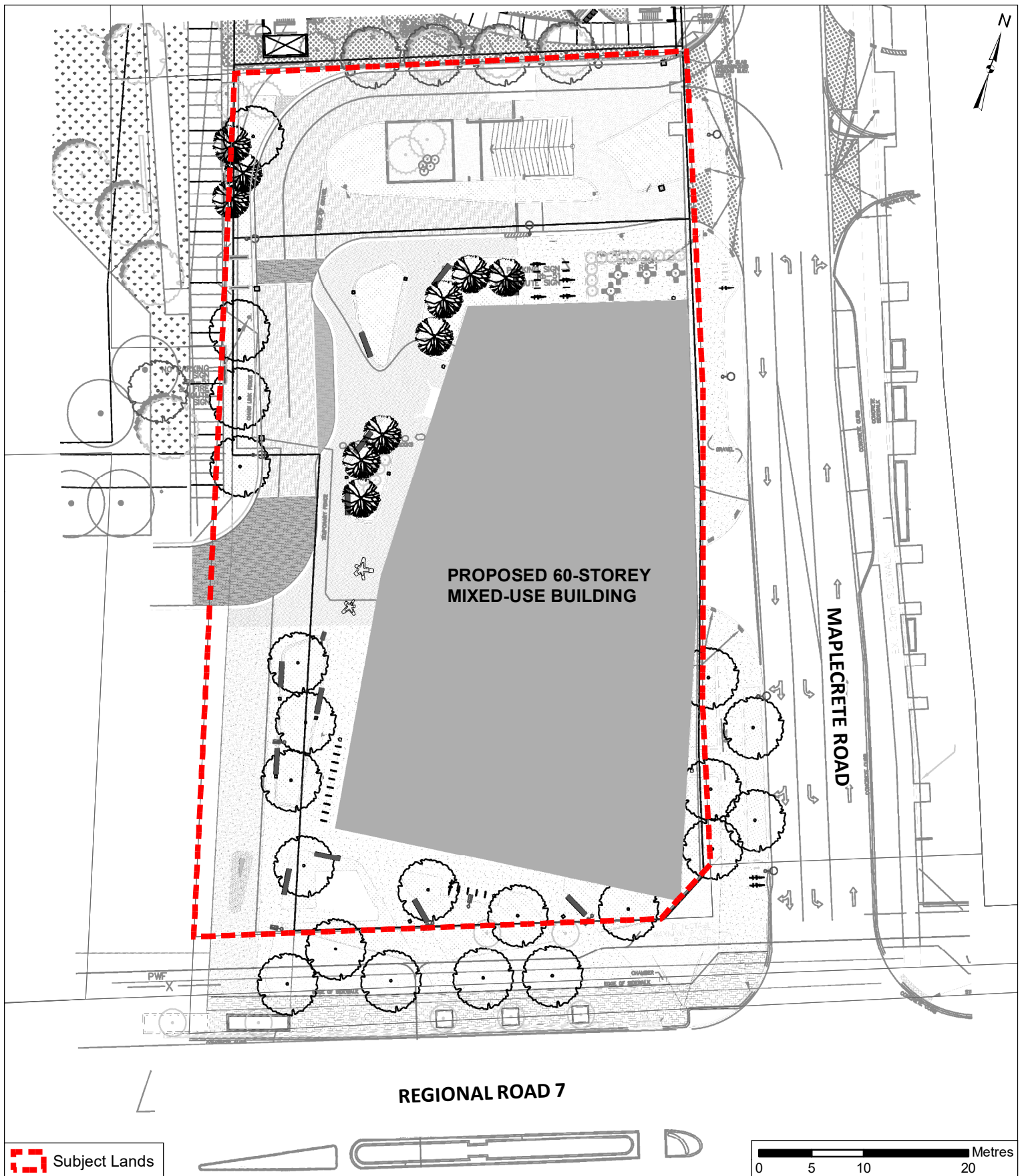


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DATE:
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2



Landscape Plan

LOCATION:
Part Lot 6, Concession 4

APPLICANT:
Royal 7 Developments

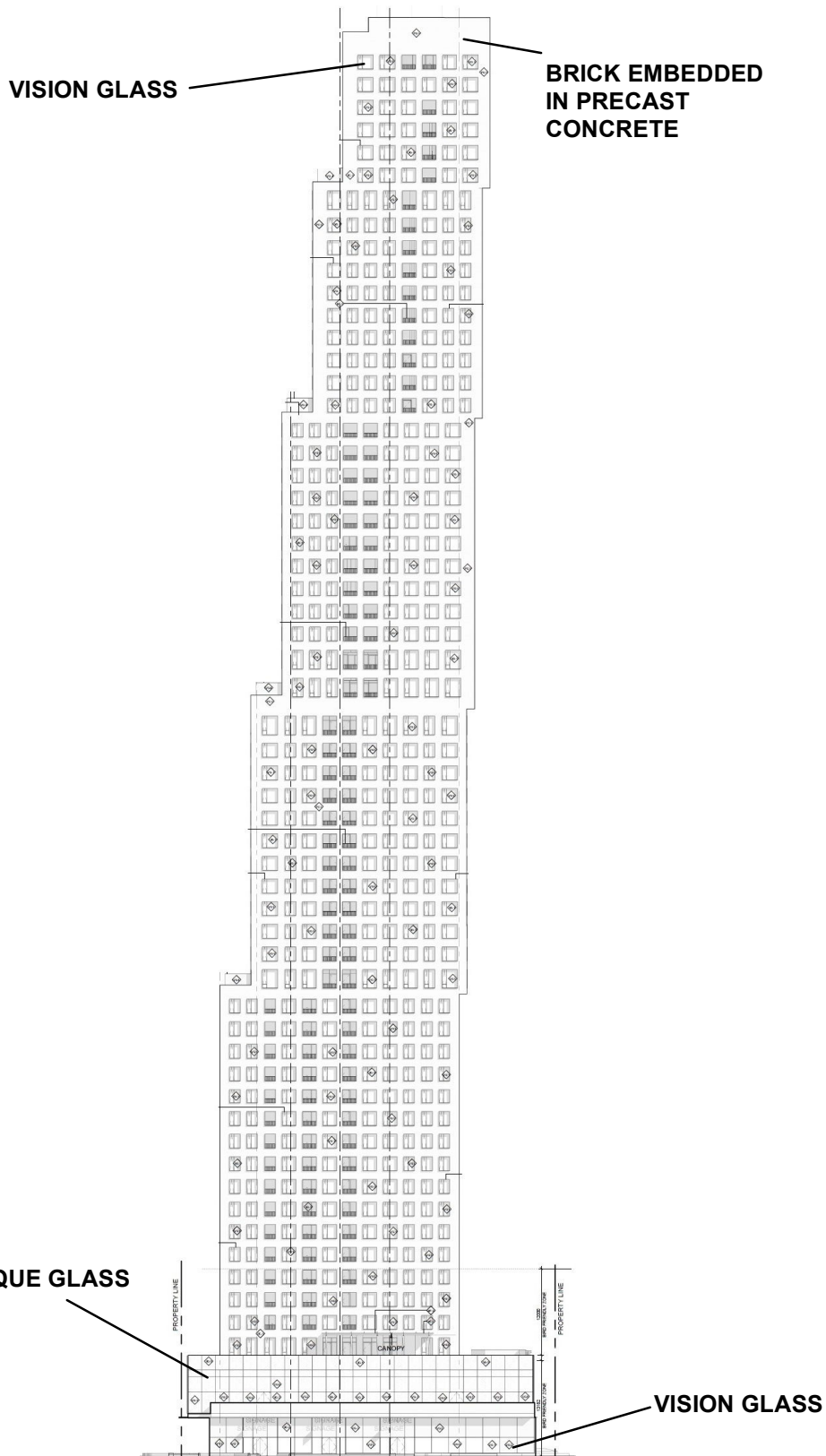


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3



SOUTH ELEVATION (FACING REGIONAL ROAD 7)

Not to Scale

Elevation Plan (South)

LOCATION:
Part Lot 6, Concession 4

APPLICANT:
Royal 7 Developments

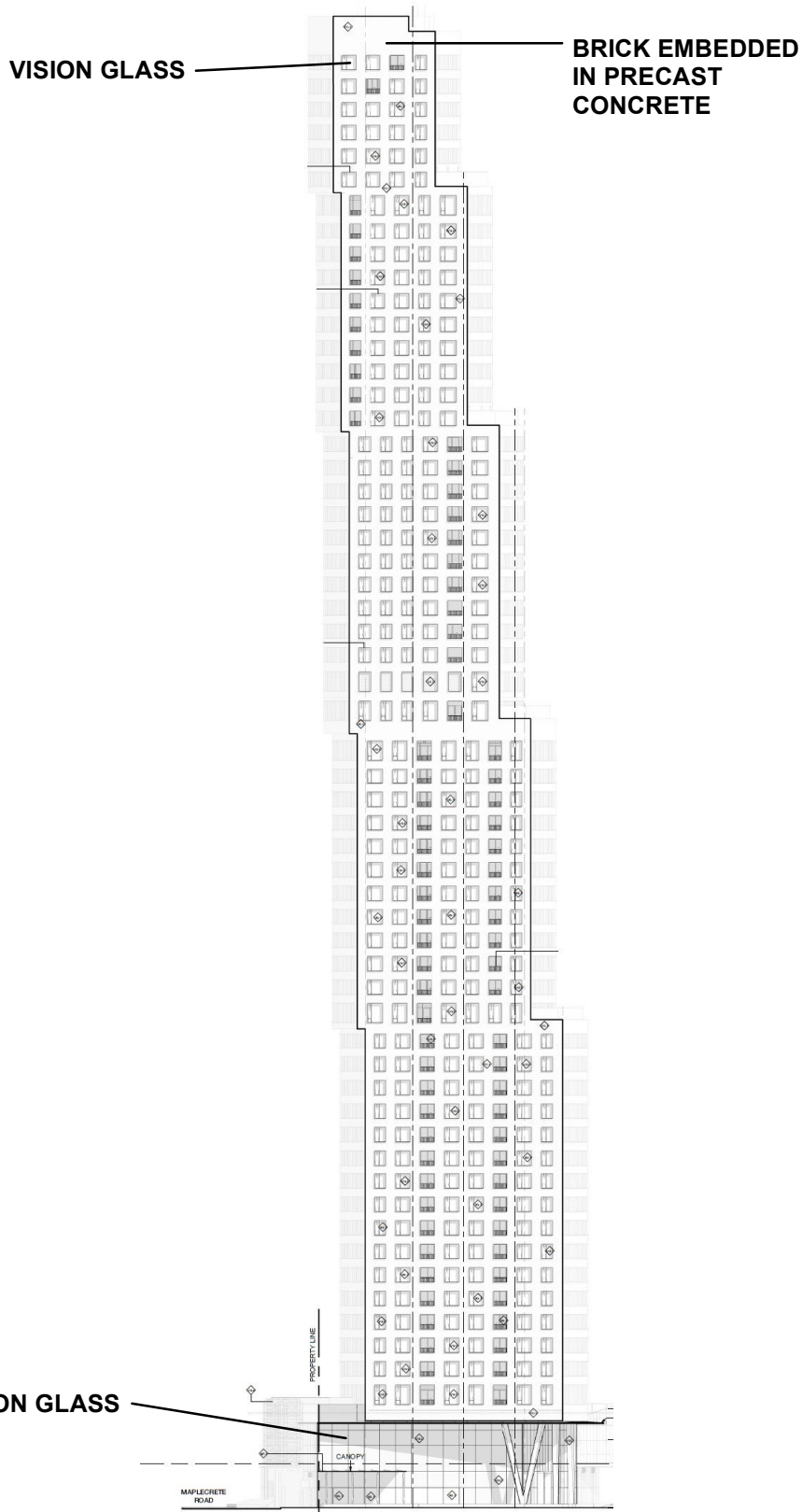


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4



NORTH ELEVATION

Not to Scale

Elevation Plan (North)

LOCATION:
Part Lot 6, Concession 4

APPLICANT:
Royal 7 Developments

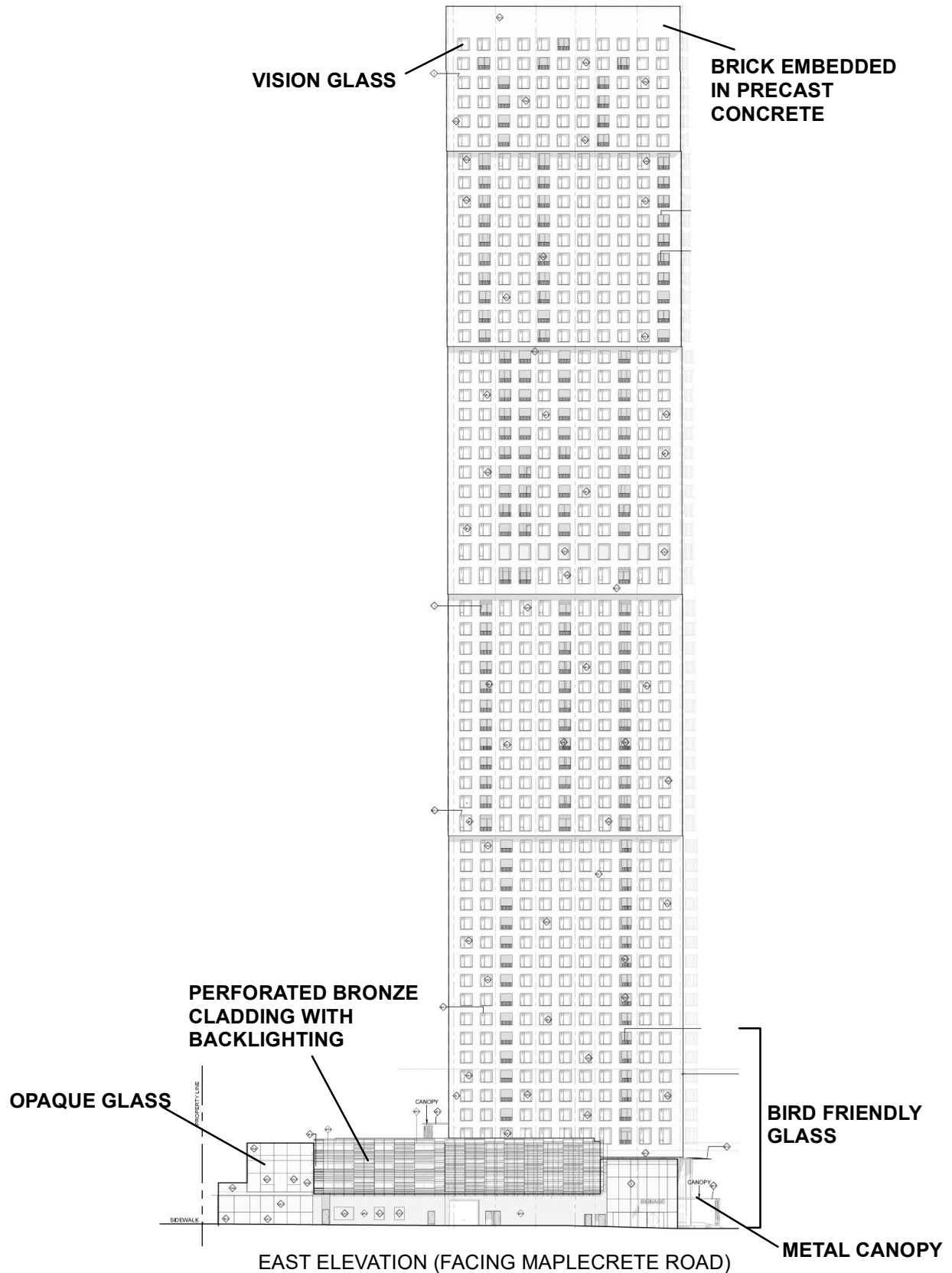


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Not to Scale

Elevation Plan (East)

LOCATION:
Part Lot 6, Concession 4

APPLICANT:
Royal 7 Developments



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6

VISION GLASS

BRICK EMBEDDED
IN PRECAST
CONCRETE

VISION GLASS

METAL CANOPY

WEST ELEVATION

Not to Scale

Elevation Plan (West)

LOCATION:
Part Lot 6, Concession 4

APPLICANT:
Royal 7 Developments



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7



Not to Scale

Perspective Rendering

LOCATION:
Part Lot 6, Concession 4

APPLICANT:
Royal 7 Developments



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DATE:
June 4, 2019

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ATTACHMENT 9

Corporate Services
Community Planning and Development Services

September 26, 2018

Stephen Lue
Planning Department
City of Vaughan
2141 Major Mackenzie Drive
Vaughan, ON L6A 1T1

Dear Mr. Lue:

Re: 1st Submission Site Plan Comments
EXPO City Phase 5
2920 Highway 7
City of Vaughan
City File No.: DA.18.050
Region File No.: SP.18.V.0201

York Region has reviewed Plans and Reports submitted as part of the 1st Submission dated June 8, 2018 and has no objection to the development proposal, **in principle**.

Please note this letter is not a Site Plan Approval. Prior to undertaking any work within the Regional right-of-way of Highway 7 (e.g. *construction vehicle access, grading, installation of services, landscaping etc.*), and/or encroaching within the Regional right-of-way of Highway 7 with *crane swing, hoarding, tie-backs, excavation etc.* the Owner must be in receipt of a **Site Plan Approval** and a Road Occupancy Permit from the Region.

The Region anticipates issuing two Engineering Approvals. The **1st Engineering Approval** will be for Shoring, Hoarding, Crane Swing, Dewatering, Erosion and Sediment Control and Construction Management. With this approval the Owner will be able to apply for a Road Occupancy Permit (ROP) from the Region to commence demolition, excavation and foundation works upon receipt of a Conditional Permit from the City of Vaughan. **Section A** of this letter lists all the outstanding requirements the Developer must meet before the Region can issue the **1st Engineering Approval**.

The **2nd Engineering Approval** will be for the remainder of the site development works within the road allowance of Highway 7 – which could include grading, servicing, streetscaping, a TDM plan, Mobility Study etc. **Section B** of this letter lists all the outstanding requirements the Developer must meet before the Region can issue the **2nd Engineering Approval**.

The City of Vaughan should not issue any conditional permits until the Region has issued the 1st Engineering Approval. A conditional permit does not authorize the Developer to undertake any development related works within the Regional right-of-way, or to encroach onto the Regional right-of-way with landscaping, hoarding, fencing, crane swing, shoring and/or excavation.

Please note this letter is not a Site Plan Approval. To obtain final Site Plan Approval the Owner is required to obtain the 1st and 2nd Engineering Approvals and enter into a **Site Plan Agreement** with the Region. The Requirements for the Site Plan Agreement are outlined in **Section D**.

A: REQUIREMENTS FOR 1st ENGINEERING APPROVAL

Submission Requirements

1. The Owner shall address, to the Region's satisfaction, the comments on the following red-lined plans and/or reports attached to this letter.
 - Erosion and Sediment Control Plan No. EC-1 dated June 8, 2018
2. The Owner shall submit to the Region the following plans and reports not yet submitted with previous submissions:
 - a) Permanent Dewatering Plan
 - b) Temporary Dewatering Plan
 - c) Hoarding Plans
 - d) Crane Swing Plans
 - e) Shoring Plans
 - f) Construction Management Plans for each phase of construction
 - g) \$1,700 Fee for Encroachment Permit
 - h) Encroachment Reference Plan
 - i) Parcel Register and Block Plan
 - j) Insurance Certificate
 - k) Cost Estimate
 - l) Confirmation from York Region's Environmental Services Dept. re. dewatering permit (if required)

Financial and Insurance Requirements

3. The Owner shall submit a cost estimate of all works to be undertaken within or adjacent to the Regional right-of-way of Highway 7 inclusive of erosion and sediment control measures, pedestrian protection, hoarding, site structures and materials that may encroach onto Highway 7. This cost estimate will be used by the Region to determine the final Review Fee and Security Deposit requirements for the 1st Engineering Approval. Upon

receipt of the cost estimate the Region will issue a separate Financial Request letter to the Owner.

4. The Owner shall submit to the Regional Community Planning and Development Services, a certificate of insurance on the Region's form, completed to the satisfaction of the Region's Manager of Insurance and Risk, naming The Regional Municipality of York as an additional insured with respect to the Commercial General Liability policy. The Owner shall maintain the insurance in effect until all site works have been completed and accepted by the Region. The certificate of insurance shall specify: for a liability insurance amount of not less than \$5,000,000 per occurrence, and Non-Owned Automobile Liability and Owned Automobile Liability Insurance for limits of not less than \$2,000,000 per occurrence for each. In addition, the Region requires confirmation of WSIB coverage. In the event that participation in Workers Compensation is not required or has been opted out of, the Region requires confirmation of Employer's Liability in an amount not less than \$2,000,000 per occurrence.

This certificate of insurance shall specify the Region's File Number **SP.18.V.0201**, the location of the site and the name and address of the Owner. The name, address and telephone number of the issuing company and/or agent must be shown on the certificate. In addition, a clause shall be added such that this policy shall be automatically extended in one year increments, until all site works have been completed and accepted by the Region, and that 30 days written notification be given to the Region by registered mail if this policy is to be cancelled or if coverage is reduced.

5. This application is subject to the Region's development review fees identified in Bylaw No. 2010-15. The fee for site plan application review is **\$8,500.00** minimum or 7% of the estimated cost of works on the existing or proposed Regional right-of-way, whichever is greater. Prior to the execution of the site plan agreement, the Owner shall forward a certified cheque to cover the minimum review fee of **\$8,500.00** to the Regional Community Planning and Development Services, payable to The Regional Municipality of York.

The Region acknowledges receipt of the \$8500.00 minimum review fee

Encroachment Requirements

6. The Owner shall obtain an encroachment permit from the Region for the following potential encroachments within the road allowances of Jane Street:
 - Tie-backs
 - Crane Swing
 - Dewatering equipment
 - Hoarding/Fencing

7. For the Region to prepare the permit the Owner must submit the following:

- a) A Certificate of Insurance;
 - i) The Owner shall obtain and maintain continuously in full force and effect Commercial General Liability insurance, naming the Region as an additional insured, with limits of not less than Five Million Dollars (\$5,000,000.00) inclusive per occurrence for bodily injury, death and damage to property. This insurance coverage shall include cross-liability and severability of interest clauses, non-owned automobile liability and standard contractual liability. This insurance coverage shall be taken out with an insurance company licensed to transact business in the Province of Ontario and not otherwise excluded by the Region's Insurance and Risk Manager.
 - ii) This certificate of insurance shall also maintain in full force and effect standard owner's form Automobile Liability insurance in respect of licensed vehicles which shall have limits of not less than Two Million Dollars (\$2,000,000.00) inclusive per occurrence for third party liability and accident benefits insurance and covering licensed vehicles owned and/or leased or operated by or on behalf of the Owner.
 - iii) This certificate of insurance shall specify the Region's File No. the location of the site and the name and address of the Owner. The name, address and telephone number of the issuing company and/or agent must be shown on the certificate. The policy shall be endorsed to provide the Region with not less than thirty (30) days' written notice in advance of any cancellation, change or amendment restricting coverage.
- b) A **cheque** in the amount of **\$1,700.00** made payable to The Regional Municipality of York representing Community Planning and Development Services' fee required for permitting the encroachment as set out in Bylaw No. 2010-15.
- c) A registerable legal description of the Region's lands upon which the Owner intends to encroach (include copy of Parcel Register (PIN) and Block Map).
- d) The registered Owner's name and a registerable legal description of its lands (include copy of Parcel Register (PIN) and Block Map).
- e) A drawing or reference plan clearly indicating the encroaching items and the extent of the encroachment within the regional road allowance.

Dewatering

8. The hydrogeological report states that a permanent dewatering system should be designed to accommodate up to 20,000 litres per day. The Owner shall submit a ***Permanent Dewatering Plan*** for the assessment, design and construction of a permanent groundwater control system on the site. The assessment, design and construction of the permanent groundwater control system shall be based on true static (worst case) groundwater levels that are representative of natural groundwater levels and do not take into account third-party groundwater control systems in close vicinity to the site.
9. The Owner is advised that permanent dewatering in a sanitary sewer will not be permitted.
10. The Owner shall submit a Temporary ***Dewatering Discharge Plan***, showing the location of wells, pipe, pumps, treatment equipment and the discharge outlet location.
11. According to the hydrogeological report temporary dewatering discharge to a sanitary sewer is proposed. Therefore, prior to the commencement of dewatering the Owner must obtain a dewatering discharge permit from the Region's Environmental Service Department prior to the commencement of dewatering. A dewatering permit application is available on line at www.york.ca/seweruse or by contacting 905-830-4444 extension 75097.
12. Prior to Engineering Approval the Owner shall provide written confirmation from the Region's Environmental Service Department that an application for a dewatering permit has been received.

Hoarding, Shoring and Crane Swing

13. If Hoarding/Fencing within the Regional right-of-way will be needed, the Owner must submit applicable Construction Hoarding/Fencing plans to the Region. The approved Construction Hoarding/Fencing within the Regional right-of-way will require an encroachment agreement/permit between the Region and the Owner.
14. If Shoring Anchor/Tie Back within the Regional right-of-way will be needed the Owner must submit Shoring Anchor/Tie Back System plans, certified by a qualified professional engineer, to the Region. The approved Construction Shoring Anchor/Tie Back Systems within the Regional right-of-way will require an encroachment agreement/permit between the Region and the Owner.
15. If the a construction crane will swing over the ultimate right-of-way of Highway 7 the Owner must submit Crane Swing Plans, certified by a qualified professional engineer, to the Region, Approved Crane Swing over the Regional right-of-way and/or Easements will require an encroachment agreement/permit between the Region and the Owner

Source Water Protection

16. The Owner is advised that high groundwater levels and confined aquifer conditions have been identified in the general vicinity of the site. Appropriate precautions should be taken to prevent impacts to the development.

Impact on Regional Infrastructure

17. The Owner is advised that the Regional 750 mm diameter Highway 7 Jane PD6 Watermain is located in the Highway 7 right-of way and the Regional 600 mm diameter watermain and chamber is located in the Maplecrete Road right-of-way in close proximity of the subject development. The integrity of the aforementioned infrastructure is to be maintained at all times during the grading and construction activities of the proposed development. Therefore the Owner shall notify Frank Badinski (frank.badinski@york.ca, 905-830-4444 ext. 73047), Construction Coordinator with the Environmental Services, 48 hours in advance of the preconstruction meeting and/or any work commencing on the site or the Regional right-of-way.

Traffic Management

18. The Owner shall submit a Traffic Management Plan/s for any works undertaken on Highway 7. Please note the following minimum requirements of working within York Region Road allowance unless dictated otherwise on the Traffic/Construction Management Plan and Road Occupancy Permit:
- i. No lane closures are permitted on weekdays between the hours of 7 a.m. to 9:30 a.m. and 3:30 p.m. to 6 p.m.;
 - ii. Any lane closures or lane encroachments that occur must be signed in accordance with the Ontario Traffic Manual (OTM) Book 7 "Temporary Conditions";
 - iii. Safe pedestrian access must be maintained at all times by the Owner's contractors. As such, safe passage for all pedestrians, including pedestrians with disabilities (blind, hearing impaired, on wheelchairs, etc.), must be ensured by the Owner's contractors.
 - iv. A 24-hour contact must be available throughout the duration of the project;
 - v. The characteristic and placement of all signs and traffic control or management shall conform to the standards of the Ontario Traffic Manual (OTM) Book 7 "Temporary Conditions" and as per the Occupational Health and Safety Act;
 - vi. The manufacture and the erection of all signs for the Traffic Management Plan shall be the responsibility of the Contractor.

- vii. Paid Duty officers will be required for proposed or existing signalized works within intersections.

Construction Site Management

19. The Owner shall submit to the Region's satisfaction a Construction Management Plan that contains information on:
 - i. Location of the Site Trailer and other amenity structures
 - ii. How trucks will route to and from the site, where they will queue, where they will enter the site, where they will load/off-load materials, and where they will exit the site. – with due consideration that no queuing and/or loading/off-loading will be permitted from the travelled portion of Highway 7
 - iii. Details on where construction personnel will park private vehicles – with due consideration that no parking will be permitted within the right-of-way of Highway 7.
 - iv. Details on storage area for materials
 - v. Details on the anticipated construction schedule

B: REQUIREMENTS FOR 2ND ENGINEERING APPROVAL

Prior to undertaking any grading, servicing and streetscaping within the road allowance of Highway 7, the Owner shall obtain a 2nd Engineering Approval from the Region. The requirements for this approval are listed below:

Submission Requirements

1. The Owner shall address, to the Region's satisfaction, the comments on the following red-lined plans and/or reports attached to this letter.
 - Site Servicing Plan No. SS-1 dated June 8, 2018
 - Site Grading Plan No. GR-1 dated June 8, 2018
2. The Owner shall submit to the Region the following plans and reports not yet submitted with previous submissions:
 - a) A Utility Plan showing location of all utilities with the Regional road allowance that may be impacted by streetscaping implementation (based on appropriate Level A and B SUE investigations – as defined in CI/ASCE 38-02 – Standard Guideline for the Collection and Depiction of Existing Subsurface Utility Data)
 - b) \$1,950 Legal Fee for preparation of Site Plan Agreement
 - c) Cost Estimates
 - d) Noise Study Report

- e) Additional Review Fees and Security Deposit
- f) Written confirmation from City that the proposed development has allocation

Please be advised that the Streetscaping Plans and the Transportation Mobility Plan are still under review and comments will be provided at a later date.

Financial Requirements

- 3. The Owner shall submit a cost estimate of all civil works, grading and streetscaping works to be undertaken in the right-of-way of Highway 7. This cost estimate will be used by the Region to determine and additional Review Fee and Security Deposit requirements for the 2nd Engineering Approval. Upon receipt of the cost estimate the Region will submit a separate Financial Request letter to the Owner.
- 4. This application is also subject to a Legal fee of \$1,950.00 towards the legal and administrative expenses of the Region in the preparation and processing of the Site Plan Agreement. The Owner must deliver to the Legal Services Branch of the Region a cheque in the sum of \$1,950.00 made payable to The Regional Municipality of York, towards the legal and administrative expenses of the Region in the preparation and processing of this Agreement.

Encroachments

- 5. The Owner shall obtain an encroachment permit from the Region for any enhanced streetscaping permitted within the ultimate Regional road allowance of Highway 7.

Servicing Allocation

- 6. The Owner shall provide written confirmation from the City of Vaughan that the proposed development has been granted servicing allocation by the City of Vaughan.

Transportation

- 7. The Region is in receipt of a Traffic Mobility Study by Poulos Chung Solutions Ltd. dated June 2018. This report is still under review and comments will be provided under separate cover.

Landscaping and Streetscaping

- 8. The Region is in receipt of the Landscape package by dtah dated June 8, 2018. This report is still under review and comments will be provided under separate cover.

C: REQUIREMENTS BEFORE COMMENCEMENT OF WORKS WITHIN or ADJACENT to REGIONAL ROAD ALLOWNANCE

1. The Owner shall have Engineering Approval for the proposed works and/or encroachments. Requirements for obtaining the necessary Engineering Approvals are outlined in *Sections A and B* of this letter.
2. The Owner must obtain, and advise all contractors, that a Road Occupancy Permit is required from the Community Planning and Development Services Branch prior to commencing any work on Regional property. The Road Occupancy Permit application can be obtained by visiting www.york.ca/roadpermits. The Road Occupancy Permit will be issued once the Owner has supplied proof that the Regional Finance Department, is in receipt of securities and a certificate of insurance. The completed Road Occupancy Permit application along with 24 hour emergency telephone numbers and a certificate of insurance is to be returned to permits@york.ca. For General inquiries please contact (905) 830-4444 extension 75700. Please allow three to four weeks for processing applications.
3. The Owner shall notify the Community Planning and Development Services Branch **48 hours in advance of any work commencing** on the site or the Regional right-of-way and shall provide, in writing, 24 hour emergency telephone numbers for the Owner and any contractors and consulting engineers retained by the Owner.

Any notice to be delivered to the Region shall be delivered to the following address:

Office of the Commissioner of Transportation
The Regional Municipality of York
17250 Yonge Street, Box 147
Newmarket, ON, L3Y 6Z1

Attention: **Ivan Gonzalez**
Development Construction Co-ordinator

The Owner shall also notify Frank Badinski (frank.badinski@york.ca, 905-830-4444 ext. 73047), Construction Coordinator with the Environmental Services, 48 hours in advance of the preconstruction meeting and/or any work commencing on the site or the Regional right-of-way.

D: REQUIREMENTS FOR EXECUTION OF THE SITE PLAN AGREEMENT

1. The Owner must be in receipt of all required *Engineering Approvals* as outlined in *Sections A and B* of this letter.

2. The Owner shall deliver to the Legal Services Branch of the Region a certified cheque in the sum of \$75.63 made payable to The Regional Municipality of York, towards the expenses of the Region in the registration of this Agreement on title of the Subject Lands.

A draft Site Plan Agreement for the Owner's review and comment will follow under separate cover.

If you have any questions, regarding this application, please contact me at ext. 75755 or Kiriolis Istafanous, Development Engineering Technologist at extension 74952.

Sincerely,



Calvin J. Mollett, P.Eng.
Program Manager, Development Engineering

CM/ki

Attached

Copy to: Peter Cortellucci, Royal 7 Developments Ltd. (e-mail: peter.cortellucci@cortelgroup.com)
Michael Bissett, Bousfield Inc. (e-mail: mbissett@bousfields.ca)
Ivan Gonzalez, Development Engineering, York Region (e-mail)

YORK-#8830237-v1-Letter_SP_18_V_0201_September_2018_EXPO_City_Phase_5_-_1st_Submission_Site_Plan_Comments